



MINUTES – Planning Commission

Thursday, September 30, 2021

City of Saratoga Springs City Offices

1307 North Commerce Drive, Suite 200, Saratoga Springs, Utah 84045

PLANNING COMMISSION MEETING MINUTES

Call to Order - 6:00 p.m. by Chairman Troy Cunningham

Present:

Commission Members: Bryce Anderson, Reed Ryan, Troy Cunningham, Ken Kilgore, Bryce McConkie, Josh Wagstaff

Staff: Dave Stroud, Planning Director; Fredric Donaldson, Assistant City Attorney; Daniel McRae, Assistant City Engineer; Nicolette Fike, Deputy Recorder.

Others: Rick Frerichs, Dan Kohler. Krisel Travis, Elizabeth Cole

Excused: Commissioner Audrey Barton

1. **Pledge of Allegiance** - led by Commissioner Wagstaff.
2. **Roll Call** – A quorum was present.
3. **Public Input** – No public comments were made.
4. **Public Hearing: IHC Village Plan 1 in the IHC Community Plan. Located approximately the NE corner of Medical Dr. and Pioneer Crossing. Rick Frerichs as applicant.**
Planning Director Dave Stroud presented the plans. Village Plan 1 consists of approximately 40.44 acres and proposes using 48.61 Equivalent Residential Units consisting of a variety of buildings to house medical services.
Rick Frerichs and Dan Kohler were present as applicant.

Public Hearing Open by Chairman Troy Cunningham. . Receiving no public comment, the public hearing was closed by the Chair.

Commissioner Kilgore received clarification from Engineering that staff did not anticipate any issues with the sewer capacity.

Commissioner Ryan shared concern about the Open Space plan and the irrigation canal. Planning Director Dave Stroud advised it would be up to the canal owner for burial, typically staff recommends burial.

Commissioner McConkie received clarification from Planning Director Dave Stroud that the sign heights had been approved with the Community Plan and were necessary for way-finding for the nature of the hospital.

Commissioner Cunningham was glad to see this project moving forward in the City.

Motion made by Commissioner Anderson that based upon the information and discussion tonight, I move to forward a positive recommendation to the City Council regarding IHC Village Plan 1, with the findings and conditions in the staff packet. Seconded by Commissioner McConkie. Aye: Bryce Anderson, Troy Cunningham, Ken Kilgore, Bryce McConkie, Reed Ryan, Josh Wagstaff. Motion passed 6 - 0.

5. **Public Hearing: Northshore Commercial General Plan Amendment from Regional Commercial & Light Industrial to Office Warehouse, and Rezone from Regional Commercial and Mixed Residential to Office Warehouse. Located at 653 N. Saratoga Rd., Elizabeth Cole as applicant.**
Planning Director Dave Stroud presented the item. The applicant requests the City amend 22.23 acres, this would permit the construction, of the site and buildings as shown on the concept plan.

Elizabeth Cole and Krisel Travis were present for applicant. Ms. Cole noted they have applicants that would like to come to this area. She clarified the height they were asking for was 40' rather than 35'. They are working currently with staff to get the clearances they need for the standard equipment. She noted it was industry standard.

Public Hearing Open by Chairman Troy Cunningham. . Receiving no public comment, the public hearing was closed by the Chair.

Commissioner Wagstaff received clarification from Planning Director Dave Stroud on the allowed industrial square footage.

Commissioner Kilgore did not have a problem with the height but wanted to make sure it was ironed out in the agreements. Planning Director Dave Stroud advised that they were working on the Development Agreement currently which will be reviewed by City Council.

Commissioner Anderson shared concern about construction traffic on Pioneer Crossing and received clarification from Assistant City Engineer Dan McRae that a traffic study would be done at the site plan stage of the project. Krisel Travis noted that they did consider Regional Commercial traffic when they did the overall Community/Village Plan. This would be less traffic than that would have been. The roads are being widened per the impact they are putting in the area for the whole project.

Commissioner McConkie shared concern about the buffer between home and this project and received some clarification from Planning Director Dave Stroud and Krisel Travis on what other projects were adjacent. He advised there would be proper separation such as concrete walls where necessary and space from buildings. Staff also noted that just south would be a wider collector route. Krisel Travis advised where they have raised the flood-plain considerably and it would be above this property.

Commissioner Ryan received clarification on current zoning of Regional Commercial and felt either way it would be a large commercial style development, this seemed more fitting in this area. Krisel Travis noted the motivation for the rezone was based on interest from potential developers.

Commissioner Cunningham noted his approval for this rezone and felt it would be better traffic-wise for the community than some larger Regional Commercial business might be like a big-box store.

Motion made by Commissioner McConkie to recommend approval to the City Council to amend the General Plan Land Map from Light Industrial and Regional Commercial to Office Warehouse and Rezone from Mixed Residential and Regional Commercial to Office Warehouse on ~22.23 acres at 653 N. Saratoga Rd. as outlined in Exhibit 1 with the findings and conditions in the staff report dated September 23, 2021. Seconded by Commissioner Kilgore. Aye: Bryce Anderson, Troy Cunningham, Ken Kilgore, Bryce McConkie, Reed Ryan, Josh Wagstaff. Motion passed 6 - 0.

6. Commission Comments.

Commissioners commented on the need for the building height request, it might be worth looking into industry standards on that and possibly increasing the height allowance.

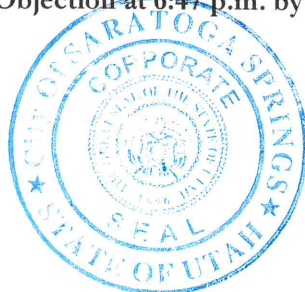
7. Director's Report. – Planning Director Dave Stroud advised of upcoming agenda items.

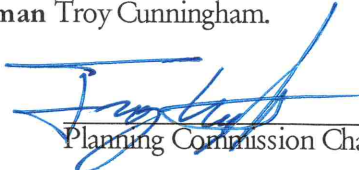
8. Possible motion to enter into closed session – No closed session was held.

9. Meeting Adjourned Without Objection at 6:47 p.m. by Chairman Troy Cunningham.

10-28-2021
Date of Approval


Deputy City Recorder




Planning Commission Chair