
Intermountain Healthcare

Community Plan

Saratoga Springs, Utah

May 8, 2018



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1. Project Description and Intent

The proposed development calls for an Intermountain Healthcare full-service ambulatory facility with related amenities that serves not only Saratoga Springs area but surrounding areas including Eagle Mountain, Lehi, Highland, Alpine, together with the extreme southern end of Salt Lake County.

The development of improvements will be accomplished through various stages with the exact location of the initial improvements to be determined at the time the Village Plan is submitted. However, construction of the initial improvements will generally be sited towards the middle of the parcel with subsequent phases added to those initial improvements. In the distant future, a redevelopment of the site may occur to update and modernize improvements utilized to provide medical services.



**Development Approval Processes
for Intermountain Healthcare**

Application / Approval Type	Approval Process
New Village Plan	Process per Code Section 19.26.
Community and Village Plan Amendments	Minor changes to the approved Village or Community Plans may be approved by the Planning Director.
Site Plan Approval	Provided the application site plan complies with the Approved Village Plan, site plans may be approved by the Planning Director with consultation with the Development Review Committee.
Site Plan Amendment	Planning Director decision with consultation with the Development Review Committee. ¹
Lot Line Adjustments	Minor Lot Line Adjustment to the area controlled by a Community or Village Plan may be approved by the Planning Director with consultation with the Development Review Committee per Section 19.12.
Minor Subdivision	Planning Commission Decision per Section 19.12.
Conditional Use	Planning Commission Decision per Section 19.15. ¹
Conditional Use – Existing Building or Site	Planning Director decision with consultation with the Development Review Committee.
Sign Permit	Per Planning Director approval process in Code Section 19.18.
Elevations	Building elevations are to be reviewed as part of the Site Plan Approval process. Provided the application with elevations is consistent with the Approved Village Plan, future site plan approvals may be reviewed by Planning Staff with consultation with the Design Review Committee if desired. ¹
Variances	Per Code Sections 19.03 and 19.26 as appropriate.
Tenant Improvement Plans	Building Department. ¹

¹ Staff may require full review and approval of any site plan by the Planning Commission should a proposal not meet the specified design requirements listed in the Community or Village Plans per the applicable section in the City code.

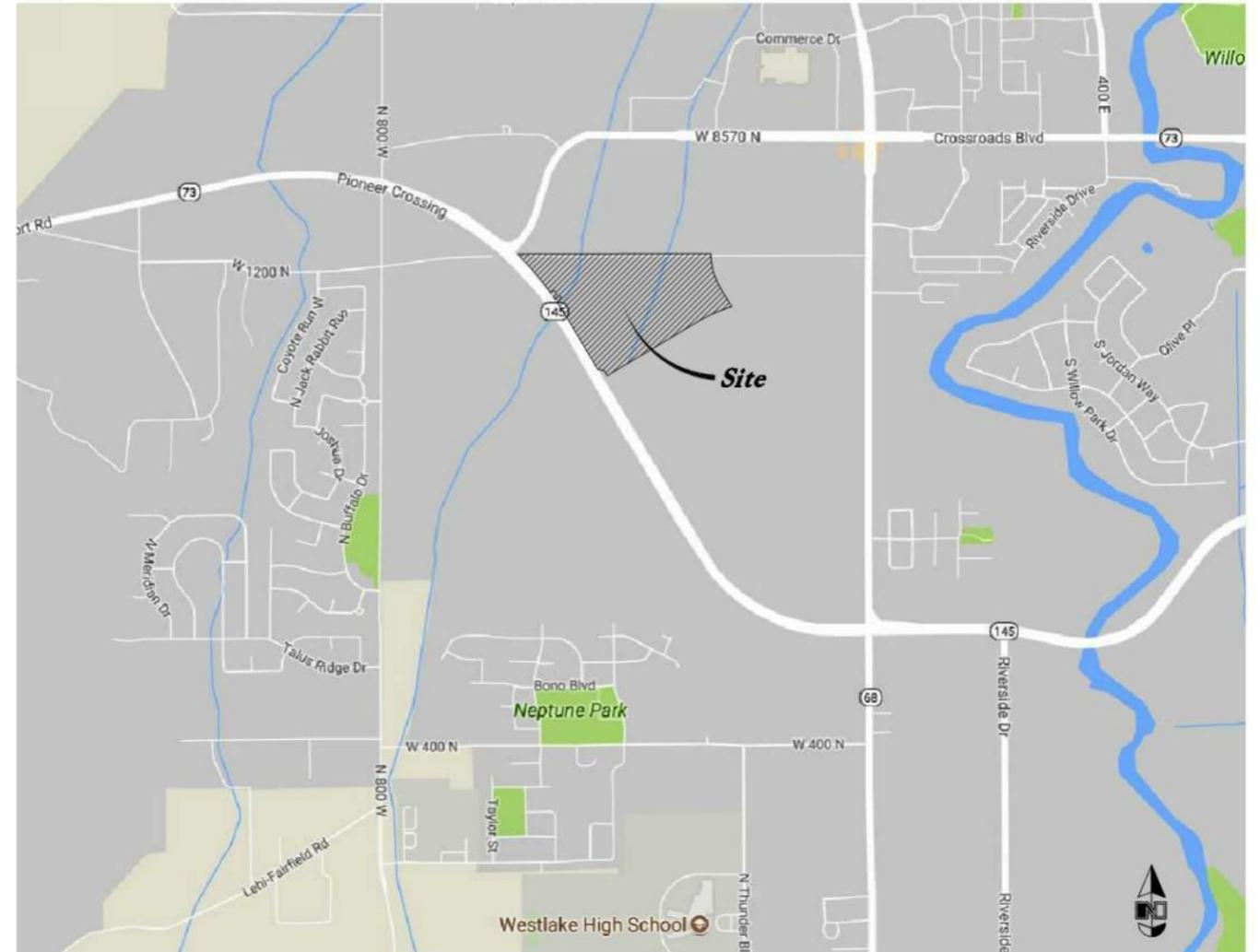
3. Property Description

A portion of the Southwest Quarter of Section 14, and the Southeast Quarter of Section 15, Township 5 South, Range 1 West, Salt Lake Base & Meridian, Located in Saratoga Springs, Utah, more particularly described as follows:

Beginning a point on the Northerly right-of-way line of Pioneer Crossing as described in Deed Entry No. 28749:2014 in the Official Records of the Utah County Recorder, said point being located North 0°20'51" East along the section line 1361.46 feet and West 160.61 feet from the Southwest corner of Section 14, Township 5 South, Range 1 West, Salt Lake Base & Meridian; thence along said right-of-way the following eleven (11) courses: thence North 75°43'02" West 77.78 feet; thence North 30°43'02" West 689.22 feet; thence along the arc of a 3375.00 foot radius curve to the left 169.64 feet through a central angle of 2°52'47" (Chord: North 32°09'26" West 169.62 feet); thence North 36°44'25" East 70.96 feet; thence North 53°15'35" West 36.00 feet; thence South 36°44'25" West 58.33 feet; thence along the arc of a 3375.00 foot radius non-tangent curve to the left (radius bears: South 55°45'20" West) 41.10 feet through a central angle of 0°41'52" (Chord: North 34°35'36" West 41.10 feet); thence North 54°36'28" East 43.95 feet; thence North 35°23'32" West 53.00 feet; thence South 54°36'28" West 43.95 feet; thence along the arc of a 3375.00 foot radius non-tangent curve to the left (radius bears: South 54°09'28" West) 559.89 feet through a central angle of 9°30'18" (Chord: North 40°35'41" West 559.24 feet) to the quarter section line; thence North 89°57'37" East along the quarter section line 1125.45 feet to the West 1/4 corner of Section 14, Township 5 South, Range 1 West, Salt Lake Base & Meridian; thence North 89°48'52" East along the quarter section line 1045.92 feet; thence along the arc of a 711.50 foot radius non-tangent curve to the left (radius bears: North 89°06'55" East) 370.25 feet through a central angle of 29°48'57" (Chord: South 15°47'33" East 366.09 feet); thence South 30°42'02" East 203.27 feet; thence along the arc of a 15.00 foot radius curve to the left 19.26 feet through a central angle of 73°33'39" (Chord: South 67°28'52" East 17.96 feet); thence South 37°08'01" East 84.85 feet; thence along the arc of a 15.00 foot radius non-tangent (radius bears: South 10°09'49" East) curve to the left 28.94 feet through a central angle of 110°32'13" (Chord: South 24°34'05" West 24.65 feet); thence South 78°17'56" West 81.44 feet; thence along the arc of a 15.00 foot radius non-tangent curve (radius bears: South 59°17'58" West) to the left 20.94 feet through a central angle of 80°00'00" (Chord: North 70°42'02" West 19.28 feet); thence South 69°17'58" West 136.74 feet; thence along the arc of a 961.50 foot radius curve to the left 168.11 feet through a central angle of 10°01'04" (Chord: South 64°17'26" West 167.90 feet); thence South 59°16'54" West 210.33 feet to the easterly boundary of University of Utah, Saratoga Springs Subdivision; thence along the boundary of said subdivision the following ten (10) courses: North 30°43'06" West 77.00 feet; thence South 59°16'54" West 8.00 feet; thence along the arc of a 8.00 foot radius curve to the right 12.57 feet through a central angle of 90°00'00" (Chord: North 75°43'06" West 11.31 feet); thence North 30°43'06" West 3.00 feet; thence South 59°16'54" West 57.00 feet; thence South 30°43'06" East 3.00 feet; thence along the arc of a 8.00 foot radius curve to the right 12.57 feet through a central angle of 90°00'00" (Chord: South 14°16'54" West 11.31 feet); thence South 59°16'54" West 682.97 feet; thence South 66°24'24" West 173.09 feet; thence South 59°38'35" West 72.69 feet to the point of beginning.

Contains: ±1,852,810 S.F. (±42.53 Acres)
(Gross Area)

Vicinity Map





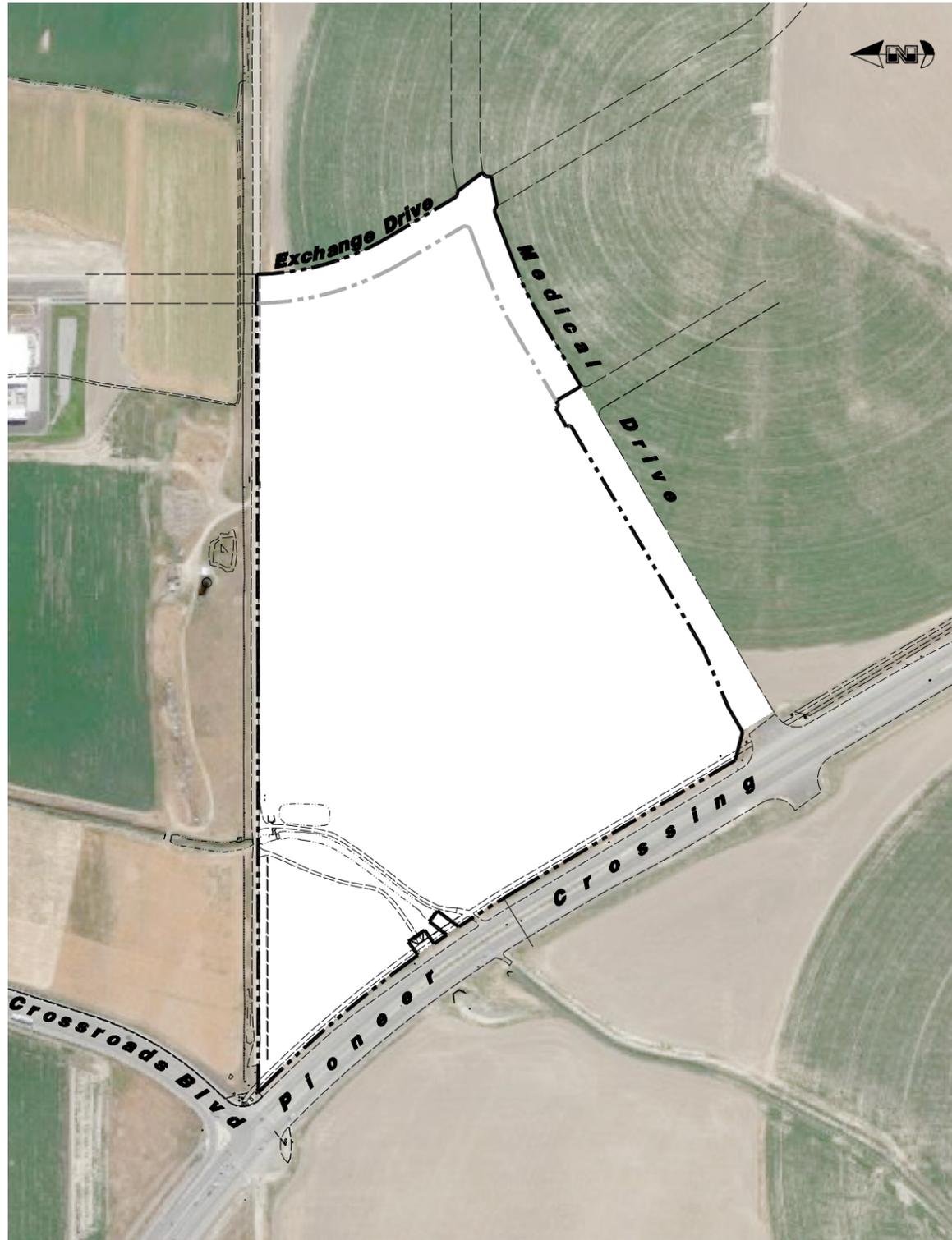
Uses

The Saratoga Springs City Center District Area Plan grants the right to develop in accordance with section 19.26.130 of the City Code.

This Community Plan will incorporate the Business Park Place Type as a guide during build out. Business Park as defined in section 19-04 of the City Code provides for development in a campus type setting.

Business parks are comprised of low to medium density office buildings. Business parks can also contain a small amount of light industrial and retail uses. They provide a concentration of diverse employment opportunities in close proximity to housing. Business parks will be designed to be easily accessible by the freeway, major arterials, commuter rail and integrated into the community's street network for walkability. Business parks uses must be sensitive to and compatible with the surrounding uses. (Saratoga Springs City Center District Area Plan)

Business Park	
Range of Average Dwelling Units/ Acre	0 du/ac
Range of Average FAR	0.39-0.93
Range of Open Space	15-17%



Lot Breakdown

Gross Area =	42.53
Net Area =	40.34
Right-of-Way =	2.19

Floor Area Ratio (FAR)

Area	Maximum FAR	Proposed FAR
40.34 Acres	1,634,206 Sq. Ft.	1,200,000 Sq. ft.

Equivalent Residential Unit (ERU)

Area	Maximum ERU	Proposed ERU
Based on 1 ERU/2,164.5 Sq. ft.	755	555

The District Area Plan states the maximum FAR of 1,634,206 square feet is allowable on this land, Intermountain is proposing a maximum FAR of 1,200,000 square feet.

6. Open Space Plan



Existing Trails

A 12' wide trail exists along Pioneer Crossing. This will be considered open space.

Perimeter Open Space

Refer to landscape buffer exhibits for perimeter open space. Buffers will be considered open space.

Proposed Canal Trail

Alignment of trail to be determined with the Village Plan. Proposed trail to be asphalt and 12' wide.

Additional Open Space

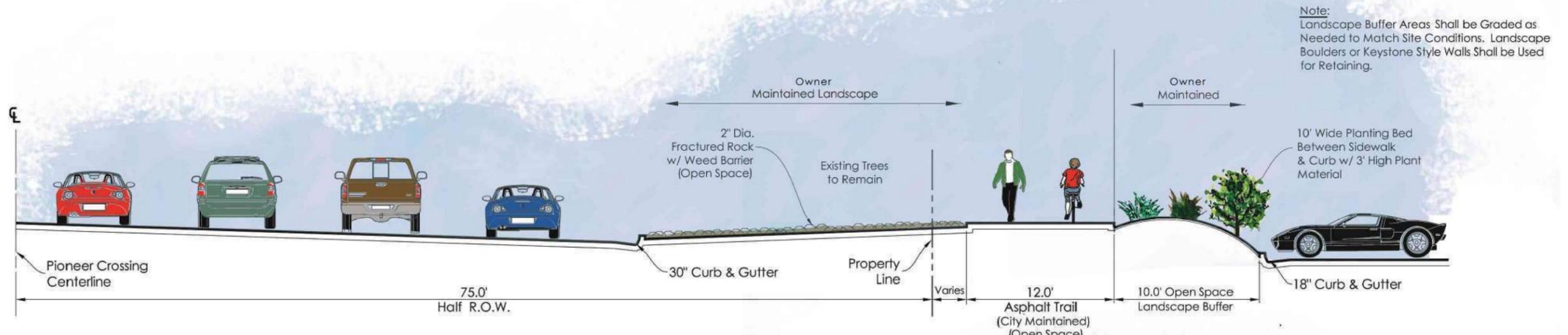
In addition to the perimeter and canal open space shown on this page, additional open space areas will be provided within the interior of the site that are consistent with the District Area Plan. Additional open space areas may include connector trails, plazas, healing gardens, fountains, water features, park lawns, or other special uses. The location of these additional open spaces will be provided with the submission of a Village Plan.

Landscape areas in excess of 300 contiguous square feet shall be considered open space.

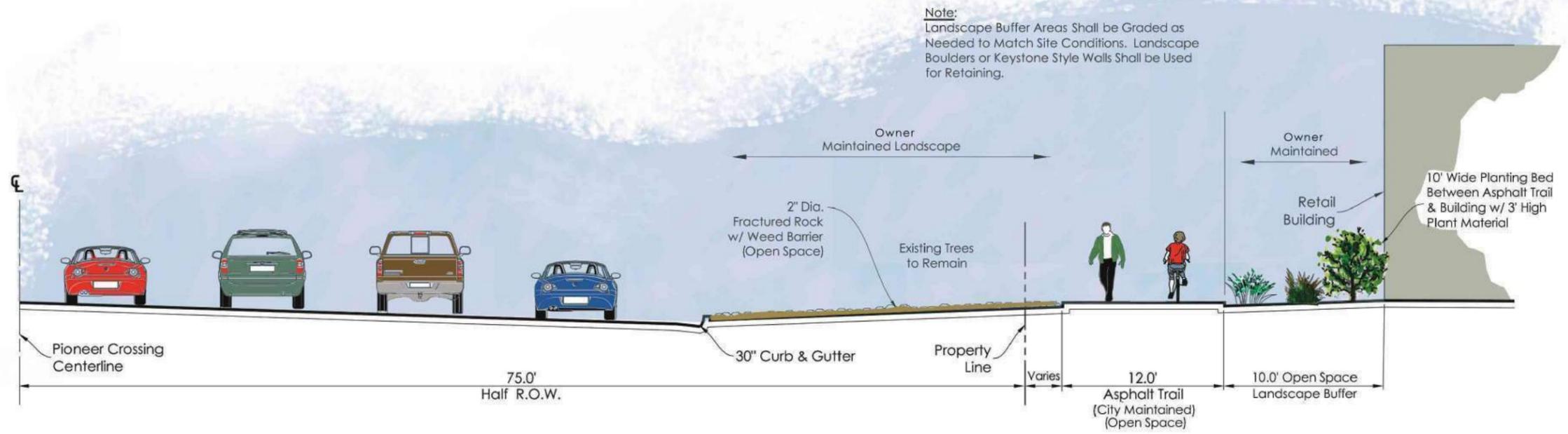
Each phase in the proposed Intermountain Healthcare facility will meet the required 15-17% open space requirement. Open space beyond the maximum is acceptable throughout the building process.

a) Community Wide Systems and Themes

1. Landscape Buffer Sections



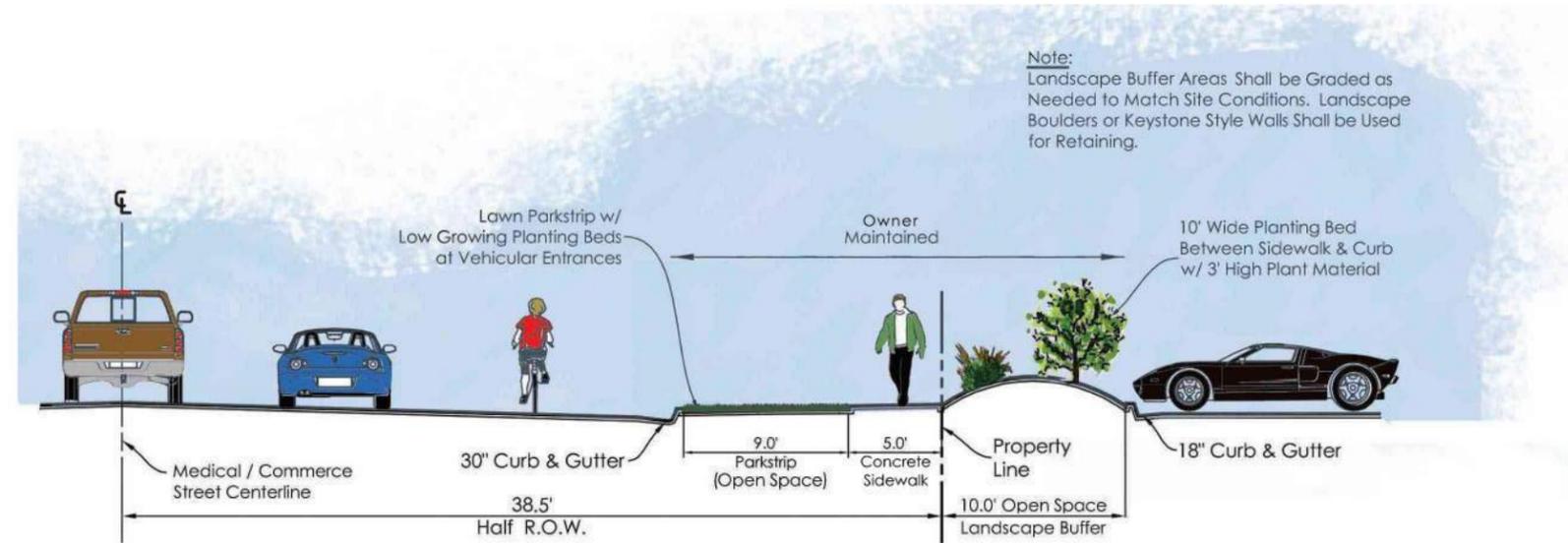
Pioneer Crossing Landscape Buffer with Head in Parking



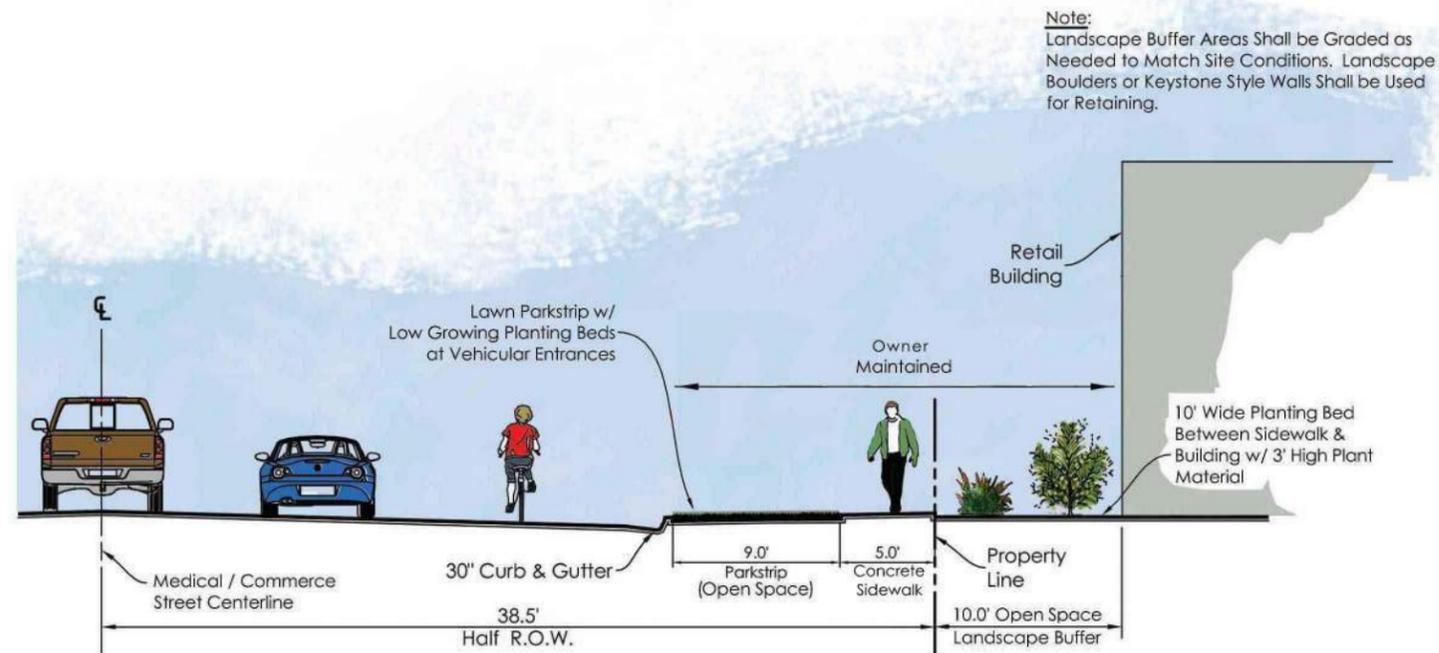
Pioneer Crossing Landscape Buffer with Building

a) Community Wide Systems and Themes

1. Landscape Buffer Sections



Medical / Commerce Drive Landscape Buffer with Head in Parking



Medical / Commerce Drive Landscape Buffer with Building

b) Community Plan Character

1. General Landscape Guidelines

1. These landscape standards shall be used in conjunction with the Saratoga Springs City Chapter 19.06 and 19.09 landscape and off-street parking requirements.
2. All plant material shall be adopted from the plant list located in the guiding principles section of this Community Plan.
3. Trees and shrubs in park strips and parking islands shall be consistent with Saratoga Springs City Code.

Decorative Stone, Accent Boulders and Edging

1. All landscape areas shall have decorative stone. No wood mulch shall be used.
2. Landscape concrete curbing or a commercial grade steel edging shall be used to separate different size and color of decorative stone.
3. 3-4' diameter accent boulders shall be incorporated into landscape areas. Boulders shall match neighboring decorative stone. Accent boulders shall be placed in high visibility areas and shall not interfere with access to utilities and block signs. Boulders shall not be placed in lawn areas.
4. Lawn areas and shrub planters shall be separated by a landscape concrete curb.

Landscape Retaining Walls

1. If retaining is needed, landscape boulders, decorative concrete, and keystone style walls shall be used. Landscape shall be used to soften walls.

Landscape Adjacent to Buildings

1. Intermittent landscape shall be placed along long building walls.

Parking Lot Screening

1. Parking lot screening shall be accompanied by placing vegetation a minimum of seven feet wide along street fronts with parking areas. A mixture of three foot high deciduous and evergreen plant material shall be used for screening. A three foot high minimum berm or wall can be used, but are not required.



b) Community Plan Character

1. General Landscape Guidelines

Parking Island Landscaping

1. All parking islands shall receive plant material with decorative stone. Small narrow parking islands shall be planted with shrubs and perennials. Parking islands greater than 15 feet in width and 450 square feet may be planted with lawn. Hardy plant material shall be used in parking lot areas.
2. Parking islands shall be planted with two medium size deciduous trees if compatible with utilities. A mixture of medium size deciduous and evergreen shrubs shall be planted in parking islands. Plant material shall not obstruct views for cars and pedestrians entering and leaving the parking lot.

Monument and Sign Landscaping

1. All business signs shall receive under-story plantings. Plant material shall be a mixture of shrubs and colorful perennials. Shrubs shall be a combination of deciduous and evergreen to provide year round color. Lawn shall not be planted around signs. Plant material shall be low growing to not block signs. Incorporate large groupings of colorful plant material to draw attention to signs.



c) Guiding Development Standards

1. Purpose

1. The contemplated development will be most aligned to the "Business Park" place type identified in the District Area Plan as the guiding land use. The purpose of the Business Park Land Use Zone is to allow for certain land uses that require large tracts of land in appropriate locations. Development under the regulations should provide for office space, light manufacturing, and commercial operations in a business park campus-type setting characterized by large buffer strips, open spaces, landscaping, and quality site development standards. The development types provide a concentration of diverse employment opportunities in close proximity to housing. Business Parks will be designed to be easily accessible by major traffic arterials, mass transit and integrated into the community's street network for workability. Business Park uses must be sensitive to and compatible with the surrounding uses.

2. Permitted Uses

1. Specific uses should comply with the Business Park (BP) uses as permitted or conditionally permitted as outlined in Section 19.04 of the Saratoga Springs Municipal Code with the exception that hospitals, medical office space, medical clinics, ancillary medical support services, shall be deemed a permitted use.

With Saratoga Springs City's population forecast to have an estimated annual growth rate of approximately 4% over the next 50 years, combined with the population growth rates forecast for surrounding communities, Intermountain Healthcare will need flexibility to provide several levels / types of medical services to these growing communities over a long time horizon. The eventual development would ultimately encompass full service medical facilities with ancillary medical support facilities to meet the projected medical service demands of these communities.

3. Minimum Development Size

1. Minimum development size: Five acres for a Business Park or medical campus

4. Setback and Yard Requirements

1. Front: As shown on Landscape buffer sections.

2. Sides: Twenty Feet

3. Rear: Twenty Feet

5. Building Heights

1. Building Height: Maximum building height 125 feet based on 7 stories at 16 feet plus a penthouse / maintenance facility on top of each building of 10 feet.

2. Parking Garage Height: Maximum parking height shall be at 60 feet based on 6 levels at 10 feet, when required.

c) Guiding Development Standards

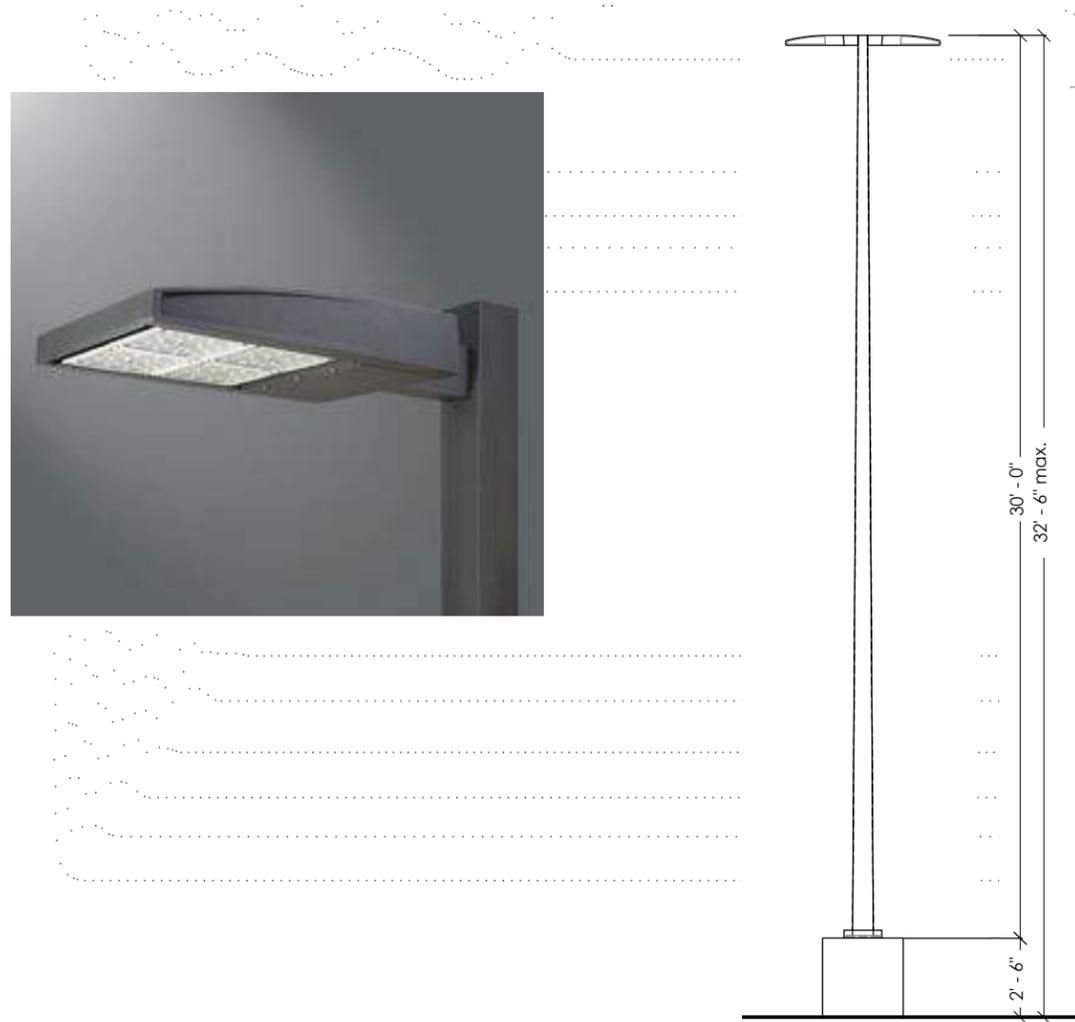
6. Lighting

- Section 19.11 Lighting shall govern with the exception that parking lot light poles may include fixtures of the type and design shown below. Poles shall be black and are permitted to be 32.5 feet in height.

All exterior lighting shall comply with the city of Saratoga Springs dark sky ordinance.

Lighting at emergency entrance locations will remain lit at all times.

Specific lighting structure will be detailed in the Village Plan.



7. Off-street Parking Requirements

Hospitals	5 Stalls/1,000 Sq. ft.
Medical Office	5 Stalls/1,000 Sq. ft.

8. Heliport

- A heliport will be permitted providing it conforms to the U.S Department of Transportation (USDOT) and Federal Aviation Administration (FAA) Advisory Circular 150/5390-2C dated April 24, 2012.

9. Signage

i) Requirements:

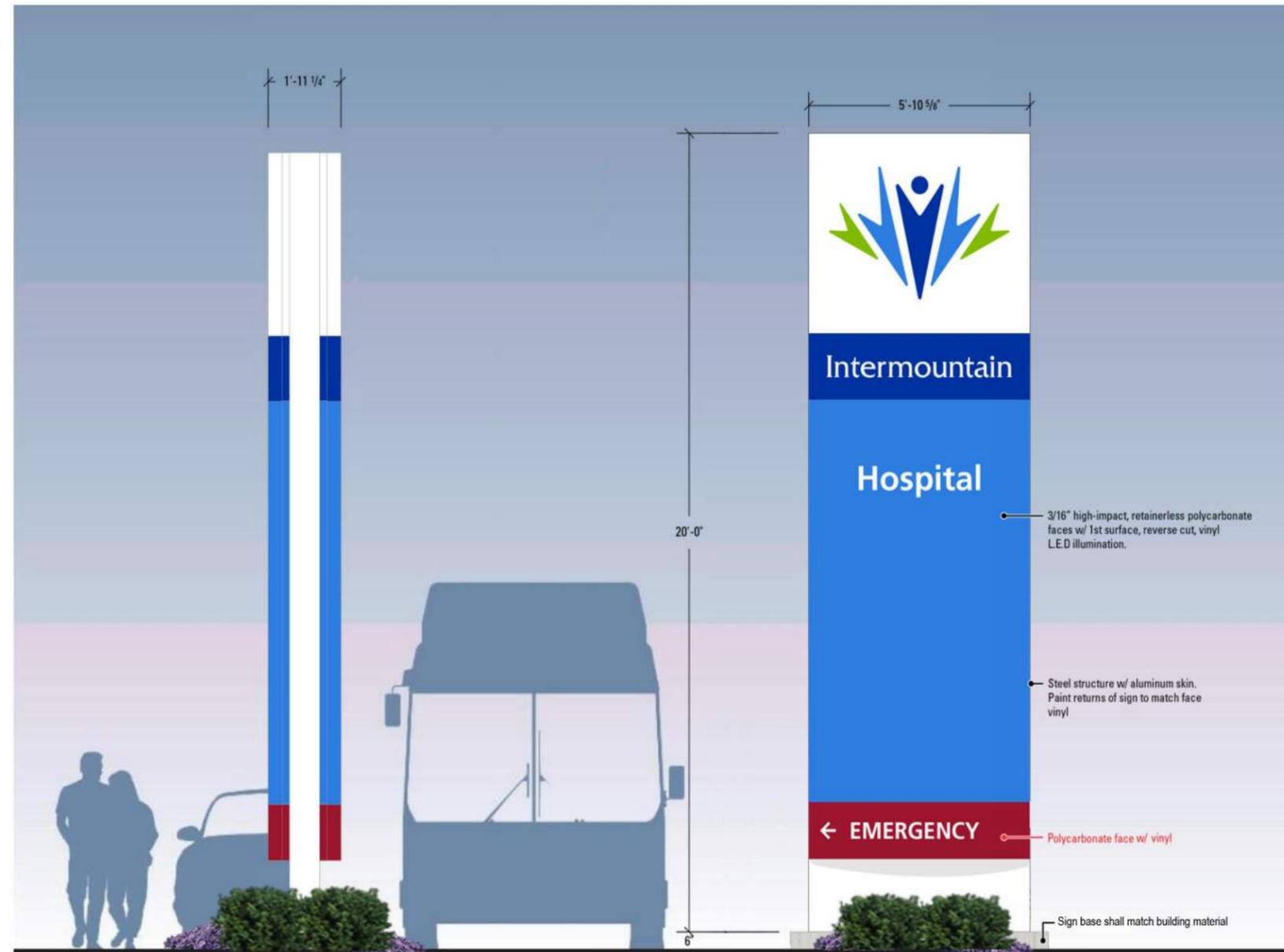
- Section 19.18 sign regulations shall govern with the following exceptions that:
- Signs consistent with the exhibits in the community plan shall be allowed.
 - Building number signs up to (5) five feet in height will not count towards the overall allowed signage for each building face.

c) Guiding Development Standards

9. Signage

ii) 20' High Max. Monument Sign:

- Intermountain Healthcare is requesting a 20 foot maximum sign height for all signs, net of a support base.
- Signs shall be installed at major accesses or one per street.
- One additional sign will be located on Pioneer Crossing at the northwest corner of the project.
- Sign bases are to be monument style and match the building materials.
- All monument signs shall receive under-story plantings. Plant material shall be a mixture of shrubs and colorful perennials. Shrubs shall be a combination of deciduous and evergreen to provide year round color. Lawn shall not be planted around signs. Plant materials shall be low growing to not block signs. Incorporate large groupings of colorful plant material to draw attention to signs.



20' High Max. Monument Sign

c) Guiding Development Standards

9. Signage

iii) 7' High Max. Monument Sign:

- Signs shall be installed at minor access points
- Sign bases are to be monument style and match the building materials.
- All monument signs shall receive under-story plantings. Plant material shall be a mixture of shrubs and colorful perennials. Shrubs shall be a combination of deciduous and evergreen to provide year round color. Lawn shall not be planted around signs. Plant materials shall be low growing to not block signs. Incorporate large groupings of colorful plant material to draw attention to signs.



7' High Max. Monument Sign

c) Guiding Development Standards

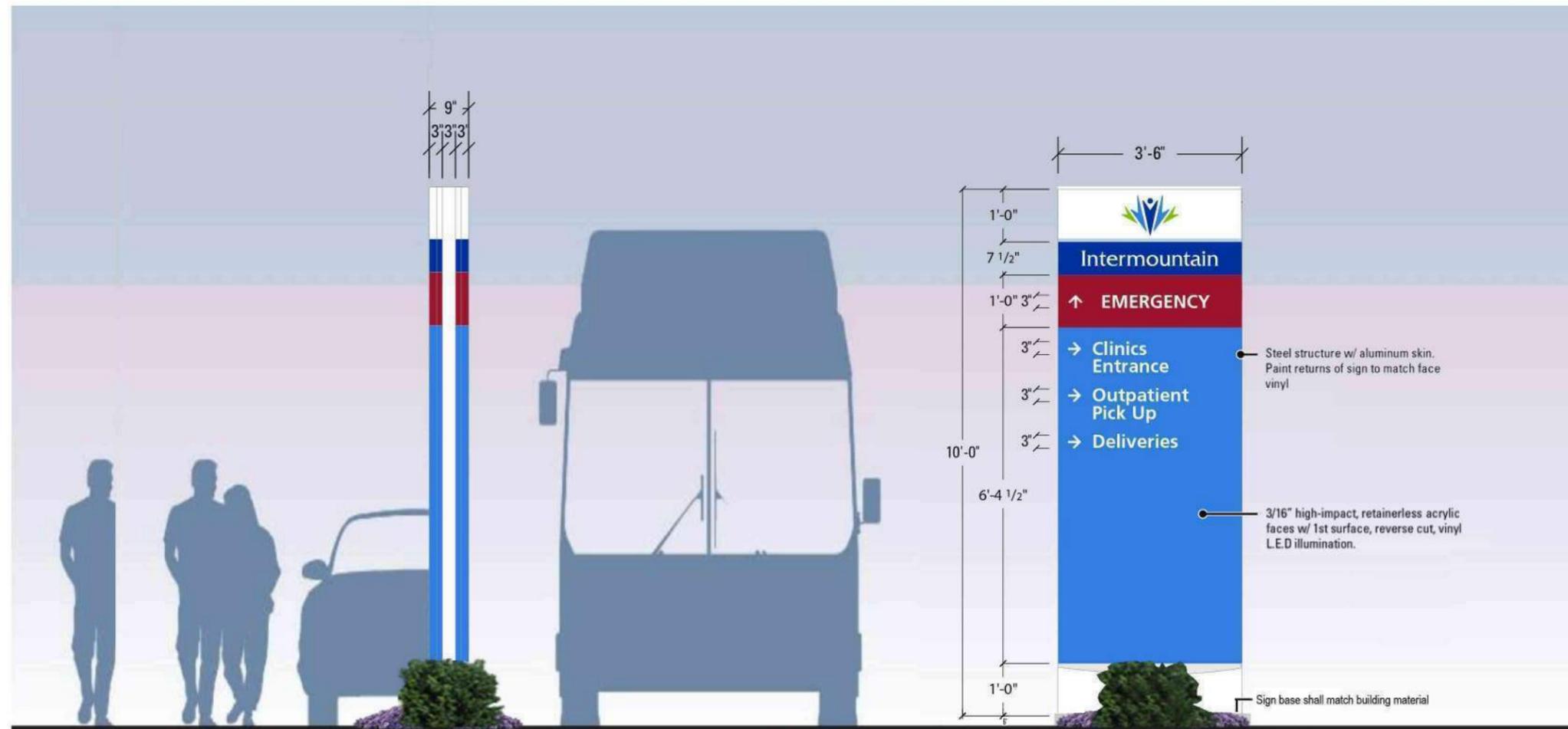
9. Signage

iv) 10' High Max. Directional Sign:

- Signs shall be installed internal to site as needed.

- Sign bases are to be monument style and match the building materials.

- All directional signs shall receive under-story plantings. Plant material shall be a mixture of shrubs and colorful perennials. Shrubs shall be a combination of deciduous and evergreen to provide year round color. Lawn shall not be planted around signs. Plant materials shall be low growing to not block signs. Incorporate large groupings of colorful plant material to draw attention to signs.



10' High Max. Directional Sign

c) Guiding Development Standards

9. Signage

v) Building Numbering Sign:

- Building numbering shall provide easy and efficient wayfinding throughout the overall campus.
- Building number signs shall be 3', 4' or 5' in height.

- Building numbering shall be illuminated.
- Building number signs up to (5) five feet in height will not count towards the overall allowed signage for each building face.



c) Guiding Development Standards

10. Design Philosophies and Use of Materials

In accordance with its desire to promote healthy communities, Intermountain Healthcare upholds a design philosophy that encourages aesthetic harmony with the surrounding environment. The design of Intermountain facilities should enhance the patient experience, as well as simultaneously being timeless and contemporary. As generations, or phases, of Intermountain facilities have developed over time, the underlying principle of promoting a healing environment is always present. This is accomplished by clean, contemporary lines, careful selection and coordination of exterior materials, and appropriate exterior color schemes. Classic design principles of scale, proportion, rhythm, solid/void, and symmetry are to be employed to enhance the timeless quality of an Intermountain facility. Exterior massing and material selections should carefully consider the immediate environs, the rural or urban nature of the site, the local surroundings and history, and the budget. The exterior design should reflect the interior function and spaces, and continue to look leading edge after architectural styles have changed several times. Each new facility should be perceived as part of the family of existing Intermountain facilities. The design should employ materials that are cost-effective, attractive, durable, and avoid evoking feelings of a “gold-plated with your health care dollars” image to the public. Mechanical and support spaces are to be located out of public view whenever possible, with simple, clean building elements that work with the overall architectural massing. Exterior canopies shall be designed to accommodate emergency vehicles (fire engines, ambulances, etc). The following images represent the design philosophies of similar Intermountain Healthcare facilities located throughout the Wasatch Front and the State of Utah.



c) Guiding Development Standards

10. Design Philosophies and Use of Materials

The design philosophies and use of materials at this site will be consistent with the City's Design Guidelines. This would include using a variety of building material on the facade. The use of the primary building material shall not comprise more than 70% of the total facade material. As shown in these photographs, there is a varied mixture of outside building materials with plenty of glazing to allow for natural light. Intermountain Healthcare evaluates specific building design and exterior materials on an individual basis depending on land size, topography, and a harmonious architectural theme which supports the City's Design Guidelines.



c) Guiding Development Standards

10. Design Philosophies and Use of Materials



Maximum Allowable Equivalent Residential Units Calculations

The Saratoga Springs City Center District Area Plan grants the right to develop, in accordance with Section 19.26.130 of the City Code, 16,000 housing units and 10 million gross square feet of non-residential uses, at the discretion of the land owner, which includes the rights to develop 20,620 equivalent residential units in accordance with the previously executed water agreement. This implies that for non-residential uses there are 4,620 available equivalent residential units. Therefore, 1 equivalent residential unit is available for every 2,164.5 square feet of non-residential gross floor area. Table 6.1 shows the maximum allowable equivalent residential units for this development. These are just planning level numbers, water dedications, and impact fees. Utility user rates will be determined during site plan and building permit stages.

Equivalent Residential Unit (ERU) Calculation	
District Area Place Type	Business Park
Total Developable Site Acreage	40.34 Acres
Maximum Allowable Floor Area Ratio	0.93
Maximum Allowable Floor Area	1,634,206 Sq. Ft.
Maximum Allowable ERU (2,164.5 ft ² /ERU)	755 ERU

Table 6.1: Equivalent Residential Unit Calculations

Culinary Water

Culinary water usage records were obtained from two existing Intermountain Healthcare facilities located in Riverton and American Fork to help estimate the water demands for the proposed Saratoga Springs campus. The provided records indicated the yearly consumption in gallons from 2012 to 2016. The overall building square footage was also provided for each campus along with the net developed acreage. The highest annual culinary water usage per square foot occurred during 2016 at the American Fork Campus. The American Fork Campus has a combined building area of 438,418 square feet and consumed 14,387,000 gallons (1,923,262 cu. ft.) of water in 2016. This is equivalent to 4.39 cubic feet of water per square foot of building. IHC is proposing a maximum combined building area of 1,200,000 square feet for their Saratoga Springs campus. Multiplying the maximum area by 4.39 cu. ft. yields an estimated yearly water consumption of 5,268,000 cu. ft. (120.9 acre-feet) of water. Per Title 8 of Saratoga Springs Municipal Code 0.45 acre-feet shall be secured for each equivalent residential connection (ERC). Assuming that the Saratoga Springs campus would have similar culinary water usage as their American Fork campus, then the total required number of ERC's would be 120.9 ac-ft/0.45 ac-ft or 269 ERCs.

The property will be served by the Zone 1 drinking system; however, Zone 1 does not have sufficient pressure to supply water to multi-story buildings. The property is also adjacent to the Zone 2 drinking system which has much higher pressures. Possible solutions to this issue would be to connect to the Zone 2 system or provide pumps.

High rise buildings are typically Type I-A or I-B construction. Per the 2015 International Fire Code a building may have up to a 75% reduction to the required fire flow if the building has fire sprinklers; however, the reduced fire flow cannot be less than 1,000 gpm. The required fire flow for any Type I building with 295,901 square feet or greater shall have a required fire flow of 6,000 gpm with a flow duration of 4 hours. A conservative fire flow reduction of 33% is assumed due to the building having fire sprinklers. Therefore the required fire flow is estimated at 4,000 gpm for 4 hours. This equates to a required system water storage of 960,000 gallons.

Secondary Water / Irrigation Water

The Saratoga Springs City Center District Area Plan lists the range of open space for a Business Park between 15 and 17%. This Community plan assumes an open space of 17%. This equates to a maximum open allowable open space of 6.87 acres for this development. A 12 inch secondary water main installed in Medical Drive will provide irrigation water for this development. The Saratoga Springs City Impact Fees Facility Plan was used to determine the secondary water demand for source, storage, and water shares.

The proposed level of service for source in the Secondary Water System is 7.5 gpm per irrigated acre. For 6.87 acres the required source demand is estimated at 51.5 gpm.

The proposed level of service for storage in the Secondary Water System is 9,216 gallons per irrigated acre. For 6.87 acres the the required storage volume is 63,314 gallons.

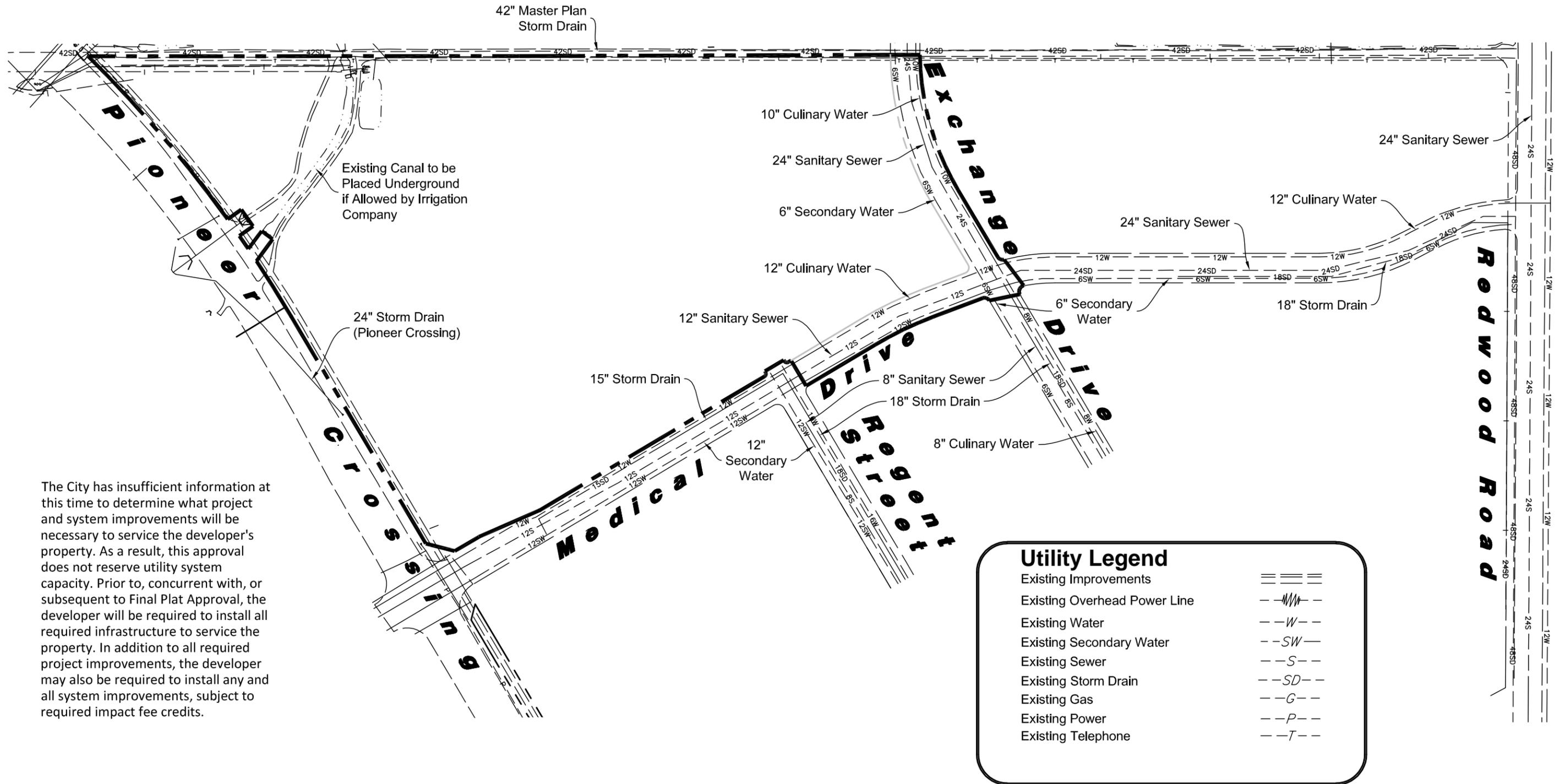
The proposed level of service for water rights is 3.13 acre-feet per irrigated acre. The water rights for 6.87 acres is 21.5 acre-feet per year.

Sanitary Sewer

Sanitary sewer for this development will connect to a 12 inch sewer main located in Medical Drive. Sanitary sewer requirements were based on the recommendations outlined in the Saratoga Springs Sewer Capital Facilities Plan. The plan recommends that the projected unit flow rate for planning be based on the historic flow rate of 255 gpd/ERC. When I&I is removed and indoor consumption is accounted for the indoor water use is closer to 246 gpd/ERU. The estimated water flow for this project is 5,268,000 cubic feet per year which is equivalent to 108,000 gallons per day. This equates to 439 sewer ERUs. 439 sewer ERUs multiplied by the historic flow rate of 255 gpd/ERC is 111,900 gallons per day.

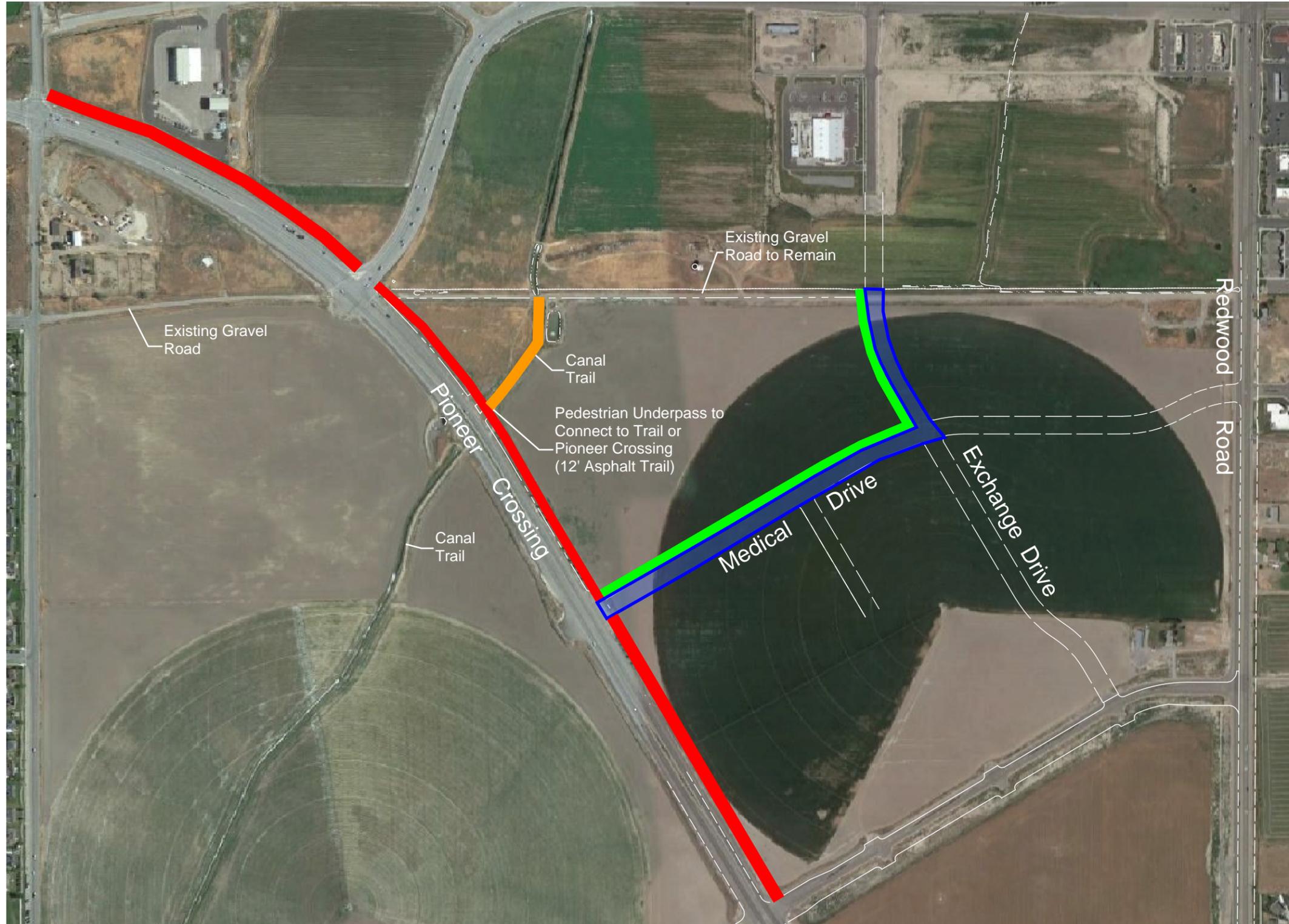
Storm Drain

Storm water from this development will be routed into what is currently being proposed as a 15 inch diameter storm drain pipe in Medical Drive. The 15 inch pipe will drain into the University of Utah community-planned property. The maximum allowable storm water discharge for this property is 0.1 cfs/acre. For the 40.34 acre development the maximum allowable storm water discharge will be 4.03 cubic feet per second.



The City has insufficient information at this time to determine what project and system improvements will be necessary to service the developer's property. As a result, this approval does not reserve utility system capacity. Prior to, concurrent with, or subsequent to Final Plat Approval, the developer will be required to install all required infrastructure to service the property. In addition to all required project improvements, the developer may also be required to install any and all system improvements, subject to required impact fee credits.

a) Thoroughfare / Pedestrian Network Plan



Legend

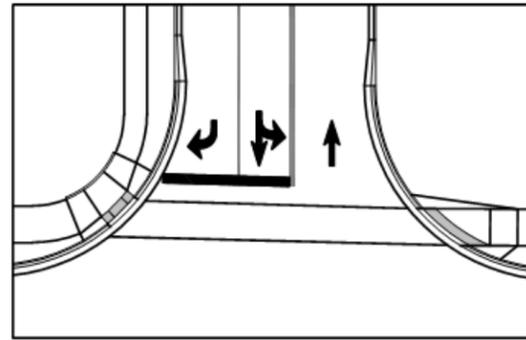
- Proposed 77.0' Wide Public Street
- Existing 12.0' Asphalt Trail
- Proposed 5.0' Sidewalk
- Proposed 12.0' Canal Trail
(Alignment of trail to be determined with the Village Plan)

Internal circulation and thoroughfares will be shown in detail with the Village Plan submittal.

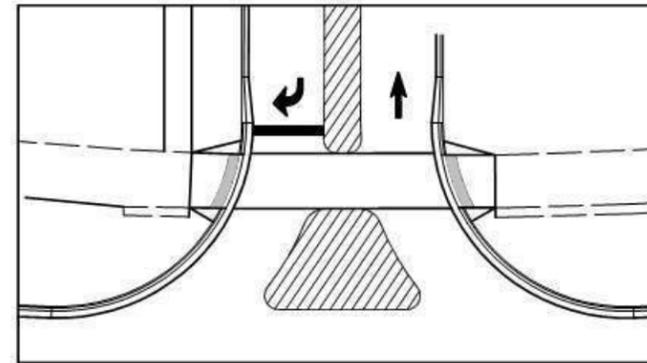
b) Vehicular Site Access Plan

Note:

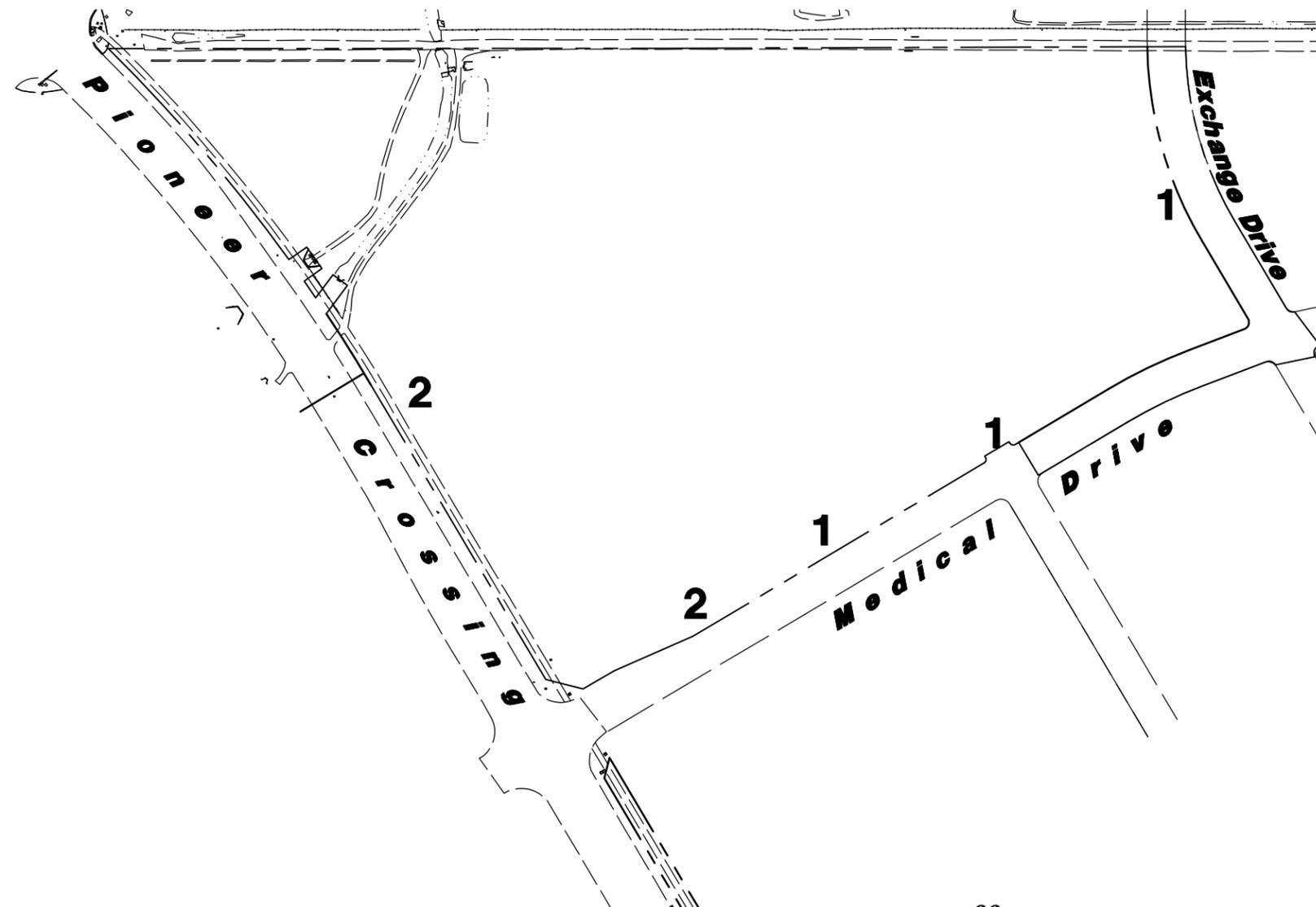
1. Access types are conceptual and will be approved by UDOT or Saratoga City at Site Plan review. Locations, widths and number of accesses may vary, and will also be determined at Site Plan review.



1 Conceptual 3 Lane Full Access



2 Conceptual Right In/Out with (Striping Only)



a. Physical Characteristics

Waterways

A canal extends through the northwest portion of the property.

An irrigation pond exists just east of the canal along the north boundary of the site.

The Utah Lake distributing Canal will be placed underground if approved by Irrigation Company. The irrigation pond will be removed when the site develops.

Fault Lines and geological Information

The site is located in an area mapped as having a "low to moderate" potential for liquefaction (Anderson and others, 1994). The soil type most susceptible to liquefaction during a large earthquake is loose, clean sand. The liquefaction potential for soil decreases with an increase in fines content and density.

Liquefaction is not considered a hazard at the site because the water table is more than 30 feet below grade.

The subsurface soils correspond with site class D.

There are no mapped active faults extending through the site. The closest mapped active fault to the site is the Wasatch fault located approximately 9.5 miles to the east (UGS, 2017)

Slopes

The site currently slopes from the west to east at approximately 3% with the exception of the existing canal. No slopes exist on the site that are greater than 30%.

Canal and Detention

The 40 acre parcel contains a canal that runs through the northwest portion of the property. This will be placed underground if approved by the Irrigation Company. Information for on-site detention and retention of storm water will be detailed in the Village Plan.

b. Findings Statement

1. The Intermountain Healthcare Community Plan is generally consistent with the goals, objectives, and policies of the District Area Plan (DAP). Using the business park place type as a guide the community plan has been created to allow for development of a medical style campus that is in harmony with the DAP guidelines. Intermountain Healthcare's design philosophy encourages aesthetic harmony with the surrounding environment.
2. The Intermountain Healthcare Community Plan contains sufficient standards to guide the creation of innovative design that responds to unique conditions.
3. The Intermountain Healthcare Community Plan is compatible with the surrounding development and properly integrates land uses and infrastructure with adjacent properties. The U of U Medical Center Community Plan is being developed directly south which is compatible with this plan.
4. The Intermountain Healthcare Community Plan includes adequate provisions for utilities, services, roadway networks, and emergency vehicle access. Public streets will be constructed to the east and south. Pioneer Crossing exists to the west. Future connections are planned to Commerce Drive, Redwood Road and Market Street. These improvements will provide utilities and emergency access necessary for this development.
5. The Intermountain Healthcare Community Plan is consistent with the guiding standards. It incorporates the place type from the DAP and provides additional guidance on developing a medical campus in harmony with the surrounding developments.
6. The Intermountain Healthcare Community Plan contains the required elements required by section 19.26.07 of the Planned Community Zone.
7. The Intermountain Healthcare Community Plan meets the minimum required open space on the adopted DAP.

c. Environmental Issues

Phase I Environmental Site Assessment was performed on the Undeveloped 42-Acre Parcel property located at 34 West Market Street in Saratoga Springs, Utah. The purpose of the Phase I Environmental Site Assessment was to identify, to the extent feasible pursuant to the processes described in ASTM E 1527-13, recognized environmental conditions¹ in connection with the subject property.

The subject property consists of approximately 42.3 acres of vacant agricultural land with an irrigation canal present near the western boundary of the property, an unpaved gravel road running along the northern property boundary, and a new four lane road (Pioneer Crossing) running along the western property boundary. At the time of the site reconnaissance, no evidence of recognized environmental conditions on the property were observed.

According to the current property owner, the subject property has historically been used for agricultural production. The subject property has been owned by Suburban Land Reserve, the current owner or affiliated organizations of the Corporation of the Presiding Bishop of the Church of Jesus Christ of Latter day Saints for approximately 21 Years.

The subject property was identified as a former leaking underground storage tank site, known as the Saratoga West Crops Project canal Pump (Facility ID 1000677, Release EHYY). During removal of 3,000-gallon diesel underground storage tank of January 14, 1993, closure samples indicated a release of diesel to soil at a concentration of 203 milligrams per kilogram (mg/kg) at the north end of the underground storage tank. The impacted area was over excavated and approximately 128 Cubic yards of soil was aerated at an off-site concrete silage pad. Soil samples collected at the limits of the excavation were below laboratory detection limits for diesel-related petroleum hydrocarbons. Utah department of Environmental Response and Remediation issued a "No Further Action" letter in April 1995. The release from the former underground storage tank on the subject property would be considered an historical recognized environmental condition.

One leaking underground storage tank site was identified on the east adjoining property. The site has received regulatory closure. Based on regulatory agency records, the identified release would not be expected to have impacted the subject property.

¹The presence or likely presence of any hazardous substance or petroleum products in, on, or at a property (1) due to a release to the environment; (2) under conditions indicative of a release to the environment, or (3) under conditions that pose a material threat of a future release to the environment (ASTM E 1527-13).

d. Compliance Statements

The development will be governed by agreements between the city and owner. Open space will be improved as each phase of the development occurs. Standards from this Community Plan will be used as the guideline for future village plans that will further define and shape the development.