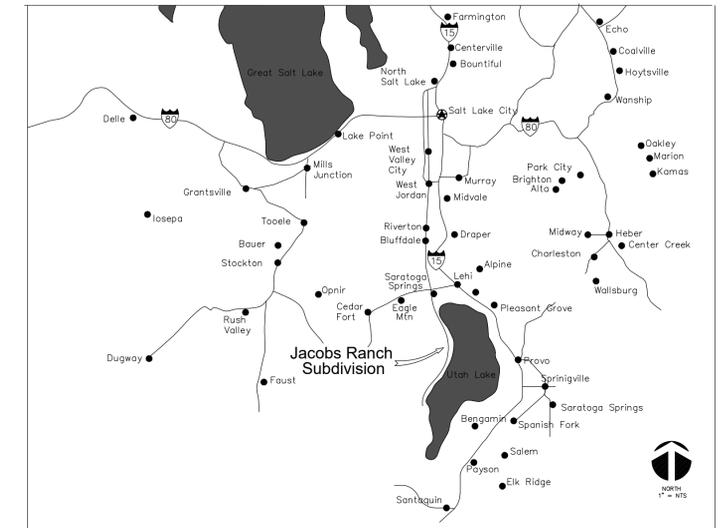


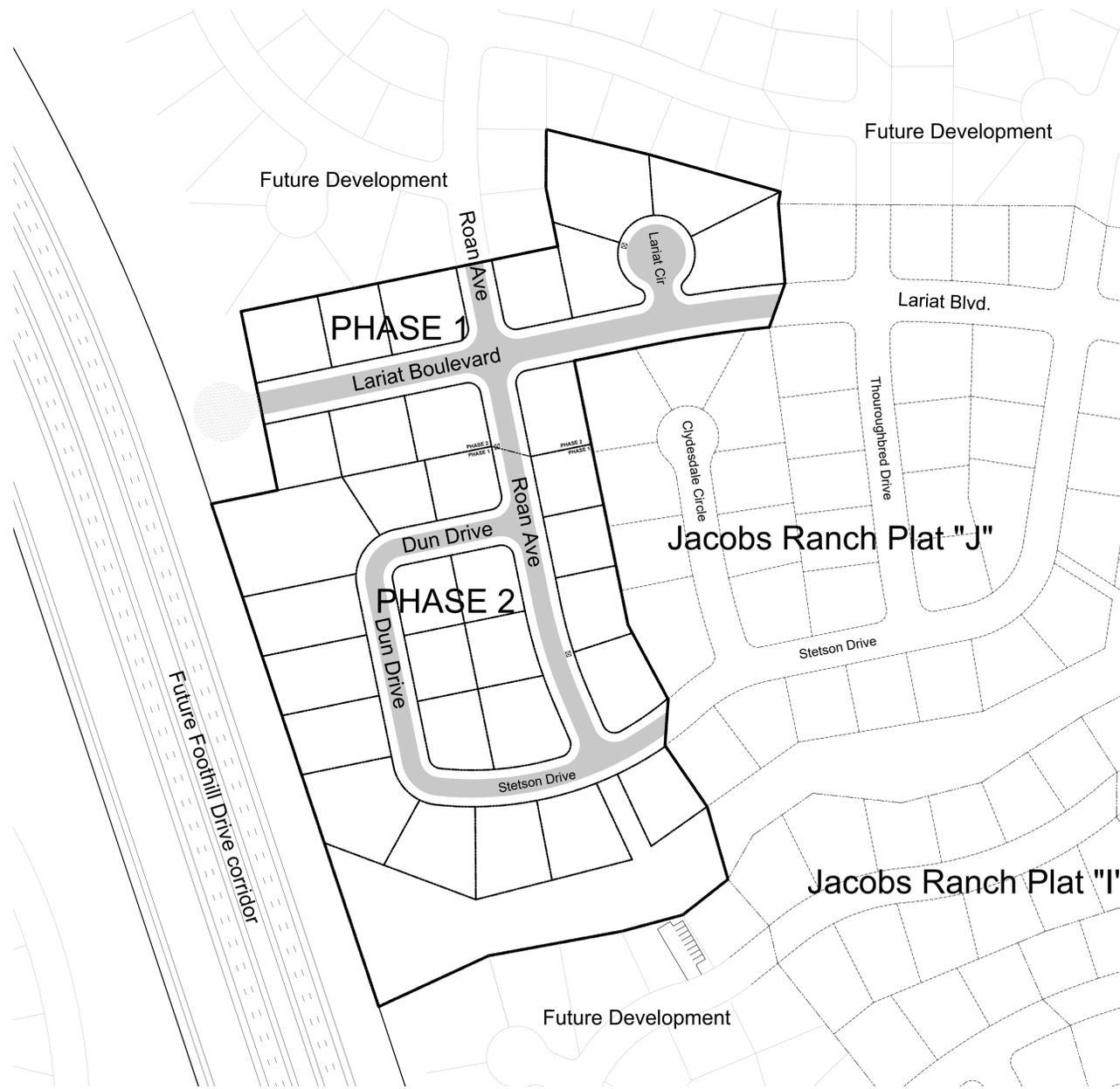
Jacobs Ranch Plat S

A Residential Subdivision

Saratoga Springs, Utah



Symbol	Description
	Proposed 8" SDR-35 PVC Sanitary Sewer Main
	Existing Sanitary Sewer Main (size noted on plan)
	Proposed 8" C900 PVC Culinary Water Main
	Existing Culinary Water Main (size noted on plan)
	Existing Storm Drain pipe (size noted on plan)
	Proposed Class III Storm Drain pipe (size noted on plan)
	Cable TV utility lines
	Existing Power lines
	New underground Power lines
	Outside Boundary line
	Existing surface improvements
	Existing Sidewalk
	Existing Contour Elevation
	Finish Contour Elevation
	Finish Spot Elevation
	Drainage Flow Direction
	Water Meter (size noted on plan)
	Culinary Water Valve
	Fire Hydrant
	Sanitary Sewer Manhole
	Storm Drain Manhole
	Storm Drain Box
	top of asphalt
	top of sidewalk
	back of top of curb
	Sanitary Sewer Manhole
	Storm Drain Manhole
	Water Valve
	Gas valve
	Water Meter
	edge of existing asphalt
	Public Utility Easement



City Offices

1037 North Commerce Drive Suite 200
Saratoga springs, UT 84045
Phone (801) 766-9793
Fax (801) 766-9794
City Manager : Mark Christensen
Assistant City Manager: Spencer Kyle

Planning Department

1037 North Commerce Drive Suite 200
Saratoga springs, UT 84045
Phone (801) 766-9793

Planning Director: Kimber Gabryszak
Senior Planner : Sarah Carroll

Public Works Department

Public Works Dir: Jeremy Lapin
801-766-6506 x171

Public Safety

Saratoga Springs Police Department
2015 S. Redwood Rd
Saratoga Springs, Utah 84045
801-766-6503

Emergency 911
Police Dispatch 801-851-4100
Utah County Animal Shelter
801-785-3442

Engineering

Gordon Miner, PE
1037 North Commerce Drive Suite 200
Saratoga Springs, UT. 84045
Office (801) 766-6506

Capital Projects Manager:
Mark Edwards
801-766-6506 x171

Gas

Questar
1640 North Mountain Springs Parkway
Springville, Utah 84663
Phone (801) 853-6585
Brad Mattinson

Electricity

Rocky Mountain Power
70 North 200 East
American Fork, Utah 84003
Phone (801) 756-1220
Fax (801) 756-1274
Mark Steele

Telephone

Qwest
75 East 100 North
Provo, Utah 84606
Phone (801) 356-7050
Cell (801) 473-3385
Kasey Lunt

Cable T.V.

Comcast Cable Communications, Inc.
1350 East Miller Avenue
Salt Lake City, Utah 84106
Phone (801) 485-0500
Fax (801) 487-1887

Property Owner

Patriot Ridge LLC
%Margaret Stoddard
679 East 400 North
Firth, Idaho 83236-1226

Engineer/Land Surveyor

Dudley and Associates, Inc.
353 East 1200 South
Orem, Utah 84058
801-224-1252
Roger Dudley PE, PLS

	Square Footage	Acreage	Percent of total
Total Area	781,239	17.93	100
Total Lot Area	543,289	12.47	70
Total ROW Area	170,581	3.92	24
Total Landscape Area	48,056	1.10	7
Total Impervious Area	93,836	2.15	13
Open Space Area	86,249	1.98	11
Total # of Lots			33

Tabulation Table

Property Description

Commencing at the Northwest corner of Lot 46, Plat "J", Jacobs Ranch Subdivision, said point also being located North 00°12'18" East along the Section line 158.11 feet and West 3264.66 feet from the East quarter corner of Section 2, Township 6 South, Range 1 West, Salt Lake Base and Meridian; thence along Plat "J", Jacobs Ranch Subdivision as follows: along the arc of a 1966.00 foot radius curve to the left 202.47 feet (chord bears South 81°23'32" West 202.38) feet, South 78°26'30" East 118.40 feet, South 11°33'30" East 435.09 feet, South 28°27'20" East 136.51 feet, South 03°58'52" East 74.54 feet, South 34°39'31" East 119.93 feet, South 16°05'47" East 122.11 feet; thence South 51°55'24" West 93.04 feet; thence South 75°00'04" West 102.53 feet; thence South 79°38'16" West 219.05 feet; thence South 65°14'41" West 196.10 feet; thence North 18°26'01" West 855.18 feet; thence North 78°26'30" East 109.21 feet; thence North 11°33'30" West 294.51 feet; thence North 78°26'30" East 523.64 feet; thence North 11°33'30" West 96.22 feet; thence North 00°24'42" East 94.23 feet; thence South 76°23'17" East 170.89 feet; thence South 74°15'41" East 221.42 feet; thence South 09°13'47" West 20.04 feet; thence South 04°45'03" East 128.69 feet; thence South 19°45'28" West 75.00 feet to the point of beginning.

Area = 743,504 sq.ft. or 17.07 Acres

Basis of Bearing is North 00°12'18" East along the Section line from the East quarter corner to the Northwest corner of said Section 2.

Sheet Index

Sheet #(s)	Description
1	Cover Sheet
1.1	General Notes
1.2	Record of Survey Map
1.3	Final Plat
1.4	Existing/Demolition Plan
1.5	Site Plan
2.0	Preliminary Plat
3.0	Overall Utility Plan
D-5.1	Sanitary Sewer Details
D-5.2	Culinary and Secondary water details
4.0	Overall Storm Drain Plan
D-4.1	Storm Drain Details
P1-P2	Lariat Blvd improvement plan
P3	Lariat Circle
P4-P5	Roan Ave improvement plan
P6	Stetson Drive improvement plan
P7-P8	Dun Drive improvement plan
D-5.0	Street improvement Details

GENERAL NOTES:

- The fire protection items (fire hydrant, water mains, access roads, etc.) shown on this site plan are preliminary only. Detailed fire protection plans shall be submitted with the building plans. Plan reviews by the fire Prevention Bureau shall be completed prior to the issuance of a building permit. The plan reviews by the Fire Prevention Bureau may identify additional fire protection requirements mandated by the International Fire Code. Fire hydrant foot valves shall be installed at the connection point with the main water lines.
- All landscaped areas shall have an automatic, underground sprinkling system with a back-flow device to the building. Back-flow devices shall be installed and tested in accordance with the City Code. Water meters shall be located at the back of sidewalk or curb in an area that is accessible for reading and servicing. Water meters shall not be located within areas enclosed with fences or within 10 feet (10') of any existing or proposed structure.
- If required by the City Code or by the applicant's permit for Industrial Wastewater Discharge, a sampling manhole and fat and oil separator/grease trap shall be installed I.A.W. City standards and specifications.
- All signage shall comply with the requirements of the City Code.
- All utilities, including water and sewer laterals, water and sewer mains, storm water drains, storm water sumps, sewer manholes, water valves, etc., shall not be located under covered parking areas and shall be installed according to the City Code.
- All roof drainage shall be routed through on-site storm water management facilities.
- At the time of construction, the City of Saratoga Springs may determine based on professional experience and judgment and at its sole discretion, the need for the Owner/Developer to pay for, remove, and replace any existing substandard improvements such as curbs, gutters, sidewalks, drive approaches, driveways, decorative concrete, wheelchair ramps, etc., or any unused drive approaches.
- All construction shall conform to the City of Saratoga Springs construction standards and specifications unless the improvement is within the UDOT right-of-way, in which case the construction shall conform to UDOT construction standards and specifications.
- Contractor shall field verify locations and invert elevations of existing manholes and other utilities before staking or constructing any new sewer lines.
- Contractor shall field verify locations and invert elevations of existing storm drain structures and other utilities before staking and constructing any new storm drain lines.
- All construction shall comply with the Standard Technical Specifications and Drawings for the City of Saratoga Springs, Utah.
- Existing utilities have been noted to the best of Engineers knowledge, however it is the owner's and contractor's responsibility to located utilities in the field and notify the City Engineer and City if discrepancies exist prior to continuing any construction.
- Post-approval alterations to lighting plans or intended substitutions for approved lighting equipment shall be submitted to the City for review and approval.
- The City reserves the right to conduct post-installation inspections to verify compliance with the City's requirements and approved lighting Plan commitments, and if deemed appropriate by the City, to require remedial action at no expense to the City.
- All exterior lighting shall meet IESNA full-cutoff criteria.

UTILITY GENERAL NOTES

- All installation and materials shall, at a minimum, conform to Saratoga Springs standards, specifications, and plans.
- The contractor shall obtain a permit for utility construction at least 48 hours prior to construction.
- Contractor shall coordinate with all utility companies for installation requirements and specifications.
- All necessary inspections and/or certifications required by codes and/or utility service companies shall be performed prior to announced building possession and the final connection of service.
- The contractor is specifically cautioned that the location and/or elevation of existing utilities as shown on these plans is based on records of the various utility companies, and where possible, measurements taken in the field. The information is not to be relied on as being exact or complete. The contractor must call the appropriate utility companies at least 48 hours before any excavation to request exact field location of utilities. It shall be the responsibility of the contractor to relocate all existing utilities which conflict with the proposed improvements shown on the plans.
- Underground utilities shall be installed, inspected and approved before backfilling.
- Contractor shall notify Saratoga Springs Engineering inspectors 72 hours before connecting to any existing utility.
- All fill material is to be in place and compacted before installation of proposed utilities.
- Existing utilities shall be verified in field prior to installation of any new lines.
- All ductile and gray iron fittings shall be manufactured in accordance with the following AWWA standards: C-104 cement mortar lining, C-110 gray-iron and ductile iron joints. All fittings shall be seal coated with bituminous material. All fitting shall be 250 PSI minimum pressure rating.
- Manholes shall be precast conforming to ASTM C-478. Concrete bases shall be poured in place or precast.
- All utility pipes shall be bedded and backfilled in accordance with the detail drawings and site work specifications.
- Tops of existing manholes shall be raised as necessary to be flush with proposed pavement elevations. Any existing manholes in unpaved areas shall be 6 inches above finished ground elevations with water tight lids.
- All concrete for encasements shall have a minimum 28 day compression strength at 4000 PSI.
- Site work contractor shall be responsible for all improvements to with 5 ft. of proposed building unless specified otherwise. Site work contractor shall coordinate with building contractor on all utility building entrance locations.
- In the event of a vertical conflict between waterlines, sanitary lines, storm lines and gas lines (existing and proposed), the sanitary line shall be ductile iron pipe with mechanical joints at least 10 feet on both sides of crossing, the waterline shall have mechanical joints with appropriate thrust blocking as required to provide a minimum of 18-inch clearance meeting requirements of ANSI A21.10 or ANSI 21.11 (AWWA C-151) (CLASS 50).
- Drawings do not purport to show all existing utilities.
- Contractor shall verify utility locations prior to subsurface work for light poles (boring etc.) and similar structures.
- See notice requirement under general project notes.
- The general contractor shall ensure that all sub-contractors have installed utilities in accordance with the specifications and design (line, grade, no sags, etc.) prior to scheduling close-out meetings with the city.
- All utilities shall be pre-tested prior to the city witnessing the test to ensure that said utilities will pass during city witness of testing. If any utilities do not pass during city witness of testing due to not performing the pre-testing, a \$5000 penalty will be applied to the general contractors.

SURVEY CONTROL NOTE:

The contractor or surveyor shall be responsible for following the National Society of Professional Surveyors (NSPS) model standards for any surveying or construction layout to be completed using Dudley & Associates ALTA Survey or Dudley & Associates construction improvement plans. Prior to proceeding with construction staking, the surveyor shall be responsible for verifying horizontal and vertical control from the survey monuments and for verifying any additional control points shown provided by Dudley & Associates. The surveyor shall also use the benchmarks as shown on the plan, and verify them against no less than three existing hard improvement elevations included on these plans or on electronic data provided by Dudley & Associates. If any discrepancies are encountered, the surveyor shall immediately notify the engineer and resolve the discrepancies before proceeding with any construction staking.

PRIVATE ENGINEER'S NOTICE TO CONTRACTORS

The Contractor agrees that he shall assume sole and complete responsibility for job site conditions during the course of construction of this project, including safety of all persons and property, that this requirement shall apply continuously and not be limited to normal working hours; and that the contractor shall defend, indemnify, and hold the owner and the engineer harmless from any and all liability, real or alleged, in connection with the performance of work on this project, excepting for liability arising from the sole negligence of the owner or the engineer.

SANITARY SEWER GENERAL NOTES

- See this sheet for general project notes.
- All sanitary sewer construction shall be in conformance with Saratoga Springs standards and specifications.
- All gravity sanitary sewer lines shall be in conformance with Saratoga Springs standards and specifications.
- Distances for sanitary sewer lines shall be SDR-35 PVC. Sewer line construction and materials shall conform to ASTM standards and specifications.
- Rim elevations shown are approximate only and are not to be taken as final elevation. Pipeline contractor shall use precast concrete adjustments rings, grout, and steel shims to adjust the manhole frame to the required final grade in conformance with the standard specifications. All frames shall be adjusted to final grade prior to the final lift of asphalt.
- All sanitary sewer main testing shall be accordance with the Saratoga Springs standards and specifications copies of all test results shall provided to the engineer, the owner, and the governing authority prior to the start of the warranty period.
- Compaction of all trenches within the project site must be attained and compaction results submitted to Saratoga Springs Department of Public Works.
- The contractor is responsible for protecting all existing structures and improvements during installation of sanitary sewer line.
- The contractor is responsible for the following:
 - Obtaining all required permits from the city or regulatory authorities at the contractors cost including permits required for work within the public right-of-way.
 - Restoration of any existing improvements including (but not limited to) fences, sod, landscaping, pavement, sprinkler systems.
 - Verification and protection of all existing utilities within the limits of construction.
 - Providing as-built drawings to Saratoga Springs and engineer.
 - All permitting, development, location, connecting and inspection.
 - Verifying all standard details conform to the current Saratoga Springs standards and specifications.
 - For obtaining and understanding all city, county, and state standards and specifications pertaining to the construction of sanitary sewer improvements.
 - Reference architectural plans for all connections to building services and verify locations as shown.
- The contractor shall provide all materials necessary for construction or installation of all proposed improvements shown.
- The contractor shall patch the existing sewer main and provide an as-built elevation of the main to the engineer prior to any new construction.
- Sanitary sewer pipes shall be bedded in accordance with Saratoga Springs standards.

STORM DRAIN GENERAL NOTES

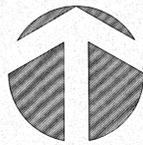
- The contractor shall be responsible for the following:
 - Obtaining all required permits from the city or regulatory authorities at the contractor's cost including permits required for work within the public right-of-way.
 - Restoration of any existing improvements including (but not limited to) fences, sod, landscaping, pavement, sprinklers systems.
 - Verification and protection of all existing utilities within the limits of construction.
 - Providing as-built drawings to the city and engineer.
 - All permitting, development, location, connection and inspection.
 - Scheduling all required inspections.
- All storm drain construction shall be in conformance with Saratoga Springs standards, specifications, and plans.
- Distances for storm drains are the horizontal distances from center of manhole or inlet to center of manhole or inlet. Therefore, distances shown on plans are approximate and could vary due to vertical alignment.
- Rim elevations shown are approximate only and are not to be taken as final elevation. Pipeline contractor shall use precast concrete adjustments rings, grout, and steel shims to adjust the manhole frame to the required final grade in conformance with Saratoga Springs standards, specifications and plans. All frames shall be adjusted to final grade prior to the final lift of asphalt.
- Compaction of all trenches within the project site must be attained and compaction results submitted to the engineer prior to final acceptance.
- Storm drain pipes entering structures shall be grouted to assure connection at structure is watertight.
- All storm drain pipes entering structures shall be grouted to assure connection at structure is watertight.
- All storm drain manholes in paved areas shall be flush with pavement and shall have traffic bearing lids. Manholes in unpaved areas shall be 6" above finished grade. All storm drain lids shall be labeled "storm drain".
- Contractors shall verify horizontal and vertical location of all existing storm drain structures, pipes, and all utilities prior to construction.
- Storm drains shall be bedded in accordance with Saratoga Springs standards.

GRADING PLAN GENERAL NOTES

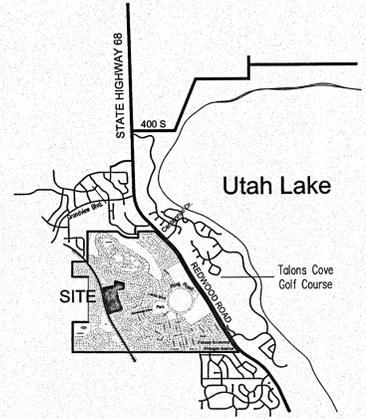
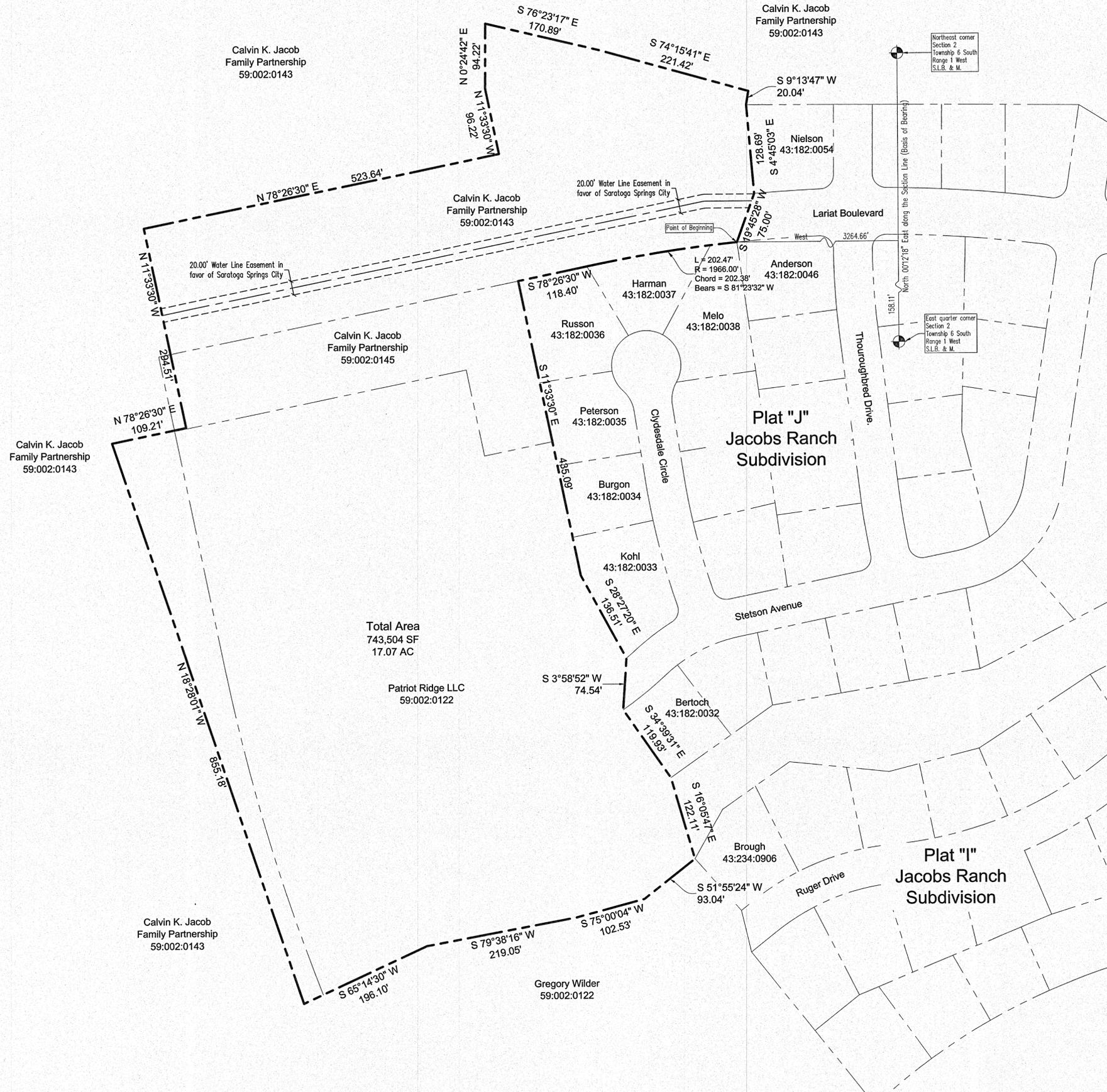
- Contours shown are for finished paving, sidewalk, slab, or ground adjustment to subgrade is the contractor's responsibility.
- All disturbed areas that are unsurfaced or are not designated as landscape areas are to be seeded, fertilized, and watered until a healthy stand of grass is obtained.
- If during the overlot grading process, conditions are encountered which could indicate an unidentified situation is present, the soils engineer shall be contacted for recommendations.
- Unless otherwise shown, not proposed slope shall exceed three (3) horizontal to one (1) vertical. All sloped areas must be protected from erosion.
- If stripped materials consisting of vegetation and organic materials are stockpiled on the site, topsoil may be placed to a height of five feet. Silt fence shall be placed around the base of the stockpile and the stockpile shall be seeded with native seed mix immediately after stripping operations are complete.
- On-site materials suitable for fill beneath drives and parking areas beyond 5' of the building shall be compacted in accordance with guidelines presented in the soils report.
- Spot elevations shall take precedence over contours and slopes shown. The contractor shall notify the engineer of the spot elevations that do not appear to be consistent with the contours and slopes. Spot elevations and specific profile design shall be used for setting elevations of curb, gutter and utilities.
- Benchmark verification: Contractor shall use benchmarks and datums shown hereon to set project benchmark(s), by running level loop between at least two benchmarks, and shall provide survey notes of such to project engineer prior to commencing construction.
- All utilities (manholes, valve covers, cleanouts, vaults, boxes, etc.) shall be adjusted to final grade prior to the final lift of asphalt.
- All earth moving and placement operations shall be in conformance with the recommendations identified in the soils report. The contractor shall have a signed and sealed copy of the soils report on the site at all times.
- The contours shown in the detention/retention pond area represent final grade. The top 6 inches of material in the detention/retention pond and berm areas shall be top soil as specified in the project standards.
- Grades within asphalt parking areas shall be constructed to within 0.10 feet of the design grade. However, the contractor shall maintain positive drainage in all pavement areas and along all curbs. All curbs shall be built in accordance to the plan. Curbs or pavement areas which do not provide proper drainage must be removed and replaced at the contractor's expense.
- Spot elevations represent flow line or top of asphalt unless otherwise noted.
- The contractor is responsible for providing his own estimate of earthwork quantities.
- All landscaped islands shall have a crown of topsoil prior to landscaping. Refer to landscape plan for specifications.
- Were new curb and gutter is being constructed adjacent to existing asphalt or concrete pavement, the following shall apply: Prior to placement of any concrete, the contractor shall have a licensed surveyor verify the grade and cross slope of the curb and gutter forms. The contractor shall submit the slopes and grades to the engineer immediately of any section which does not conform to the design or typical cross section. The contractor shall be solely responsible for curb and gutter pours without the approval of the engineer.
- The earthwork for all building foundations and slabs shall be in accordance with architectural building plans and specifications.
- Pre cast structures may be used at contractor's option.
- Existing drainage structures to be inspected and repaired as needed, and existing pipes to be cleaned out to remove
- Existing grade contour intervals shown at 1 foot intervals.
- Proposed grade contour intervals shown at 1 foot intervals.
- If any existing structures to remain are damaged during construction, it shall be the contractor's responsibility to repair and/or replace the existing structure as necessary to return it to existing conditions or better.
- The contractor shall adhere to all terms & conditions as outlined in the general permit for storm water discharge associated with construction activities.
- Contractor shall adjust and/or cut existing pavement as necessary to assure a smooth fit and continuous grade.
- Contractor shall assure positive drainage away from buildings for all natural and paved areas.
- Topographical information taken from a topographic survey by (Dudley & Associates). If contractor does not accept existing topography as shown on the plans, without exception, he shall have made, at his expense, a topographic survey by a registered land surveyor and submit it to the owner for review.
- All unsurfaced areas disturbed by grading operation shall receive 4 inches of topsoil. Contractor shall apply stabilization fabric to all slopes 3H:1V or steeper. Contractor shall place sod or hydroseed to disturbed areas in accordance with city/county specifications and maintain until a healthy stand of grass is obtained.
- Construction shall comply with all applicable governing codes and be constructed to some.
- Contractor is responsible for verifying all utilities and notifying the appropriate utility company prior to beginning construction.
- Site work shall meet or exceed site specifications.
- All concrete to have a minimum 28 day compression strength of 4000 PSI.

GENERAL NOTES

- All materials, workmanship, and construction of site improvements shall meet or exceed specifications set forth in the Saratoga Springs City Public Works, Regulations and applicable state and federal regulations (including ADA guidelines). Where there is a conflict between these plans and the specifications, or any applicable standards, the higher quality standard shall apply. All work with public R.O.W. or easements shall be inspected and approved by the Saratoga Springs City Public Works Inspector and/or UDOT. Inspection services and construction certification to be provided by engineer of record.
- The contractor is specifically cautioned that the location and/or elevation of existing utilities, as shown on these plans, is based on records of the various utility companies and where possible, measurements taken in the field, the information is not to be relied upon as being exact or complete. The contractor must call the local utility location center at least 48 hours before any excavation to requested exact field locations of the utilities. Prior to construction, the contractor shall verify pertinent locations and elevations, especially at the connection points and at potential utility conflicts. It shall be the responsibility of the contractor to relocate all existing utilities that conflict with the proposed improvements shown on these plans.
- The contractor shall be responsible for obtaining all necessary permits from all applicable agencies. The contractor shall notify the Saratoga Springs City Public Works Inspector at least 48 hours prior to the start of any earth disturbing activity, or construction on any and all public improvements.
- The contractor shall coordinate with Saratoga Springs City and all utility companies involved with regard to relocations or adjustments of existing utilities during construction and to assure that the work is accomplished in a timely fashion and with a minimum disruption of service. The contractor shall be responsible for contacting all parties affected by any disruption of any utility service.
- The contractor shall have one (1) signed copy of the approved plans, one (1) copy of the appropriated standards and specifications, and a copy of any permits and extension agreements needed for the job, on-site at all times.
- The contractor shall be responsible for all aspects of safety including, but not limited to, excavation, trenching, shoring, traffic control and security.
- If during the construction process, conditions are encountered by the contractor, his subcontractors, or other affected parties which could indicate a situation that is not identified in the plans or specifications, the contractor shall contact the engineer immediately.
- All references to any published standards shall refer to the latest revision of said standard, unless specifically stated otherwise.
- The contractor shall submit a traffic control plan in accordance with the manual on uniform traffic control devices to the appropriate right-of-way authority (city, county or state) for approval, prior to any construction activities within, or affecting the right-of-way. The contractor shall be responsible for providing any and all traffic control devices as may be required buy the construction activities.
- The contractor is responsible for providing all labor and materials necessary for the completion of the intended improvements shown on these drawings or designated to be provided, installed, constructed, removed and relocated unless specifically noted otherwise.
- The contractor shall be responsible for keeping roadways free and clear of all construction debris and dirt tracked from the site.
- The contractor shall be responsible for recording as-built information on a set of record drawings kept at the construction site, and available to the Saratoga Springs City Public Works Inspector at all times.
- Dimensions for layout and construction are not to be scaled from any drawing. If pertinent dimensions are not shown, contact the consultant engineer for clarification and annotate the dimension on the as-built record drawings.
- All structural erosion control measures shall be installed, at the limits of construction, prior to any other ground-disturbing activity. All erosion control measures shall be maintained in good repair by the contractor, until such time as the entire disturbed areas are stabilized with hard surface or landscaping.
- The contractor shall sequence installation of utilities in such a manner as to minimize potential utility conflicts, in general, storm sewer and sanitary sewer should be constructed prior to installation of water lines and dry utilities.
- All work within the public right-of-way is subject to the jurisdiction of the Saratoga Springs City Engineering Department Standard Details Specifications and Utah Department of Transportation Standard Details and Specifications.
- The contractor shall submit a phasing plan for all work in all public roads and R.O.W.'s to Saratoga Springs City before beginning any work on these streets. Contractor shall begin work only after Saratoga Springs City approves the phasing plan, and a preconstruction meeting is held between the city, the engineer and the contractor.
- All operations conducted on the premises, including the warming up, repair, arrival, departure, or running of trucks, earthmoving equipment, construction equipment and any other associated equipment shall be limited to the period between 7:00 a.m. and 10:00 p.m. everyday, unless otherwise approved by the city.
- It is the responsibility of the contractor to coordinate all utility relocations consistent with the contractor's schedule for this project. Whether shown or not shown as it relates to the construction activities contemplated in these plans.
- Contractor shall be responsible for obtaining all temporary power and water to the site, paying all fees excluding tap fees and system development fees, referring to the geotechnical report prepared by (EarthTec Testing and Engineering P.C.)
- In general, limits of site work are up to (and excluding) constructing sidewalks.



NORTH
1" = 80'



Vicinity Map
(not to scale)

The purpose of this survey is to identify the boundary for a future subdivision and to identify any and all existing easements that affect the property. The overall boundary is bound on the Easterly side by existing recorded subdivisions as shown on record in the Office of the Utah County Recorders Office.

Property Description

Commencing at the Northwest corner of Lot 46, Plat "J", Jacobs Ranch Subdivision, said point also being located North 00°12'18" East along the Section line 158.11 feet and West 3264.66 feet from the East quarter corner of Section 2, Township 6 South, Range 1 West, Salt Lake Base and Meridian; thence along Plat "J", Jacobs Ranch Subdivision as follows: along the arc of a 1966.00 foot radius curve to the left 202.47 feet (chord bears South 81°23'32" West 202.38) feet, South 78°26'30" West 118.40 feet, South 11°33'30" East 435.09 feet, South 28°27'20" East 136.51 feet, South 03°58'52" West 74.54 feet, South 34°39'31" East 119.93 feet, South 16°05'47" East 122.11 feet; thence South 51°55'24" West 93.04 feet; thence South 75°00'04" West 102.53 feet; thence South 79°38'16" West 219.05 feet; thence South 65°14'41" West 196.10 feet; thence North 18°28'01" West 855.18 feet; thence North 78°26'30" East 109.21 feet; thence North 11°33'30" West 294.51 feet; thence North 78°26'30" East 523.64 feet; thence North 11°33'30" West 96.22 feet; thence North 00°24'42" East 94.23 feet; thence South 76°23'17" East 170.89 feet; thence South 74°15'41" East 221.42 feet; thence South 09°13'47" West 20.04 feet; thence South 04°45'03" East 128.69 feet; thence South 19°45'28" West 75.00 feet to the point of beginning.

Area = 743,504 sq.ft. or 17.07 Acres

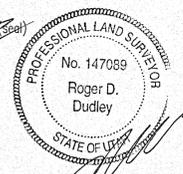
SURVEYOR'S CERTIFICATE

We, Dudley & Associates of Orem, Utah, do hereby certify that we are Registered Land Surveyors and hold Utah State Certificates, prescribed by the laws of the State of Utah, and that we have made a survey of the above described property.

We further certify that the attached plat correctly shows the true dimensions of the property surveyed.

Date: 2-25-19

(signed) [Signature] (Seal)
Registration No. 147089



Surveyors Notes

- 1. The Basis of Bearing for this survey is North 00°12'18" East along the Section Line. (see drawing)
- 4. All site utilities (sewer, water, gas, telephone, power, etc.) are connected to public systems along Lariat Boulevard and Stetson Ave..
- 5. Direct access to this site is available to Lariat Boulevard and Stetson Ave. both are city dedicated streets.
- 6. Gross Land Area = 16.26 Acres
- 8. There are no wetlands on the subject site.
- 9. Said described property is located within an area having a Zone Designation "X" by the Secretary of Housing and Urban Development, on Flood Insurance Rate Map 4955170205B & 4955170115B, with a date of identification of July 17, 2002, in Utah County, State of Utah, which is the current Flood Insurance Rate Map for the community in which said property is situated.

19-96

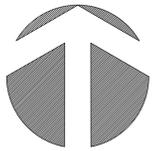
DUDLEY AND ASSOCIATES
ENGINEERS PLANNERS SURVEYORS
353 EAST 1200 SOUTH, OREM, UTAH
801-224-1252

Utah
Record of Survey Map
Saratoga Springs

Revisions table with columns for date and description.

Date: 2-20-2019
Scale: 1" = 80'
By: TD
Tracing No.: L-

Sheet No.: C-



NORTH
1" = 50'

LEGEND

- EXISTING SECTION CORNER (FOUND)
(AS DESCRIBED)
- PHASE 1 BOUNDARY LINE
- STREET CENTERLINE
- PROPOSED STREET MONUMENT
- MONUMENT TO MONUMENT TIE
- PROPOSED FIRE HYDRANT
- PROPOSED STREET LIGHT
- BUILDING SETBACK LINE
- PUBLIC UTILITY EASEMENTS

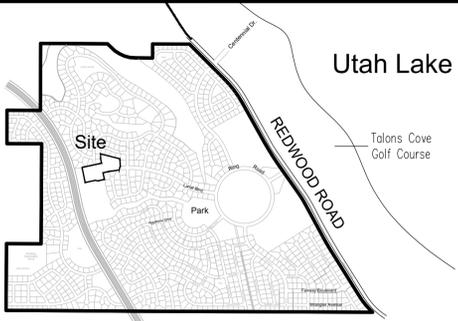
Curve Data Table					
Curve	Radius	Length	Chord	Bearing	Delta
C1	1966.00'	202.47'	202.38'	S 81°23'32" W	5°4'02"
C2	2034.00'	153.97'	153.93'	S 83°04'51" W	4°20'13"
C3	13.00'	32.68'	24.73'	N 27°04'56" W	144°00'40"
C4	62.50'	77.97'	73.01'	N 91°05'59" E	71°28'50"
C5	62.50'	73.96'	69.72'	N 60°27'35" W	67°48'18"
C6	62.50'	74.82'	70.43'	S 51°20'37" W	68°35'17"
C7	62.50'	90.06'	82.47'	S 24°15'46" E	82°33'31"
C8	13.00'	32.66'	24.72'	S 62°27'59" W	143°57'02"
C9	20.00'	31.42'	28.28'	N 56°33'30" W	90°00'00"
C10	20.00'	31.42'	28.28'	S 33°26'30" W	90°00'00"
C11	20.00'	31.42'	28.28'	S 56°33'30" E	90°00'00"
C12	20.00'	31.42'	28.28'	N 33°26'30" E	90°00'00"
C13	2000.00'	222.10'	221.98'	S 81°37'23" W	62°1'45"
C14	2000.00'	177.95'	177.89'	S 82°15'20" W	5°05'53"
C15	2000.00'	44.14'	44.14'	S 79°04'27" W	17°55'33"

DATA TABLE

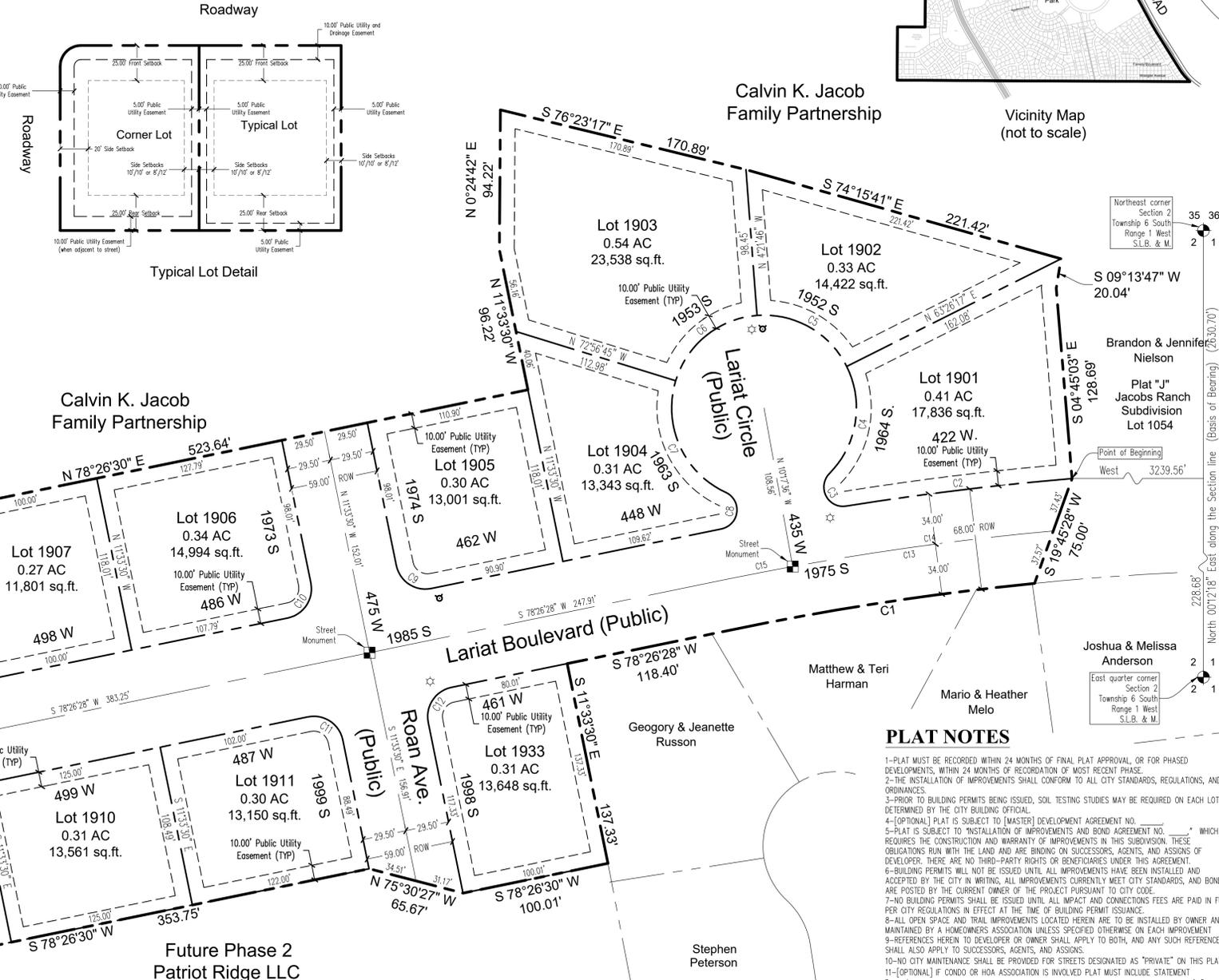
INFORMATION	AC	SQ.FT.	%TOTAL	#	NOTES
TOTAL PROJECT AREA	6.00	261,556	100		
SENSITIVE LANDS	0.00	0	0		
OPEN SPACE	0.00	0	0		
BUILDABLE LAND	4.03	175,742			
ROW AREA	1.97	85,814			
LANDSCAPED AREA	0.00	0			
LOTS				12	
NET DENSITY (DWELLINGS PER ACRE)				2.0	

JACOBS RANCH "S" - PHASE 1

LOCATED IN A PORTION OF THE NORTHWEST AND SOUTHWEST QUARTER OF SECTION 2, TOWNSHIP 6 SOUTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN SARATOGA SPRINGS CITY, UTAH COUNTY, UTAH



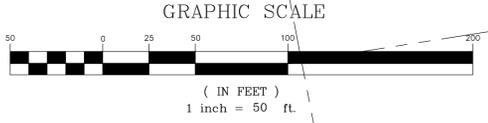
Vicinity Map (not to scale)



PUBLIC WORKS DIRECTOR

Approved by the Public Works Director on this ____ day of _____, A.D. 20 ____

PUBLIC WORKS DIRECTOR



PLAT NOTES

- 1-PLAT MUST BE RECORDED WITHIN 24 MONTHS OF FINAL PLAT APPROVAL, OR FOR PHASED DEVELOPMENTS, WITHIN 24 MONTHS OF RECORDATION OF MOST RECENT PHASE.
- 2-THE INSTALLATION OF IMPROVEMENTS SHALL CONFORM TO ALL CITY STANDARDS, REGULATIONS, AND ORDINANCES.
- 3-PRIOR TO BUILDING PERMITS BEING ISSUED, SOIL TESTING STUDIES MAY BE REQUIRED ON EACH LOT AS DETERMINED BY THE CITY BUILDING DEPARTMENT.
- 4-(OPTIONAL) PLAT IS SUBJECT TO [MASTER] DEVELOPMENT AGREEMENT NO. _____
- 5-PLAT IS SUBJECT TO "INSTALLATION OF IMPROVEMENTS AND BOND AGREEMENT NO. _____" WHICH REQUIRES THE CONSTRUCTION AND WARRANTY OF IMPROVEMENTS IN THIS SUBDIVISION. THESE OBLIGATIONS RUN WITH THE LAND AND ARE BINDING ON SUCCESSORS, AGENTS, AND ASSIGNS OF DEVELOPER. THERE ARE NO THIRD-PARTY RIGHTS OR BENEFICIARIES UNDER THIS AGREEMENT.
- 6-BUILDING PERMITS WILL NOT BE ISSUED UNTIL ALL IMPROVEMENTS HAVE BEEN INSTALLED AND ACCEPTED BY THE CITY IN WRITING. ALL IMPROVEMENTS CURRENTLY MEET CITY STANDARDS, AND BONDS ARE POSTED BY THE CURRENT OWNER OF THE PROJECT PURSUANT TO CITY CODE.
- 7-NO BUILDING PERMITS SHALL BE ISSUED UNTIL ALL IMPACT AND CONNECTIONS FEES ARE PAID IN FULL PER CITY REGULATIONS IN EFFECT AT THE TIME OF BUILDING PERMIT ISSUANCE.
- 8-ALL OPEN SPACE AND TRAIL IMPROVEMENTS LOCATED HEREIN ARE TO BE INSTALLED BY OWNER AND MAINTAINED BY A HOMEOWNERS ASSOCIATION UNLESS SPECIFIED OTHERWISE ON EACH IMPROVEMENT
- 9-REFERENCES HEREIN TO DEVELOPER OR OWNER SHALL APPLY TO BOTH, AND ANY SUCH REFERENCE SHALL ALSO APPLY TO SUCCESSORS, AGENTS, AND ASSIGNS.
- 10-NO CITY MAINTENANCE SHALL BE PROVIDED FOR STREETS DESIGNATED AS "PRIVATE" ON THIS PLAT.
- 11-(OPTIONAL) IF CONDO OR HOA ASSOCIATION IS INVOLVED PLAT MUST INCLUDE STATEMENT "LOTS/UNITS ARE SUBJECT TO ASSOCIATION BYLAWS, ARTICLES OF INCORPORATION AND C&B'S."
- 11-A GEOTECHNICAL REPORT HAS BEEN COMPLETED BY _____ [GEOTECHNICAL ENGINEER], WHICH ADDRESSES SOIL AND GROUNDWATER CONDITIONS, PROVIDES ENGINEERING DESIGN CRITERIA, AND RECOMMENDS MITIGATION MEASURES IF PROBLEMLIC CONDITIONS WERE ENCOUNTERED. THE REPORT IS ON FILE WITH _____ [GEOTECHNICAL ENGINEER] AND THE CITY. THE CITY ASSUMES NO LIABILITY OR RESPONSIBILITY FOR ANY RELIANCE ON THE INFORMATION OR LACK THEREOF IN THE REPORT.
- 12- AGRICULTURAL USES, OPERATIONS, AND RIGHTS ARE ADJACENT TO OR NEAR THE PLAT AND LOTS. THE LOTS IN THIS PLAT ARE SUBJECT TO THE RIGHTS, SOUNDS, ODORS, NUISANCES, AND ASPECTS ASSOCIATED WITH AGRICULTURAL OPERATIONS, USES, AND RIGHTS. THESE USES AND OPERATIONS MAY OCCUR AT ALL TIMES OF THE DAY AND NIGHT INCLUDING WEEKENDS AND HOLIDAYS. THE CITY IS NOT RESPONSIBLE OR LIABLE FOR THESE USES AND IMPACTS AND WILL NOT RESTRICT ANY GRANDFATHERED AGRICULTURAL USE FROM CONTINUING TO OCCUR LAWFULLY.

SURVEYOR'S CERTIFICATE

I, ROGER D. DUDLEY, do hereby certify that I am a registered Land Surveyor and that I hold a license, Certificate No. 147089, in accordance with the Professional Engineers and Land Surveyors Licensing Act found in Title 58, Chapter 22 of the Utah Code. I further certify that by authority of the owners, I have made a survey of the tract of land shown on this plat and described below, have subdivided said tract of land into lots, streets, and easements, have completed a survey of the property described on this plat in accordance with Utah Code Section 17-23-17, have verified all measurements, and have placed monuments as represented on the plat. I further certify that every existing right-of-way and easement grant of record for underground facilities, as defined in Utah Code Section 54-8a-2, and for other utility facilities, is accurately described on this plat, and that this plat is true and correct to the best of my knowledge. I also certify that I have filed, or will file within 90 days of the recordation of this plat, a map of the survey I have completed with the Utah County Surveyor.

BOUNDARY DESCRIPTION

A parcel of land situated in the Northwest Quarter of Section 2, Township 6 South, Range 1 West, Salt Lake Base and Meridian, said parcel being more particularly described as follows:

Commencing at the Southwest corner of Lot 1054, Plat "J", Jacobs Ranch Subdivision, said point also being located North 0°12'18" East along the Section line 228.68 feet and West 3239.56 feet from the East quarter corner of Section 2, Township 6 South, Range 1 West, Salt Lake Base and Meridian; thence along Plat "J", Jacobs Ranch Subdivision as follows: South 19°45'28" West 75.00 feet, along the arc of a 1966.00 foot radius curve to the left 202.47 feet (chord bears South 81°23'32" West 202.38 feet, South 78°26'30" West 118.40 feet, South 11°33'30" West 137.33 feet; thence South 78°26'30" West 100.01 feet; thence North 75°30'27" West 65.67 feet; thence South 78°26'30" West 353.75 feet; thence North 11°33'30" West 294.50 feet; thence North 78°26'30" East 523.64 feet; thence North 11°33'30" West 96.22 feet; thence North 0°24'42" East 94.22 feet; thence South 78°26'30" East 170.89 feet; thence South 74°15'41" East 221.42 feet; thence South 09°13'47" West 20.04 feet; thence South 04°45'03" East 128.69 feet to the point of beginning.

Area = 261,556 sq.ft. or 6.00 Acre
Number of Lots = 12

Basis of Bearing is North 0°12'18" East along the Section line from the East quarter corner to the Northwest corner of said Section 2.

Date _____ Surveyor's Name _____
License no. _____

OWNER'S DEDICATION

Know all men by these presents that the undersigned owner(s) of the above described tract of land have caused the same to be subdivided into lots, parcels, and streets, together with easements and rights-of-way, to be hereafter known as:

JACOBS RANCH "S" - PHASE 1

and do hereby dedicate for the perpetual use of the public and City all parcels, lots, streets, easements, rights-of-way, and public amenities shown on this plat as intended for public or City use. The owner(s) and all agents, successors, and assigns voluntarily defend, indemnify, and save harmless the City against any claims or other encumbrance on a dedicated street, easement, or right-of-way that will interfere with the City's use, maintenance, and operation of the street or utilities. The owner(s) and all agents, successors, and assigns assume all liability with respect to the creation of this subdivision, the alteration of the ground surface, vegetation, drainage, or surface or subsurface water flows within this subdivision, and the development activity within this subdivision by the owners and all agents, successors, and assigns.

In witness whereof I have set forth my hand this ____ day of _____, A.D. 20 ____

Signature _____ Print Name _____ Title _____
Signature _____ Print Name _____ Title _____

OWNER'S ACKNOWLEDGMENT

STATE OF UTAH } S.S.
County of Utah }

On this ____ day of _____, 20 ____, personally appeared before me _____, who being by me duly sworn, did prove to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument, and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed this plat with full authority of the owner(s).

I certify under PENALTY OF PERJURY under the laws of the State of Utah that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Notary Public Full Name: _____
Commission Number: _____
My commission expires: _____
A Notary Public Commissioned In Utah

APPROVAL BY LEGISLATIVE BODY

The City Council of the City of Saratoga Springs, County of Utah, approves this subdivision subject to the conditions and restrictions stated herein, and hereby accepts the Dedication of all streets, easements, and other parcels of land intended for the public purpose of the perpetual use of the public.
This ____ day of _____, A.D. 20 ____

City Mayor _____ Attest _____ City Recorder (See Seal Below)

JACOBS RANCH "S" - PHASE 1

LOCATED IN A PORTION OF THE NORTHWEST AND SOUTHWEST QUARTER OF SECTION 2, TOWNSHIP 6 SOUTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN SARATOGA SPRINGS CITY, UTAH COUNTY, UTAH

SURVEYORS SEAL	CITY ENGINEER SEAL	CLERK-RECORDER SEAL

ROCKY MOUNTAIN POWER

1. PURSUANT TO UTAH CODE ANN. 54-3-27 THIS PLAT CONVEYS TO THE OWNER(S) OR OPERATORS OF UTILITY FACILITIES A PUBLIC UTILITY EASEMENT ALONG WITH ALL THE RIGHTS AND DUTIES DESCRIBED THEREIN.

2. PURSUANT TO UTAH CODE ANN. 17-27-603(4)(c)(i) ROCKY MOUNTAIN POWER ACCEPTS DELIVERY OF THE FUELS DESCRIBED IN THIS PLAT AND APPROVES THIS PLAT SOLELY FOR THE PURPOSE OF CONFIRMING THAT THE PLAT CONTAINS PUBLIC UTILITY EASEMENTS AND APPROXIMATES THE LOCATION OF THE PUBLIC UTILITY EASEMENTS, BUT DOES NOT WARRANT THEIR PRECISE LOCATION. ROCKY MOUNTAIN POWER MAY REQUIRE OTHER EASEMENTS IN ORDER TO SERVE THIS DEVELOPMENT. THIS APPROVAL DOES NOT AFFECT ANY RIGHT THAT ROCKY MOUNTAIN POWER HAS UNDER:

a. A RECORDED EASEMENT OR RIGHT-OF-WAY
b. THE LAW APPLICABLE TO PRESCRIPTIVE RIGHTS
c. TITLE 54, CHAPTER 8a, DAMAGE TO UNDERGROUND UTILITY FACILITIES OR
d. ANY OTHER PROVISION OF LAW

APPROVED THIS ____ DAY OF _____, 20 ____

ROCKY MOUNTAIN POWER

DOMINION ENERGY QUESTAR CORPORATION

DOMINION ENERGY QUESTAR CORPORATION APPROVES THIS PLAT SOLELY FOR THE PURPOSE OF CONFIRMING THAT THE PLAT CONTAINS PUBLIC UTILITY EASEMENTS. DOMINION ENERGY QUESTAR CORPORATION MAY REQUIRE OTHER EASEMENTS IN ORDER TO SERVE THIS DEVELOPMENT. THIS APPROVAL DOES NOT CONSTITUTE ABROGATION OR WAIVER OF ANY OTHER EXISTING RIGHTS, OBLIGATIONS OR LIABILITIES PROVIDED BY LAW OR EQUITY. THIS APPROVAL DOES NOT CONSTITUTE ACCEPTANCE, APPROVAL OR ACKNOWLEDGEMENT OF ANY TERMS CONTAINED IN THE PLAT, INCLUDING THOSE SET FORTH IN THE OWNERS DEDICATION AND THE NOTES AND DOES NOT CONSTITUTE A GUARANTEE OF PARTICULAR TERMS OF NATURAL GAS SERVICE. FOR FURTHER INFORMATION PLEASE CONTACT DOMINION ENERGY QUESTAR CORPORATION RIGHT-OF-WAY DEPARTMENT AT 800-366-8532.

APPROVED THIS ____ DAY OF _____, 20 ____

BY _____
TITLE _____

QUESTAR GAS COMPANY

CENTURY LINK

Approved this ____ day of _____, A.D. 20 ____

CENTURY LINK

COMCAST CABLE TELEVISION

Approved this ____ day of _____, A.D. 20 ____

COMCAST CABLE TELEVISION

PLANNING DIRECTOR

Approved by the Planning Director on this ____ day of _____, A.D. 20 ____

PLANNING DIRECTOR

CITY ENGINEER

Approved by the City Engineer on this ____ day of _____, A.D. 20 ____

CITY ENGINEER

LAND USE AUTHORITY

Approved by the Land Use Authority on this ____ day of _____, A.D. 20 ____

LAND USE AUTHORITY

FIRE CHIEF

Approved by the Fire Chief on this ____ day of _____, A.D. 20 ____

CITY FIRE CHIEF

SARATOGA SPRINGS ATTORNEY

Approved by Saratoga Springs Attorney on this ____ day of _____, A.D. 20 ____

SARATOGA SPRINGS ATTORNEY

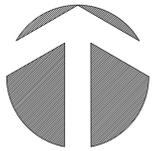
LEHI CITY POST OFFICE

Approved by Post Office Representative on this ____ day of _____, A.D. 20 ____

LEHI CITY POST OFFICE REPRESENTATIVE

JACOBS RANCH "S" - PHASE 2

LOCATED IN A PORTION OF THE NORTHWEST AND SOUTHWEST QUARTER OF SECTION 2, TOWNSHIP 6 SOUTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN SARATOGA SPRINGS CITY, UTAH COUNTY, UTAH



NORTH
1" = 60'

Curve	Radius	Length	Chord	Bearing	Delta
C1	20.00'	31.42'	28.28'	S 33°26'30" W	90°00'00"
C2	79.00'	26.33'	26.21'	S 68°53'33" W	19°05'55"
C3	79.00'	75.98'	73.09'	S 31°47'19" W	55°06'32"
C4	79.00'	21.77'	21.71'	S 33°43'43" E	15°47'32"
C5	79.00'	72.11'	69.63'	S 37°42'21" E	52°17'43"
C6	79.00'	27.56'	27.42'	S 73°50'54" E	19°59'23"
C7	550.28'	63.67'	63.64'	S 87°09'30" E	6°37'47"
C8	550.28'	100.41'	100.27'	N 84°17'58" E	10°27'18"
C9	550.28'	100.64'	100.50'	N 73°49'57" E	10°28'43"
C10	550.28'	37.03'	37.02'	N 66°39'56" E	3°51'20"
C11	550.28'	90.25'	90.15'	N 60°02'21" E	9°23'50"
C12	491.28'	88.32'	88.20'	N 88°59'36" W	10°18'00"
C13	20.00'	25.23'	23.59'	N 47°42'03" W	72°17'06"
C14	20.00'	31.42'	28.28'	N 33°26'30" E	90°00'00"
C15	20.00'	31.42'	28.28'	S 58°33'30" W	90°00'00"
C16	781.00'	2.28'	2.28'	S 11°38'31" E	0°10'03"
C17	781.00'	108.53'	108.44'	S 15°42'24" E	7°57'44"
C18	781.00'	50.73'	50.72'	S 21°32'55" E	3°43'16"
C19	20.00'	33.58'	29.78'	S 24°41'49" W	96°12'45"
C20	491.28'	111.93'	111.68'	S 79°19'48" W	13°03'12"
C21	722.00'	65.70'	65.67'	N 20°48'09" W	5°12'48"
C22	491.28'	93.12'	92.88'	S 55°18'54" W	10°51'36"
C23	20.00'	33.46'	29.69'	N 71°19'56" W	95°50'44"
C24	722.00'	83.64'	83.60'	N 14°52'37" W	6°38'16"
C25	751.50'	155.44'	155.16'	S 17°29'02" E	11°51'04"
C26	520.78'	126.55'	126.24'	N 59°47'40" E	13°55'21"
C27	520.78'	267.23'	264.31'	N 81°27'23" E	29°24'03"
C28	49.50'	62.45'	58.39'	S 47°42'03" E	72°17'06"
C29	49.50'	77.75'	70.00'	S 33°26'30" W	90°00'00"

Calvin K. Jacob
Family Partnership

DATA TABLE

INFORMATION	AC	SQ.FT.	%TOTAL	#	NOTES
TOTAL PROJECT AREA	11.06	481,954	100		
SENSITIVE LANDS	0.00	0	0		
OPEN SPACE	1.98	86,197	18		
BUILDABLE LAND	7.08	306,749	64		
ROW AREA	2.04	89,008	18		
LANDSCAPING AREA					
LOTS				21	
NET DENSITY (DWELLINGS PER ACRE)				1.9	

Prepared by:

Dudley and Associates, Inc.
353 East 1200 South
Orem, Utah 84058
office 801-224-1252
fax 801-224-1264

FIRM Insurance Zone X
4902500205A
7-17-2002

Open Space
1.98 AC
86,197 sq.ft.

PUBLIC WORKS DIRECTOR

Approved by the Public Works Director on this ____ day of _____, A.D. 20__

PUBLIC WORKS DIRECTOR

BY SIGNING THIS PLAT THE FOLLOWING UTILITY COMPANIES ARE APPROVING THE (A) BOUNDARY, COURSE, DIMENSIONS, AND INTENDED USE OF THE RIGHT OF WAY AND EASEMENT GRANTS OF RECORD (B) LOCATION OF EXISTING UNDERGROUND AND UTILITY FACILITIES (C) CONDITIONS OR RESTRICTIONS GOVERNING THE LOCATION OF THE FACILITIES WITHIN THE RIGHT OF WAY, AND EASEMENT GRANTS OF RECORD, AND UTILITY FACILITIES WITHIN THE SUBDIVISION. "APPROVING" SHALL HAVE THE MEANING IN UTAH CODE SECTION 10-9a-603(4)(c)(ii). THE FOLLOWING NOTES ARE NOT ENDORSED OR ADOPTED BY SARATOGA SPRINGS AND DO NOT SUPERSEDE CONFLICTING PLAT NOTES OR SARATOGA SPRINGS POLICIES.

ROCKY MOUNTAIN POWER

1. PURSUANT TO UTAH CODE ANN. 54-3-27 THIS PLAT CONVEYS TO THE OWNER(S) OR OPERATORS OF UTILITY FACILITIES A PUBLIC UTILITY EASEMENT ALONG WITH ALL THE RIGHTS AND DUTIES DESCRIBED THEREIN.
2. PURSUANT TO UTAH CODE ANN. 17-27-603(4)(c)(ii) ROCKY MOUNTAIN POWER ACCEPTS DELIVERY OF THE FUELS DESCRIBED IN THIS PLAT AND APPROVES THIS PLAT SOLELY FOR THE PURPOSE OF CONFIRMING THAT THE PLAT CONTAINS PUBLIC UTILITY EASEMENTS AND APPROXIMATES THE LOCATION OF THE PUBLIC UTILITY EASEMENTS, BUT DOES NOT WARRANT THEIR PRECISE LOCATION. ROCKY MOUNTAIN POWER MAY REQUIRE OTHER EASEMENTS IN ORDER TO SERVE THIS DEVELOPMENT. THIS APPROVAL DOES NOT AFFECT ANY RIGHT THAT ROCKY MOUNTAIN POWER HAS UNDER:
a. A RECORDED EASEMENT OR RIGHT-OF-WAY
b. THE LAW APPLICABLE TO PRESCRIPTIVE RIGHTS
c. TITLE 54, CHAPTER 8a, DAMAGE TO UNDERGROUND UTILITY FACILITIES OR
d. ANY OTHER PROVISION OF LAW

APPROVED THIS ____ DAY OF _____, 20__

ROCKY MOUNTAIN POWER

DOMINION ENERGY QUESTAR CORPORATION

DOMINION ENERGY QUESTAR CORPORATION APPROVES THIS PLAT SOLELY FOR THE PURPOSE OF CONFIRMING THAT THE PLAT CONTAINS PUBLIC UTILITY EASEMENTS. DOMINION ENERGY QUESTAR CORPORATION MAY REQUIRE OTHER EASEMENTS IN ORDER TO SERVE THIS DEVELOPMENT. THIS APPROVAL DOES NOT CONSTITUTE ABROGATION OR WAIVER OF ANY OTHER EXISTING RIGHTS, OBLIGATIONS OR LIABILITIES PROVIDED BY LAW OR EQUITY. THIS APPROVAL DOES NOT CONSTITUTE ACCEPTANCE, APPROVAL OR ACKNOWLEDGEMENT OF ANY TERMS CONTAINED IN THE PLAT, INCLUDING THOSE SET FORTH IN THE OWNERS DEDICATION AND THE NOTES AND DOES NOT CONSTITUTE A GUARANTEE OF PARTICULAR TERMS OF NATURAL GAS SERVICE. FOR FURTHER INFORMATION PLEASE CONTACT DOMINION ENERGY QUESTAR CORPORATION RIGHT-OF-WAY DEPARTMENT AT 800-366-8532.

APPROVED THIS ____ DAY OF _____, 20__

BY _____
TITLE _____

DOMINION ENERGY QUESTAR CORPORATION

CENTURY LINK

Approved this ____ day of _____, A.D. 20__

CENTURY LINK

COMCAST CABLE TELEVISION

Approved this ____ day of _____, A.D. 20__

COMCAST CABLE TELEVISION

PLANNING DIRECTOR

Approved by the Planning Director on this ____ day of _____, A.D. 20__

PLANNING DIRECTOR

CITY ENGINEER

Approved by the City Engineer on this ____ day of _____, A.D. 20__

CITY ENGINEER

LAND USE AUTHORITY

Approved by the Land Use Authority on this ____ day of _____, A.D. 20__

LAND USE AUTHORITY

FIRE CHIEF

Approved by the Fire Chief on this ____ day of _____, A.D. 20__

CITY FIRE CHIEF

SARATOGA SPRINGS ATTORNEY

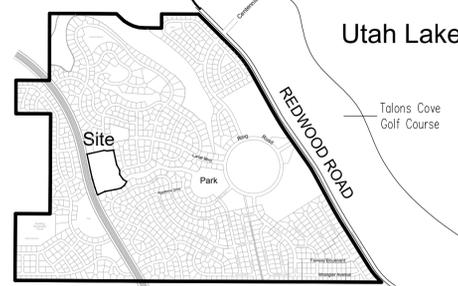
Approved by Saratoga Springs Attorney on this ____ day of _____, A.D. 20__

SARATOGA SPRINGS ATTORNEY

LEHI CITY POST OFFICE

Approved by Post Office Representative on this ____ day of _____, A.D. 20__

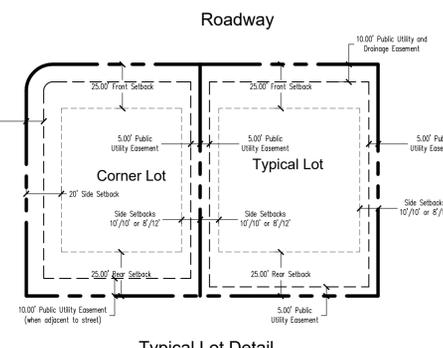
LEHI CITY POST OFFICE REPRESENTATIVE



Vicinity Map (not to scale)

LEGEND

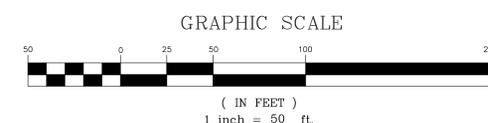
- EXISTING SECTION CORNER (FOUND) (AS DESCRIBED)
- PHASE 1 BOUNDARY LINE
- STREET CENTERLINE
- PROPOSED STREET MONUMENT
- MONUMENT TO MONUMENT TIE
- PROPOSED FIRE HYDRANT
- PROPOSED STREET LIGHT
- BUILDING SETBACK LINE
- PUBLIC UTILITY EASEMENTS



Typical Lot Detail

PLAT NOTES

- 1-PLAT MUST BE RECORDED WITHIN 24 MONTHS OF FINAL PLAT APPROVAL, OR FOR PHASED DEVELOPMENTS, WITHIN 24 MONTHS OF RECORDATION OF MOST RECENT PHASE.
- 2-THE INSTALLATION OF IMPROVEMENTS SHALL CONFORM TO ALL CITY STANDARDS, REGULATIONS, AND ORDINANCES.
- 3-PRIOR TO BUILDING PERMITS BEING ISSUED, SOIL TESTING STUDIES MAY BE REQUIRED ON EACH LOT AS DETERMINED BY THE CITY BUILDING OFFICIAL.
- 4-[OPTIONAL] PLAT IS SUBJECT TO [MASTER] DEVELOPMENT AGREEMENT NO. _____.
- 5-PLAT IS SUBJECT TO "INSTALLATION OF IMPROVEMENTS AND BOND AGREEMENT NO. _____" WHICH REQUIRES THE CONSTRUCTION AND WARRANTY OF IMPROVEMENTS IN THIS SUBDIVISION. THESE OBLIGATIONS RUN WITH THE LAND AND ARE BINDING ON SUCCESSORS, AGENTS, AND ASSIGNS OF DEVELOPER. THERE ARE NO THIRD-PARTY RIGHTS OR BENEFICIARIES UNDER THIS AGREEMENT.
- 6-BUILDING PERMITS WILL NOT BE ISSUED UNTIL ALL IMPROVEMENTS HAVE BEEN INSTALLED AND ACCEPTED BY THE CITY IN WRITING. ALL IMPROVEMENTS CURRENTLY MEET CITY STANDARDS, AND BONDS ARE POSTED BY THE CURRENT OWNER OF THE PROJECT PURSUANT TO CITY CODE.
- 7-NO BUILDING PERMITS SHALL BE ISSUED UNTIL ALL IMPACT AND CONNECTIONS FEES ARE PAID IN FULL PER CITY REGULATIONS IN EFFECT AT THE TIME OF BUILDING PERMIT ISSUANCE.
- 8-ALL OPEN SPACE AND TRAIL IMPROVEMENTS LOCATED HEREIN ARE TO BE INSTALLED BY OWNER AND MAINTAINED BY A HOMEOWNERS ASSOCIATION UNLESS SPECIFIED OTHERWISE ON EACH IMPROVEMENT.
- 9-REFERENCES HEREIN TO DEVELOPER OR OWNER SHALL APPLY TO BOTH, AND ANY SUCH REFERENCE SHALL ALSO APPLY TO SUCCESSORS, AGENTS, AND ASSIGNS.
- 10-NO CITY MAINTENANCE SHALL BE PROVIDED FOR STREETS DESIGNATED AS "PRIVATE" ON THIS PLAT.
- 11-[OPTIONAL] IF CONDO OR HOA ASSOCIATION IS INVOLVED PLAT MUST INCLUDE STATEMENT "LOTS/UNITS ARE SUBJECT TO ASSOCIATION BYLAWS, ARTICLES OF INCORPORATION AND CC&R'S."
- 11-A GEOTECHNICAL REPORT HAS BEEN COMPLETED BY [_____] [GEOTECHNICAL ENGINEER] WHICH ADDRESSES SOIL AND GROUNDWATER CONDITIONS, PROVIDES ENGINEERING DESIGN CRITERIA, AND RECOMMENDS MITIGATION MEASURES IF PROBLEMATIC CONDITIONS WERE ENCOUNTERED. THE REPORT IS ON FILE WITH [_____] [GEOTECHNICAL ENGINEER] AND THE CITY. THE CITY ASSUMES NO LIABILITY OR RESPONSIBILITY FOR ANY RELIANCE ON THE INFORMATION OR LACK THEREOF IN THE REPORT.
- 12- AGRICULTURAL USES, OPERATIONS, AND RIGHTS ARE ADJACENT TO OR NEAR THE PLAT AND LOTS. THE LOTS IN THIS PLAT ARE SUBJECT TO THE RIGHTS, SOUNDS, ODORS, NUISANCES, AND ASPECTS ASSOCIATED WITH AGRICULTURAL OPERATIONS, USES, AND RIGHTS. THESE USES AND OPERATIONS MAY OCCUR AT ALL TIMES OF THE DAY AND NIGHT INCLUDING WEEKENDS AND HOLIDAYS. THE CITY IS NOT RESPONSIBLE OR LIABLE FOR THESE USES AND IMPACTS AND WILL NOT RESTRICT ANY GRANDFATHERED AGRICULTURAL USE FROM CONTINUING TO OCCUR LAWFULLY.



SURVEYOR'S CERTIFICATE

I, ROGER D. DUDLEY, do hereby certify that I am a registered Land Surveyor and that I hold a license, Certificate No. 147089, in accordance with the Professional Engineers and Land Surveyors Licensing Act found in Title 58, Chapter 22 of the Utah Code. I further certify that by authority of the owners, I have made a survey of the tract of land shown on this plat and described below, have subdivided said tract of land into lots, streets, and easements, have completed a survey of the property described on this plat in accordance with Utah Code Section 17-23-17, have verified all measurements, and have placed monuments as represented on the plat. I further certify that every existing right-of-way and easement grant of record for underground facilities, as defined in Utah Code Section 54-8a-2, and for other utility facilities, is accurately described on this plat, and that this plat is true and correct to the best of my knowledge. I also certify that I have filed, or will file within 90 days of the recordation of this plat, a map of the survey I have completed with the Utah County Surveyor.

BOUNDARY DESCRIPTION

A parcel of land situated in the Northwest Quarter of Section 2, Township 6 South, Range 1 West, Salt Lake Base and Meridian, said parcel being more particularly described as follows:
Commencing at a point located South 00°12'20" West along the Section line 30.46 feet and West 3552.57 feet from the East quarter corner of Section 2, Township 6 South, Range 1 West, Salt Lake Base and Meridian; thence along Plat "J", Jacobs Ranch Subdivision as follows: South 11°33'50" East 297.76 feet; South 28°27'20" East 136.51 feet; South 03°58'52" West 74.54 feet; South 34°39'31" East 119.92 feet; South 16°05'47" East 122.12 feet; thence South 51°55'24" West 93.04 feet; thence South 75°00'04" West 102.53 feet; thence South 79°38'16" West 219.05 feet; thence South 65°14'41" West 196.11 feet; thence North 18°28'01" West 85.17 feet; thence North 78°26'30" East 462.95 feet; thence South 75°30'27" East 65.67 feet; thence North 78°26'30" East 100.01 feet to the point of beginning.

Area = 481,954 sq.ft. or 11.06 Acres
Number of Lots = 21
Open Space Parcel = 1
Basis of Bearing is South 00°12'20" West along the Section line from the East quarter corner to the Southeast corner of said Section 2.

Date _____ Surveyor's Name _____
License no. _____

OWNER'S DEDICATION

Know all men by these presents that the undersigned owner(s) of the above described tract of land have caused the same to be subdivided into lots, parcels, and streets, together with easements and rights-of-way, to be hereinafter known as:
JACOBS RANCH "S" - PHASE 2
and do hereby dedicate for the perpetual use of the public and City all parcels, lots, streets, easements, rights-of-way, and public amenities shown on this plat as intended for public or city use. The owner(s) and all agents, successors, and assigns voluntarily, knowingly, and save harmless the City against any easements or other encumbrance on a dedicated street, easement, or right-of-way that will interfere with the City's use, maintenance, and operation of the street or utilities. The owner(s) and all agents, successors, and assigns assume all liability with respect to the creation of this subdivision, the alteration of the ground surface, vegetation, drainage, or surface or sub-surface water flows within this subdivision, and the development activity within this subdivision by the owners and all agents, successors, and assigns.

In witness whereof I have set forth my hand this ____ day of _____, A.D. 20__

Signature _____ Print Name _____ Title _____
Signature _____ Print Name _____ Title _____

OWNER'S ACKNOWLEDGMENT

STATE OF UTAH } S.S.
County of Utah }
On this ____ day of _____, 20__, personally appeared before me _____, who being by me duly sworn, did prove to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument, and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed this plat with full authority of the owner(s).
I certify under PENALTY OF PERJURY under the laws of the State of Utah that the foregoing paragraph is true and correct.
WITNESS my hand and official seal.

Notary Public Full Name: _____
Commission Number: _____
My commission expires: _____
A Notary Public Commissioned in Utah

APPROVAL BY LEGISLATIVE BODY

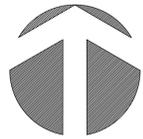
The City Council of the City of Saratoga Springs, County of Utah, approves this subdivision subject to the conditions and restrictions stated hereon, and hereby accepts the Dedication of all streets, easements, and other parcels of land intended for the public purpose of the perpetual use of the public.
This ____ day of _____, A.D. 20__

Attest _____
City Mayor _____ City Recorder (See Seal Below)

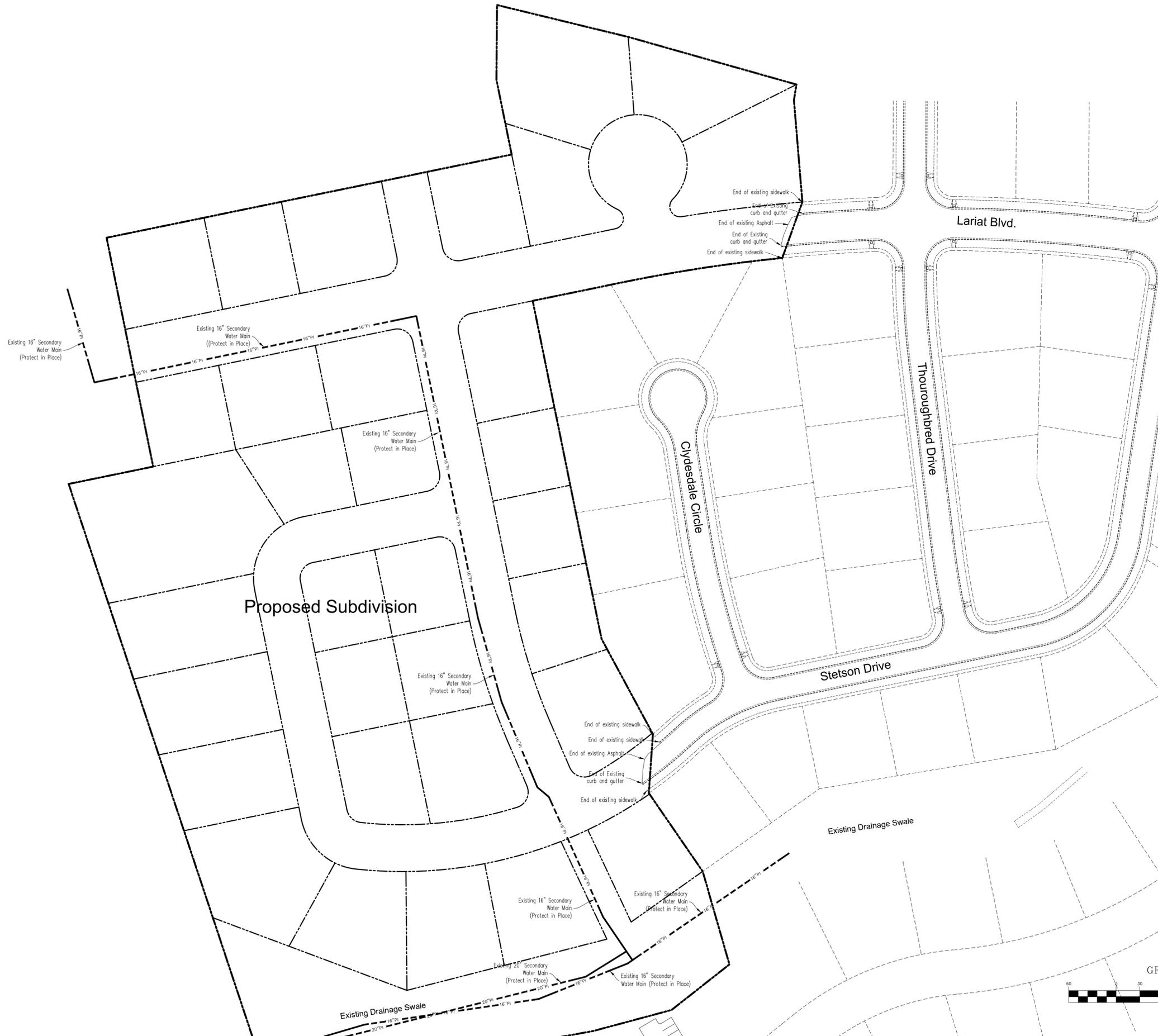
JACOBS RANCH "S" - PHASE 2

LOCATED IN A PORTION OF THE NORTHWEST AND SOUTHWEST QUARTER OF SECTION 2, TOWNSHIP 6 SOUTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN SARATOGA SPRINGS CITY, UTAH COUNTY, UTAH

SURVEYOR'S SEAL	CITY ENGINEER SEAL	CLERK-RECORDER SEAL



NORTH
1" = 60'



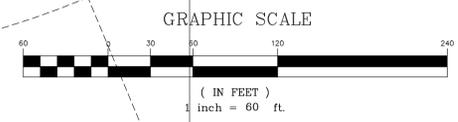

DUDLEY AND ASSOCIATES
 ENGINEERS PLANNERS SURVEYORS
 353 EAST 1200 SOUTH, OREM, UTAH
 801-224-1252

Jacobs Ranch Plat "S"
Existing/Demolition Plan
 Utah
 Saratoga Springs

Revisions

Date
 3-26-2019
 Scale
 1" = 60'
 By
 TD
 Tracing No.
 L-

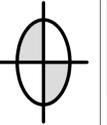
Sheet No.
C - 1.4





Jacobs Ranch Plat S
 A Residential Subdivision
 Saratoga Springs, Utah
 Located in the Northwest corner of Section 2
 Township 6 South, Range 1 West
 Salt Lake Base and Meridian

Calvin K. Jacob
 Family Partnership

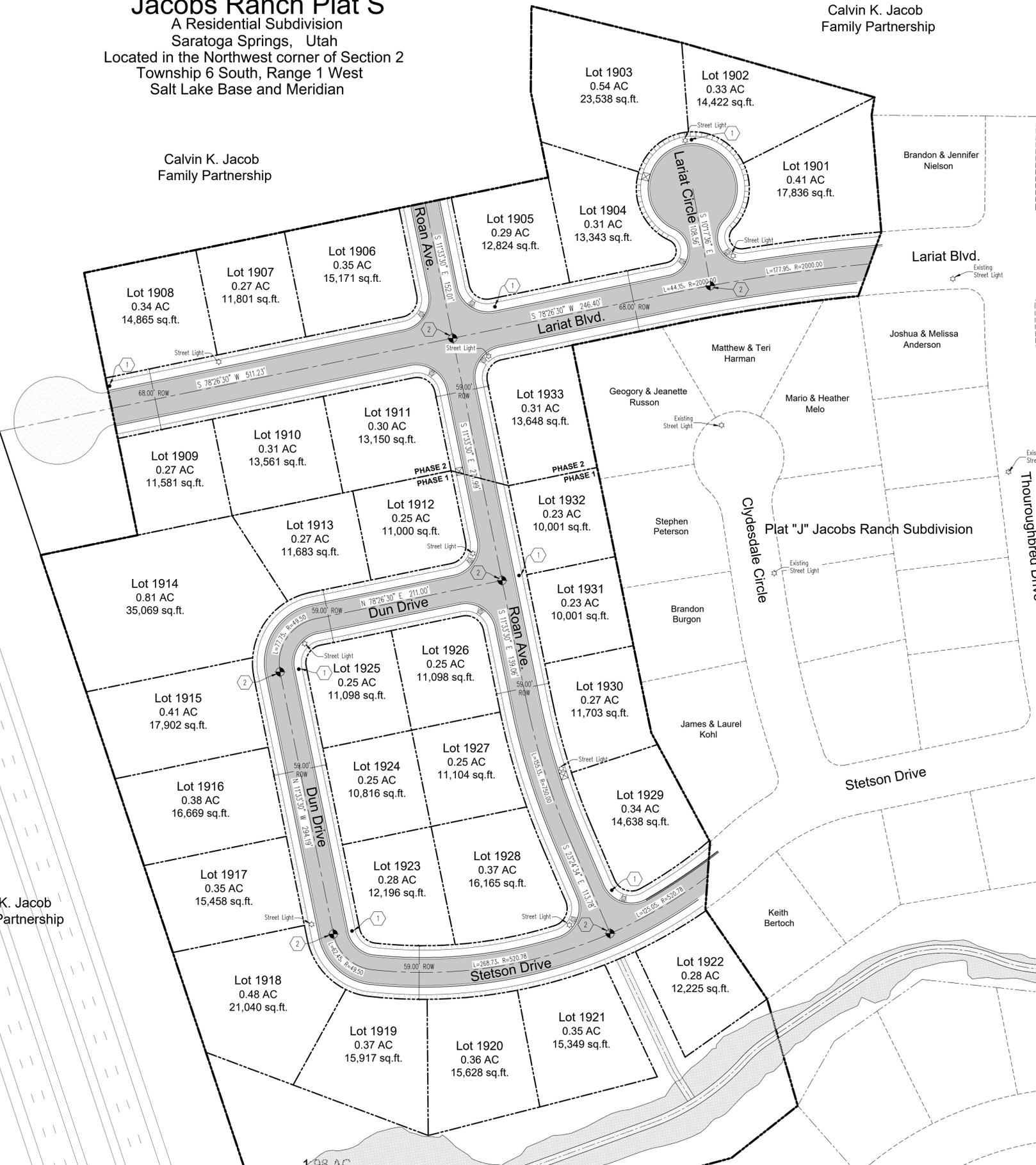


DUDLEY AND ASSOCIATES
 ENGINEERS PLANNERS SURVEYORS
 353 EAST 1200 SOUTH, OREM, UTAH
 801-224-1252

Calvin K. Jacob
 Family Partnership

Calvin K. Jacob
 Family Partnership

Calvin K. Jacob
 Family Partnership



TABULATIONS

PHASE 1

Asphalt Paving = 45,433 sq.ft.
 Base Material = 54,519 sq.ft.
 Granular borrow = 54,519 sq.ft.
 Curb and Gutter = 2,939 LF
 Sidewalk = 2,977 LF
 Drive approaches = 21
 ADA Ramps = 4
 Survey Monuments = 4

PHASE 2

Asphalt Paving = 48,651 sq.ft.
 Base Material = 58,381 sq.ft.
 Granular borrow = 58,381 sq.ft.
 Curb and Gutter = 2,420 LF
 Sidewalk = 2,363 LF
 Drive approaches = 12
 ADA Ramps = 6
 Survey Monuments = 2

KEYED NOTES:

- ① NEW Fire Hydrant assembly (PER CITY STANDARDS)
- ② Survey Monuments (PER CITY STANDARDS)
- ③ Temporary Access and Utility easement to Saratoga Springs City. (PER CITY STANDARDS)
- ⊠ Cluster Mailbox location

Note:

A right-of-way encroachment permit must be obtained from the City of Saratoga Springs prior to doing any work in the existing right-of-way. Contact Chris Klingel at 801-766-9793, ext. 118.

CAUTION!!! Notice to contractors

The Contractor is specifically cautioned that the location and/or elevation of existing utilities as shown on these plans is based on records of the various utility companies and where possible from measurements taken in the field. The information is not to be considered exact or complete. The Contractor must notify the utility location center at least 48 hours prior to any excavation to request the exact location of the utilities in the field. It shall be the responsibility of the Contractor to relocate all existing utilities which conflict with the proposed improvements shown on the plan.

Jacobs Ranch Plat "S"

Site Plan

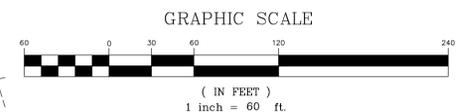
Utah

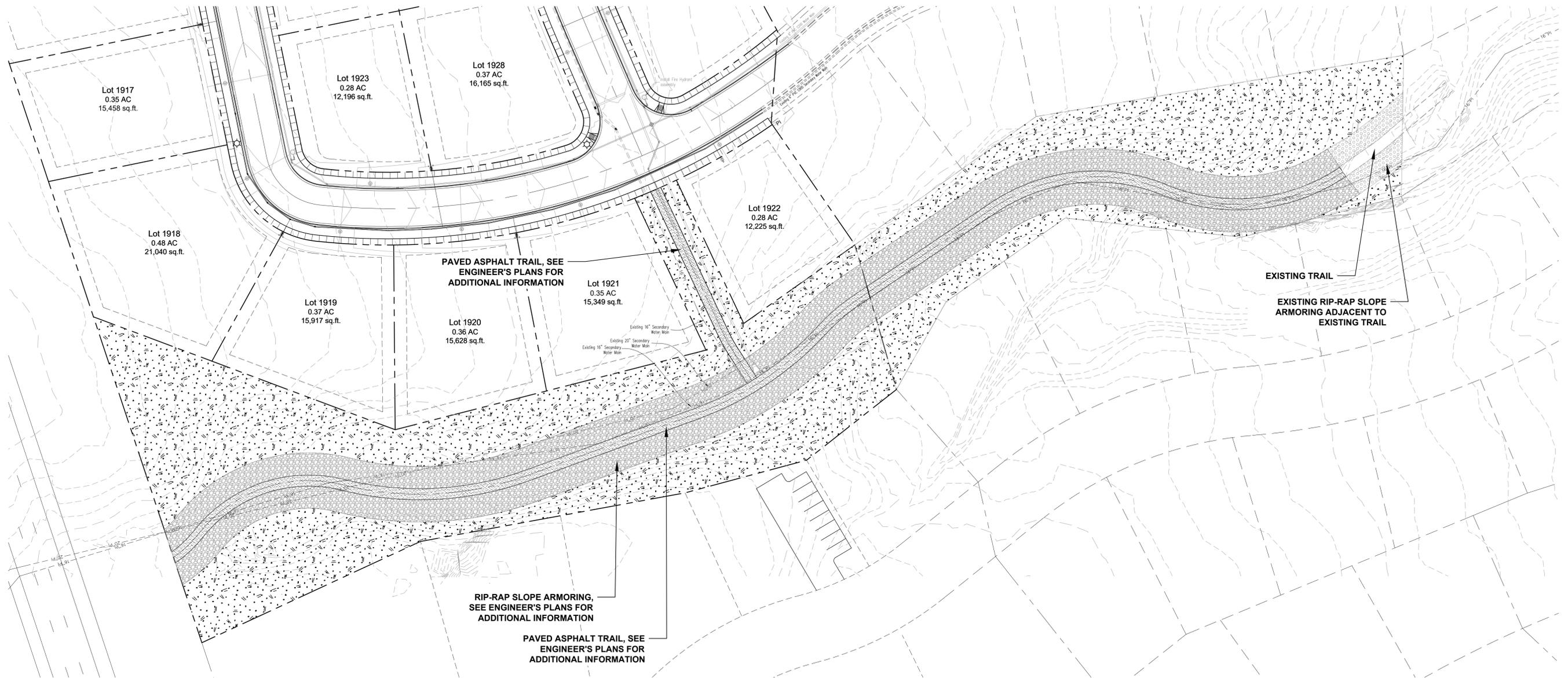
Saratoga Springs

Revisions

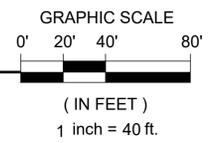
Date
 8-24-2020
 Scale
 1" = 60'
 By
 TD
 Tracing No.
 L-

Sheet No.
C - 1.5





PLAN



JACOBS RANCH PLAT S:			
1. TOTAL SUBDIVISION AREA	781,239 SF	17.93 ACRES	100%
2. OPEN SPACE AREA	86,249 SF	1.98 ACRES	11%
PLAT S OPEN SPACE MINIMUM REQUIRED:			
1. MIN. REQUIRED EQUIVALENT OPEN SPACE (33 LOTS = 1 ACRE)	43,560 SF	1.00 ACRES	
2. GROSS OPEN SPACE PROVIDED	86,249 SF	1.98 ACRES	
3. EQUIVALENT OPEN SPACE PROVIDED (PARTIALLY IMPROVED) (PARTIALLY IMPROVED OPEN SPACE = GROSS OPEN SPACE AREA X .75)	64,686 SF	1.49 ACRES	
PLAT S OPEN SPACE BREAKDOWN:			
A. OPEN SPACE AREA PER ENGINEER'S DRAWINGS	86,249 SF	1.98 ACRES	100%
B. NATIVE SEED VEGETATION AREA	56,386 SF	1.29 ACRES	65.3%
C. ARMORED RIP-RAP SLOPE AREA	22,716 SF	0.52 ACRES	26.3%
D. ASPHALT TRAIL AREA	7,247 SF	0.17 ACRES	8.4%
OPEN SPACE IMPROVEMENTS ON CITY OWNED LAND IN ADJACENT DEVELOPMENT:			
1. GROSS AREA OF OPEN SPACE	47,608 SF	1.09 ACRES	
2. EQUIVALENT OPEN SPACE PROVIDED (PARTIALLY IMPROVED) (PARTIALLY IMPROVED OPEN SPACE = GROSS OPEN SPACE AREA X .75)	35,706 SF	0.82 ACRES	
CITY OWNED OPEN SPACE BREAKDOWN:			
A. OPEN SPACE AREA PER DRAWINGS	47,608 SF	1.09 ACRES	100%
B. NATIVE SEED VEGETATION AREA	26,070 SF	0.60 ACRES	54.8%
C. NEW ARMORED RIP-RAP SLOPE AREA	15,142 SF	0.34 ACRES	31.8%
D. EXISTING ARMORED RIP-RAP SLOPE AREA	2,055 SF	0.05 ACRES	4.3%
E. ASPHALT TRAIL AREA	3,783 SF	0.09 ACRES	7.9%
F. EXISTING TRAIL	558 SF	0.01 ACRES	1.2%

REFERENCE NOTES SCHEDULE		
SYMBOL	DESCRIPTION	QTY
	NATIVE SEED VEGETATION AREA - SEE NATIVE SEED MIX AND NOTES THIS SHEET.	82,457 sf

NATIVE SEED MIX:		
COMMON NAME	BOTANICAL NAME	RATE: PLS LBS/ACRE
SNAKE RIVER WHEATGRASS	ELYMUS WAWAWAIENSIS	2.33
SANDBERG BLUEGRASS	POA SANDBERGII	1.33
BLUEBUNCH WHEATGRASS	PSEUDOROEGNERIA SPICATA SSP. INERMIS	2.33
SHEEP FESCUE	FESTUCA OVINA 'COVAR'	2.33
MAPLE GROVE LEWIS FLAX	LINUM LEWISII 'MAPLE GROVE'	1.00
BLANKETFLOWER	GALLARDIA ARISTATA 'VNS'	0.67
ROCKY MT. PENSTEMON	PENSTEMON STRICTUS 'BANDERA'	0.50
ANTELOPE BITTERBRUSH	PERSHIA TRIDENTATA	1.00
RUBBER RABBITBRUSH	ERICAMERIA NAUSEOSA	0.50
CALIFORNIA POPPY	ESCHSCHOLZIA CALIFORNICA 'VNS'	0.33
MUNRO GLOBEMALLOW	SPHAERACIA MUNROANA	0.33
TOTAL LBS PER ACRE		12.67

- NATIVE SEED MIX NOTES:**
- SEED AVAILABLE FROM STEVENSON INTERMOUNTAIN SEED INC.(435) 283-6639.
 - INSTALL 6" OF TOPSOIL ON ALL DISTURBED AREAS
 - PREPARE SOIL AND INSTALL SEED PER UDOT STANDARD SPECIFICATIONS 02922 AND SUPPLIERS DETAILS AND SPECIFICATIONS. PROVIDE A WOOD FIBER MULCH FOR PROTECTION AS PER UDOT STANDARD SPECIFICATION 02911. ENSURE SEED IS IN FIRM CONTACT WITH THE SOIL AND HAS COVER 3 TIMES THE DIAMETER OF THE SEED.
 - LBS/ACRE ABOVE IS BASED ON PURE LIVE SEED (PLS). CONTRACTOR SHALL PROVIDE THE NECESSARY PURE LIVE SEED MINIMUM.
 - INSTALL SEED IN LATE FALL PRIOR TO SNOW FALL OR IN EARLY SPRING IMMEDIATELY AFTER SNOW MELTS.
 - PROVIDE SUPPLEMENTARY WATER WITH TEMPORARY IRRIGATION EQUIPMENT DURING DRY SPRINGS AND EARLY SUMMER TO ENSURE SEED GERMINATION AND PLANT ESTABLISHMENT.

Call before you Dig
Avoid cutting underground utility lines. It's costly.

Call
811

OR
1-800-642-2444

CALL 2 WORKING DAYS BEFORE, BUT NO MORE THAN 28 CALENDAR DAYS

CIVISWORKS
PLANNING - LANDSCAPE ARCHITECTURE
- URBAN DESIGN
13617 CRIMSON PARKWAY, SALT LAKE CITY, UTAH 84096
PHONE: 801.488.8888

LICENSURE LANDSCAPE ARCHITECT
GREGORY G. GRAHAM
349753
7-14-2019
STATE OF UTAH

No.	Revisions	Date	By

No.	Revisions	Date	By

JACOBS RANCH PLAT S
RESIDENTIAL SUBDIVISION
SARATOGA SPRINGS, UTAH

OPEN SPACE
PLANTING PLAN

Scale:
SEE DETAILS
Date:
JULY 14, 2020
Drawn By:
GGG
Approved By:
GGG

North

Job No.
19-025

Sheet No.
L-101
of

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