

LEGEND

- EXISTING SECTION CORNER (FOUND)
(AS DESCRIBED)
- PLAT BOUNDARY LINE
- STREET CENTERLINE
- EXISTING STREET MONUMENT
- EXISTING FIRE HYDRANT
- EXISTING STREET LIGHT
- BUILDING SETBACK LINE
- PUBLIC UTILITY EASEMENTS

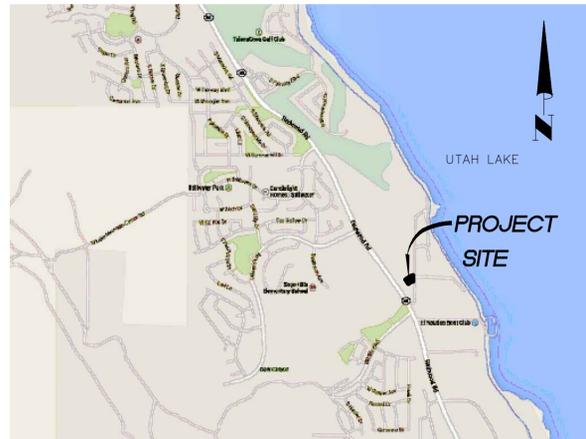
MALLARD BAY PHASE 2 LOTS 216 AND 217 AMENDED

AMENDING LOTS 216 & 217 OF THE MALLARD BAY PHASE 2
LOCATED IN A PORTION OF THE SOUTHEAST QUARTER OF SECTION 12
TOWNSHIP 6 SOUTH, RANGE 1 WEST,
SALT LAKE BASE AND MERIDIAN
CITY OF SARATOGA SPRINGS, UTAH COUNTY, UTAH

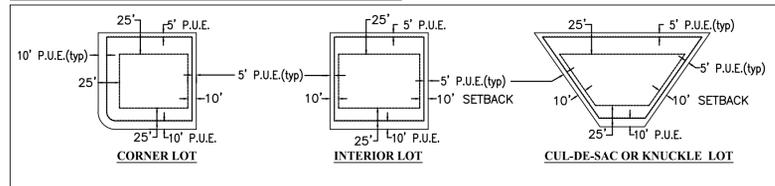
REQUIRED PLAT NOTES

- 1-PLAT MUST BE RECORDED WITHIN 24 MONTHS OF FINAL PLAT APPROVAL, OR FOR PHASED DEVELOPMENTS, WITHIN 24 MONTHS OF RECORDATION OF MOST RECENT PHASE. THE FIRST FINAL PLAT APPROVAL WAS GRANTED ON THE _____ DAY OF _____, 20____.
- 2-PRIOR TO BUILDING PERMITS BEING ISSUED, SOIL AND/OR GEOTECHNICAL TESTING STUDIES MAY BE REQUIRED ON EACH LOT AS DETERMINED BY THE CITY BUILDING OFFICIAL.
- 3-THIS PLAT MAY BE SUBJECT TO A DEVELOPMENT AGREEMENT THAT SPECIFIES THE CONDITIONS OF DEVELOPING, BUILDING, AND USING PROPERTY WITHIN THIS PLAT. SEE CITY RECORDER FOR DETAILS.
- 4-PLAT IS SUBJECT TO "INSTALLATION OF IMPROVEMENTS AND BOND AGREEMENT NO. _____" WHICH REQUIRES THE CONSTRUCTION AND WARRANTY OF IMPROVEMENTS IN THIS SUBDIVISION. THESE OBLIGATIONS RUN WITH THE LAND AND ARE BINDING ON SUCCESSORS, AGENTS, AND ASSIGNS OF DEVELOPER. THERE ARE NO THIRD-PARTY RIGHTS OR BENEFICIARIES UNDER THIS AGREEMENT.
- 5-BUILDING PERMITS WILL NOT BE ISSUED UNTIL ALL REQUIRED IMPROVEMENTS HAVE BEEN INSTALLED PER CITY STANDARDS AND ALL FEES INCLUDING IMPACT AND CONNECTION FEES ARE PAID.
- 6-ALL OPEN SPACE, COMMON AREA, AND TRAIL IMPROVEMENTS LOCATED HEREIN ARE TO BE INSTALLED BY OWNER AND MAINTAINED BY A HOMEOWNERS ASSOCIATION UNLESS SPECIFIED OTHERWISE ON EACH IMPROVEMENT.
- 7-REFERENCES HEREIN TO DEVELOPER OR OWNER SHALL APPLY TO BOTH, AND ANY SUCH REFERENCE SHALL ALSO APPLY TO SUCCESSORS, AGENTS, AND ASSIGNS.
- 8-NO CITY MAINTENANCE SHALL BE PROVIDED FOR STREETS AND IMPROVEMENTS DESIGNATED AS "PRIVATE" ON THIS PLAT.
- 9-LOTS/UNITS MAY BE SUBJECT TO ASSOCIATION BYLAWS, ARTICLES OF INCORPORATION AND C&R'S."
- 10-A GEOTECHNICAL REPORT HAS BEEN COMPLETED BY _____ [GEOTECHNICAL ENGINEER], WHICH ADDRESSES SOIL AND GROUNDWATER CONDITIONS, PROVIDES ENGINEERING DESIGN CRITERIA, AND RECOMMENDS MITIGATION MEASURES IF PROBLEMATIC CONDITIONS WERE ENCOUNTERED. THE CITY ASSUMES NO LIABILITY OR RESPONSIBILITY FOR ANY RELIANCE ON THE INFORMATION OR LACK THEREOF IN THE REPORT.
- 11- AGRICULTURAL USES, OPERATIONS, AND RIGHTS ARE ADJACENT TO OR NEAR THE PLAT AND LOTS. THE LOTS IN THIS PLAT ARE SUBJECT TO THE SIGHTS, SOUNDS, ODORS, NUISANCES, AND ASPECTS ASSOCIATED WITH AGRICULTURAL OPERATIONS, USES, AND RIGHTS. THESE USES AND OPERATIONS MAY OCCUR AT ALL TIMES OF THE DAY AND NIGHT INCLUDING WEEKENDS AND HOLIDAYS. THE CITY IS NOT RESPONSIBLE OR LIABLE FOR THESE USES AND IMPACTS AND WILL NOT RESTRICT ANY GRANDFATHERED AGRICULTURAL USE FROM CONTINUING TO OCCUR LAWFULLY.
- 12- DRAINAGE ACROSS PROPERTY LINES SHALL NOT EXCEED THAT WHICH EXISTED PRIOR TO GRADING. EXCESS OR CONCENTRATED DRAINAGE SHALL BE CONTAINED ON SITE OR DIRECTED TO AN APPROVED DRAINAGE FACILITY. LOTS SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALLS. THE GRADE SHALL FALL A MINIMUM OF 6 INCHES WITHIN THE FIRST 10 FEET.

VICINITY MAP



TYPICAL SETBACK & P.U.E. DETAILS



BY SIGNING THIS PLAT, THE FOLLOWING UTILITY COMPANIES ARE APPROVING THE: (A) BOUNDARY, COURSE, DIMENSIONS, AND INTENDED USE OF THE RIGHT-OF-WAY AND EASEMENT GRANTS OF RECORD; (B) LOCATION OF EXISTING UNDERGROUND AND UTILITY FACILITIES; (C) CONDITIONS OR RESTRICTIONS GOVERNING THE LOCATION OF THE FACILITIES WITHIN THE RIGHT-OF-WAY, AND EASEMENT GRANTS OF RECORD, AND UTILITY FACILITIES WITHIN THE SUBDIVISION. "APPROVING" SHALL HAVE THE MEANING IN UTAH CODE SECTION 10-9A-603(4)(c)(ii). THE FOLLOWING NOTES ARE NOT ENDORSED OR ADOPTED BY SARATOGA SPRINGS AND DO NOT SUPERCEDE CONFLICTING PLAT NOTES OR SARATOGA SPRINGS POLICIES.

DATA TABLE					
INFORMATION	AC.	SQ. FT.	%TOTAL	#	NOTES
TOTAL PROJECT AREA	0.554	24,119	100%		
SENSITIVE LANDS	0	0	0%		
OPEN SPACE	0	0	0%		
BUILDABLE LAND	0.554	24,119	100%		
ROW AREA	-	-	0%		
LANDSCAPING AREA	0	0	0%		
LOTS					
NET DENSITY DWELLINGS PER ACRE				3.61	

SHEET 1 OF 2

ROCKY MOUNTAIN POWER

1. PURSUANT TO UTAH CODE ANN. 54-3-27 THIS PLAT CONVEYS TO THE OWNER(S) OR OPERATORS OF UTILITY FACILITIES A PUBLIC UTILITY EASEMENT ALONG WITH ALL THE RIGHTS AND DUTIES DESCRIBED THEREIN.

2. PURSUANT TO UTAH CODE ANN. 17-27a-603(4)(c)(ii) ROCKY MOUNTAIN POWER ACCEPTS DELIVERY OF THE PUE AS DESCRIBED IN THIS PLAT AND APPROVES THIS PLAT SOLELY FOR THE PURPOSE OF CONFIRMING THAT THE PLAT CONTAINS PUBLIC UTILITY EASEMENTS AND APPROXIMATES THE LOCATION OF THE PUBLIC UTILITY EASEMENTS, BUT DOES NOT WARRANT THEIR PRECISE LOCATION. ROCKY MOUNTAIN POWER MAY REQUIRE OTHER EASEMENTS IN ORDER TO SERVE THIS DEVELOPMENT. THIS APPROVAL DOES NOT AFFECT ANY RIGHT THAT ROCKY MOUNTAIN POWER HAS UNDER:

a. A RECORDED EASEMENT OR RIGHT-OF-WAY
b. THE LAW APPLICABLE TO PRESCRIPTIVE RIGHTS
c. TITLE 54, CHAPTER 8a, DAMAGE TO UNDERGROUND UTILITY FACILITIES OR
d. ANY OTHER PROVISION OF LAW

APPROVED THIS _____ DAY OF _____, 20__

ROCKY MOUNTAIN POWER

DOMINION ENERGY QUESTAR CORPORATION

DOMINION ENERGY QUESTAR CORPORATION APPROVES THIS PLAT SOLELY FOR THE PURPOSE OF CONFIRMING THAT THE PLAT CONTAINS PUBLIC UTILITY EASEMENTS. DOMINION ENERGY QUESTAR CORPORATION MAY REQUIRE OTHER EASEMENTS IN ORDER TO SERVE THIS DEVELOPMENT. THIS APPROVAL DOES NOT CONSTITUTE ABROGATION OR WAIVER OF ANY OTHER EXISTING RIGHTS, OBLIGATIONS OR LIABILITIES PROVIDED BY LAW OR EQUITY. THIS APPROVAL DOES NOT CONSTITUTE ACCEPTANCE, APPROVAL OR ACKNOWLEDGEMENT OF ANY TERMS CONTAINED IN THE PLAT, INCLUDING THOSE SET FORTH IN THE OWNERS DEDICATION AND THE NOTES AND DOES NOT CONSTITUTE A GUARANTEE OF PARTICULAR TERMS OF NATURAL GAS SERVICE. FOR FURTHER INFORMATION PLEASE CONTACT DOMINION ENERGY QUESTAR CORPORATION'S RIGHT-OF-WAY DEPARTMENT AT 800-366-8532.

APPROVED THIS _____ DAY OF _____, 20__

BY _____

TITLE _____

DOMINION ENERGY QUESTAR CORP.

PUBLIC WORKS DIRECTOR

Approved by the Public Works Director on this _____ day of _____, A.D. 20__

PUBLIC WORKS DIRECTOR

CENTURY LINK

Approved this _____ day of _____, A.D. 20__

CENTURY LINK

COMCAST CABLE TELEVISION

Approved this _____ day of _____, A.D. 20__

COMCAST CABLE TELEVISION

PLANNING DIRECTOR

Approved by the Planning Director on this _____ day of _____, A.D. 20__

PLANNING DIRECTOR

CITY ENGINEER

Approved by the City Engineer on this _____ day of _____, A.D. 20__

CITY ENGINEER

LAND USE AUTHORITY

Approved by Land Use Authority on this _____ day of _____, A.D. 20__

LAND USE AUTHORITY

FIRE CHIEF

Approved by the Fire Chief on this _____ day of _____, A.D. 20__

CITY FIRE CHIEF

SARATOGA SPRINGS ATTORNEY

Approved by Saratoga Springs Attorney on this _____ day of _____, A.D. 20__

SARATOGA SPRINGS ATTORNEY

LEHI CITY POST OFFICE

Approved by Post Office Representative on this _____ day of _____, A.D. 20__

LEHI CITY POST OFFICE REPRESENTATIVE

SURVEYOR'S CERTIFICATE

I, Marshall D. Byrd do hereby certify that I am a Registered Land Surveyor, and that I hold a license, certificate No. 6390728, in accordance with the Professional Engineers and Land Surveyors Licensing Act found in Title 58, Chapter 22 of the Utah Code. I further certify that by the authority of the owners, I have made a survey of the tract of land shown on this plat and described below, have subdivided said tract of land into lots, streets, and easements, have completed a survey of the property described on this plan in accordance with Utah Code Section 17-23-17, have verified all measurements, and have placed monuments as represented on the plat. I further certify that every known existing right-of-way and easement grant of record for underground facilities, as defined in Utah Code Section 54-8a-2, and for other utility facilities, is accurately described on this plat and that this plat is true and correct to the best of my knowledge. I also certify that I have filed or will file within 90 days of the recordation of this plat, a map of the survey I have completed with the Utah County Surveyor.

BOUNDARY DESCRIPTION

A parcel of land situated in the Southeast Quarter of Section 12, Township 6 South, Range 1 West, Salt Lake Base and Meridian, said parcel being more particularly described as follows:

All of Lots 216 and 217 of the Mallard Bay Phase 2 subdivision according to the official plat thereof recorded in the Office of the Utah County Recorder.

Acres: xx
Square Footage: xx
of lots: 2 Lots

OWNER'S DEDICATION

Know all men by these presents that the undersigned owner(s) of the above described tract of land have caused the same to be subdivided into lots, parcels, and streets, together with easements and rights-of-way, to be hereafter known as:

MALLARD BAY PHASE 2 LOTS 216 AND 217 AMENDED

and do hereby dedicate for the perpetual use of the public and City all parcels, lots, streets, easements, rights-of-way, and public amenities shown on this plat as intended for public or City use. The owner(s) and all agents, successors, and assigns voluntarily defend, indemnify, and save harmless the City against any easements or other encumbrance on a dedicated street, easement, or right-of-way that will interfere with the City's use, maintenance, and operation of the street or utilities. The owner(s) and all agents, successors, and assigns assume all liability with respect to the creation of this subdivision, the alteration of the ground surface, vegetation, drainage, or surface or sub-surface water flows within this subdivision, and the development activity within this subdivision by the owners and all agents, successors, and assigns.

In witness whereof _____ have hereunto set _____ this _____ day of _____, A.D. 20__.

Signature _____ Print Name _____ Title & Entity _____

Signature _____ Print Name _____ Title & Entity _____

OWNER'S ACKNOWLEDGMENT

STATE OF UTAH) S.S.
County of Utah

On this _____ day of _____, 20__, personally appeared before me _____, who being by me duly sworn, did prove to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument, and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed this plat with full authority of the owner(s).

I certify under PENALTY OF PERJURY under the laws of the State of Utah that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Notary Public Full Name: _____

Commission Number: _____

My commission expires: _____

A Notary Public Commissioned In Utah

APPROVAL BY LEGISLATIVE BODY

The City Council of the City of Saratoga Springs, County of Utah, approves this subdivision subject to the conditions and restrictions stated hereon, and hereby accepts the Dedication of all streets, easements, and other parcels of land intended for the public purpose of the perpetual use of the public.

This _____ day of _____, A.D. 20__.

City Mayor

Attest _____
City Recorder
(See Seal Below)

MALLARD BAY PHASE 2 LOTS 216 AND 217 AMENDED

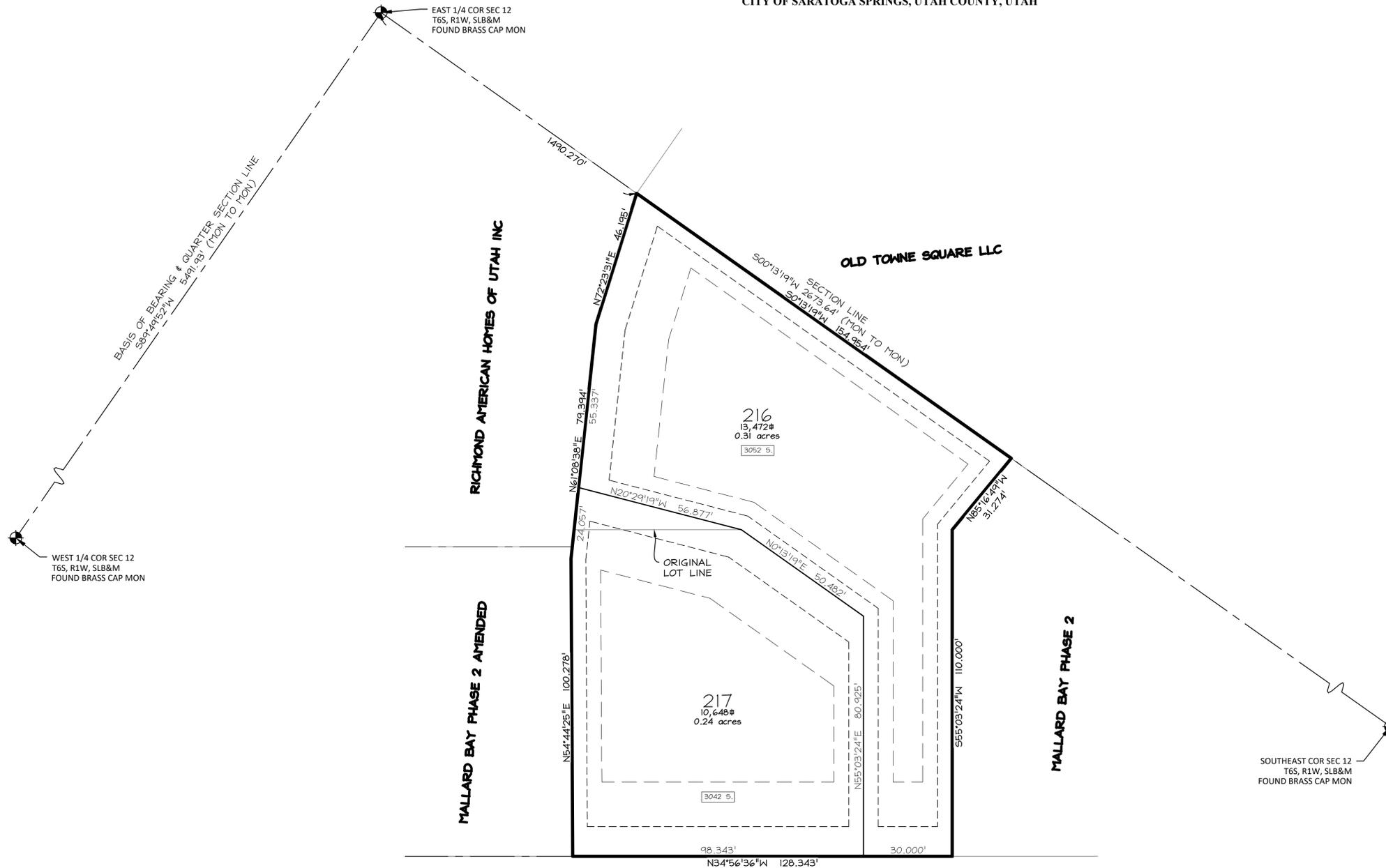
AMENDING LOTS 216 & 217 OF THE MALLARD BAY PHASE 2
LOCATED IN A PORTION OF THE SOUTHEAST QUARTER OF SECTION 12
TOWNSHIP 6 SOUTH, RANGE 1 WEST,
SALT LAKE BASE AND MERIDIAN
CITY OF SARATOGA SPRINGS, UTAH COUNTY, UTAH

SURVEYORS' SEAL 	CIVIL ENGINEERS SEAL	CLERK-RECORDER SEAL
---------------------	----------------------	---------------------

SP-1

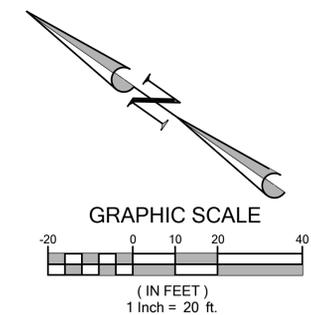
MALLARD BAY PHASE 2 LOTS 216 AND 217 AMENDED

AMENDING LOTS 216 & 217 OF THE MALLARD BAY PHASE 2
 LOCATED IN A PORTION OF THE SOUTHEAST QUARTER OF SECTION 12
 TOWNSHIP 6 SOUTH, RANGE 1 WEST,
 SALT LAKE BASE AND MERIDIAN
 CITY OF SARATOGA SPRINGS, UTAH COUNTY, UTAH



LEGEND

- EXISTING SECTION CORNER (FOUND)
(AS DESCRIBED)
- PLAT BOUNDARY LINE
- STREET CENTERLINE
- EXISTING STREET MONUMENT
- EXISTING FIRE HYDRANT
- EXISTING STREET LIGHT
- BUILDING SETBACK LINE
- PUBLIC UTILITY EASEMENTS
- SENSITIVE LANDS



PERIGEE CONSULTING
 CIVIL • STRUCTURAL • SURVEY

9088 SOUTH 1300 WEST, SUITE 160 WEST JORDAN, UT 84088
 801.828.6004 TEL 801.590.6611 FAX WWW.PERIGEECIVIL.COM