

# QUAILHILL AT MT. SARATOGA PLAT P

LOCATED IN A PORTION OF THE SOUTH HALF OF SECTION 21, TOWNSHIP 5 SOUTH,  
RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN  
CITY OF SARATOGA SPRINGS, UTAH COUNTY, UTAH

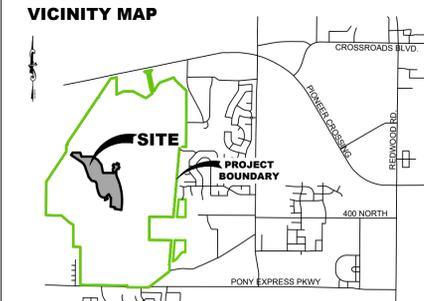
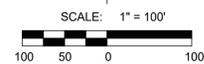


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MT. SARATOGA BLVD PLAN & PROFILE		
OLYMPUS COVE & SAGE RIDGE LANE P&P		

TABULATIONS			
ZONING	PC - PLANNED COMMUNITY		
COMMUNITY PLAN MINIMUM LOT SIZE	4,000 S.F.		
COMMUNITY PLAN AVERAGE LOT SIZE	10,000 S.F.		
VILLAGE 1 NEIGHBORHOOD 4 TABULATIONS			
SMALLEST LOT SIZE	8,720 S.F.		
LARGEST LOT SIZE	20,650 S.F.		
AVERAGE LOT SIZE	13,937 S.F.		
PLAT P			
LOTS	28 LOTS		
DENSITY	0.84 LOTS/ACRE		
PARCELS	3 PARCELS		

	ACRES	SQ. FT.	PERCENT
TOTAL PROJECT AREA	33.39	1,454,407	100%
LOT AREA	8.96	390,234	26.8%
OPEN SPACE	19.10	832,094	57.2%
RIGHT-OF-WAY AREA	5.33	232,080	16%
PARK STRIP LANDSCAPING	1.16	50,546	3.5%
HARDSCAPE AREA	4.17	181,534	12.5%
BUILDABLE LAND	30.90	1,345,929	92.5%
SENSITIVE LANDS	2.49	108,478	7.5%
NON-SENSITIVE LANDS	30.90	1,345,929	92.5%

- NOTES**
- CONTRACTOR SHALL FIELD VERIFY LOCATIONS AND INVERT ELEVATIONS OF EXISTING MANHOLES AND OTHER UTILITIES BEFORE STAKING OR CONSTRUCTING ANY NEW SEWER LINES.
  - CONTRACTOR SHALL FIELD VERIFY LOCATIONS AND INVERT ELEVATIONS OF EXISTING STORM DRAIN STRUCTURES AND OTHER UTILITIES BEFORE STAKING OR CONSTRUCTING ANY NEW STORM DRAIN LINES.
  - ALL CONSTRUCTION SHALL COMPLY WITH THE STANDARD TECHNICAL SPECIFICATIONS AND DRAWINGS FOR THE CITY OF SARATOGA SPRINGS, UTAH.
  - EXISTING UTILITIES HAVE BEEN NOTED TO THE BEST OF ENGINEERS KNOWLEDGE, HOWEVER IT IS OWNER'S AND CONTRACTOR'S RESPONSIBILITY TO LOCATE UTILITIES IN FIELD AND NOTIFY CITY ENGINEER AND CITY IF DISCREPANCIES EXIST PRIOR TO CONTINUING ANY CONSTRUCTION.
  - POST-ACCEPTANCE ALTERATIONS TO LIGHTING PLANS OR INTENDED SUBSTITUTIONS FOR ACCEPTED LIGHTING EQUIPMENT SHALL BE SUBMITTED TO THE CITY FOR REVIEW AND ACCEPTANCE.
  - THE CITY RESERVES THE RIGHT TO CONDUCT POST-INSTALLATION INSPECTIONS TO VERIFY COMPLIANCE WITH THE CITY'S REQUIREMENTS AND ACCEPTED LIGHTING PLAN COMMITMENTS, AND IF DEEMED APPROPRIATE BY THE CITY, TO REQUIRE REMEDIAL ACTION AT NO EXPENSE TO THE CITY.
  - ALL EXTERIOR LIGHTING SHALL MEET IESNA FULL-CUTOFF CRITERIA.
  - CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS AND LOCATION OF EXISTING UTILITIES PRIOR TO CONSTRUCTION.
  - ALL INTERSECTIONS TO HAVE ADA HANDICAP RAMPS ACCORDING TO CITY STANDARDS WITH A MAXIMUM OF 2% SLOPE IN FRONT OF ADA RAMP.
  - ALL EXISTING FENCING WITHIN THE PROPOSED BOUNDARY TO BE REMOVED.
  - DRAINAGE ACROSS PROPERTY LINES SHALL NOT EXCEED THAT WHICH EXISTED PRIOR TO GRADING. EXCESS OR CONCENTRATED DRAINAGE SHALL BE CONTAINED ON SITE OR DIRECTED TO AN APPROVED DRAINAGE FACILITY AS PER IBC 2015 J109.4
  - ALL LOTS BORDERING OPEN SPACE PARKS, TRAILS & EASEMENT CORRIDORS TO HAVE 6' SEMI PRIVATE VINYL FENCE.
  - AREA SHOWN HEREON FALLS WITHIN FLOOD ZONE "X" (AREA DETERMINED TO BE OUTSIDE OF 500 YEAR FLOOD PLAIN) AS PER FIRM MAP NO. 4955170115B WITH AN EFFECTIVE DATE OF JULY 17, 2002.
  - MARKERS MUST BE PLACED AT ALL "OFFSITE" UTILITIES PER CITY STANDARD ST-27.
  - ALL CULINARY & SECONDARY WATER PIPES 12" OR LARGER TO BE DUCTILE IRON CLASS 53. PIPES 8" & 6" TO BE DR-18 PVC.
  - ALL SEWER LINES TO BE SDR-35
  - ALL STORM DRAIN LINES TO BE RCP.
  - TEMPORARY TURN AROUND TO BE INSTALLED AS REQUIRED WITH FINAL CONSTRUCTION PHASING AT ALL STREET ENDS LONGER THAN 150' AS REQUIRED BY CITY STANDARDS.
  - A SEPARATE BOUNDARY TOPO SURVEY, FILING #16-064, HAS BEEN SUBMITTED AND IS ON FILE WITH THE COUNTY AND SARATOGA SPRINGS CITY PLANNING DEPARTMENT.
  - TABULATION PROVIDED ABOVE ARE BASED ON THE OVERALL NEIGHBORHOOD AND NOT INDIVIDUAL PLOTS.

<p><b>SARATOGA SPRINGS CITY ENGINEERING DEPARTMENT</b> CITY ENGINEER - GORDON MINER, PE GMINER@SARATOGASPRINGCITY.COM (801) 766-6506</p> <p><b>SARATOGA SPRINGS CITY PLANNING DEPARTMENT</b> PLANNING DIRECTOR - DAVID STROUD DSTROUD@SARATOGASPRINGCITY.COM (801) 766-9793</p> <p><b>DOMINION ENERGY GAS</b> CUSTOMER SERVICE 1-800-323-5517</p> <p><b>ROCKY MOUNTAIN POWER</b> CUSTOMER SERVICE 1-877-221-7070</p>	<p><b>OWNER / DEVELOPER</b> EDGE HOMES 480 WEST 800 NORTH SUITE 200 OREM, UT 84057 801-494-0150</p> <p><b>ENGINEER</b> LEI CONSULTING ENGINEERS AND SURVEYORS 3302 NORTH MAIN SPANISH FORK, UTAH 84660 (801) 798-0555</p>
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**LEI**  
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**QUAILHILL @ MT. SARATOGA**  
SARATOGA SPRINGS, UTAH  
FINAL PLAT P  
COVER

REVISIONS
1 -
2 -
3 -
4 -
5 -
6 -

LEI PROJECT #:  
**2014-1664**

DRAWN BY:  
**BAP**

DESIGNED BY:  
**NKW**

SCALE:  
**1" = 100'**

DATE:  
**06/11/2020**

SHEET  
**COVER**

EXISTING	PROPOSED	BOUNDARY LINE	DETAILS
		BOUNDARY LINE	
		STREET CENTERLINE	
		EASEMENT LINE	
		LOT LINES	
		SEWER PIPE	SS-1, ST-7, (*2)
		SEWER MANHOLE	SS-2, SS-2A, (*2)
		4" SEWER SERVICE	SS-3, (*5)
		STORM DRAIN PIPE (RCP)	SD-1, ST-7, (*2)
		STORM DRAIN MANHOLE	SD-2, (*2)
		CURB INLET	SD-2
		COMBO BOX	SD-4
		4x4" CATCH BASIN	(*2)
		3x3" CATCH BASIN	(*2)
		INLET/OUTLET W/ GRATE	SD-5
		CULINARY WATER PIPE	DW-1, DW-2, DW-3, ST-7, (*2)
		45" PIPE ELBOW (W)	DW-2, DW-3, (*2)
		22.5" PIPE ELBOW (W)	DW-2, DW-3, (*2)
		11.25" PIPE ELBOW (W)	DW-2, DW-3, (*2)
		FIRE HYDRANT	DW-4
		3/4" SERVICE & METER (W)	DW-5
		PRV (W)	DW-10A, DW-10B, DW-15
		AIR-VAC VALVE (W)	DW-12, DW-15
		2" BLOW-OFF (W)	DW-13A, DW-15
		2" TEMP. BLOW-OFF (W)	DW-13B, DW-15
		VALVE (W & SW)	(*1)(*)2
		TEE	DW-2, (*2)
		CROSS	DW-2, (*2)
		SECONDARY WATER PIPE	PI-1, PI-2, ST-7, (*2)
		45" PIPE ELBOW (SW)	PI-2, (*2)
		22.5" PIPE ELBOW (SW)	PI-2, (*2)
		11.25" PIPE ELBOW (SW)	PI-2, (*2)
		1" SINGLE SW SERVICE	PI-3, PI-5A, PI-5C
		1-1/2" DUAL SW SERVICE	PI-3, PI-5B, PI-5C
		SW SERVICE TO PARKS	PI-4
		AIR-VAC VALVE (SW)	PI-8, PI-13
		BACKFLOW PREVENTER	PI-11
		2" BLOW-OFF (SW)	PI-12A, PI-13
		2" TEMP. BLOW-OFF (SW)	PI-12B, PI-13
		30" C&G (COLLECTOR)	ST-1, ST-2A
		24" C&G (LOCAL)	ST-1, ST-2C
		24" SHED C&G	ST-1, ST-2F
		SIDEWALK	ST-1
		STOP SIGN	ST-28
		STREET SIGN	ST-28
		MONUMENT	ST-29
		SPRINKLER CONDUIT	ST-9, (*3)
		FENCE	LS-14, LS-15, DET. 1 SH. D-4
		STREET LIGHT LOCAL	LP-1, LP-1B, LP-1C, LP-4, LP-6
		STREET LIGHT COLLECTOR	LP-2, LP-2B, LP-2C, LP-5, LP-6
		POWER POLE	
		DITCH	
		FIBER OPTIC	
		GAS	
		OVERHEAD POWER	
		FLOW ARROW	
		CONTOURS	
		100 YEAR FLOOD ROUTE	
		MATCH LINE	
		DRIVE APPROACH	ST-4
		ADA RAMP	ST-5A, ST-5B, ST-5C, ST-5E
		TRAIL	ST-15A, ST-34, (*4)

(\*1) CULINARY & SECONDARY WATER LINES LESS THAN 12" TO BE GATE VALVES. LINES 12" & LARGER REQUIRE BUTTERFLY VALVES  
 (\*2) SEE PLAN & PROFILE FOR SIZE & MATERIAL  
 (\*3) SEE LANDSCAPE DESIGN FOR NUMBER OF CONDUITS & SIZES  
 (\*4) SEE PLAN & PROFILE FOR WIDTH & DESIGN MATERIALS  
 (\*5) SEWER SERVICE MINIMUM SLOPE 2%



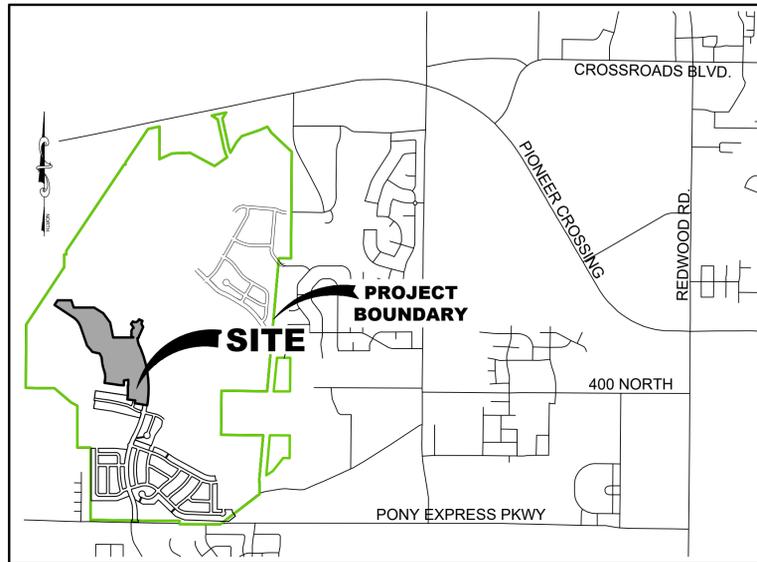
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# QUAILHILL AT MT. SARATOGA PLAT P

LOCATED IN THE WEST HALF OF SECTION 21, TOWNSHIP 5 SOUTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN CITY OF SARATOGA SPRINGS, UTAH

## NOTES:

- PLAT MUST BE RECORDED WITHIN 24 MONTHS OF FINAL PLAT APPROVAL, OR FOR PHASED DEVELOPMENTS, WITHIN 24 MONTHS OF RECORDED OF MOST RECENT PHASE. THE FIRST FINAL PLAT APPROVAL WAS GRANTED ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.
- PRIOR TO BUILDING PERMITS BEING ISSUED, SOIL TESTING STUDIES MAY BE REQUIRED ON EACH LOT AS DETERMINED BY THE CITY BUILDING OFFICIAL.
- THIS PLAT MAY BE SUBJECT TO A DEVELOPMENT AGREEMENT THAT SPECIFIES THE CONDITIONS OF DEVELOPING, BUILDING, AND USING PROPERTY WITHIN THIS PLAT. SEE CITY RECORDER FOR DETAILS.
- PLAT IS SUBJECT TO "INSTALLATION OF IMPROVEMENTS AND BOND AGREEMENT NO. \_\_\_\_\_" WHICH REQUIRES THE CONSTRUCTION AND WARRANTY OF IMPROVEMENTS IN THIS SUBDIVISION. THESE OBLIGATIONS RUN WITH LAND AND ARE BINDING ON SUCCESSORS, AGENTS, AND ASSIGNS OF DEVELOPER. THERE ARE NO THIRD-PARTY RIGHTS OR BENEFICIARIES UNDER THIS AGREEMENT.
- BUILDING PERMITS WILL NOT BE ISSUED UNTIL ALL IMPROVEMENTS HAVE BEEN INSTALLED PER CITY STANDARDS AND ALL FEES INCLUDING IMPACT AND CONNECTION FEES ARE PAID.
- ALL OPEN SPACE, COMMON SPACE, AND TRAIL IMPROVEMENTS LOCATED HEREIN ARE TO BE INSTALLED BY OWNER AND MAINTAINED BY A HOMEOWNERS ASSOCIATION UNLESS SPECIFIED OTHERWISE ON EACH IMPROVEMENT.
- REFERENCES HEREIN TO DEVELOPER OR OWNER SHALL APPLY TO BOTH, AND ANY SUCH REFERENCE SHALL ALSO APPLY TO SUCCESSORS, AGENTS, AND ASSIGNS.
- NO CITY MAINTENANCE SHALL BE PROVIDED FOR STREETS AND IMPROVEMENTS DESIGNATED AS "PRIVATE" ON THIS PLAT.
- LOTS/UNITS MAY BE SUBJECT TO ASSOCIATION BYLAWS, ARTICLES OF INCORPORATION AND CC&RS.
- A GEOTECHNICAL REPORT HAS BEEN COMPLETED BY INTERMOUNTAIN GEOENVIRONMENTAL SERVICES, INC. WHICH ADDRESSES SOIL AND GROUNDWATER CONDITIONS, PROVIDES ENGINEERING DESIGN CRITERIA, AND RECOMMENDS MITIGATION MEASURES IF PROBLEMATIC CONDITIONS WERE ENCOUNTERED. THE CITY ASSUMES NO LIABILITY OR RESPONSIBILITY FOR ANY RELIANCE ON THE INFORMATION OR LACK THEREOF IN THE REPORT.
- AGRICULTURAL USES, OPERATIONS, AND RIGHTS ARE ADJACENT TO OR NEAR THE PLAT AND LOTS. THE LOTS IN THIS PLAT ARE SUBJECT TO THE SIGHTS, SOUNDS, ODORS, NUISANCES, AND ASPECTS ASSOCIATED WITH AGRICULTURAL OPERATIONS, USES AND RIGHTS. THESE USES AND OPERATIONS MAY OCCUR AT ALL TIMES OF THE DAY AND NIGHT INCLUDING WEEKENDS AND HOLIDAYS. THE CITY IS NOT RESPONSIBLE OR LIABLE FOR THESE USES AND IMPACTS AND WILL NOT RESTRICT ANY GRANDFATHERED AGRICULTURAL USE FROM CONTINUING TO OCCUR LAWFULLY.
- DRAINAGE ACROSS PROPERTY LINES SHALL NOT EXCEED THAT WHICH EXISTED PRIOR TO GRADING. EXCESS OR CONCENTRATED DRAINAGE SHALL BE CONTAINED ON SITE OR DIRECTED TO AN APPROVED DRAINAGE FACILITY. LOTS SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALLS. THE GRADE SHALL FALL A MINIMUM OF 6 INCHES WITHIN THE FIRST 10 FEET.
- THE BENCHMARK FOR THE TOPOGRAPHIC INFORMATION PROVIDED HEREON IS THE FOUND 2002 UTAH COUNTY MONUMENT AT THE NORTH 1/4 CORNER OF SECTION 22, WITH A PUBLISHED UTAH COUNTY (NGVD29) ELEVATION OF 4,625.47 FEET.
- AREA SHOWN HEREON FALLS WITHIN FLOOD ZONE "X" (AREA DETERMINED TO BE OUTSIDE OF 500 YEAR FLOOD PLAIN) AS PER FIRM MAP NO. 4955170115B WITH AN EFFECTIVE DATE OF OCTOBER 15, 1982.
- A TITLE REPORT PREPARED BY \_\_\_\_\_ TITLE COMPANY, ORDER NO. \_\_\_\_\_ EFFECTIVE DATE: 20\_\_\_\_ WAS USED IN THE PREPARATION OF THIS PLAT AND LEI CONSULTING ENGINEERS AND SURVEYORS, INC. IS ENTITLED TO RELY ON THE ACCURACY OF THIS REPORT, AND IS NOT LIABLE FOR ERRORS AND OMISSIONS BASED ON THE RELIANCE OF SAID TITLE REPORT. ALL EASEMENTS OF RECORD SHOWN HEREON ARE REFERENCED FROM SAID REPORT.



## OWNERS DEDICATION

KNOW ALL MEN BY THESE PRESENTS THAT THE UNDERSIGNED OWNER(S) OF THE ABOVE DESCRIBED TRACT OF LAND HAVE CAUSED THE SAME TO BE SUBDIVIDED INTO LOTS, PARCELS, AND STREETS, TOGETHER WITH EASEMENTS AND RIGHTS-OF-WAY, TO BE HEREAFTER KNOWN AS:

QUAILHILL AT MT. SARATOGA PLAT P

AND DO HEREBY DEDICATE FOR THE PERPETUAL USE OF THE PUBLIC AND CITY ALL PARCELS, LOTS, STREETS, EASEMENTS, RIGHTS-OF-WAY, AND PUBLIC AMENITIES SHOWN ON THIS PLAT AS INTENDED FOR PUBLIC OR CITY USE, PURSUANT TO UTAH CODE 10-9A-604(D), THE OWNER(S) HEREBY CONVEYS THE COMMON AREA, AS INDICATED HEREON, TO THE [HOA INFORMATION NEEDED] HOME OWNERS ASSOCIATION, WITH A REGISTERED ADDRESS OF [HOA INFORMATION NEEDED], THE OWNER(S) AND ALL AGENTS, SUCCESSORS, AND ASSIGNS VOLUNTARILY DEFEND, INDEMNIFY, AND SAVE HARMLESS THE CITY AGAINST ANY EASEMENTS OR OTHER ENCUMBRANCE ON A DEDICATED STREET EASEMENT, OR RIGHT-OF-WAY THAT WILL INTERFERE WITH THE CITY'S USE, MAINTENANCE, AND OPERATION OF THE STREET OR UTILITIES, THE OWNER(S) AND ALL AGENTS, SUCCESSORS, AND ASSIGNS ASSUME ALL LIABILITY WITH RESPECT TO THE CREATION OF THIS SUBDIVISION, THE ALTERATION OF THE GROUND SURFACE, VEGETATION, DRAINAGE, OR SURFACE OR SUB-SURFACE WATER FLOWS WITHIN THIS SUBDIVISION, AND THE DEVELOPMENT ACTIVITY WITHIN THIS SUBDIVISION BY THE OWNERS AND ALL AGENTS, SUCCESSORS, AND ASSIGNS.

IN WITNESS WHEREOF I HAVE SET FORTH MY HAND THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 20\_\_\_\_.

SIGNATURE \_\_\_\_\_ PRINT NAME \_\_\_\_\_ TITLE & ENTITY \_\_\_\_\_  
SIGNATURE \_\_\_\_\_ PRINT NAME \_\_\_\_\_ TITLE & ENTITY \_\_\_\_\_

## DOMINION ENERGY

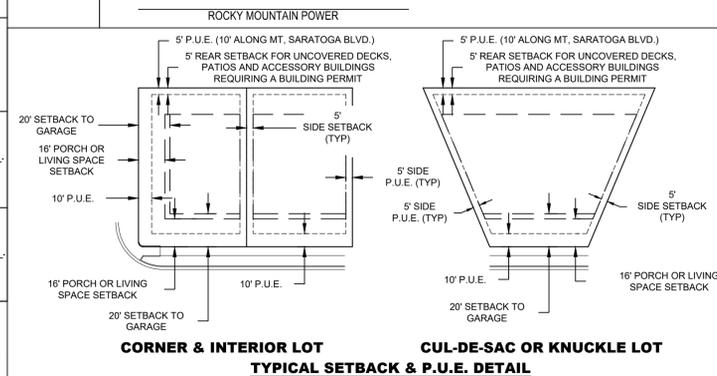
### DOMINION ENERGY CORPORATION

DOMINION ENERGY CORPORATION APPROVES THIS PLAT SOLELY FOR THE PURPOSE OF CONFIRMING THAT THE PLAT CONTAINS PUBLIC UTILITY EASEMENTS. DOMINION ENERGY CORPORATION MAY REQUIRE OTHER EASEMENTS IN ORDER TO SERVE THIS DEVELOPMENT. THIS APPROVAL DOES NOT CONSTITUTE ABROGATION OR WAIVER OF ANY OTHER EXISTING RIGHTS, OBLIGATIONS OR LIABILITIES PROVIDED BY LAW OR EQUITY. THIS APPROVAL DOES NOT CONSTITUTE ACCEPTANCE, APPROVAL OR ACKNOWLEDGEMENT OF ANY TERMS CONTAINED IN THE PLAT, INCLUDING THOSE SET FORTH IN THE OWNERS DEDICATION AND THE NOTES AND DOES NOT CONSTITUTE A GUARANTEE OF PARTICULAR TERMS OF NATURAL GAS SERVICE. FOR FURTHER INFORMATION PLEASE CONTACT DOMINION ENERGY CORPORATION'S RIGHT-OF-WAY DEPARTMENT AT 800-396-8552.

APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 20\_\_\_\_ BY: \_\_\_\_\_  
DOMINION ENERGY CORPORATION TITLE: \_\_\_\_\_

## ROCKY MOUNTAIN POWER

- PURSUANT TO UTAH CODE ANN. 54-3-27 THIS PLAT CONVEYS TO THE OWNER(S) OR OPERATORS OF UTILITY FACILITIES A PUBLIC UTILITY EASEMENT ALONG WITH ALL THE RIGHTS AND DUTIES DESCRIBED THEREIN.
  - PURSUANT TO UTAH CODE ANN. 17-27A-606(4)(b) ROCKY MOUNTAIN POWER ACCEPTS DELIVERY OF THE PUBLIC AS DESCRIBED IN THIS PLAT AND APPROVES THIS PLAT SOLELY FOR THE PURPOSE OF CONFIRMING THAT THE PLAT CONTAINS PUBLIC UTILITY EASEMENTS AND APPROXIMATES THE LOCATION OF THE PUBLIC UTILITY EASEMENTS, BUT DOES NOT WARRANT THEIR PRECISE LOCATION. ROCKY MOUNTAIN POWER MAY REQUIRE OTHER EASEMENTS IN ORDER TO SERVE THIS DEVELOPMENT. THIS APPROVAL DOES NOT EFFECT ANY RIGHT THAT ROCKY MOUNTAIN POWER HAS UNDER:
    - A RECORDED EASEMENT OR RIGHT-OF-WAY
    - THE LAW APPLICABLE TO PRESCRIPTIVE RIGHTS
    - TITLE 54, CHAPTER 6a, DAMAGE TO UNDERGROUND UTILITY FACILITIES OR
    - ANY OTHER PROVISION OF LAW
- APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 20\_\_\_\_.



TABULATIONS			
PLAT	29 LOTS		
LOTS	29 LOTS		
DENSITY	0.84 LOTS/ACRE		
PARCELS	3 PARCELS		
	ACRES	SQ. FT.	PERCENT
TOTAL PROJECT AREA	33.39	1,454,407	100%
LOT AREA	8.96	390,234	26.8%
OPEN SPACE	19.10	832,094	57.2%
RIGHT-OF-WAY AREA	5.33	232,080	16%
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## LEGEND

- BOUNDARY LINE
- CENTERLINE
- SETBACK LINE
- EASEMENT LINE
- FUTURE LOT LINES
- PROPOSED LOT LINES
- ⊙ EXISTING MONUMENT
- ⊙ PROPOSED STREET MONUMENT
- NO ACCESS
- XXX SENSITIVE LANDS

<p><b>PLANNING DIRECTOR</b></p> <p>APPROVED BY THE PLANNING DIRECTOR ON THIS _____ DAY OF _____, A.D. 20____.</p> <p>PLANNING DIRECTOR</p>	<p><b>PUBLIC WORKS DIRECTOR</b></p> <p>APPROVED BY THE PUBLIC WORKS DIRECTOR ON THIS _____ DAY OF _____, A.D. 20____.</p> <p>PUBLIC WORKS DIRECTOR</p>
<p><b>CITY ENGINEER</b></p> <p>APPROVED BY THE CITY ENGINEER ON THIS _____ DAY OF _____, A.D. 20____.</p> <p>CITY ENGINEER</p>	<p><b>COMCAST CABLE TELEVISION</b></p> <p>APPROVED THIS _____ DAY OF _____, A.D. 20____.</p> <p>COMCAST CABLE TELEVISION</p>
<p><b>LAND USE AUTHORITY</b></p> <p>APPROVED BY THE LAND USE AUTHORITY ON THIS _____ DAY OF _____, A.D. 20____.</p> <p>LAND USE AUTHORITY</p>	<p><b>SARATOGA SPRINGS ATTORNEY</b></p> <p>APPROVED BY SARATOGA SPRINGS ATTORNEY ON THIS _____ DAY OF _____, A.D. 20____.</p> <p>SARATOGA SPRINGS ATTORNEY</p>
<p><b>FIRE CHIEF</b></p> <p>APPROVED BY THE FIRE CHIEF ON THIS _____ DAY OF _____, A.D. 20____.</p> <p>CITY FIRE CHIEF</p>	<p><b>LEHI CITY POST OFFICE</b></p> <p>APPROVED BY POST OFFICE REPRESENTATIVE ON THIS _____ DAY OF _____, A.D. 20____.</p> <p>LEHI CITY POST OFFICE REPRESENTATIVE</p>

BY SIGNING THIS PLAT THE FOLLOWING UTILITY COMPANIES ARE APPROVING THE: (A) BOUNDARY, COURSE, DIMENSIONS, AND INTENDED USE OF THE RIGHT-OF-WAY AND EASEMENT GRANTS OF RECORD; (B) LOCATION OF EXISTING UNDERGROUND AND UTILITY FACILITIES; (C) CONDITIONS OR RESTRICTIONS GOVERNING THE LOCATION OF THE FACILITIES WITHIN THE RIGHT-OF-WAY, AND EASEMENT GRANTS OF RECORD, AND UTILITY FACILITIES WITHIN THE SUBDIVISION. "APPROVING" SHALL HAVE THE MEANING IN THE UTAH CODE SECTION 10-9A-603(4)(C)(i). THE FOLLOWING NOTES ARE NOT ENDORSED OR ADOPTED BY SARATOGA SPRINGS AND DO NOT SUPERSEDE CONFLICTING PLAT NOTES OR SARATOGA SPRINGS POLICIES.

## SURVEYOR'S CERTIFICATE

I, CHAD A. POULSEN, DO HEREBY CERTIFY THAT I AM A REGISTERED LAND SURVEYOR, AND THAT I HOLD A LICENSE, CERTIFICATE NO. 801182, IN ACCORDANCE WITH THE PROFESSIONAL ENGINEERS AND LAND SURVEYORS LICENSING ACT FOUND IN TITLE 58, CHAPTER 22 OF THE UTAH CODE. I FURTHER CERTIFY THAT BY AUTHORITY OF THE OWNERS, I HAVE MADE A SURVEY OF THE TRACT OF LAND SHOWN ON THIS PLAT AND DESCRIBED BELOW, HAVE SUBDIVIDED SAID TRACT OF LAND INTO LOTS, STREETS, AND EASEMENTS, HAVE COMPLETED A SURVEY OF THE PROPERTY DESCRIBED ON THIS PLAT IN ACCORDANCE WITH UTAH CODE SECTION 17-23-17, HAVE VERIFIED ALL MEASUREMENTS, AND HAVE PLACED MONUMENTS AS REPRESENTED ON THE PLAT. I FURTHER CERTIFY THAT EVERY EXISTING RIGHT-OF-WAY AND EASEMENT GRANT OF RECORD FOR UNDERGROUND FACILITIES, AS DEFINED IN UTAH CODE SECTION 54-8A-2, AND FOR OTHER UTILITY FACILITIES, IS ACCURATELY DESCRIBED ON THIS PLAT, AND THAT THIS PLAT IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. I ALSO CERTIFY THAT I HAVE FILED, OR WILL FILE WITHIN 90 DAYS THE RECORDED OF THIS PLAT, A MAP OF THE SURVEY I HAVE COMPLETED WITH THE UTAH COUNTY SURVEYOR.

## BOUNDARY DESCRIPTION

A PORTION OF THE NORTHWEST QUARTER AND THE SOUTHWEST QUARTER OF SECTION 21, TOWNSHIP 5 SOUTH, RANGE 1 WEST, SALT LAKE BASE & MERIDIAN, LOCATED IN SARATOGA SPRINGS, UTAH, MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT A POINT LOCATED N01°59'E ALONG THE QUARTER SECTION LINE 2372.25 FEET AND WEST 242.06 FEET FROM THE SOUTH 1/4 CORNER OF SECTION 21, TOWNSHIP 5 SOUTH, RANGE 1 WEST, SALT LAKE BASE & MERIDIAN; THENCE N80°42'27"W 247.62 FEET; THENCE NORTHEASTERLY ALONG THE ARC OF A 224.00 FOOT RADIUS NON-TANGENT CURVE TO THE LEFT (RADIUS BEARS: N79°23'10"W) 5.91 FEET THROUGH A CENTRAL ANGLE OF 1°30'46" (CHORD: N9°51'27"E 5.91 FEET); THENCE ALONG THE ARC OF A 1792.50 FOOT RADIUS CURVE TO THE LEFT 48.97 FEET THROUGH A CENTRAL ANGLE OF 1°33'55" (CHORD: N8°19'07"E 48.97 FEET); THENCE N82°27'50"W 160.34 FEET; THENCE N7°37'37"E 77.56 FEET; THENCE N0°35'20"E 151.97 FEET; THENCE NORTH 48.00 FEET; THENCE EAST 8.13 FEET; THENCE NORTH 109.26 FEET; THENCE S81°13'13"W 87.03 FEET; THENCE SOUTH 95.87 FEET; THENCE NORTHWESTERLY ALONG THE ARC OF A 376.00 FOOT RADIUS NON-TANGENT CURVE TO THE RIGHT (RADIUS BEARS: N0°51'04"E) 130.11 FEET THROUGH A CENTRAL ANGLE OF 7°38'16" (CHORD: N65°19'47"W 130.01 FEET); THENCE N81°30'39"W 255.81 FEET; THENCE N8°29'21"E 60.46 FEET; THENCE ALONG THE ARC OF A 363.00 FOOT RADIUS CURVE TO THE LEFT 157.15 FEET THROUGH A CENTRAL ANGLE OF 24°48'18" (CHORD: N3°54'49"W 155.93 FEET); THENCE N16°18'58"W 92.25 FEET; THENCE N12°22'33"W 82.88 FEET; THENCE N6°54'41"W 119.35 FEET; THENCE N26°55'48"W 84.14 FEET; THENCE N77°30'24"W 143.53 FEET; THENCE N40°43'46"W 186.44 FEET; THENCE N19°08'39"W 385.72 FEET; THENCE ALONG THE ARC OF A 375.00 FOOT RADIUS CURVE TO THE LEFT 244.18 FEET THROUGH A CENTRAL ANGLE OF 37°18'29" (CHORD: N37°47'53"W 239.89 FEET); THENCE N56°27'08"W 441.80 FEET; THENCE N33°32'52"E 108.54 FEET; THENCE EAST 270.82 FEET; THENCE S10°08'39"E 149.34 FEET; THENCE EAST 400.47 FEET; THENCE S58°33'25"E 213.49 FEET; THENCE S36°50'22"E 230.72 FEET; THENCE S11°06'36"E 299.20 FEET; THENCE EAST 400.32 FEET; THENCE NORTHWESTERLY ALONG THE ARC OF A 541.50 FOOT RADIUS NON-TANGENT CURVE TO THE RIGHT (RADIUS BEARS: N88°25'36"E) 6.94 FEET THROUGH A CENTRAL ANGLE OF 0°44'02" (CHORD: N1°12'23"W 6.94 FEET); THENCE N86°24'54"W 9.26 FEET; THENCE ALONG THE ARC OF A 34.00 FOOT RADIUS CURVE TO THE RIGHT 62.64 FEET THROUGH A CENTRAL ANGLE OF 105°34'02" (CHORD: N53°37'53"W 54.15 FEET) TO A POINT OF REVERSE CURVE; THENCE ALONG THE ARC OF A 74.00 FOOT RADIUS CURVE TO THE LEFT 38.64 FEET THROUGH A CENTRAL ANGLE OF 29°54'57" (CHORD: N4°11'39"E 38.20 FEET) TO A POINT OF REVERSE CURVE; THENCE ALONG THE ARC OF A 93.00 FOOT RADIUS CURVE TO THE RIGHT 109.53 FEET THROUGH A CENTRAL ANGLE OF 67°28'54" (CHORD: N22°58'38"E 103.31 FEET) TO A POINT OF REVERSE CURVE; THENCE ALONG THE ARC OF A 2.00 FOOT RADIUS CURVE TO THE LEFT 2.70 FEET THROUGH A CENTRAL ANGLE OF 77°27'50" (CHORD: N17°59"E 2.50 FEET); THENCE ALONG THE ARC OF A 175.00 FOOT RADIUS CURVE TO THE LEFT 70.92 FEET THROUGH A CENTRAL ANGLE OF 23°13'10" (CHORD: N32°21'20"W 70.44 FEET); THENCE N41°20'45"W 24.28 FEET; THENCE N38°11'39"E 60.63 FEET; THENCE SOUTHEASTERLY ALONG THE ARC OF A 50.00 FOOT RADIUS NON-TANGENT CURVE TO THE LEFT (RADIUS BEARS: N27°12'56"E) 8.29 FEET THROUGH A CENTRAL ANGLE OF 9°29'39" (CHORD: S67°31'53"E 8.28 FEET); THENCE S72°16'43"E 20.13 FEET; THENCE ALONG THE ARC OF A 73.00 FOOT RADIUS CURVE TO THE LEFT 106.32 FEET THROUGH A CENTRAL ANGLE OF 83°26'38" (CHORD: N65°59'58"E 97.17 FEET); THENCE N24°16'39"E 15.01 FEET; THENCE S65°43'21"E 75.50 FEET; THENCE S24°16'39"W 27.78 FEET; THENCE ALONG THE ARC OF A 60.00 FOOT RADIUS CURVE TO THE LEFT 46.12 FEET THROUGH A CENTRAL ANGLE OF 122°22'27" (CHORD: S21°52'39"W 44.89 FEET); THENCE S19°45'41"E 6.52 FEET; THENCE ALONG THE ARC OF A 88.00 FOOT RADIUS CURVE TO THE LEFT 37.78 FEET THROUGH A CENTRAL ANGLE OF 24°35'43" (CHORD: S32°03'35"E 37.49 FEET) TO A POINT OF REVERSE CURVE; THENCE ALONG THE ARC OF A 14.00 FOOT RADIUS CURVE TO THE RIGHT 16.77 FEET THROUGH A CENTRAL ANGLE OF 68°38'06" (CHORD: S10°02'24"E 15.79 FEET); THENCE S24°16'39"W 177.29 FEET; THENCE ALONG THE ARC OF A 84.00 FOOT RADIUS CURVE TO THE LEFT 31.25 FEET THROUGH A CENTRAL ANGLE OF 21°19'04" (CHORD: S13°37'07"W 31.07 FEET) TO A POINT OF REVERSE CURVE; THENCE ALONG THE ARC OF A 24.00 FOOT RADIUS CURVE TO THE RIGHT 35.26 FEET THROUGH A CENTRAL ANGLE OF 84°10'40" (CHORD: S45°12'55"W 32.17 FEET); THENCE S87°08'15"W 3.95 FEET; THENCE SOUTHEASTERLY ALONG THE ARC OF A 458.50 FOOT RADIUS NON-TANGENT CURVE TO THE LEFT (RADIUS BEARS: N86°38'15"E) 185.86 FEET THROUGH A CENTRAL ANGLE OF 20°43'33" (CHORD: S13°43'32"E 164.95 FEET) TO A POINT OF REVERSE CURVE; THENCE ALONG THE ARC OF A 2039.50 FOOT RADIUS CURVE TO THE RIGHT 1188.23 FEET THROUGH A CENTRAL ANGLE OF 33°22'51" (CHORD: S7°23'53"E 1171.49 FEET) TO THE POINT OF BEGINNING.

CONTAINS: 333.39 ACRES  
1,454,407 SQ. FT.  
# OF LOTS: 28  
# OF PARCELS: 3

DATE \_\_\_\_\_ SURVEYOR (See Seal Below) \_\_\_\_\_  
LICENSE NO. \_\_\_\_\_

## OWNERS ACKNOWLEDGMENT

STATE OF UTAH } S S  
COUNTY OF UTAH }

ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, PERSONALLY APPEARED BEFORE ME \_\_\_\_\_ WHO BEING BY ME DULY SWORN, DID PROVE TO ME ON THE BASIS OF OATH AND EVIDENCE TO BE THE PERSON(S) WHOSE NAME(S) IS/ARE SUBSCRIBED TO THE WITHIN INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE/SHE/IT/HEY EXECUTED THE SAME IN HIS/HER/THEIR AUTHORIZED CAPACITY(IES), AND THAT BY HIS/HER/THEIR SIGNATURE(S) ON THE INSTRUMENT THE PERSON(S), OR THE ENTITY UPON BEHALF OF WHICH THE PERSON(S) ACTED, EXECUTED THIS PLAT WITH FULL AUTHORITY OF THE OWNER(S).

I CERTIFY UNDER PENALTY OF PERJURY UNDER THE LAWS OF THE STATE OF UTAH THAT THE FOREGOING PARAGRAPH IS TRUE AND CORRECT.

WITNESS MY HAND AND OFFICIAL SEAL.

NOTARY PUBLIC FULL NAME: \_\_\_\_\_

COMMISSION NUMBER: \_\_\_\_\_

MY COMMISSION EXPIRES: \_\_\_\_\_

A NOTARY PUBLIC COMMISSIONED IN UTAH

## APPROVAL BY LEGISLATIVE BODY

THE CITY COUNCIL OF THE CITY OF SARATOGA SPRINGS, COUNTY OF UTAH, APPROVES THIS SUBDIVISION SUBJECT TO THE CONDITIONS AND RESTRICTIONS STATED HEREON, AND HEREBY ACCEPTS THE DEDICATION OF ALL STREETS, EASEMENTS, AND OTHER PARCELS OF LAND INTENDED FOR THE PUBLIC PURPOSE OF THE PERPETUAL USE OF THE PUBLIC.

THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 20\_\_\_\_.

CITY MAYOR \_\_\_\_\_ ATTEST: \_\_\_\_\_ CITY RECORDER (See Seal Below)

# QUAILHILL AT MT. SARATOGA PLAT P

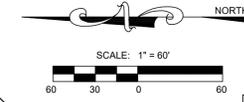
LOCATED IN THE WEST HALF OF SECTION 21, TOWNSHIP 5 SOUTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN CITY OF SARATOGA SPRINGS, UTAH COUNTY, UTAH

SURVEYOR'S SEAL	CITY ENGINEER SEAL	CLERK-RECORDER SEAL
SHEET 1 OF 3		

NORTH 1/4 CORNER OF SECTION 21, T5S, R1W, SLB&M (FOUND 1951 UTAH COUNTY MONUMENT)

SOUTH 1/4 CORNER OF SECTION 21, T5S, R1W, SLB&M (FOUND 2008 UTAH COUNTY MONUMENT)

QUARTER SECTION LINE-BASIS OF BEARING S0°17'59"W 5342.52 (MEASURED)

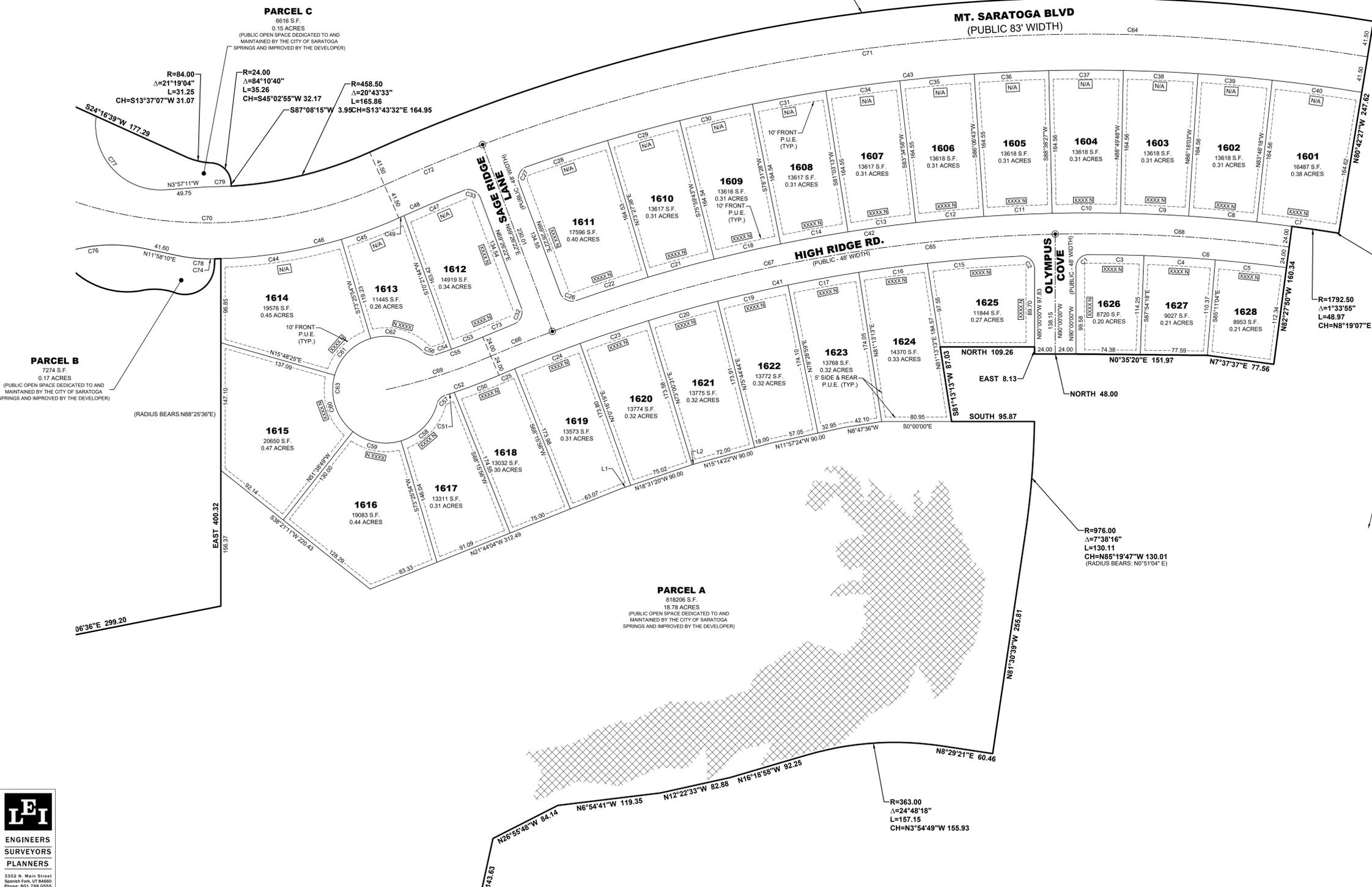


**LINE TABLE**

LINE	DIRECTION	LENGTH
L1	N18°31'20"W	11.95
L2	N18°31'20"W	3.03

**CURVE TABLE**

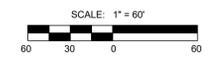
CURVE	RADIUS	DELTA	LENGTH	CHORD
C1	15.00	90°00'27"	23.56	N44°59'47"W 21.21
C2	15.00	92°34'39"	24.24	N43°42'41"E 21.68
C3	1744.50	2°05'16"	63.56	N1°03'05"E 63.56
C4	1744.50	2°43'14"	82.83	N3°27'19"E 82.82
C5	1744.50	2°43'14"	82.83	N6°10'33"E 82.82
C6	1744.50	7°31'43"	229.23	N3°46'18"E 229.06
C7	1792.50	2°52'23"	89.88	N7°39'53"E 89.87
C8	1792.50	2°31'45"	79.12	N4°57'49"E 79.12
C9	1792.50	2°31'45"	79.12	N2°26'05"E 79.12
C10	1792.50	2°31'45"	79.12	N0°05'40"W 79.12
C11	1792.50	2°31'45"	79.12	N2°37'25"W 79.12
C12	1792.50	2°31'45"	79.12	N5°09'10"W 79.12
C13	1792.50	2°31'45"	79.12	N7°40'55"W 79.12
C14	1792.50	2°31'45"	79.12	N10°12'39"W 79.12
C15	1744.50	3°34'26"	108.81	N4°21'52"W 108.80
C16	1744.50	2°37'42"	80.03	N7°27'56"W 80.02
C17	1744.50	2°44'14"	83.34	N10°08'54"W 83.34
C18	1792.50	2°31'45"	79.12	N12°44'24"W 79.12
C19	1744.50	2°44'15"	83.35	N12°53'08"W 83.34
C20	1744.50	2°44'13"	83.34	N15°37'23"W 83.33
C21	1792.50	2°31'45"	79.12	N15°16'09"W 79.12
C22	1792.50	2°47'01"	87.09	N17°55'32"W 87.08
C23	1744.50	2°44'11"	83.32	N18°21'35"W 83.31
C24	1744.50	2°39'49"	81.10	N21°03'35"W 81.09
C25	1744.50	0°38'51"	19.72	N22°42'55"W 19.72
C26	15.00	88°45'25"	23.24	S25°03'40"W 20.98
C27	15.00	91°09'04"	23.86	N64°59'06"W 21.43
C28	1956.50	2°52'13"	98.01	N17°56'28"W 98.00
C29	1956.50	2°31'49"	86.40	N15°16'27"W 86.39
C30	1956.50	2°31'47"	86.39	N12°44'39"W 86.38
C31	1956.50	2°31'47"	86.39	N10°12'52"W 86.38
C32	15.00	88°46'14"	23.24	S66°10'31"E 20.98
C33	15.00	91°09'04"	23.86	N23°51'50"E 21.43
C34	1956.50	2°31'47"	86.39	N7°41'04"W 86.38
C35	1956.50	2°31'47"	86.39	N5°09'17"W 86.38
C36	1956.50	2°31'47"	86.39	N2°37'30"W 86.38
C37	1956.50	2°31'47"	86.39	N0°05'42"W 86.38
C38	1956.50	2°31'47"	86.39	N2°26'05"E 86.38
C39	1956.50	2°31'47"	86.39	N4°57'53"E 86.38
C40	1956.50	3°03'47"	104.59	N7°45'07"E 104.58
C41	1744.50	20°27'42"	623.00	N12°48'30"W 619.70
C42	1792.50	26°51'12"	840.11	N5°53'27"W 832.44
C43	1956.50	28°42'08"	980.10	N5°03'31"W 969.89
C44	541.50	14°59'42"	141.72	S9°04'15"E 141.31
C45	541.50	7°36'30"	71.07	S20°19'42"E 71.02
C46	541.50	24°07'59"	227.24	S12°03'58"E 225.58
C47	1956.50	2°11'22"	74.76	N22°48'23"W 74.76
C48	1956.50	2°48'56"	81.16	N22°54'00"W 81.16
C49	1956.50	0°37'35"	6.40	N23°59'41"W 6.40
C50	703.50	4°30'16"	55.31	S20°47'12"E 55.29
C51	703.50	0°51'37"	10.56	S18°06'15"E 10.56
C52	703.50	5°21'54"	65.87	S20°21'24"E 65.85
C53	655.50	3°24'04"	38.91	S21°20'18"E 38.91
C54	655.50	1°38'39"	18.81	S18°48'57"E 18.81
C55	655.50	5°02'44"	57.72	S20°30'59"E 57.70
C56	15.00	62°15'02"	16.30	S13°07'54"W 15.51
C57	15.00	56°41'15"	14.84	N46°01'04"W 14.24
C58	61.50	57°47'38"	62.03	N45°27'54"W 59.44
C59	61.50	54°55'18"	58.95	N10°53'32"E 56.72
C60	61.50	67°27'13"	72.40	N72°04'48"E 68.29
C61	61.50	57°37'29"	61.85	S45°22'51"E 59.28
C62	61.50	60°49'31"	65.29	S13°50'39"W 62.27
C63	61.50	298°37'07"	320.53	N74°56'51"E 62.78
C64	1998.00	33°22'51"	1164.05	N7°23'53"W 1147.66
C65	1768.50	30°34'30"	943.74	N7°45'06"W 932.58
C66	1768.50	2°29'08"	76.72	N21°47'47"W 76.71
C67	1768.50	19°17'50"	595.63	N10°54'18"W 592.82
C68	1768.50	8°47'32"	271.39	N3°08'23"E 271.12
C69	679.50	10°45'49"	127.65	S17°39'26"E 127.46
C70	500.00	48°21'57"	422.07	S0°05'40"W 409.65
C71	1998.00	29°51'11"	1041.03	N5°38'02"W 1029.29
C72	1998.00	3°31'40"	123.02	N22°19'28"W 123.00
C73	1792.50	1°14'56"	39.07	N22°24'53"W 39.07
C74	541.50	0°47'44"	7.52	S0°26'30"E 7.52
C75	175.00	32°42'55"	99.92	N4°23'17"W 98.57
C76	75.00	101°34'20"	132.96	S46°49'58"W 116.22
C77	167.00	12°00'51"	35.02	S5°57'46"W 34.95
C78	458.50	3°23'26"	27.13	S1°40'02"E 27.13



**LEI**  
ENGINEERS  
SURVEYORS  
PLANNERS  
3302 N. Main Street  
Spanish Fork, UT 84606  
Phone: 801.798.9393  
Fax: 801.798.9393  
office@le-i.com  
www.le-i.com

**QUAILHILL AT MT. SARATOGA PLAT P**  
LOCATED IN THE SOUTH HALF OF SECTION 21, TOWNSHIP 5 SOUTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN CITY OF SARATOGA SPRINGS, UTAH COUNTY, UTAH  
SHEET 2 OF 3

This form approved by Utah County and the municipalities therein.



R=375.00  
Δ=37°18'29"  
L=244.18  
CH=N37°47'53"W 239.89

**PARCEL A**  
815206 S.F.  
18.78 ACRES  
(PUBLIC OPEN SPACE DEDICATED TO AND MAINTAINED BY THE CITY OF SARATOGA SPRINGS AND IMPROVED BY THE DEVELOPER)

**PARCEL B**  
7274 S.F.  
0.17 ACRES  
(PUBLIC OPEN SPACE DEDICATED TO AND MAINTAINED BY THE CITY OF SARATOGA SPRINGS AND IMPROVED BY THE DEVELOPER)

**PARCEL C**  
6616 S.F.  
0.15 ACRES  
(PUBLIC OPEN SPACE DEDICATED TO AND MAINTAINED BY THE CITY OF SARATOGA SPRINGS AND IMPROVED BY THE DEVELOPER)

EAST 400.32  
156.37 147.10 96.85

**1615**  
20650 S.F.  
0.47 ACRES

**1614**  
19576 S.F.  
0.45 ACRES

**1616**  
19083 S.F.  
0.44 ACRES

**1613**  
11445 S.F.  
0.26 ACRES

**1617**  
13311 S.F.  
0.31 ACRES

**1612**  
14919 S.F.  
0.34 ACRES

**1618**  
13032 S.F.  
0.30 ACRES

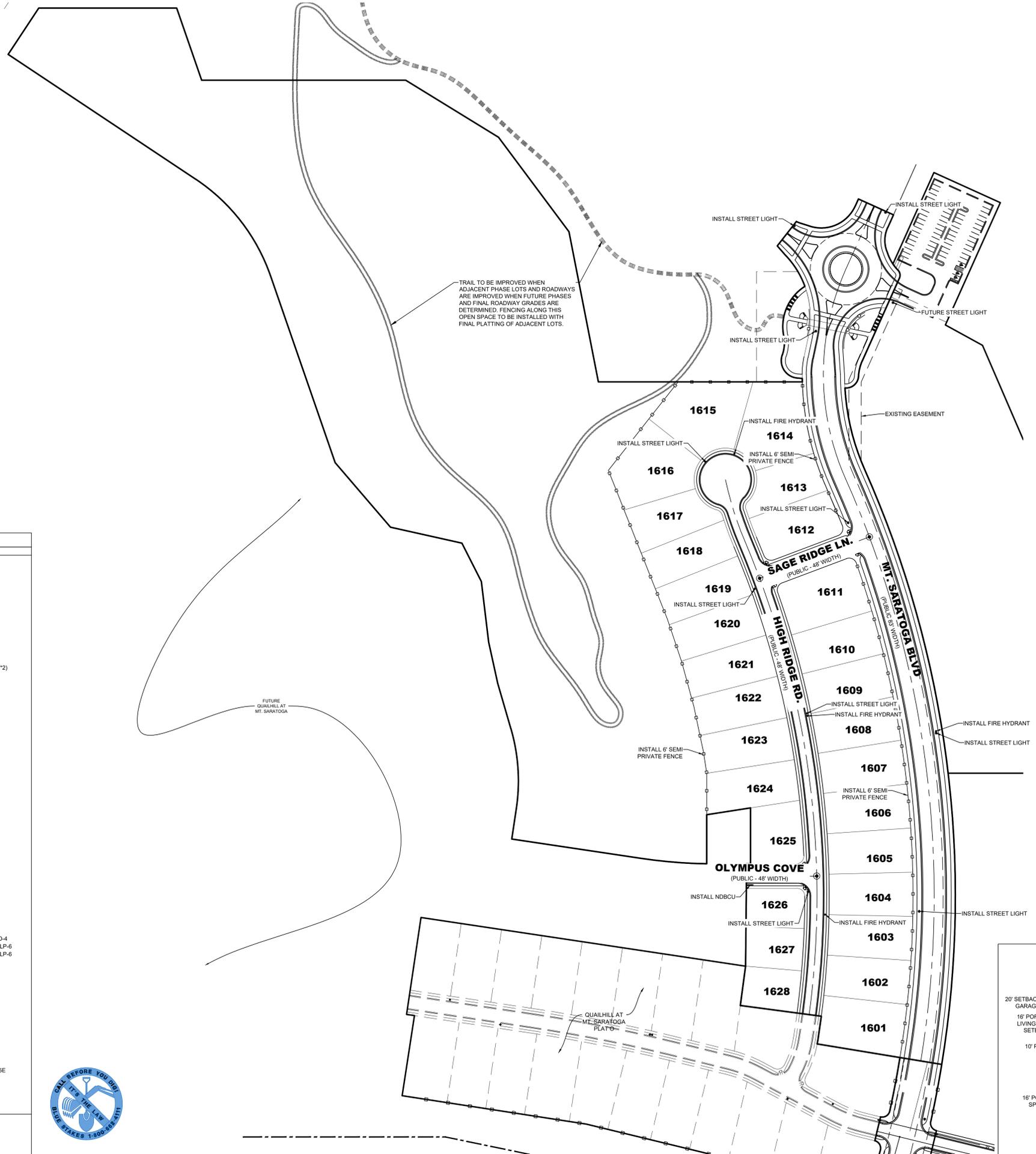
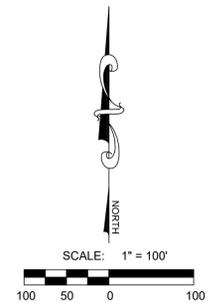
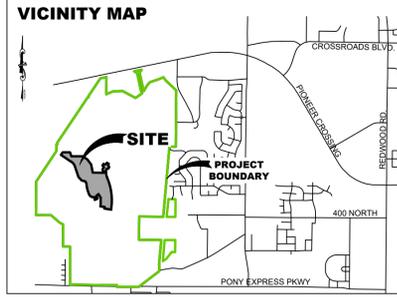
R=458.50  
Δ=20°43'33"  
L=165.86  
CH=S13°43'32"E 164.95  
(RADIUS BEARS: N86°38'15" E)

# QUAILHILL AT MT. SARATOGA PLAT P

LOCATED IN THE WEST HALF OF SECTION 21, TOWNSHIP 5 SOUTH,  
RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN  
CITY OF SARATOGA SPRINGS, UTAH COUNTY, UTAH



This form approved by Utah County and the municipalities therein.



**LEGEND**

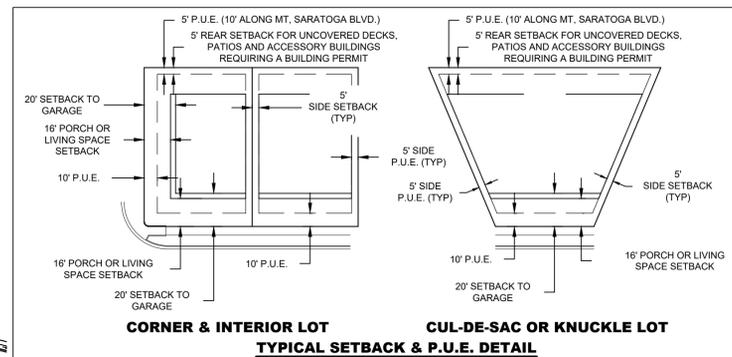
EXISTING	PROPOSED	DETAILS
---	---	BOUNDARY LINE
---	---	STREET CENTERLINE
---	---	EASEMENT LINE
---	---	LOT LINES
---	---	SEWER PIPE
---	---	SEWER MANHOLE
---	---	4" SEWER SERVICE
---	---	STORM DRAIN PIPE (RCP)
---	---	STORM DRAIN MANHOLE
---	---	CURB INLET
---	---	COMBO BOX
---	---	4x4' CATCH BASIN
---	---	3x3' CATCH BASIN
---	---	INLET/OUTLET W/ GRATE
---	---	CULINARY WATER PIPE
---	---	45" PIPE ELBOW (W)
---	---	22.5" PIPE ELBOW (W)
---	---	11.25" PIPE ELBOW (W)
---	---	FIRE HYDRANT
---	---	3/4" SERVICE & METER (W)
---	---	PRV (W)
---	---	AIR-VAC VALVE (W)
---	---	2" BLOW-OFF (W)
---	---	2" TEMP. BLOW-OFF (W)
---	---	VALVE (W & SW)
---	---	TEE
---	---	CROSS
---	---	SECONDARY WATER PIPE
---	---	45" PIPE ELBOW (SW)
---	---	22.5" PIPE ELBOW (SW)
---	---	11.25" PIPE ELBOW (SW)
---	---	1" SINGLE SW SERVICE
---	---	1-1/2" DUAL SW SERVICE
---	---	SW SERVICE TO PARKS
---	---	AIR-VAC VALVE (SW)
---	---	BACKFLOW PREVENTER
---	---	2" BLOW-OFF (SW)
---	---	2" TEMP. BLOW-OFF (SW)
---	---	30" C&G (COLLECTOR)
---	---	24" C&G (LOCAL)
---	---	24" SHED C&G
---	---	SIDEWALK
---	---	STOP SIGN
---	---	STREET SIGN
---	---	MONUMENT
---	---	SPRINKLER CONDUIT
---	---	FENCE
---	---	STREET LIGHT LOCAL
---	---	STREET LIGHT COLLECTOR
---	---	POWER POLE
---	---	DITCH
---	---	FIBER OPTIC
---	---	GAS
---	---	OVERHEAD POWER
---	---	FLOW ARROW
---	---	CONTOURS
---	---	100 YEAR FLOOD ROUTE
---	---	MATCH LINE
---	---	DRIVE APPROACH
---	---	ADA RAMP
---	---	TRAIL

**NOTES**

1. A RIGHT-OF-WAY ENCROACHMENT PERMIT MUST BE OBTAINED FROM THE CITY OF SARATOGA SPRINGS PRIOR TO DOING ANY WORK IN THE EXISTING RIGHT-OF-WAY. CONTACT MARK EDWARDS AT 801-766-9793 EXT. 118.

**PLAT P DATA TABLE**

DESCRIPTION	QUANTITY	U/M
3" ASPHALT	155020	SOFT.
UNTREATED BASE COURSE	155020	SOFT.
GRANULAR BORROW	155020	SOFT.
CURB & GUTTER	7258	LFT.
SIDEWALK	7258	LFT.
ADA RAMPS	6	EA.
STREET MONUMENTS	3	EA.



**QUAILHILL @ MT. SARATOGA**  
 SARATOGA SPRINGS, UTAH  
 FINAL PLAT P  
 SITE PLAN

REVISIONS

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LEI PROJECT #: 2014-1664  
 DRAWN BY: BAP  
 DESIGNED BY: NKW  
 SCALE: 1" = 100'  
 DATE: 06/11/2020  
 SHEET 2

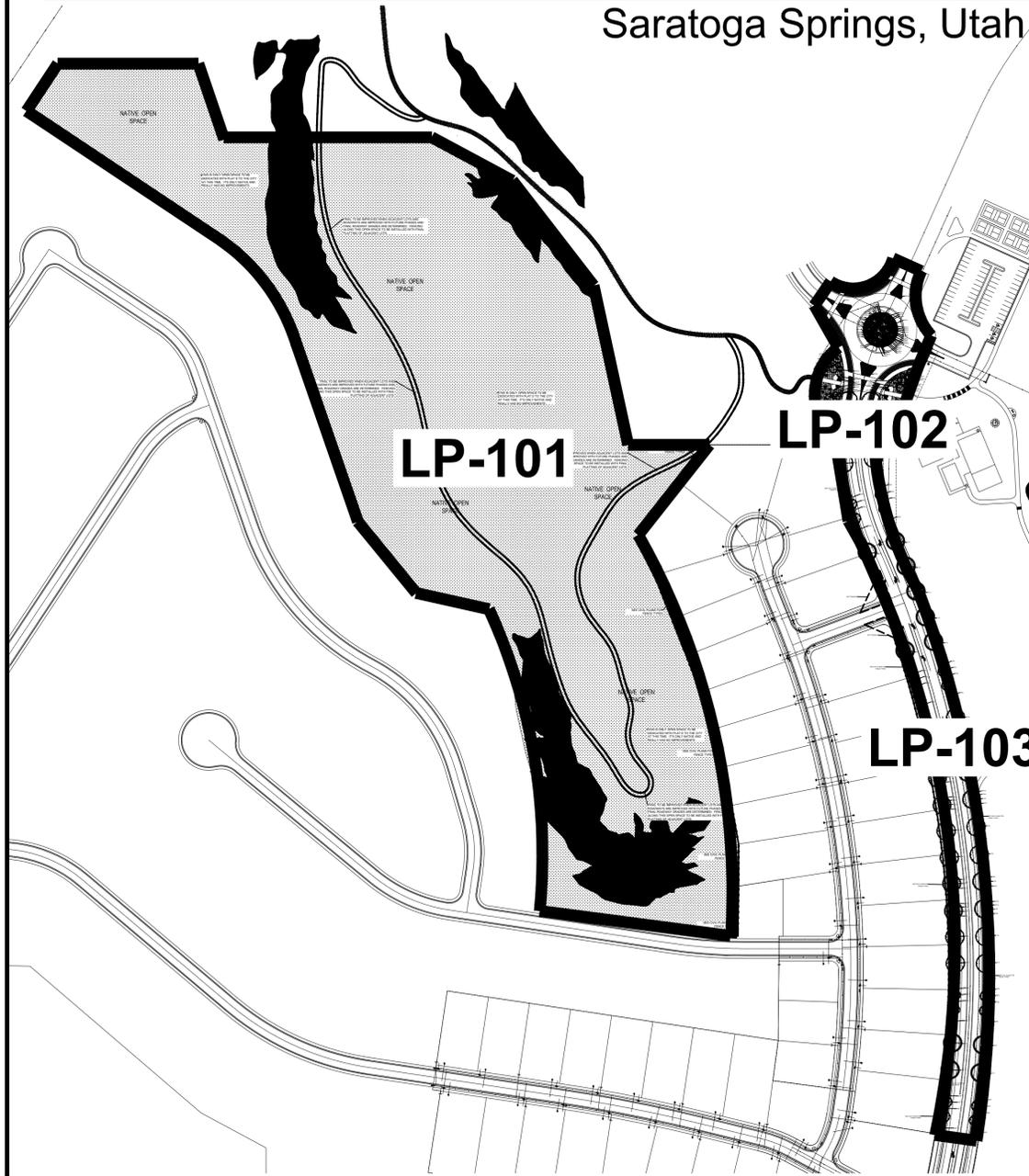
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(1) CULINARY & SECONDARY WATER LINES LESS THAN 12" TO BE GATE VALVES. LINES 12" & LARGER REQUIRE BUTTERFLY VALVES  
 (2) SEE PLAN & PROFILE FOR SIZE & MATERIAL  
 (3) SEE LANDSCAPE DESIGN FOR NUMBER OF CONDUITS & SIZES  
 (4) SEE PLAN & PROFILE FOR WIDTH & DESIGN MATERIALS  
 (5) SEWER SERVICE MINIMUM SLOPE 2%

# PLAT P

Saratoga Springs, Utah



## SITE REQUIREMENT CALCULATIONS

TREE COUNT:	REQ'D:	PROVIDED:
<b>MT. SARATOGA BOULEVARD:</b>		
(1 TREES / 50 LN FT)		
MT. SARATOGA BOULEVARD STREET TREES (1255 LINEAR FT. WEST SIDE)	25	25
MT. SARATOGA BOULEVARD STREET TREES (1398 LINEAR FT. EAST SIDE)	28	28

LANDSCAPED AREA:	PROVIDED:
TWO TYPES AND SIZES OF ROCK	PROVIDED
STREET TREES IN COMPLIANCE WITH TREE SELECTION GUIDE	PROVIDED
AT LEAST 3" DIAMETER AROUND TREES	PROVIDED
CONCRETE EDGING BETWEEN DIFFERENT MATERIALS	PROVIDED
MINIMUM 25% OF SHRUBS TO BE 5 GAL.	PROVIDED
MINIMUM 50% OF TREES AND SHRUBS ARE DROUGHT TOLERANT	PROVIDED

FOR LACK OF REDUNDANCY REFER TO CIVIL PLANS AND APPROVED COMMUNITY PLANS FOR OWNERSHIP AND MAINTENANCE RESPONSIBILITIES.

## PLANT SCHEDULE

TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL
Pa	16	Pyrus calleryana 'Aristocrat' TM	Aristocrat Flowering Pear	B & B	2' Cal
Tc	11	Tilia cordata	Littleleaf Linden	B & B	2' Cal
<b>DECIDUOUS TREES</b>	<b>QTY</b>	<b>BOTANICAL NAME</b>	<b>COMMON NAME</b>	<b>CONT</b>	<b>CAL</b>
At	8	Acer rubrum 'October Glory'	October Glory Red Maple	B & B	2' Cal
AgA	2	Amelanchier x grandiflora 'Autumn Brilliance'	'Autumn Brilliance' Serviceberry	B & B	Multi-trunked
Co	18	Celtis occidentalis	Common Hackberry	B & B	2' Cal
M/m	2	Malus x 'Indian Magic'	Indian Magic Crabapple	B & B	2' Cal
Zs/m	9	Zelkova serata 'Musashino'	Sawleaf Zelkova	B & B	2' Cal
<b>EVERGREEN TREES</b>	<b>QTY</b>	<b>BOTANICAL NAME</b>	<b>COMMON NAME</b>	<b>CONT</b>	<b>CAL</b>
PaT	23	Picea omorika 'Riverside'	Riverside Serbian Spruce	B & B	2' Cal
<b>SHRUBS</b>	<b>QTY</b>	<b>BOTANICAL NAME</b>	<b>COMMON NAME</b>	<b>CONT</b>	<b>CAL</b>
Rm's	15	Rosa x 'Meikrotal'	Scarlet Meidland Rose	5 gal	
<b>DECIDUOUS SHRUBS</b>	<b>QTY</b>	<b>BOTANICAL NAME</b>	<b>COMMON NAME</b>	<b>CONT</b>	<b>CAL</b>
Cs/c	16	Cornus sericea 'Cardinal'	Cardinal Red-Twig Dogwood	5 gal	
Fik	26	Forsythia x intermedia 'Kolgold' TM	Magical Gold Forsythia	5 gal	
Pp	32	Potentilla fruticosa 'Goldfinger'	Goldfinger Potentilla	5 gal	
Pb/p	29	Prunus besseyi 'P0115' TM	Pawnee Buttes Sand Cherry	5 gal	
R4	64	Rosa x 'Nearly Wild'	Nearly Wild Rose	5 gal	
Sg	32	Spiraea x bumalda 'Goldflame'	Goldflame Spirea	5 gal	
<b>EVERGREEN SHRUBS</b>	<b>QTY</b>	<b>BOTANICAL NAME</b>	<b>COMMON NAME</b>	<b>CONT</b>	<b>CAL</b>
Cps	14	Cytisus purgans 'Spanish Gold'	Spanish Gold Broom	5 gal	
Psh	16	Pinus sylvestris 'Hillside Creeper'	Hillside Creeper Scotch Pine	5 gal	
Yfc	12	Yucca filamentosa 'Color Guard'	Color Guard Adam's Needle	5 gal	
<b>PERENNIALS</b>	<b>QTY</b>	<b>BOTANICAL NAME</b>	<b>COMMON NAME</b>	<b>CONT</b>	<b>CAL</b>
An/p	21	Aster novae-angliae 'Purple Dome'	Purple Dome New England Aster	1 gal	
<b>GRASSES</b>	<b>QTY</b>	<b>BOTANICAL NAME</b>	<b>COMMON NAME</b>	<b>CONT</b>	<b>CAL</b>
CaK	42	Calamagrostis x acutiflora 'Karl Foerster'	Feather Reed Grass	1 gal	
Hs's	21	Helictotrichon sempervirens 'Sapphire'	Blue Oat Grass	1 gal	
Pv/n	76	Panicum virgatum 'North Wind'	Northwind Switch Grass	1 gal	
Pyc	24	Pennisetum alopecuroides 'Trit PA18'	Coyenne Sterile Fountaingrass	1 gal	

## REFERENCE NOTES SCHEDULE

SYMBOL	LANDSCAPE DESCRIPTION	QTY
L-01	SODDED LAWN AREA LAWN AREAS SHALL BE SOD. NEW TURF AREAS TO BE SODDED WITH 18% 'BLUESTAR' KENTUCKY BLUEGRASS, 19% 'MARQUIS' KENTUCKY BLUEGRASS, 17% 'NEWPORT' KENTUCKY BLUEGRASS, 17% 'TOUCHDOWN' KENTUCKY BLUEGRASS, 16% 'APM' PERENNIAL RYEGRASS, 13% 'ACCENT' PERENNIAL RYEGRASS OR APPROVED EQUAL AT A RATE OF 220 LBS. PER ACRE. FINE LEVEL ALL AREAS PRIOR TO LAYING SOD. ALL LAWN AREAS SHALL BE IRRIGATED WITH 100% COVERAGE BY POP-UP SPRAY HEADS AND GEAR-DRIVEN ROTORS. ALL DECIDUOUS AND CONIFER TREES PLANTED WITHIN SOD AREAS SHALL HAVE A FOUR FOOT (4") DIAMETER TREE RING COVERED WITH CHOCOLATE BROWN BARK MULCH. NO SHREDDED FINES. SUBMIT SAMPLES TO BE APPROVED BY LANDSCAPE ARCHITECT AND OWNER BEFORE INSTALLATION.	21,705 sf
L-02	MULCHED AREAS SHALL INCLUDE THE TREE RINGS AROUND DECIDUOUS AND EVERGREEN TREES WITHIN THE LAWN AREAS. MULCH SHALL BE APPLIED TO A DEPTH OF THREE INCHES (3") AT THE OUTER EDGE OF TREE RINGS, TAPERING DOWN TO THE TREE TRUNK, AND SHALL BE CHOCOLATE BROWN SHREDDED BARK. ALL TREES AND SHRUBS WITHIN MULCH AREAS SHALL BE WATERED WITH POINT-SOURCE DRIP IRRIGATION. PRE-EMERGENT WILL BE ADDED FOR WEED CONTROL. USE PREEN EXTENDED CONTROL WEED PREVENTER. USE AS SPECIFIED.	1,036 sf
L-03	3/4" QUARRY GRAVEL ROCK (MATCH SAME TYPE SIZE AND COLOR OF ROCK MULCH IN THE EARLIER PHASES OF THIS PROJECT - DECORATIVE ROCK AREAS SHALL INCLUDE THE PLANTER BEDS AS SHOWN. APPLY DECORATIVE ROCK TO A MINIMUM DEPTH OF THREE INCHES (3") OVER ENTIRE AREA. NO ROCK WITHIN 4" OF BASE OF TREE. ALL TREES AND SHRUBS WITHIN DECORATIVE ROCK AREAS SHALL BE WATERED WITH POINT-SOURCE DRIP IRRIGATION. PRE-EMERGENT WILL BE ADDED FOR WEED CONTROL. USE PREEN EXTENDED CONTROL WEED PREVENTER. USE AS SPECIFIED.	12,264 sf
L-05	1" SALT LAKE PEBBLE ROCK (MATCH SAME TYPE SIZE AND COLOR OF ROCK MULCH IN THE EARLIER PHASES OF THIS PROJECT - DECORATIVE ROCK AREAS SHALL INCLUDE THE PLANTER BEDS AS SHOWN. APPLY DECORATIVE ROCK TO A MINIMUM DEPTH OF THREE INCHES (3") OVER ENTIRE AREA. NO ROCK WITHIN 4" OF BASE OF TREE. ALL TREES AND SHRUBS WITHIN DECORATIVE ROCK AREAS SHALL BE WATERED WITH POINT-SOURCE DRIP IRRIGATION. PRE-EMERGENT WILL BE ADDED FOR WEED CONTROL. USE PREEN EXTENDED CONTROL WEED PREVENTER. USE AS SPECIFIED.	11,313 sf
L-07	BOULDERS - DECORATIVE	12
L-09	UNDISTURBED NATIVE AREA AREA TO BE LEFT UNDISTURBED AND NATURAL. IF AREAS ARE DISTURBED DURING CONSTRUCTION, THEY WILL NEED TO BE REPLANTED WITH THE FOLLOWING REVEGETATION SEED MIX: REVEGETATION MIX SEE NON IRRIGATED - NATIVE REVEGETATION SEED MIX ANY SLOPE WITH A SLOPE GREATER THAN THIRTY PERCENT (30%) THAT IS SEEDED WITH REVEGETATION SEED - SHALL HAVE APPROVED EROSION CONTROL MATTING OR FABRIC INSTALLED OVER SEED AREA. THE PLAN SHALL SPECIFY SLOPE STABILIZATION AND EROSION CONTROL MEASURES THAT WILL BE IMPLEMENTED WHILE NEW VEGETATION IS BEING ESTABLISHED. SEE EROSION CONTROL BLANKET DETAILS AND SPECIFICATIONS ON <a href="http://www.erosioncontrolblanket.com/">HTTP://WWW.EROSIONCONTROLBLANKET.COM/</a>	817,612 sf

\*\*\*THE LANDSCAPE ARCHITECT PROVIDES QUANTITY AND FOOTAGE INFORMATION AS AN AIDE TO THE BIDDING LANDSCAPER. QUANTITIES, SPECIES, AND SPECIFICATIONS HAVE BEEN SUBMITTED AND APPROVED BY THE MUNICIPALITIES - ALL SUBSTITUTIONS AND LESSER QUANTITIES MUST BE APPROVED BY THE LANDSCAPE ARCHITECT AND EDGE HOMES MANAGEMENT. IT IS ENTIRELY THE RESPONSIBILITY OF THE BIDDERS TO CALCULATE THE MATERIAL BASED ON THE GRADE CONTOURS, INCLUDING ALL LANDSCAPING RETAINING WALLS INDICATED ON THE CIVIL AS WELL AS THE LANDSCAPING DRAWINGS. THESE CIVIL, LANDSCAPING, AND IRRIGATION DRAWING WILL NEED TO BE REVIEWED PRIOR TO SUBMITTING A BID FOR THE PROJECT. ANY SHORTAGES OF MATERIALS WILL NOT BE PAID FOR BY EDGE HOMES OR THE LANDSCAPE ARCHITECT

ISSUE DATE	PROJECT NUMBER	PLAN INFORMATION	PROJECT INFORMATION	DEVELOPER / PROPERTY OWNER / CLIENT	LANDSCAPE ARCHITECT / PLANNER	LICENSE STAMP	DRAWING INFO																							
06-22-2020	UT19045	<p>811 BLUE STAKES OF UTAH UTILITY NOTIFICATION CENTER, INC. 1-800-662-4111 www.bluestakes.org</p>	<p><b>THE RIDGE AT MT. SARATOGA</b> VILLAGE TWO - PLAT P SARATOGA SPRINGS, UTAH</p>	<p>Developer / Property Owner: JOE PIERCE DCP SARATOGA, LLC 2753 E BROADWAY RD. STE 101 MESA, AZ 85213</p>	<p>PKJ DESIGN GROUP Landscape Architecture • Planning &amp; Visualization 3450 N. TRIUMPH BLVD, SUITE 102 LEHI, UTAH 84043 (801) 960-2698 www.pkjdesigngroup.com</p>	<p>LANDSCAPE PLAN PRELIMINARY PLANS NOT FOR CONSTRUCTION LP-100</p>	<p>DATE: 06/22/2020</p> <p>DRAWN: JTA CHECKED: KBA PLOT DATE: 6/22/2020</p>																							
<table border="1"> <thead> <tr> <th>NO.</th> <th>REVISION</th> <th>DATE</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>XXXX</td> <td>XX-XX-XX</td> </tr> <tr> <td>2</td> <td></td> <td></td> </tr> <tr> <td>3</td> <td></td> <td></td> </tr> <tr> <td>4</td> <td></td> <td></td> </tr> <tr> <td>5</td> <td></td> <td></td> </tr> <tr> <td>6</td> <td></td> <td></td> </tr> <tr> <td>7</td> <td></td> <td></td> </tr> </tbody> </table>	NO.	REVISION	DATE	1	XXXX	XX-XX-XX	2			3			4			5			6			7			<p>0' 75' 150' 300' 600'</p> <p>GRAPHIC SCALE: 1" = 150'</p>				<p>Client / Engineer: LEI-ENGINEERING 3302 N. Main Street Spanish Fork, Ut. 84660 801-798-0555 ext. 226 www.lei-eng.com</p>	
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# PLAT P

## Saratoga Springs, Utah

### LANDSCAPE PLAN SPECIFICATIONS

#### PART I - GENERAL

##### 1.1 SUMMARY

A. THIS SECTION INCLUDES LANDSCAPE PROCEDURES FOR THE PROJECT INCLUDING ALL LABOR, MATERIALS, AND INSTALLATION NECESSARY, BUT NOT LIMITED TO, THE FOLLOWING:

- 1.1 SUMMARY
- 1.2 SITE CONDITIONS
- 1.3 PERMITS
- 1.4 PLANT DELIVERY, QUALITY, AND AVAILABILITY
- 1.5 FINAL INSPECTION
- 1.6 LANDSCAPE SUBSTANTIAL COMPLETION
- 1.7 WARRANTY

##### 1.2 SITE CONDITIONS

- A. EXAMINATION: BEFORE SUBMITTING A BID, EACH CONTRACTOR SHALL CAREFULLY EXAMINE THE CONTRACT DOCUMENTS; SHALL VISIT THE SITE OF THE WORK; SHALL FULLY INFORM THEMSELVES AS TO ALL EXISTING CONDITIONS AND LIMITATIONS; AND SHALL INCLUDE IN THE BID THE COST OF ALL ITEMS REQUIRED BY THE CONTRACT DOCUMENTS ARE AT A VARIANCE WITH THE APPLICABLE LAWS, BUILDING CODES, RULES, REGULATIONS, OR CONTAIN OBVIOUS ERRONEOUS OR UNCOORDINATED INFORMATION, THE CONTRACTOR SHALL PROMPTLY NOTIFY THE PROJECT REPRESENTATIVE AND THE NECESSARY CHANGES SHALL BE ACCOMPLISHED BY ADDENDUM.
- B. UPON VISITING OF SITE AND REVIEW OF GRADING & DRAINAGE DRAWINGS- THE CONTRACTOR SHALL INFORM THE OWNER IN WRITING OF ANY AREAS THAT SHALL BE CONSIDERED AN ADDITIONAL COST OR SERVICE ABOVE THE REQUESTED SCOPE OF WORK.
- C. PROTECTION: CONTRACTOR TO CONDUCT THE WORK IN SUCH A MANNER TO PROTECT ALL EXISTING UNDERGROUND UTILITIES OR STRUCTURES. CONTRACTOR TO REPAIR OR REPLACE ANY DAMAGED UTILITY OR STRUCTURE USING IDENTICAL MATERIALS TO MATCH EXISTING AT NO EXPENSE TO THE OWNER.
- D. IRRIGATION SYSTEM: DO NOT BEGIN PLANTING UNTIL THE IRRIGATION SYSTEM IS COMPLETELY INSTALLED, IS ADJUSTED FOR FULL COVERAGE AND IS COMPLETELY OPERATIONAL.

##### 1.3 PERMITS

- A. BLUE STAKE/ DIG LINE: WHEN DIGGING IS REQUIRED, "BLUE STAKE" OR "DIG LINE" THE WORK SITE AND IDENTIFY THE APPROXIMATE LOCATION OF ALL KNOWN UNDERGROUND UTILITIES OR STRUCTURES.

##### 1.4 PLANT DELIVERY, QUALITY, AND AVAILABILITY

- A. UNAUTHORIZED SUBSTITUTIONS WILL NOT BE ACCEPTED. IF PROOF IS SUBMITTED THAT SPECIFIC PLANTS OR PLANT SIZES ARE UNOBTAINABLE, WRITTEN SUBSTITUTION REQUESTS WILL BE CONSIDERED FOR THE NEAREST EQUIVALENT PLANT OR SIZE. ALL SUBSTITUTION REQUESTS MUST BE MADE IN WRITING TO THE LANDSCAPE ARCHITECT AND PREFERABLY BEFORE THE BID DUE DATE.

##### 1.5 FINAL INSPECTION

- A. ALL PLANTS WILL BE INSPECTED AT THE TIME OF FINAL INSPECTION PRIOR TO RECEIVING A LANDSCAPE SUBSTANTIAL COMPLETION FOR CONFORMANCE TO SPECIFIED PLANTING PROCEDURES, AND FOR GENERAL APPEARANCE AND VITALITY. ANY PLANT NOT APPROVED BY THE PROJECT REPRESENTATIVE WILL BE REJECTED AND REPLACED IMMEDIATELY.

##### 1.6 LANDSCAPE SUBSTANTIAL COMPLETION

- A. A SUBSTANTIAL COMPLETION CERTIFICATE WILL ONLY BE ISSUED BY THE PROJECT REPRESENTATIVE FOR "LANDSCAPE AND IRRIGATION" IN THEIR ENTIRETY. SUBSTANTIAL COMPLETION WILL NOT BE PROPORTIONED TO BE DESIGNATED AREAS OF A PROJECT.

##### 1.7 WARRANTY

- A. ALL WORK DONE AND ALL MATERIALS INSTALLED IN CONNECTION WITH ONE OF OUR JOBS SHOULD BE OF HIGH QUALITY AND THAT ALL TRADE CONTRACTORS SHOULD STAND BEHIND THE QUALITY OF THEIR WORK. THEREFORE WE REQUIRE ALL TRADE CONTRACTORS TO WARRANT THE QUALITY (MATERIAL AND WORKMANSHIP) OF THEIR WORK FOR 90 DAYS AFTER FINAL INSTALLATION.
- B. THE TRADE CONTRACTOR SHALL HAVE FOURTEEN (14) DAYS IN WHICH TO CORRECT ANY WARRANTY ISSUES. THE OWNER HAS THE RIGHT TO CORRECT ANY ISSUES THAT HAVE NOT BEEN CORRECTED BY THE RESPONSIBLE TRADE CONTRACTOR WITHIN THE FOURTEEN (14) DAY PERIOD. TRADE CONTRACTOR WILL BE BACK-CHARGED AT THE RATE OF \$35.00 PER MAN HOUR (MINIMUM CHARGE OF \$140.00), PLUS THE COST OF ANY MATERIALS AND EQUIPMENT, FOR WARRANTY ISSUES THE OWNER OR AGENTS CORRECT. IN ADDITION, ANY ISSUE NOT CORRECTED BY THE TRADE CONTRACTOR WITHIN FOURTEEN (14) DAYS MAY RESULT IN A FINE OF \$50 PER DAY STARTING ON DAY 15, AND CONTINUING DAILY UNTIL THE ISSUE HAS BEEN CORRECTED. THE OWNER MAY ALSO WITHHOLD CHECKS UNTIL ANY OUTSTANDING (PAST 14 DAYS) WARRANTY ISSUES HAVE BEEN COMPLETED.
- C. UPON COMPLETION OF ANY WARRANTY ISSUES, IT IS THE TRADE CONTRACTORS RESPONSIBILITY TO REPORT IN WRITING BACK TO THE OWNER AND EDGE WARRANTY OFFICE THAT THE ISSUES HAVE BEEN 100% COMPLETED.

#### PART II - PRODUCTS

##### 2.1 LANDSCAPE MATERIALS

- A. NO TREE STAKING UNLESS WARRANTY REQUIRES, OR GRADE IS LAGER THAN 4:1 SLOPE.
- B. TREE WRAP: TREE WRAP IS NOT TO BE USED.
- C. MULCH: SEE PLANS. ALL PLANTER BEDS TO RECEIVE A MINIMUM 3" LAYER FOR TREES, SHRUBS, AND PERENNIALS AND 1" FOR GROUNDCOVERS.
- D. TREE, SHRUB, AND GRASS BACKFILL MIXTURE: WHEN BACKFILL MIXTURE IS INADEQUATE FOR PROPER PLANT GROWTH FOLLOW EDGE HOMES SPECIFICATIONS.
- E. 2" OF TOPSOIL TO BE IMPLEMENTED IN ALL GRASS AND PERENNIAL AREAS AND CONCENTRATED IN SHRUB AND TREE PLANTING HOLE LOCATIONS.
- F. MONTH OLD AS SPECIFIED ON PLANS (OR APPROVED EQUAL) THAT HAS BEEN CUT FRESH THE EVENING PRIOR TO INSTALLATION. ONLY SOD THAT HAS BEEN GROWN ON A COMMERCIAL SOD FARM SHALL BE USED. ONLY USE SOD FROM A SINGLE SOURCE.
- G. LANDSCAPE CUT EDGING: SHOVEL CUT EDGE AT AN ANGLE TO KEEP MULCH IN LANDSCAPE BED.

#### PART III - EXECUTION

##### 3.1 GRADING

- A. TOPSOIL PREPARATION: GRADE PLANTING AREAS ACCORDING TO THE GRADING PLAN. ELIMINATE UNEVEN AREAS AND LOW SPOTS. PROVIDE FOR PROPER GRADING AND DRAINAGE.

- B. COMPACTION: COMPACTION UNDER HARD SURFACE AREAS (ASPHALT PATHS AND CONCRETE SURFACES) SHALL BE NINETY-FIVE (95) PERCENT. COMPACTION UNDER PLANTING AREAS SHALL BE BETWEEN EIGHTY-FIVE (85) AND NINETY (90) PERCENT.

##### 3.2 TURF GRADING

- A. THE SURFACE ON WHICH THE SOD IS TO BE LAID SHALL BE FIRM AND FREE FROM FOOTPRINTS, DEPRESSIONS, OR UNDULATIONS OF ANY KIND. THE SURFACE SHALL BE FREE OF ALL MATERIALS LARGER THAN 1/2" IN DIAMETER.
- B. THE FINISH GRADE OF THE SOIL ADJACENT TO ALL SIDEWALKS, MOW-STRIPS, ETC. PRIOR TO THE LAYING OF SOD, SHALL BE SET SUCH THAT THE CROWN OF THE GRASS SHALL BE AT THE SAME LEVEL AS THE ADJACENT CONCRETE OR HARD SURFACE. NO EXCEPTIONS.

##### 3.3 PLANTING OPERATIONS

- A. REVIEW THE EXACT LOCATIONS OF ALL TREES AND SHRUBS WITH THE PROJECT REPRESENTATIVE FOR APPROVAL PRIOR TO THE DIGGING OF ANY HOLES. PREPARE ALL HOLES ACCORDING TO THE DETAILS ON THE DRAWINGS.
- B. WATER PLANTS IMMEDIATELY UPON ARRIVAL AT THE SITE. MAINTAIN IN MOIST CONDITION UNTIL PLANTED.
- C. BEFORE PLANTING, LOCATE ALL UNDERGROUND UTILITIES PRIOR TO DIGGING. DO NOT PLACE PLANTS ON OR NEAR UTILITY LINES.
- D. THE TREE PLANTING HOLE SHOULD BE THE SAME DEPTH AS THE ROOT BALL, AND THREE TIMES THE DIAMETER OF THE ROOT BALL.
- E. TREES MUST BE PLACED ON UNDISTURBED SOIL AT THE BOTTOM OF THE PLANTING HOLE.
- F. THE TREE HOLE DEPTH SHALL BE DETERMINED SO THAT THE TREE MAY BE SET SLIGHTLY HIGH OF FINISH GRADE, 1" TO 2" ABOVE THE BASE OF THE TRUNK FLARE, USING THE TOP OF THE ROOT BALL AS A GUIDE.
- G. PLANT IMMEDIATELY AFTER REMOVAL OF CONTAINER FOR CONTAINER PLANTS.
- H. SET TREE ON SOIL AND CUT AND REMOVE TOP ONE THIRD OF THE BURLAP AND FOLD REMAINING BURLAP DOWN INTO THE HOLE. REMOVE AT LEAST THE TOP HALF OF WIRE BASKET, PUSH THE REMAINING BASKET INTO THE BOTTOM OF THE HOLE. REMOVE TWINE, WRAPPINGS, ETC. BEFORE BEGINNING AND BACKFILLING OPERATIONS. DO NOT USE PLANTING STOCK IF THE BALL IS CRACKED OR BROKEN BEFORE OR DURING PLANTING OPERATION.

- I. UPON COMPLETION OF BACKFILLING OPERATION, THOROUGHLY WATER TREE TO COMPLETELY SETTLE THE SOIL AND FILL ANY VOIDS THAT MAY HAVE OCCURRED. USE A WATERING HOSE, NOT THE AREA IRRIGATION SYSTEM. IF ADDITIONAL PREPARED TOPSOIL MIXTURE NEEDS TO BE ADDED, IT SHOULD BE A COURSER MIX AS REQUIRED TO ESTABLISH FINISH GRADE AS INDICATED ON THE DRAWINGS.

- J. THE AMOUNT OF PRUNING SHALL BE LIMITED TO THE MINIMUM NECESSARY TO REMOVE DEAD OR INJURED TWIGS AND BRANCHES. ALL CUTS, SCARS, AND BRUISES SHALL BE PROPERLY TREATED ACCORDING TO THE DIRECTION OF THE PROJECT REPRESENTATIVE. PROPER PRUNING TECHNIQUES SHALL BE USED. DO NOT LEAVE STUBS AND DO NOT CUT THE LEADER BRANCH. IMPROPER PRUNING SHALL BE CAUSE FOR REJECTION OF THE PLANT MATERIAL.

- K. PREPARE A WATERING CIRCLE OF 2" DIAMETER AROUND THE TRUNK. FOR CONIFERS, EXTEND THE WATERING WELL TO THE DRIP LINE OF THE TREE CANOPY. PLACE MULCH AROUND THE PLANTED TREES.

##### 3.4 TURF - SOD LAYING

- A. FERTILIZATION: FERTILIZE PER SOD FARM.
- B. SOD AVAILABILITY AND CONDITION: THE CONTRACTOR SHALL SATISFY HIMSELF AS TO THE EXISTING CONDITIONS PRIOR TO ANY CONSTRUCTION. THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR FURNISHING AND LAY ALL SOD REQUIRED ON THE PLANS. HE SHALL FURNISH NEW SOD AS SPECIFIED ABOVE AND LAY IT SO AS TO COMPLETELY SATISFY THE INTENT AND MEANING OF THE PLANS AND SPECIFICATION AT NO EXTRA COST TO THE OWNER. IN THE CASE OF ANY DISCREPANCY IN THE AMOUNT OF SOD TO BE REMOVED OR AMOUNT TO BE USED, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPORT SUCH TO THE PROJECT REPRESENTATIVE PRIOR TO COMMENCING THE WORK.
- C. SOD LAYING: THE SURFACE UPON WHICH THE NEW SOD TO BE LAID WILL BE PREPARED AS SPECIFIED ABOVE. AREAS WHERE SOD IS TO BE LAID SHALL BE CUT TRIMMED, OR SHAPED TO RECEIVE FULL WIDTH SOD (MINIMUM TWELVE (12) INCHES). NO PARTIAL STRIP OR PIECES WILL BE ACCEPTED.
- D. SOD SHALL BE TAMPED LIGHTLY AS EACH PIECE IS SET TO INSURE THAT GOOD CONTACT IS MADE BETWEEN EDGES AND ALSO THE GROUND.

- E. APPLY WATER DIRECTLY AFTER LAYING SOD. RAINFALL IS NOT ACCEPTABLE.
- F. WATERING OF THE SOD SHALL BE THE COMPLETE RESPONSIBILITY OF THE CONTRACTOR BY WHATEVER MEANS NECESSARY TO ESTABLISH THE SOD IN AN ACCEPTABLE MANNER TO THE END OF THE MAINTENANCE PERIOD. IF AN IRRIGATION SYSTEM IS IN PLACE ON THE SITE, BUT FOR WHATEVER REASON, WATER IS NOT AVAILABLE IN THE SYSTEM, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO WATER THE SOD BY WHATEVER MEANS, UNTIL THE SOD IS ACCEPTED BY THE PROJECT REPRESENTATIVE.

- G. PROTECTION OF THE NEWLY LAID SOD SHALL BE THE COMPLETE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR IS TO RESTORE ANY DAMAGED AREAS CAUSED BY OTHERS (INCLUDING VEHICULAR TRAFFIC), EROSION, ETC. UNTIL AFTER NINETY (90) DAY WARRANTY PERIOD AND EDGE HOMES FINAL INSPECTION.

END OF SECTION

### LANDSCAPE GENERAL NOTES

#### INSTALLER RESPONSIBILITIES AND LIABILITIES

1. THESE PLANS ARE FOR BASIC DESIGN LAYOUT AND INFORMATION. THE INSTALLER IS REQUIRED TO REFER TO THEIR EDGE HOMES INDIVIDUAL TRADE - SCOPE OF WORK. EDGE HOMES ASSUMES NO LIABILITIES FOR INADEQUATE ENGINEERING CALCULATIONS. MANUFACTURER PRODUCT DEFECTS, INSTALLATION OF ANY LANDSCAPING AND FENCING MATERIALS, COMPONENTS, OR TIME EXECUTION.
2. THE INSTALLER OF ALL LANDSCAPING, FENCING, AND IRRIGATION SYSTEMS ARE LIABLE AND RESPONSIBLE FOR ALL JURISDICTIONAL AND CODE REQUIREMENTS, TIME EXECUTIONS, AND INSTALLED PRODUCTS AND MATERIALS.

#### GRADING AND DRAINAGE REQUIREMENTS

1. ALL GRADING IS TO SLOPE AWAY FROM THE STRUCTURE PER CODE AT 10 PERCENT FOR 10'-0"
2. THE GROUND SURFACE WITHIN 10 FEET OF THE FOUNDATIONS SHOULD BE SLOPED TO DRAIN AWAY FROM THE STRUCTURE WITH A MINIMUM FALL OF 6 INCHES.
3. FINISHED GRADE IS NOT PERMITTED BY CODE TO DRAIN ON NEIGHBORING PROPERTIES.
4. 6" MIN. FOUNDATION LEFT EXPOSED AT ALL CONDITIONS
5. LANDSCAPER TO MAINTAIN OR IMPROVE EXISTING FINAL GRADE AND PROPER DRAINAGE ESTABLISHED BY THE EXCAVATOR'S FINAL GRADE ACTIVITIES INCLUDING ANY MAINTENANCE, PRESERVATION, OR EXAGGERATION OF SLOPES, BERMS, AND SWALES.
6. IF ANY SWALE, BERM, OR GRADE HAS BEEN DAMAGED OR IS INCORRECT TO ENSURE CORRECT WATER FLOW (6 INCHES OF FALL WITHIN 10 FEET OF THE BUILDING) THE TRADE CONTRACTOR IS RESPONSIBLE TO FIX STATED ISSUE.
7. ROOF RUN-OFF DEVICES SHOULD BE INSTALLED TO COLLECT AND DISCHARGE ALL ROOF RUNOFF A MINIMUM OF 10 FEET FROM FOUNDATION ELEMENTS OR BEYOND THE LIMITS OF BACKFILL AROUND THE FOUNDATION WALLS; WHICHEVER DISTANCE IS GREATER.

#### LANDSCAPING REQUIREMENTS

1. ALL LANDSCAPING IS TO BE INSTALLED PER ALL GOVERNING JURISDICTIONS I.E. INTERNATIONAL BUILDING CODE, CITY CODES AND ADDITIONAL JURISDICTIONAL REQUIREMENT I.E. COVENANTS CONDITIONS AND RESTRICTIONS (CC&R), HOME OWNER ASSOCIATION (HOA), DESIGN REVIEW COMMITTEE (DRC), ARCHITECTURAL REVIEW COMMITTEE (ARC) ETC AND EXCAVATION OBSERVATION REQUIREMENTS.
2. NON-COMPLIANCE TO ALL GOVERNING JURISDICTION REQUIREMENTS AND REGULATION ARE THE RESPONSIBILITY OF THE LANDSCAPING INSTALLER.
3. ALL PLANTED LANDSCAPING IS TO BE INSTALLED ACCORDING TO THE NURSERY CARE AND INSTALLATION INSTRUCTIONS WHERE PURCHASED AND BASED ON INDIVIDUAL SOIL CONDITIONS AND SITE CONDITIONS.
4. LAWN TO BE NO CLOSER THAN 3' FROM BUILDING FOUNDATIONS.

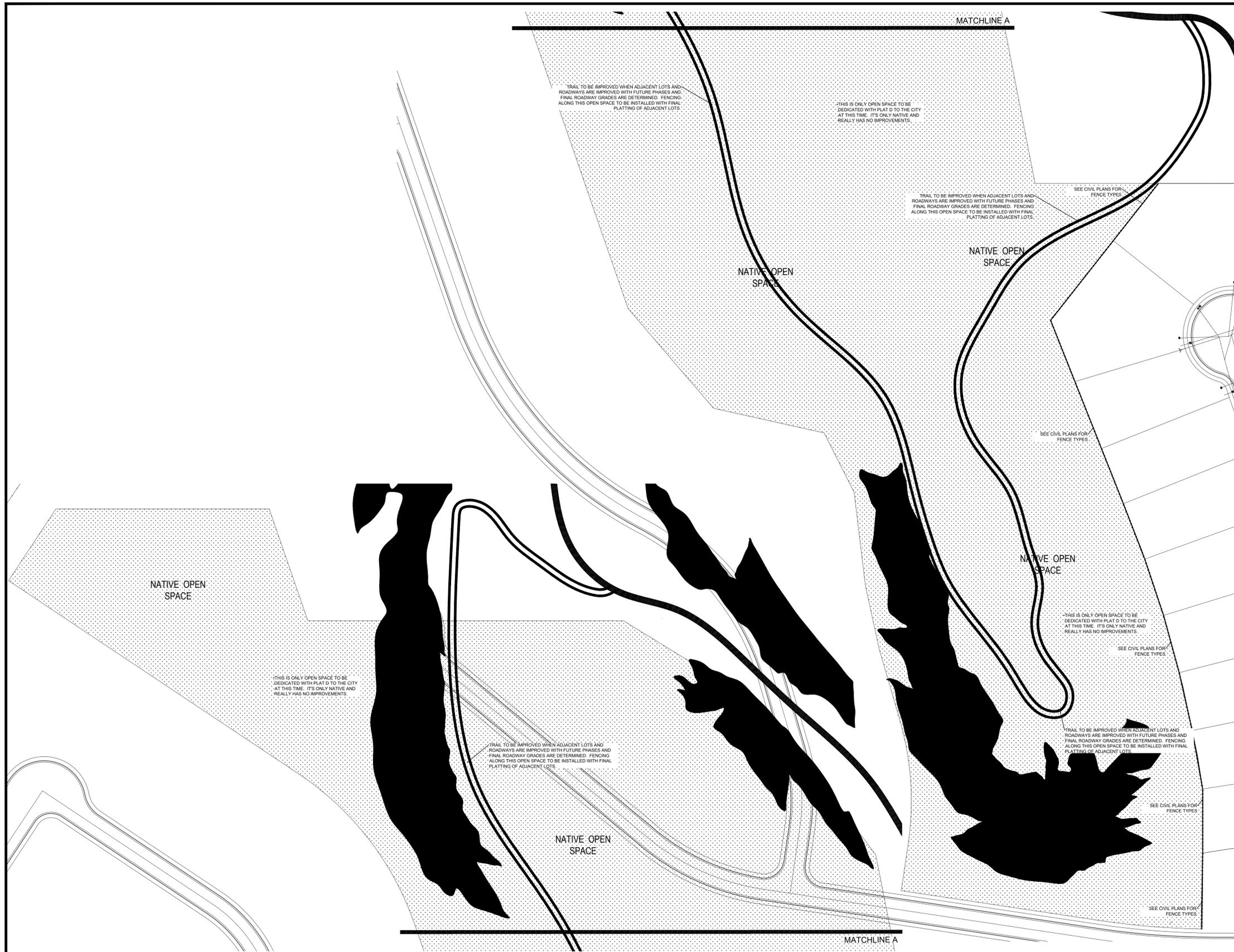
#### FENCING REQUIREMENTS

1. ALL LANDSCAPING IS TO BE INSTALLED PER ALL GOVERNING JURISDICTIONS I.E. INTERNATIONAL BUILDING CODE, CITY CODES AND ADDITIONAL JURISDICTIONAL REQUIREMENT I.E. COVENANTS CONDITIONS AND RESTRICTIONS (CC&R), HOME OWNER ASSOCIATION (HOA), DESIGN REVIEW COMMITTEE (DRC), ARCHITECTURAL REVIEW COMMITTEE (ARC) ETC AND EXCAVATION OBSERVATION REQUIREMENTS.
2. ALL FENCING IS TO BE INSTALLED PER MANUFACTURERS SPECIFICATION, AREA WIND LOADING REQUIREMENTS, AND SITE CONDITIONS AND REQUIREMENTS.

### LANDSCAPE NOTES

1. DECIDUOUS TREE SIZES ARE SPECIFIED ON THE PLANS AND SHALL BE BALLED AND BURLAPPED NURSERY STOCK.
2. CONIFER TREE SIZES ARE SPECIFIED ON THE PLANS AND SHALL BE BALLED AND BURLAPPED NURSERY STOCK.
3. TREE HOLES SHALL BE DUG 2-3 TIMES THE DIAMETER OF THE ROOT BALL AND ONLY AS DEEP AS THE ROOT BALL.
4. TREE ROOT BALL SHALL BE AT LEAST 12 INCHES IN DIAMETER PER EACH 1 INCH OF TREE CALIPER AND AT LEAST 18 INCHES DEEP. ROOT BALL SHALL BE WRAPPED TIGHTLY WITH NO LOOSE PARTS.
5. TREE SHOULD BE SET IN THE CENTER OF THE HOLE AND STOOD UPRIGHT. THE ROOT FLARE SHOULD BE VISIBLE AND LOCATED AT, OR SLIGHTLY ABOVE, FINISHED GROUND LEVEL. THE ROOT FLARE SHOULD NEVER BE BELOW FINISHED GROUND LEVEL.
6. TREES SHALL ONLY BE LIFTED BY THE WIRE BASKET, NEVER LIFT TREES BY GRASPING TRUNK OR LIMBS, OR BY ATTACHING ANY TYPE OF SLING OR CHOKER.
7. REMOVE AT LEAST THE TOP HALF OF WIRE BASKET, PUSH THE REMAINING BASKET INTO THE BOTTOM OF THE HOLE.
8. CUT AND REMOVE TOP ONE THIRD OF THE BURLAP AND FOLD REMAINING BURLAP DOWN INTO THE HOLE.
9. REMOVE ALL STRINGS ROPE, STAKES, TAPING, TAGS, FLAGGING, AND ANY OTHER SUCH ITEMS.
10. BACKFILL HOLE WITH EXCAVATED MATERIAL AND COMPACT ONLY ENOUGH TO HOLD TREE IN PLACE. NEVER USE MECHANICAL COMPACTION TOP SOIL OR SOIL PEP MAY BE ADDED TO EXCAVATED BACKFILL MATERIAL. BACKFILL MATERIAL SHOULD COVER ROOT FLARE SLIGHTLY, BUT SHOULD NEVER BE PILED AGAINST TRUNK.
11. WATER GENEROUSLY TO SOAK ENTIRE ROOT BALL AND BACKFILL MATERIAL. A SOIL WATER RING MAY BE FORMED AT THE EDGE OF THE ROOT BALL. BACKFILL MATERIAL MAY NEED TO BE ADDED AS SOIL SETTLES BELOW ROOT FLARE.
12. ALL SHRUBS SHOWN ON THIS LANDSCAPE PLAN SHALL BE FIVE GALLON (#5 GAL.) UNLESS SPECIFIED OTHERWISE.
13. ALL GRASS SHRUBS SHOWN ON THIS LANDSCAPE PLAN SHALL BE 5 GALLON (#5 GAL.)
14. HOLE SHOULD BE DUG AT LEAST TWO TIMES (2X) THE DIAMETER OF THE ROOT BALL AND ONLY AS DEEP AS THE ROOT BALL.
15. GENTLY REMOVE PLANT FROM THE CONTAINER, LIGHTLY RUB ALL SIDES OF THE ROOT BALL TO EXPOSE ENDS OF ROOTS, AND PLACE IN THE CENTER OF THE HOLE, THE TOP OF THE ROOT BALL SHOULD BE AT FINISHED GROUND LEVEL.
16. BACKFILL THE HOLE WITH EXCAVATED MATERIAL. TOP SOIL OR SOIL PEP MAY BE ADDED TO EXCAVATED MATERIAL IF HIGH QUANTITIES OF CLAY SOILS ARE PRESENT, BUT SHALL NOT REPLACE EXCAVATED MATERIAL.
17. COMPACT SOIL ENOUGH TO HOLD PLANT IN PLACE. NEVER USE MECHANICAL COMPACTION.
18. GENEROUSLY WATER TO SOAK ENTIRE ROOT BALL AND BACKFILL. A SOIL WATER RING SHOULD BE FORMED AROUND THE OUTSIDE OF THE ROOT BALL. BACKFILL MATERIAL MAY NEED TO BE ADDED AFTER MATERIAL HAS SETTLED.
19. MULCH SHALL BE ADDED TO A DEPTH OF THREE (3") INCHES AND AT LEAST TWICE THE WIDTH OF THE ROOT BALL.
20. LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR VERIFYING QUANTITIES OF ALL MATERIALS FOR BIDDING AND INSTALLATION PURPOSES. IF DISCREPANCIES EXIST, THE PLAN SHALL DICTATE.
21. PLANT MATERIAL TO BE INSTALLED PER PLANT LEGEND. ANY SUBSTITUTIONS TO BE APPROVED BY OWNER AND/OR LANDSCAPE ARCHITECT.
22. NEW TURF AREAS TO BE SODDED WITH DROUGHT TOLERANT KENTUCKY BLUEGRASS BLEND.
23. 2" OF TOPSOIL TO BE IMPLEMENTED IN ALL GRASS AND PERENNIAL AREAS AND CONCENTRATED IN SHRUB AND TREE PLANTING HOLE LOCATIONS.
24. TREES LOCATED IN LAWN AREAS SHALL HAVE A 4' DIAMETER TREE WELL AROUND BASE OF TREE WITH 3" DEPTH OF MULCH.
25. MULCH TO BE IMPLEMENTED WHERE SPECIFIED ON THE PLAN AT THE FOLLOWING DEPTHS: 3" IN ALL TREE, SHRUB, AND PERENNIAL PLANTER AREAS; PULL MULCH MIN. 3" AWAY FROM BASE OF ALL PERENNIALS AND SHRUBS AND MIN. 6" AWAY FROM ALL TREES.
26. POWER TO CONTROLLER TO BE PROVIDED BY OWNER. OWNER TO SPECIFY EXACT LOCATION OF EACH CONTROLLER. INSTALL PER MANUFACTURERS INSTRUCTIONS.

ISSUE DATE		PROJECT NUMBER		PLAN INFORMATION		PROJECT INFORMATION		DEVELOPER / PROPERTY OWNER / CLIENT		LANDSCAPE ARCHITECT / PLANNER		LICENSE STAMP		DRAWING INFO	
06-22-2020		UT19045		 BLUE STAKES OF UTAH UTILITY NOTIFICATION CENTER, INC. 1-800-662-4111 www.bluestakes.org		<h1>THE RIDGE AT MT. SARATOGA</h1> <h2>VILLAGE TWO - PLAT P</h2> <h3>SARATOGA SPRINGS, UTAH</h3>		Developer / Property Owner:  <b>JOE PIERCE</b> DCP SARATOGA, LLC 2753 E BROADWAY RD. STE 101 MESA, AZ 85213		 <b>PKJ</b> DESIGN GROUP Landscape Architecture / Planning & Visualization 3450 N. TRIUMPH BLVD. SUITE 102 LEHI, UTAH 84043 (801) 960-2698 www.pkjdesigngroup.com		 <b>LANDSCAPE PLAN</b> <b>PRELIMINARY PLANS NOT FOR CONSTRUCTION</b> <b>LP-100A</b>		PM: JTA DRAWN: KBA CHECKED: TM PLOT DATE: 6/22/2020	
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UNDISTURBED NATIVE AREA

AREA TO BE LEFT UNDISTURBED AND NATURAL. IF AREAS ARE DISTURBED DURING CONSTRUCTION, THEY WILL NEED TO BE REPLANTED WITH THE FOLLOWING REVEGETATION SEED MIX.  
 REVEGETATION MIX:  
 SEE NON IRRIGATED - NATIVE REVEGETATION SEED MIX  
 ANY SLOPE WITH A SLOPE GREATER THAN THIRTY PERCENT (30%) THAT IS SEEDED WITH REVEGETATION SEED - SHALL HAVE APPROVED EROSION CONTROL MATTING OR FABRIC INSTALLED OVER SEED AREA.  
 THE PLAN SHALL SPECIFY SLOPE STABILIZATION AND EROSION CONTROL MEASURES THAT WILL BE IMPLEMENTED WHILE NEW VEGETATION IS BEING ESTABLISHED.  
 SEE EROSION CONTROL BLANKET DETAILS AND SPECIFICATIONS ON [HTTP://WWW.EROSIONCONTROLBLANKET.COM/](http://www.erosioncontrolblanket.com/)

817.612 sf

NO.	REVISION	DATE
1	XXXX	XX-XX-XX
2		
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4		
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6		
7		

ISSUE DATE: 06-22-2020

PROJECT NUMBER: UT19045

PLAN INFORMATION

811 BLUE STAKES OF UTAH  
 UTILITY NOTIFICATION CENTER, INC.  
 1-800-662-4111  
 www.bluestakes.org

GRAPHIC SCALE: 1" = 60'

PROJECT INFORMATION

# THE RIDGE AT MT. SARATOGA

## VILLAGE TWO - PLAT P

### SARATOGA SPRINGS, UTAH

DEVELOPER / PROPERTY OWNER / CLIENT

Developer / Property Owner:  
 JOE PIERCE  
 DCP SARATOGA, LLC  
 2753 E BROADWAY RD. STE 101  
 MESA, AZ 85213

Client / Engineer:  
 LEI-ENGINEERING  
 3302 N. Main Street  
 Spanish Fork, Ut. 84660  
 801-798-0555 ext. 226  
 www.lei-eng.com

LANDSCAPE ARCHITECT / PLANNER

LANDSCAPE ARCHITECTURE

PKJ DESIGN GROUP  
 Landscape Architecture / Planning & Visualization  
 3450 N. TRIUMPH BLVD, SUITE 102  
 LEHI, UTAH 84043 (801) 960-2698  
 www.pkjdesigngroup.com

LICENSE STAMP

DRAWING INFO

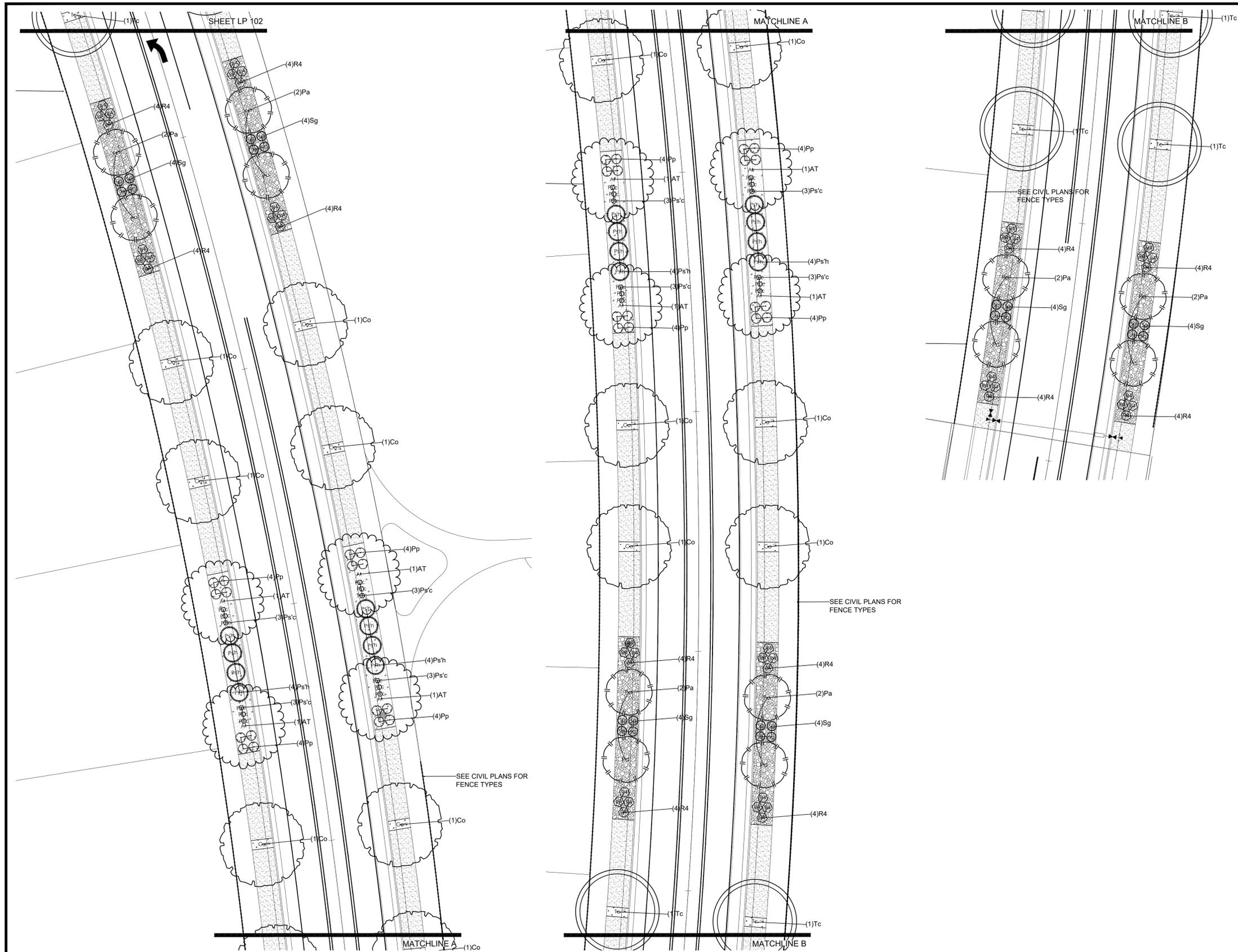
PM: JTA  
 DRAWN: KBA  
 CHECKED: TM  
 PLOT DATE: 6/22/2020

LANDSCAPE PLAN

PRELIMINARY PLANS NOT FOR CONSTRUCTION

LP-101





### PLANT SCHEDULE

TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT	CALL
Pa	16	<i>Pyrus calleryana</i> 'Aristocrat'™	Aristocrat Flowering Pear	B & B	2' Cal
Tc	11	<i>Tilia cordata</i>	Littleleaf Linden	B & B	2' Cal
DECIDUOUS TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT	CALL
At	8	<i>Acer rubrum</i> 'October Glory'	October Glory Red Maple	B & B	2' Cal
Ag	2	<i>Amelanchier x grandiflora</i> 'Autumn Brilliance'	'Autumn Brilliance' Serviceberry	B & B	Multi-trunked
Co	18	<i>Celtis occidentalis</i>	Common Hackberry	B & B	2' Cal
Mim	2	<i>Malus x 'Indian Magic'</i>	Indian Magic Crabapple	B & B	2' Cal
Zs	9	<i>Zelkova serrata</i> 'Musashino'	Sawleaf Zelkova	B & B	2' Cal
EVERGREEN TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT	CALL
Pp	23	<i>Picea omorika</i> 'Riverside'	Riverside Serbian Spruce	B & B	Cal
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	CONT	CALL
Rm	15	<i>Rosa x 'Meikrotat'</i>	Scarlet Meidiland Rose	5 gal	
DECIDUOUS SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	CONT	CALL
Cs*c	16	<i>Comus sericea</i> 'Cardinal'	Cardinal Red-twig Dogwood	5 gal	
Fk	26	<i>Forsythia x intermedia</i> 'Kolgald'™	Magical Gold Forsythia	5 gal	
Pp	32	<i>Potentilla fruticosa</i> 'Goldfinger'	Goldfinger Potentilla	5 gal	
Pb*p	29	<i>Prunus besseyi</i> 'P0115'™	Pawnee Buffles Sand Cherry	5 gal	
R4	64	<i>Rosa x 'Nearly Wild'</i>	Nearly Wild Rose	5 gal	
Sg	32	<i>Spiraea x bumalda</i> 'Goldflame'	Goldflame Spirea	5 gal	
EVERGREEN SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	CONT	CALL
Cp*s	14	<i>Cylisus purgans</i> 'Spanish Gold'	Spanish Gold Broom	5 gal	
Psh	16	<i>Pinus sylvestris</i> 'Hillside Creeper'	Hillside Creeper Scotch Pine	5 gal	
Yt	12	<i>Yucca filamentosa</i> 'Color Guard'	Color Guard Adam's Needle	5 gal	
PERENNIALS	QTY	BOTANICAL NAME	COMMON NAME	CONT	CALL
An*p	21	<i>Aster novae-angliae</i> 'Purple Dome'	Purple Dome New England Aster	1 gal	
GRASSES	QTY	BOTANICAL NAME	COMMON NAME	CONT	CALL
Co*s	42	<i>Colamagrostis x acutiflora</i> 'Karl Foerster'	Feather Reed Grass	1 gal	
Hs	21	<i>Helictotrichon sempervirens</i> 'Sapphire'	Blue Oat Grass	1 gal	
Pv	76	<i>Panicum virgatum</i> 'North Wind'	Northwind Switch Grass	1 gal	
Ps*c	24	<i>Pennisetum alopecuroides</i> 'Tiff PA18'	Cayenne Sterile Fountaingrass	1 gal	

### REFERENCE NOTES SCHEDULE

SYMBOL	LANDSCAPE DESCRIPTION	QTY
L-01	SODDED LAWN AREA LAWN AREAS SHALL BE SOD. NEW TURF AREAS TO BE SODDED WITH 18% 'BLUESTAR' KENTUCKY BLUEGRASS, 19% 'MARQUIS' KENTUCKY BLUEGRASS, 17% 'NEWPORT' KENTUCKY BLUEGRASS, 17% 'TOUCHDOWN' KENTUCKY BLUEGRASS, 16% 'APM' PERENNIAL RYEGRASS, 13% 'ACCENT' PERENNIAL RYEGRASS OR APPROVED EQUAL AT A RATE OF 220 LBS. PER ACRE. FINE LEVEL ALL AREAS PRIOR TO LAYING SOD. ALL LAWN AREAS SHALL BE IRRIGATED WITH 100% COVERAGE BY POP-UP SPRAY HEADS AND GEAR-DRIVEN ROTORS. ALL DECIDUOUS AND CONIFER TREES PLANTED WITHIN SOD AREAS SHALL HAVE A FOUR FOOT(4') DIAMETER TREE RING COVERED WITH CHOCOLATE BROWN BARK MULCH, NO SHREDDED PINES. SUBMIT SAMPLES TO BE APPROVED BY LANDSCAPE ARCHITECT AND OWNER BEFORE INSTALLATION.	21,705 sf
L-02	MULCHED AREAS SHALL INCLUDE THE TREE RINGS AROUND DECIDUOUS AND EVERGREEN TREES WITHIN THE LAWN AREAS. MULCH SHALL BE APPLIED TO A DEPTH OF THREE INCHES (3") AT THE OUTER EDGE OF TREE RINGS, TAPERING DOWN TO THE TREE TRUNK, AND SHALL BE CHOCOLATE BROWN SHREDDED BARK. ALL TREES AND SHRUBS WITHIN MULCH AREAS SHALL BE WATERED WITH POINT-SOURCE DRIP IRRIGATION. PRE-EMERGENT WILL BE ADDED FOR WEED CONTROL. USE PREEN EXTENDED CONTROL WEED PREVENTER. USE AS SPECIFIED.	1,036 sf
L-03	3/4" OQUIRRH GRAVEL ROCK (MATCH SAME TYPE, SIZE AND COLOR OF ROCK MULCH IN THE EARLIER PHASES OF THIS PROJECT - DECORATIVE ROCK AREAS SHALL INCLUDE THE PLANTER BEDS AS SHOWN. APPLY DECORATIVE ROCK TO A MINIMUM DEPTH OF THREE INCHES (3") OVER ENTIRE AREA. NO ROCK WITHIN 4' OF BASE OF TREE. ALL TREES AND SHRUBS WITHIN DECORATIVE ROCK AREAS SHALL BE WATERED WITH POINT-SOURCE DRIP IRRIGATION. PRE-EMERGENT WILL BE ADDED FOR WEED CONTROL. USE PREEN EXTENDED CONTROL WEED PREVENTER. USE AS SPECIFIED.	12,264 sf
L-05	1" SALT LAKE PEBBLE ROCK (MATCH SAME TYPE, SIZE AND COLOR OF ROCK MULCH IN THE EARLIER PHASES OF THIS PROJECT - DECORATIVE ROCK AREAS SHALL INCLUDE THE PLANTER BEDS AS SHOWN. APPLY DECORATIVE ROCK TO A MINIMUM DEPTH OF THREE INCHES (3") OVER ENTIRE AREA. NO ROCK WITHIN 4' OF BASE OF TREE. ALL TREES AND SHRUBS WITHIN DECORATIVE ROCK AREAS SHALL BE WATERED WITH POINT-SOURCE DRIP IRRIGATION. PRE-EMERGENT WILL BE ADDED FOR WEED CONTROL. USE PREEN EXTENDED CONTROL WEED PREVENTER. USE AS SPECIFIED.	11,313 sf
L-07	BOULDERS - DECORATIVE	12
L-09	UNDISTURBED NATIVE AREA AREA TO BE LEFT UNDISTURBED AND NATURAL, IF AREAS ARE DISTURBED DURING CONSTRUCTION, THEY WILL NEED TO BE REPLANTED WITH THE FOLLOWING REVEGETATION SEED MIX: REVEGETATION SEED MIX: SEE NON IRRIGATED - NATIVE REVEGETATION SEED MIX ANY SLOPE WITH A SLOPE GREATER THAN THIRTY PERCENT (30%) THAT IS SEEDDED WITH REVEGETATION SEED - SHALL HAVE APPROVED EROSION CONTROL MATTING OR FABRIC INSTALLED OVER SEED AREA. THE PLAN SHALL SPECIFY SLOPE STABILIZATION AND EROSION CONTROL MEASURES THAT WILL BE IMPLEMENTED WHILE NEW VEGETATION IS BEING ESTABLISHED. SEE EROSION CONTROL BLANKET DETAILS AND SPECIFICATIONS ON <a href="http://www.erosioncontrolblanket.com/">HTTP://WWW.EROSIONCONTROLBLANKET.COM/</a>	817,612 sf

<b>ISSUE DATE</b> 06-22-2020 <b>PROJECT NUMBER</b> UT19045		<b>PLAN INFORMATION</b> BLUE STAKES OF UTAH UTILITY NOTIFICATION CENTER, INC. 1-800-662-4111 www.bluestakes.org		<b>PROJECT INFORMATION</b> <h1>THE RIDGE AT MT. SARATOGA</h1> <h2>VILLAGE TWO - PLAT P</h2> <h3>SARATOGA SPRINGS, UTAH</h3>		<b>DEVELOPER / PROPERTY OWNER / CLIENT</b> Developer / Property Owner: JOE PIERCE DCP SARATOGA, LLC 2753 E BROADWAY RD. STE 101 MESA, AZ 85213		<b>LANDSCAPE ARCHITECT / PLANNER</b> PKJ DESIGN GROUP Landscape Architecture • Planning • Visualization 3450 N. TRIUMPH BLVD, SUITE 102 LEHI, UTAH 84043 (801) 960-2698 www.pkjdesigngroup.com		<b>LICENSE STAMP</b> 		<b>DRAWING INFO</b> PM: JTA DRAWN: KBA CHECKED: TM PLOT DATE: 6/22/2020 <b>LANDSCAPE PLAN</b> <b>PRELIMINARY PLANS NOT FOR CONSTRUCTION</b> <b>LP-103</b>																							
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