



SARATOGA SPRINGS

Life's just better here

1. 2020-7-21 Cc Agenda

Documents:

[2020-7-21 CC AGENDA.PDF](#)

2. 2020-7-21 Cc Packet

Documents:

[2020-7-21 CC PACKET.PDF](#)

3. 2020-7-21 Cc Approved Minutes

Documents:

[2020-7-21 CITY COUNCIL MINUTES APPROVED.PDF](#)



AGENDA – City Council Meeting

Mayor Jim Miller
Mayor Pro Tem Ryan Poduska
Council Member Christopher Carn
Council Member Michael McOmber
Council Member Chris Porter
Council Member Stephen Willden

CITY OF SARATOGA SPRINGS

Tuesday, July 21, 2020, 6:00 pm

Pursuant to State and Federal Guidelines concerning
COVID19, this Meeting will be conducted electronically.

Meetings are streamed live at

<https://www.youtube.com/c/CityofSaratogaSprings>

Questions and comments to staff and/or Council may be
submitted to comments@saratogaspringscity.com

I, Jim Miller, the Mayor of the City of Saratoga Springs, hereby determines that conducting the City Council meeting at an anchor location presents a substantial risk to the health and safety of those who may be present at the anchor location. The World Health Organization, the President of the United States, the Governor of Utah, and the County Health Department have all recognized a global pandemic exists related to the new strain of the coronavirus, SARS-CoV-2 (COVID-19). Due to the State of emergency caused by the global pandemic, I find that conducting a meeting at an anchor location under the current state of public health emergency constitutes a substantial risk to the health and safety of those who may be present at the location. This written declaration expires 30 days from the date signed.

Jim Miller, Saratoga Springs Mayor

Expiration Date: August 15, 2020

POLICY MEETING

1. Call to Order.
2. Roll Call.
3. Invocation / Reverence.
4. Pledge of Allegiance.
5. Presentation: Strategic Planning Advisory Committee Recognition.

REPORTS:

1. Mayor.
2. City Council.
3. Administration: Ongoing Item Review.
4. Department Reports: Library, Recreation, Economic Development/Events. *(Please direct comments and questions to Department Manager)*

BUSINESS ITEMS:

1. University of Utah Medical Center Community Plan Amendment and Village Plan Amendment, Jonathan Bates University of Utah Applicant, Northeast Corner of Pioneer Crossing and Market Street; Ordinance 20-24 (7-21-20).

In compliance with the Americans with Disabilities Act, individuals needing special accommodations (including auxiliary communicative aids and services) during this meeting should notify the City Recorder at 801.766.9793 at least one day prior to the meeting.

2. Award of Contracts for 2020 Road Maintenance Project (Seal Coat) as follows: Schedule A Geneva Rock, Schedule B Staker Parson, and Schedule C M&M Asphalt; Resolution R20-31 (7-21-20).
3. Award of Contract for 2020 Manhole Collar Repair Project (Road Maintenance) to Snow Canyon Construction; Resolution R20-32 (7-21-20).
4. Code Amendment Title 19.10 Hillside Development; Ordinance 20-25 (7-21-20).
5. National Resources Conservation Service (NRCS) Emergency Watershed Protection (EWP) Program Grant Agreement and City Manager Authorization; Resolution R20-33 (7-21-20).
6. Interlocal Cooperation Agreement with Utah County for Disbursement from the Coronavirus Relief Fund, CARES (Corona Virus Aid and Economic Security) Act; Resolution R20-34 (7-21-20).

MINUTES:

1. June 16, 2020; June 28, 2020; July 7, 2020.

CLOSED SESSION:

Motion to enter into closed session for any of the following: purchase, exchange, or lease of real property; discussion regarding deployment of security personnel, devices, or systems; pending or reasonably imminent litigation; the character, professional competence, or the physical or mental health of an individual.

ADJOURNMENT

Councilmembers may participate in this meeting electronically via video or telephonic conferencing. The order of the agenda items are subject to change by the Mayor. Citizens may address the Council during Public Input which has been set aside to express ideas, concerns, and comments on issues not listed on the agenda as a Public Hearing. All comments must be recognized by the Mayor and addressed through the microphone. Final action may be taken concerning any topic listed on the agenda.

Decorum - The Council requests that citizens help maintain the decorum of the meeting by turning off electronic devices, being respectful to the Council and others.



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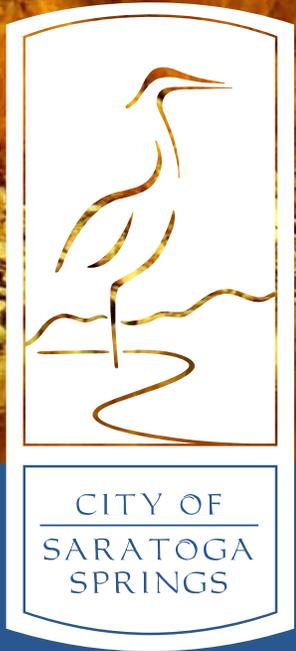
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Library COVID-19 Update



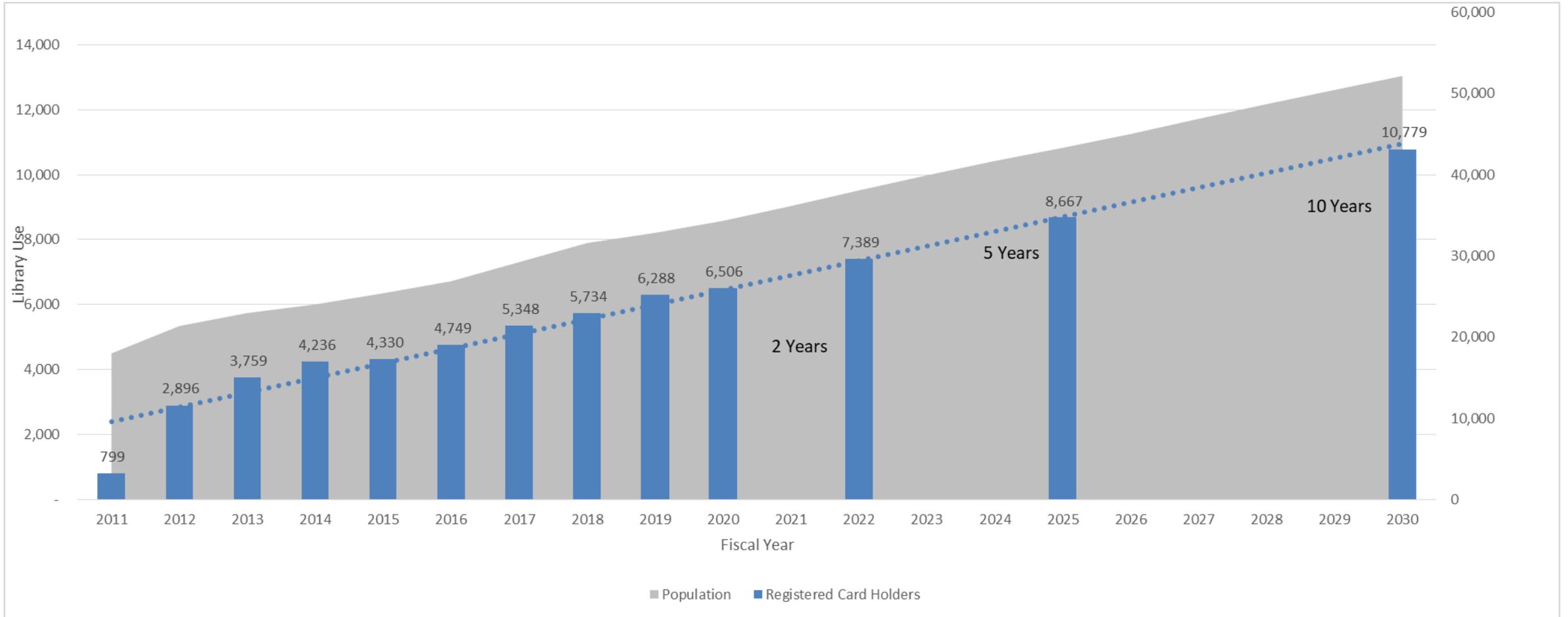
Annual Visitors and Checkouts

- April 2020- June 2020 Closed lobby and began providing Drive Up Service.
- Added Grab and Go Service June 11th.
- Counts of Library visitors from April- June 11th are only virtual programming views.





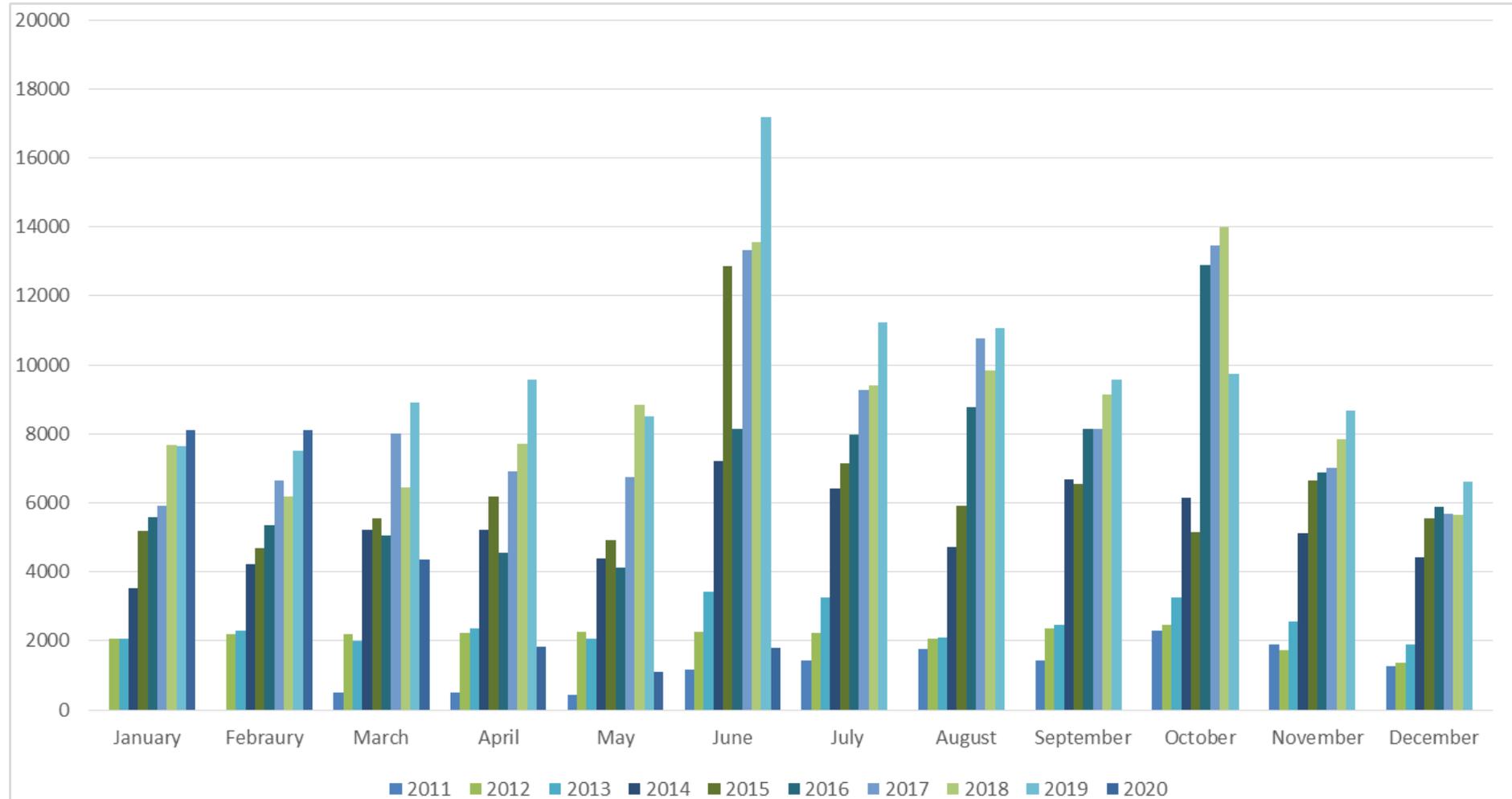
Registered Cardholders





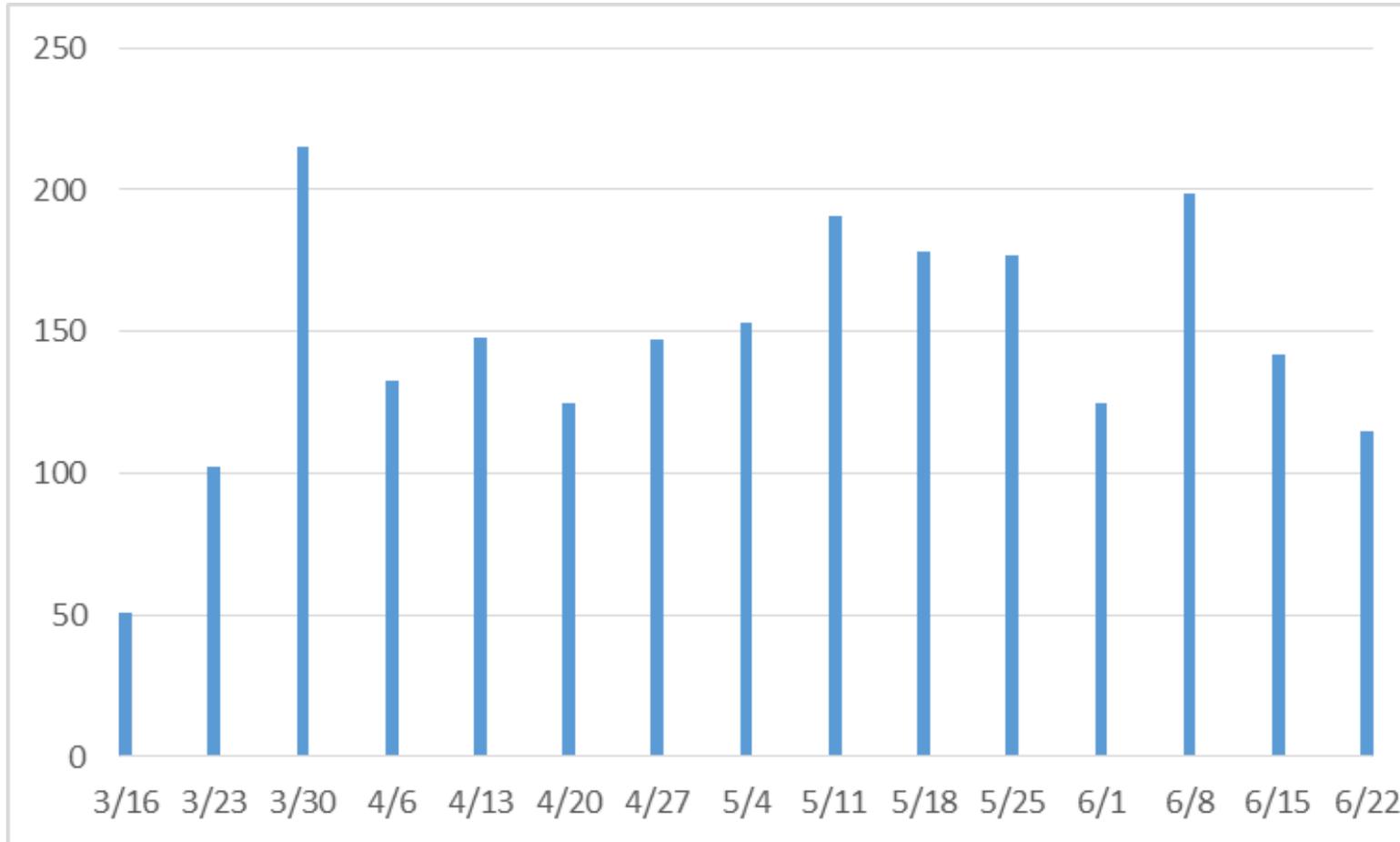
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Drive Up Service Usage by Week COVID-19 Response



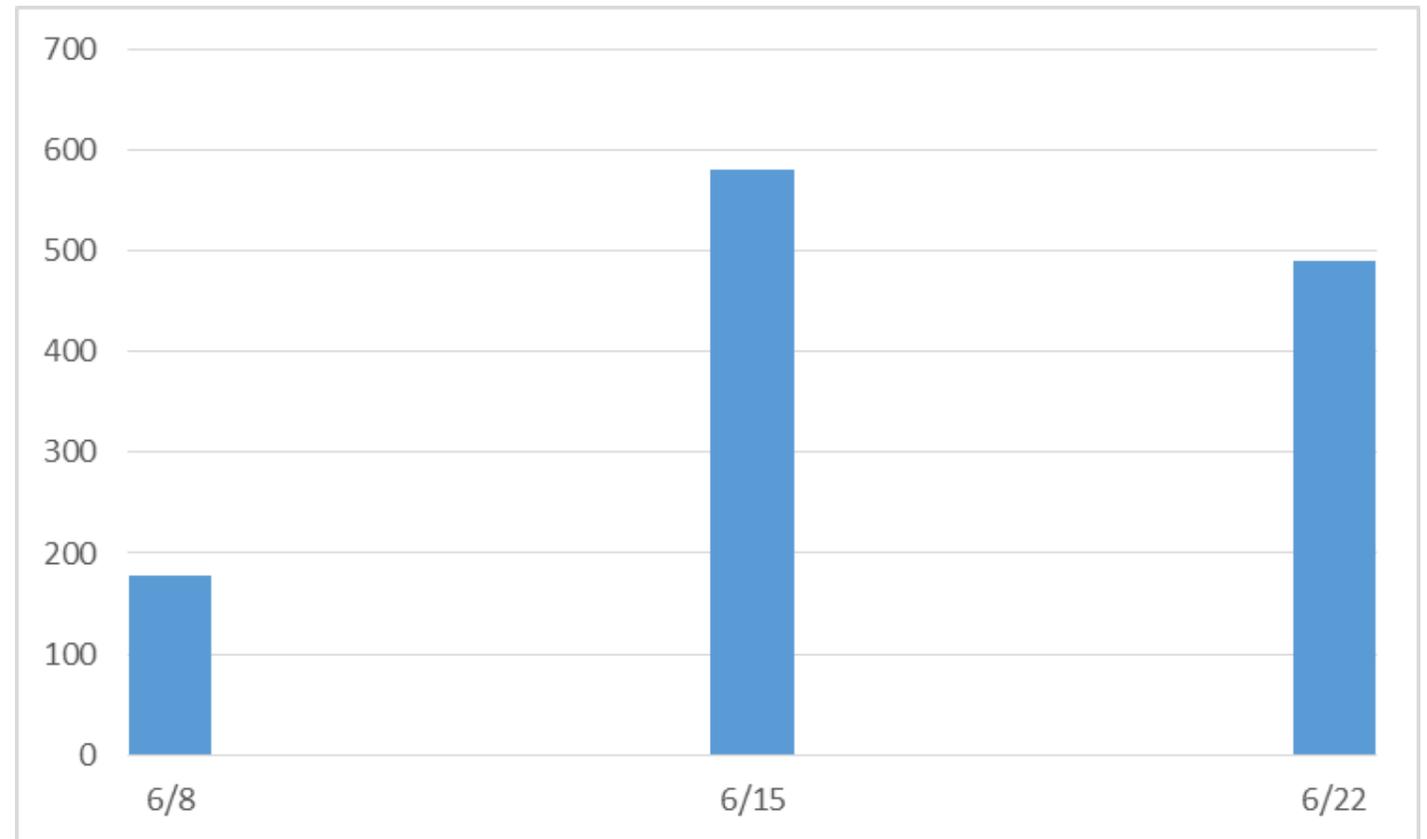


Grab and Go Service Usage by Week

COVID-19 Response

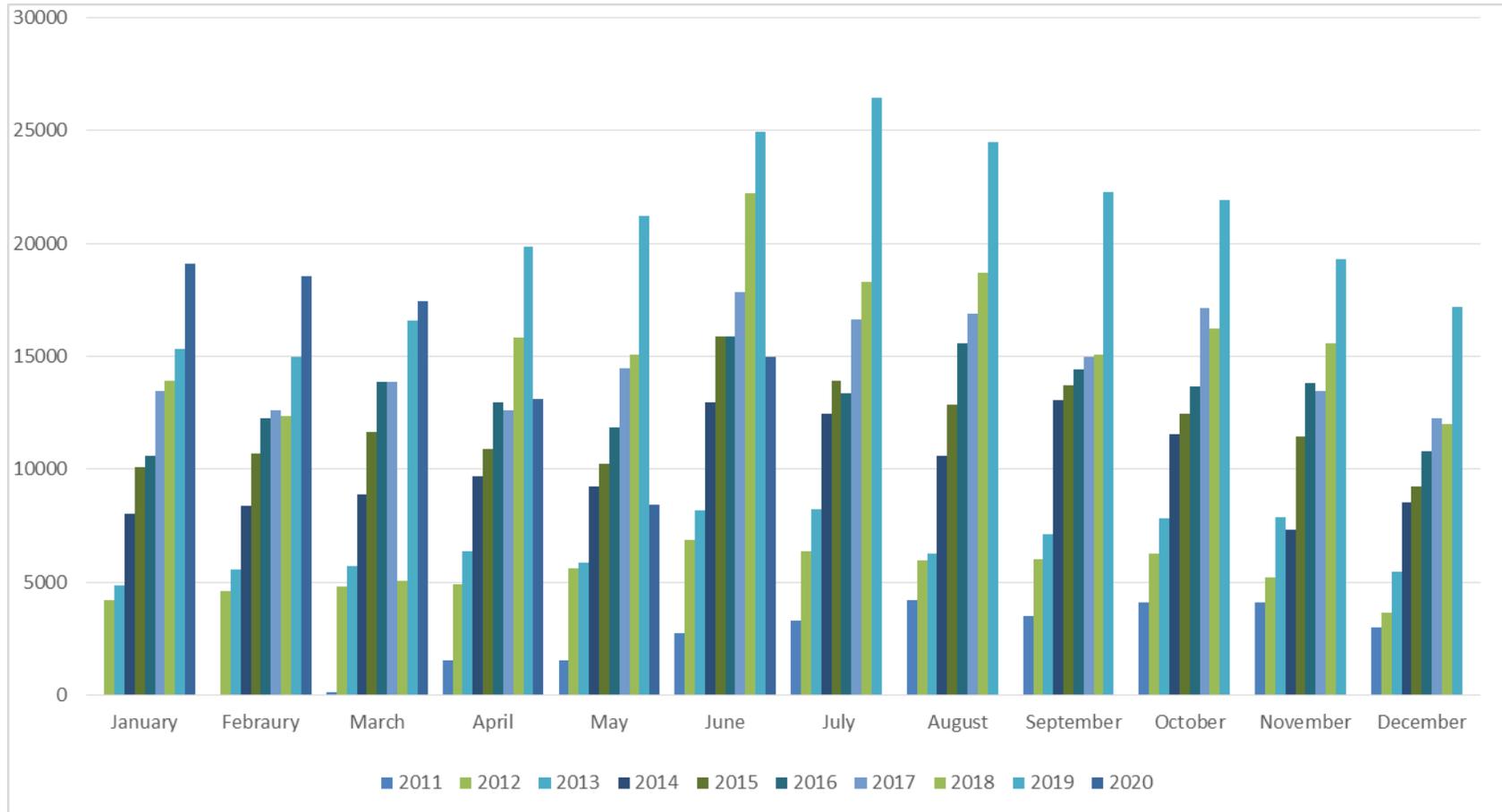
Started June 11th

- Limit 10 Patrons in the Library at a time.
 - Yes, there are times 1 family puts us as capacity.
- Please keep your visits short.
- Payments must be made online or with a credit card.
- Register for your card online.
- Masks are required.
 - Staff are aware for patrons with health issues masks cannot be mandated.
 - Patrons who just don't want to wear a mask are told about their ability to use Drive Up Service.



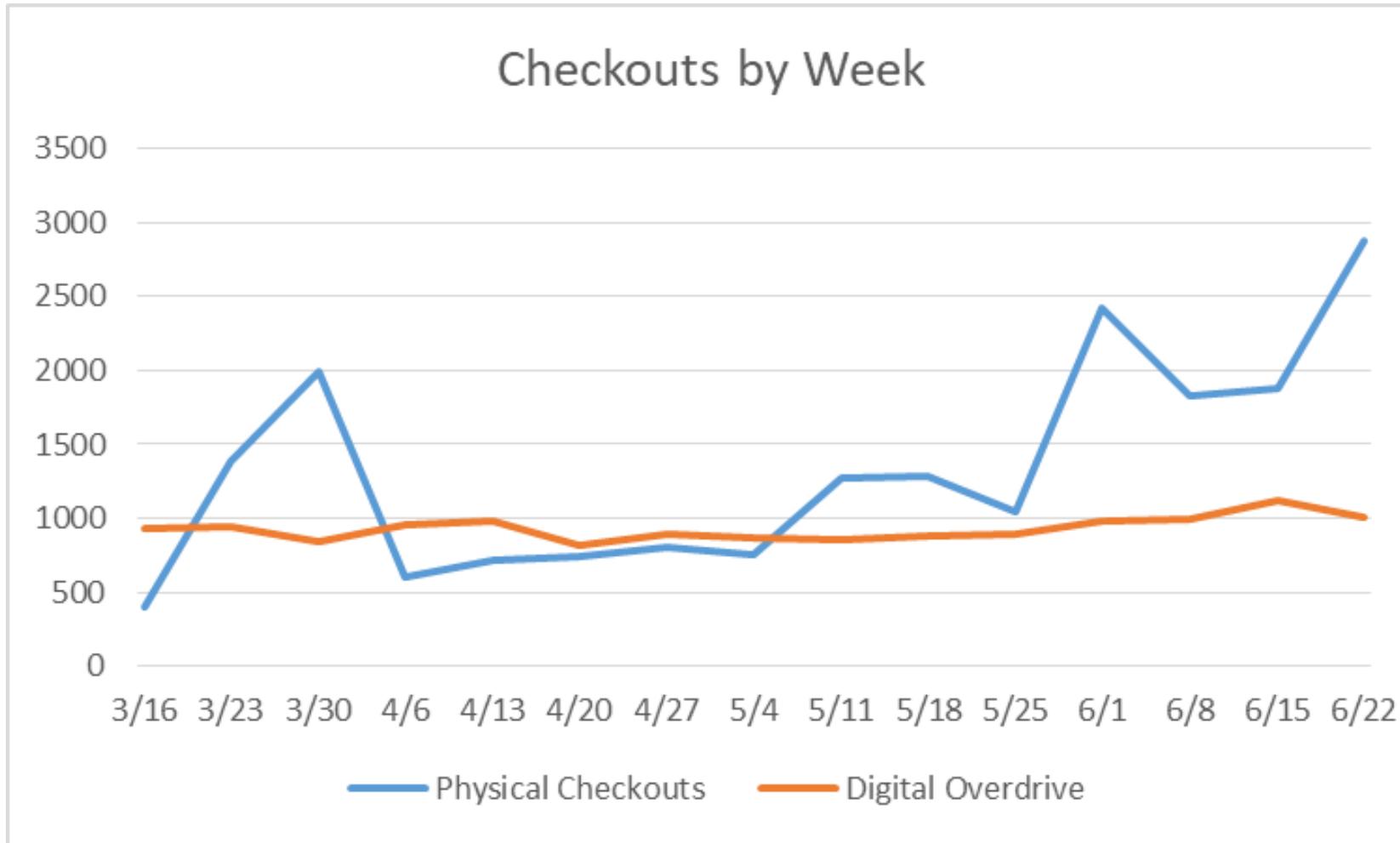


Checked Out Items





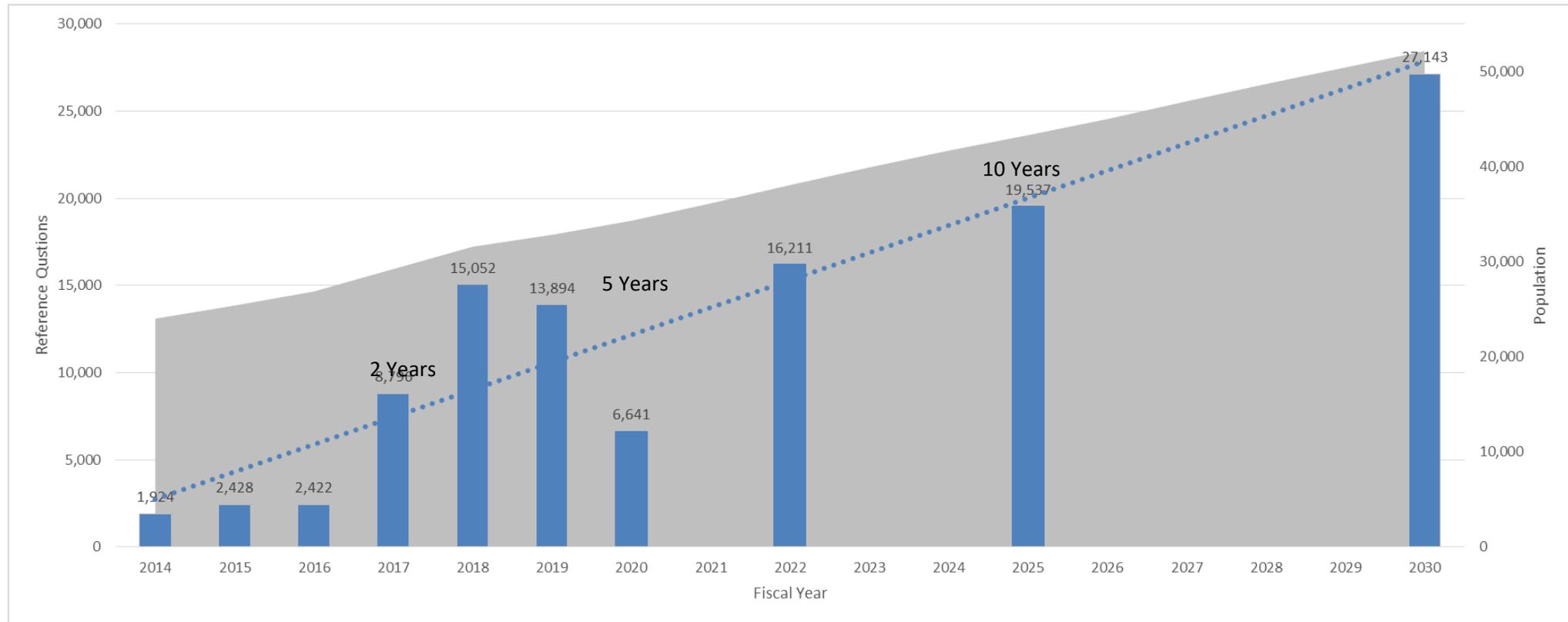
Circulation by Week COVID-19 Response





Reference Questions

State updates changed methodology. Count questions for 1 week and multiply by 52 for the numbers in the 2020 update.

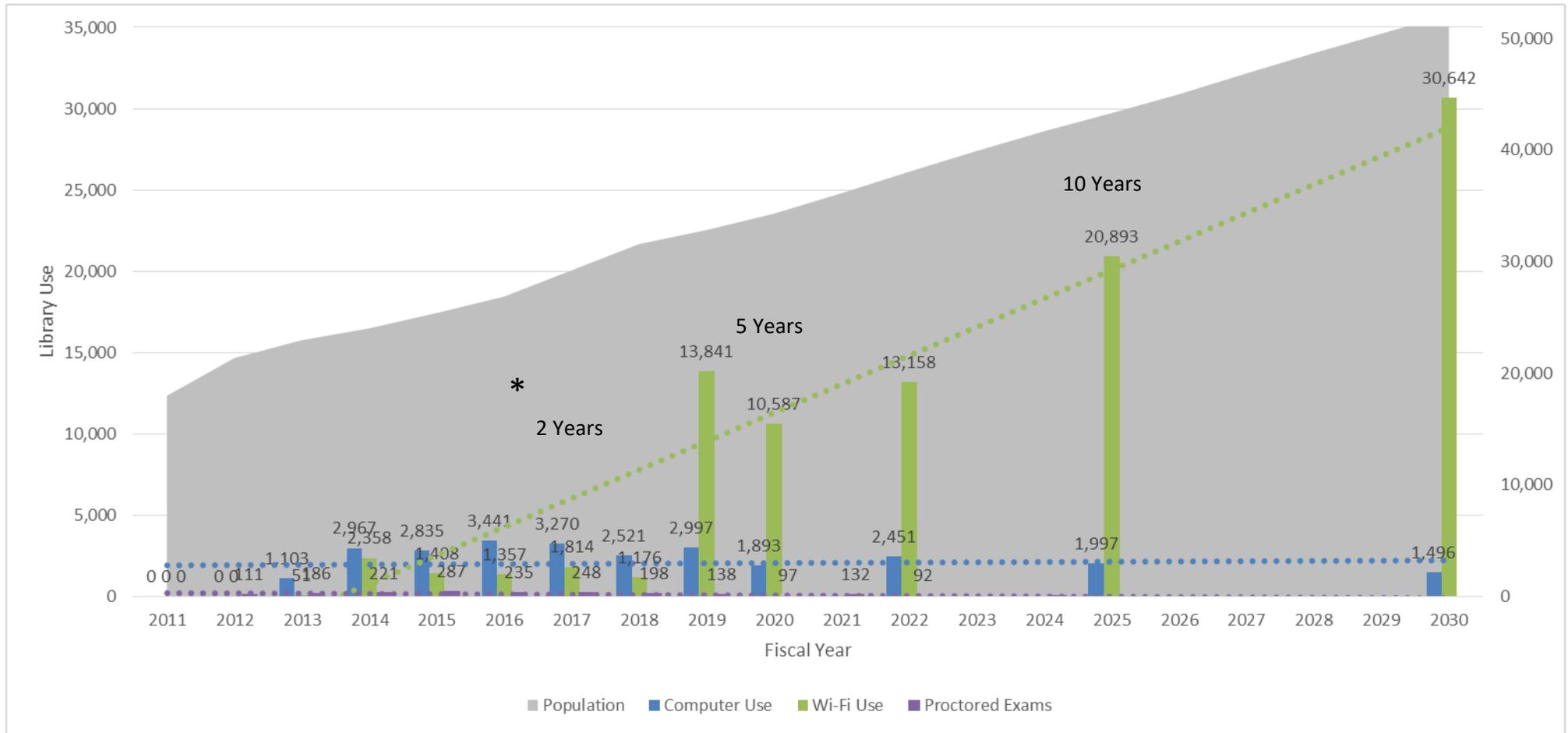




Computer Usage

Wi-Fi Upgrades:

- Extended Wi-Fi into the parking lot for increased access outside the building.
- Working with IT on Wi-Fi enabled printing, approval of print jobs, and online payment.





Updated Departmental Performance Measures

- April 2020-June 2020 Lobby closed providing Drive Up Service.
- Added Grab and Go Service June 11th.

Name	2017	2018	2019	2020
Visitors	98,100	104,790	115,188	82,482
Items Circulated	182,858	196,607	234,969	222,523
Internet Terminals	34	33	33	33
Number of Internet Terminal Users	3,270	2,521	2,997	1,893
Number of Wi-Fi Users	1,814	1,176	13,841	10,587
Number of Programs	270	440	530	376
Number of Program Attendees	13,683	22,858	16,670	10,071
Number of Registered Users	9,363	5,734	6,288	6,506
Proctored Exams	248	198	138	97
Reference Transactions	8,796	15,052	13,894	6,641



State Benchmarks

Name	2019	Minimum Standard*	Difference
Visitors	115,188	107,207	7,981
Physical Items Circulated**	198,105	157,085	41,020
Electronic Items Circulated**	36,837	18,562	18,275
Internet Terminals	33	-	-
Number of Internet Terminal Users	2,997	8,864	-5,867
Number of Programs	530	344	186
Number of Program Attendees	16,670	11,002	5,668
Total Staff FTE	5.39	9.1	-3.71
Total Reported Operating Expenditures	\$441,387	\$491,301	(\$49,914)
<small>Includes grants and matching costs</small>			
Actual Operating Expenditures	\$363,465		
Collections Budget	8.93%	7.67%	1.26%
Turnover of Electronic Materials	0.3616	0.0236	0.338
Turnover of Physical Materials	8.2636	0.8023	7.4613
Wi-Fi Use	13,841	-	-

* Projected: Benchmarks will not be required in 2020 as the Utah State Library is re-evaluating their entire certification process.



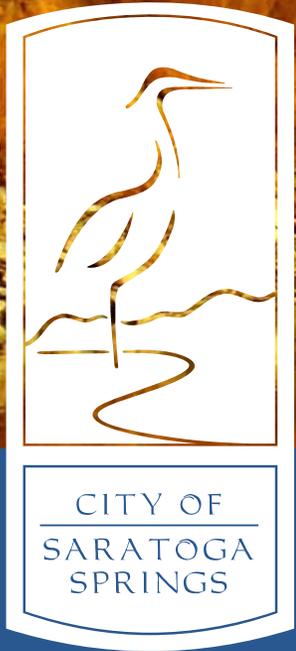
Recap of Other Libraries

- American Fork Library has Grab and Go Service during limited hours.
- Pleasant Grove added patron pick up and Grab and Go Service during limited hours.
- Highland Library is open and hosting programs in the park. Drive up service is available by calling ahead for high risk patrons.
- Eagle Mountain is open for Grab and Go Service and Drive Up during limited hours.
- Lehi is providing hold pick up in their lobby with temporary limited hours.
- Salt Lake City is providing Curbside hold pick up by appointment and is accepting returns. Programming remains online.



Increased Demand and Creative Requests

- Digital Services: Overdrive and RBDigital circulation increasing.
 - RBDigital is being sold to Overdrive.
- Free Access to some Databases provided by vendors:
 - TumbleBooks through August.
 - Coursera until December.
- Eagle Mountain residents not wanting to pay for a non-resident card to access services 2-3 patrons calling and/or coming in each day.
- Homebound Delivery and Pickup
- Circulation of Hot Spots and additional recreation equipment



Recreation



Recreation

Quarterly Report July 2020

- Spring Programs
- Spring Program Participation
- Spring Volunteer Numbers
- Upcoming Programs
- COVID-19





Recreation

Program Type	Spring/Summer Programs	COVID Status	#'s 2019	#'s 2020	Volunteers	Volunteer Hours	
Baseball	Instructional Youth Baseball 2020	Postponed by a week	723	495	62	620	
Baseball	Youth Baseball 2020	Postponed to June 8	375	344	30	600	
Camp	Game Changers Sports Camp 2020	Canceled	90	0			
Camp	Westlake Baseball Camp 2020	Canceled	63	0			
Camp	Westlake Boy's Basketball Camp 2020	Ran as Scheduled	154	267*			
Camp	Westlake Boys Lacrosse Camp 2020	Ran as Scheduled	47	52**			
Camp	Westlake Dance Camp 2020	Ran as Scheduled	41	67**			
Camp	Westlake Girl's Basketball Camp 2020	1st camp postponed to June 29	53	63**			
Camp	Westlake Soccer Camp 2020	Ran as Scheduled	66	99			
Camp	Westlake Spring Baseball Camps 2020	Canceled	75	0			
Camp	Westlake Thunder Tots Basketball Camps 2020	1st camp postponed to June 29	54	53**			
Camp	Westlake Volleyball Camp 2020	Modifications to #'s and age groups	120	63			
Fishing	Urban Fishing 2020	Postponed to June 4	27	25	12	206	
Golf	Golf Lessons 2020	Session 1 & 2 canceled added session at end	212	122**			
Pickleball	Spring/Summer Pickleball League 2020	Postponed to June	26	50			
Soccer	Spring Soccer 2020	Canceled	1818	0	0		
Soccer	Summer Soccer 2020	New program run in July	N/A	673	73	1168	
Softball	Adult Spring Softball 2020	Postponed to June 2	492	421			
Softball	Girl's Fast Pitch Softball 2020	Postponed to June 8	149	136	17	340	
Tennis	Tennis League	Canceled	8	0			
Tennis	Tennis Lessons 2020	Ran as Scheduled	165	128			
Volleyball	Summer Grass Youth Volleyball 2020	New program run in June/July	N/A	89	10	120	
Volleyball	Women's Adult Grass Volleyball League 2020	Ran as Scheduled	61	23			
Volleyball	Youth Volleyball 2020	Canceled	354	0	0		
			TOTAL	5173	2546	204	3054
	* Ran a second camp this year						
	** Still needs to run more camp(s)						



Recreation

Upcoming Summer Programs 2020

- Adult Fall Softball 2020
- Adult Fall Softball 2020 Free Agent List
- Cross Country 2020
- Fall Pickleball League 2020
- Fall Soccer 2020
- Fall Youth Basketball 2020
- Flag Football 2020
- Pickleball Fall Classic 2020
- Women's Indoor Volleyball 2020
- Men's Basketball 2020
- Westlake Girl's Lacrosse Camp 2020
- Westlake Track & Field Camp 2020





Recreation

Recreation COVID-19 Current Status

Estimated COVID-19 Refunds

Program	Refunds	Refund Amount
Spring Soccer	1253	\$64,231.00
Youth Volleyball	366	\$22,491.00
Track & Field	114	\$7,290.00
Baseball Camps	10	\$300.00
Other Programs for Covid Concerns	41	\$2,631.00
	TOTAL	\$96,943.00



Recreation

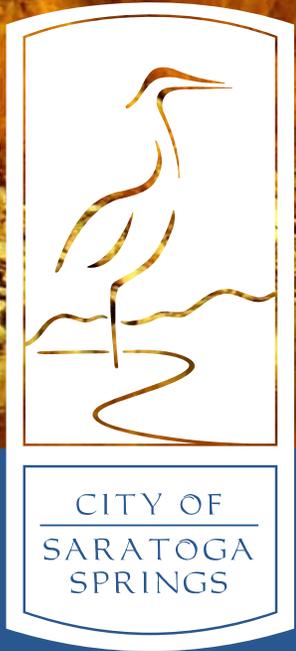
Employees

We added a part-time assistant recreation coordinator position recently. We hired Adam Hodson to fill that position.

Courtney Crocket a part-time recreation coordinator for the Recreation Department had a baby girl on July 3rd. She named her Charlotte. Courtney has elected to resign to stay home with her kids.

We are currently hiring her position.





Communications & Economic Development Department



Communications & Economic Development Department

Economic Development

- Costco Tentative Grand Opening – August 13, 2020
- Havoline newly opened
- Thrive Development
- Tenny's Pizza





Communications & Economic Development Department

Economic Development

Opportunities

- DR Horton Property – Flex Office Warehouse
- North Redwood Road – RC & Flex Office Warehouse
- SLR Properties – Market Study Underway
- Boyer Property – Mid-Box, Hotel & Restaurants
- Properties next to North Marina – Mixed Waterfront





Communications & Economic Development Department

Public Relations

- Press Conferences
 - Knolls Fire x 5
- PSA & YouTube Video Series
 - Water Safety completed
 - Trigger Trash & Wildfire
 - Filming completed
 - Editing now





Communications & Economic Development Department

Public Relations

- **Social Media Outreach**
 - 861 new Facebook followers in Q4 and 9,885 total.
 - 365 new Instagram followers in Q4 and 2,222 total.
 - 1962 new Twitter followers (an 85% increase) in Q4 and 4,265 total.
- **Website**
 - Created Knolls Fire and Flood Prevention Pages
 - Responded to 150 public emails with questions since January, approximately 1.65 everyday.
- **Newsletter**
 - Coordinate with Departments





Communications & Economic Development Department

Public Relations

Twitter Stats

- Received more than 1.4 million impressions during Q4, related to the Knolls Fire.
- By comparison, the City's Twitter account received 31.5K impressions in Q3.





Public Relations

Fire Facebook Stats

Followers

- On June 27, prior to the Knolls Fire, page followers were 3,170.
- On June 30, page followers were 7,954.
- That's an 151% increase with 4,784 new followers

Highest Post Response

- "That's not a shadow in this image--it's the burn scar."
- 182,122 people reached and 12,753 Reactions, Comments and Shares.





Communications & Economic Development Department

Public Relations

City Facebook Stats

Most Views

- State Moving to Orange – 29.3K
- Bunny Parade Routes – 29K
- Knolls Fire 6/28, 5pm Update – 27.3K
- Fireworks Restrictions – 10.7
- State moving to Yellow – 11K

Most Clicks

- Bunny Parade – 9.5K
- State moving to Orange – 9.2K
- Knolls Fire 6/28, 5pm Update – 5.1K
- Fireworks Restrictions – 3.2K
- Evacuation Update 6/28 – 2.4K

Most Reactions/ Comments/ Shares

- Bunny Parade – 797
- Knolls Fire 6/28, 5pm Update – 741
- State moving to Orange – 727
- Chick Fil A & City Council Donating Sandwiches to Staff – 449
- What a community is about Sandbagging video – 3535 (1569 views)





Communications & Economic Development Department

Civic Events

City Events

- Bunny Parade
- Kahoots x 4
- Splash Goosechase
- Chalk Art Contest
- Exercise Art
- Food Truck Monday x 4
- Pop UP Sweets & Treats x 5

Event Sponsors:

- Q3 - \$12,000
- YTD Total - \$12,000

Volunteer Councils:

- Youth Council
- Arts Council
- Veteran's Council





Communications & Economic Development Department

Special Event Permits

FY20, Q4

Approved - 3

Unapproved – 1*

Total – 4

YTD2020

Approved - 3

Unapproved – 7*

Total - 10

2019

Approved - 30

Unapproved – 2*

Total - 32

*These are applications that pulled on their own. However, three calls were received about applications, but did not officially submit after discussing the current situation with COVID19.





Communications & Economic Development Department

Staff

- David Johnson, ED & PR Director
 - Full-Time
 - 3 year
- AnnElise, Civic Events Coordinator
 - 25 hours average a week – Full-Time July 1, 2020
 - 9 years
- Caryn Nielsen Coltrin, CTC Coordinator
 - 20 hours average a week
 - 8 years
- Jealin Dickamore – Assit. Civic Events Coordinator
 - 15 hours average a week
 - Started Dec 2019
- Rashelle Mousley – Assit. Civic Events Coordinator
 - 15 hours average a week
 - Started Dec 2019





**Community Plan and Village Plan
University of Utah Medical Center
Tuesday, July 21, 2020
Public Meetings**

Report Date:	Tuesday, July 14, 2020
Applicant:	Jonathon Bates, University of Utah
Owner:	University of Utah, Suburban Land Reserve
Location:	NE Corner of Pioneer Crossing and Market Street
Major Street Access:	Market Street and Pioneer Crossing Extension
Parcel Number(s) & Size:	~33.14 acres (57:096:0001, 57:098:0002, 58:032:0188)
Parcel Zoning:	Planned Community (PC)
Adjacent Zoning:	PC
Current Use of Parcel:	Vacant, approved for Commercial
Adjacent Uses:	Vacant, Commercial
Previous Meetings:	June 2017 Approval of Original CP and VP June 25, 2020 PC Hearing and Positive Recommendations
Previous Approvals:	Annexation Agreement (2010) Rezone to PC zone (2010) City Center District Area Plan (2010) The Crossing Community and Village Plans (nearby, February 2016) University of Utah Community and Village Plans (June, 2017)
Land Use Authority:	City Council
Future Routing:	NA
Type of Actions:	Legislative
Author:	Kimber Gabryszak, Senior Planner

A. EXECUTIVE SUMMARY

The applicants are requesting approval of an amended Community Plan and amended Village Plan pursuant to Section 19.26 of the Land Development Code (Code) and the City Center District Area Plan (DAP). The modified plans propose allocating a maximum of 1,224,348 sq.ft. of non-residential development equaling up to 576 Equivalent Residential Units (ERUs) to ~33.14 acres within the DAP.

The Community Plan allocates a portion of the DAP density to the ~33.14 acres, and lays out the broader guidelines for the development, while the Village Plan provides the density and standards specific to the development.

Staff recommends that the City Council review and discuss the proposed Community Plan (CP) and Village Plan (VP), review the Planning Commission recommendations, and choose from the options in Section I of this

B. BACKGROUND

The City Center District Area Plan (DAP) was approved in 2010 following annexation of just under 3000 acres into the City. As part of the annexation agreement and DAP, the 2883 acres are vested for 16,000 residential units and 10,000,000 square feet of non-residential density:

Land Use Table

Type of Land Use	Quantity
Residential Housing	16,000 Units
Non-residential Area	10 million sq. ft.
Equivalent Residential Units	20,620 Units

The DAP has also approved Place Types ranging in density from 5-75 dwelling units per acre:

Place Types	Dwelling Unit Density Range	Range of FAR *
Urban Center	14-75	0.39-2.34
Transit Oriented Development	8-75	1.25-2.4
Town Neighborhood	6-34	0.36-1.82
Business Park	0	0.39-0.93
Office Warehouse	0	0.39-0.93
Neighborhood Commercial	5-14	0.39-1.5
Regional Retail	0	0.36-0.47
Traditional Neighborhood	5 -32	0.47-1.04
Master Planned Subdivision	4-14	0.35-0.50
Resort/Hospitality	6-8	.36-.93

* FAR = Floor Area Ratio

(Note: the complete DAP can be found by visiting <http://www.saratogaspringscity.com/229/Pending-Recently-Approved-Applications> then clicking on “Approved Master Development Plans”

While the DAP includes several conceptual scenarios for the distribution of various place types, both the DAP and Code allow the place type for individual developments to be identified and finalized at the time of Community Plan approval. The applicants have requested the Business Park place type.

In June of 2017, the original University of Utah Community and Village Plans were approved. They originally allocated ~363,000 sq.ft. of density to ~28.8 acres, with the Village Plan addressing only the first ~15 acres. The place type of Business Park was applied, and a maximum of 180 ERUs. The plans, standards, and densities were found to be in compliance with the General Plan, Development Code, and DAP.

The current proposal is to increase the allocation of density from the DAP with the same plans and standards.

C. SPECIFIC REQUESTS

Community Plan

The Community Plan covers the entire ~31.14-acre project; under the auspices of the originally approve Business Park Place Type, they propose allocating additional density from the DAP, for a range of 523,073 sq.ft. up to 1,247,328 sq.ft. and an ERU range of 242-576.

Village Plan

The VP covers the entire area of the Community Plan and proposes to apply this square footage to a medical complex.

TABLE 1 - VILLAGE PLAN SUMMARY	
ACREAGE	
GROSS ACRES	33.14 ac
NET DEVELOPABLE AREA	30.79 ac
THOROUGHFARES	2.35 ac
EQUIVALENT RESIDENTIAL UNITS (ERU)	
PERMITTED ERU FOR COMMUNITY PLAN	576
DAP ERU ALLOCATION	576

TABLE 2 - ALLOWABLE ERUs (DAP CALCULATION)			
		FAR	
PLACE TYPE	Acreeage	Low (.39)	High (.93)
BUSINESS PARK	30.79	523,073 s.f.	1,247,328 s.f.
EQUIVALENT RESIDENTIAL UNITS (ERU)			
ERU CONVERSION	1 ERU/2,164.5 s.f.		
ERU RANGE		Low	High
ERU RANGE		242	576

Due to the additional acreage and density these applications are major amendments.

D. PROCESS / HOW IT WORKS

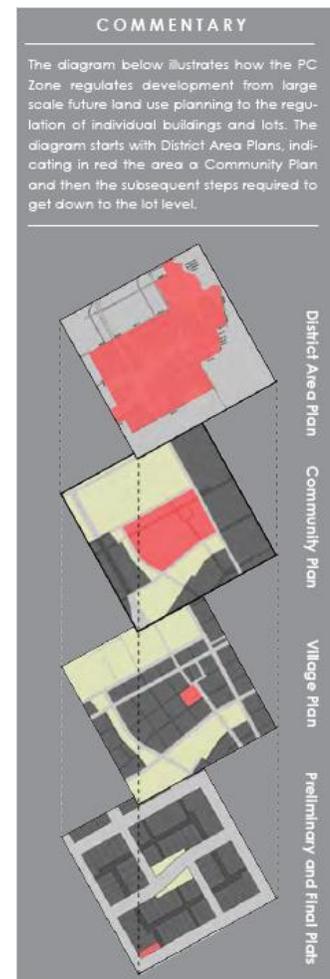
Section 19.26 of the Code describes development in the PC zone, and the graphic to the right shows the hierarchy of the different plans:

- For a large-scale planned community district, an overall governing document is first approved, known as the District Area Plan (Section 19.26.13).
 - The City Center DAP was approved in 2010.*
- A Community Plan is then proposed and approved (Sections 19.26.03-19.26.08). The Community Plan lays out the more specific guidelines for a sub-district within the DAP.
 - The University of Utah Community Plan will govern the ~33.14 acre sub-district of the DAP.*
- Following and / or concurrently with the Community Plan, a Village Plan is proposed and approved (Sections 19.26.09 – 19.26.10). The Village Plan is the final stage in the Planned Community process before final plats, addressing such details specific to the sub-phase as open space, road networks, and lots for a sub-phase of the Community Plan.
 - The VP will govern specific development in the ~33.14 project.*

The approval process for major amendments to the CP and VP includes:

- A public hearing and recommendation by the Planning Commission
(Held 6/25/2020)
- A public meeting and final decision by the City Council.

Next steps after CP and VP will include preliminary and final subdivision plats to create any development lots, and site plans for the medical and other buildings.



E. COMMUNITY REVIEW

The Planning Commission public hearings were noticed in the *Daily Herald*; and mailed notice sent to all property owners within 300 feet. As of the date of this report, no public comment has been received.

F. REVIEW

Place Type

The Community Plan designates the entire ~33.14 acre University of Utah development as Business Park, which was approved in 2017 and is described in the DAP as follows:

PLANNING CRITERIA AND GUIDELINES

BUSINESS PARK

Range of Average Dwelling Units/Acre	0 du/ac
Range of Average FAR	0.39-0.93
Range of Open Space	15 - 17%

Business parks are comprised of low to medium density office buildings. Business parks can also contain a small amount of light industrial and retail uses. They provide a concentration of diverse employment opportunities in close proximity to housing. Business parks will be designed to be easily accessible by the freeway, major arterials, commuter rail and integrated into the community’s street network for walkability. Business park uses must be sensitive to and compatible with the surrounding uses.

Open Space Types:

- Plaza
- Entrance park
- Pocket park
- Special Use
- Greenway
- Parkway (Boulevard)
- Park lawns
- Connector trail

Density

The Business Park place type does not have an identified maximum density in terms of ERUs, however has identified an average Floor Area Ratio (FAR) range. FAR is a term that refers to the ratio of square footage to ground cover.

- A FAR of 1.0 means that a 1-story building could have a footprint covering the entire lot, or a 2 story building covering half of the lot.
- Example: A 10,000 sq.ft. lot with a FAR of 1.0:
 - 10,000 x 1.0, would equal 10,000 total maximum sq.ft. of development
 - Possibly a one-story building with a 10,000 sq.ft. footprint
 - Possibly 10-story building with a 1,000 sq.ft. footprint

The DAP has a density range in the Business Park area of 0.39 to 0.93 FAR. Applied to the University of Utah this allows a range of 523,073 to 1,247,328 sq.ft..

The applicants are requesting a maximum of 576 density ERUs and the same number of ERUs in terms of utility impacts.

Uses

The applicants have identified specific uses, particularly Medical Office, and may include a small amount of light industrial and retail uses as permitted in the Business Park place type.

Traffic and Infrastructure

The applicants will be required to supply a traffic study prior to or concurrent with site plan and plat approval. Additional conditions should development exceed 300,000 sq.ft. are included that require even more traffic analysis and utility plans at that time. Delayed traffic studies for these densities are appropriate as the City’s needs and traffic conditions are likely to change in the several years it will take to reach this threshold.

General infrastructure plans have been provided, and more detail will also be provided and reviewed with these later applications as well.

Development Standards

Community Plan

The CP contains the general standards for the entire ~33.14 acre project. The applicants have proposed general compliance with the standards in Title 19 of the Code, except where specifically exempted by State Code.

Village Plan

The Phase 1 VP contains additional standards to implement the Community Plan on a particular sub-phase. While these topics were addressed at a higher level in the Community Plan, the information in the VP is more specific:

- Allocation of density / FAR
- Village-specific open space plan
- Pedestrian network
- Fire access
- Infrastructure and Utilities

Staff Review

Staff has reviewed the CP and VP provided redlines to the applicant. The applicants have responded to this feedback, and made multiple changes. Remaining changes still recommended by staff include:

- Community Plan
 - Correct minor discrepancies in references to ERUs (page 3)
 - Address any Fire Department needs at time of site plan (page 19)
 - Update Utility maps to be consistent with update Master Utility Plan (pages 26-27)
 - Other minor typos and changes as needed
- Village Plan
 - Show drinking water and secondary water pipeline alignments and sizes (page 13)
 - Other minor typos and changes as needed
- Engineering requirements to both plans
 - Add statement to ERU ranges "Proposed land use and corresponding ERU count have not been finalized. The Developer will provide detailed information regarding ERU as part of the site plan. The Developer understands that development will be limited to available downstream capacity or that developer will be responsible for any improvements needed to provide the desired additional capacity."
 - The allowable release rate for the U of U is 0.12 cfs/acre. Include an obvious note that reads "Before or at the time of detailed design submittal, hydrology and hydraulic calculations must be submitted that show the detailed on-site design that meets this requirement."
 - The maximum allowable discharge is not "historical pre-development flows" as currently stated. The maximum allowable discharge for this parcel is 0.12 cfs/acre (3.98 cfs for 33.14 acres).

More detail on the proposed development are found in the complete Community Plan and Village Plan drafts, attached.

G. GENERAL PLAN

The General Plan Land Use map identifies this area as Planned Community Mixed Use, which states:

Category	General Characteristics	Res. Density and range of typical lot sizes
Planned Community Mixed Use	The Planned Community designation includes large-scale properties within the City which exceed 500 acres in size. This area is characterized by a mixture of land uses and housing types, and has a mixture of commercial uses. It is subject to an overall Community Plan that contains a set of regulations and guidelines that apply to a defined geographic area.	Varies

The ~2883-acre DAP was approved in 2010 in compliance with the General Plan and the intent of the Planned Community designation at the time. The approved Community Plan and Village Plan included trail connections and landscaping in compliance with the related master plans, and specific development standards and design guidelines. The amendments are consistent with the original approvals.

H. CODE CRITERIA

The property is zoned PC, and is subject to the standards and requirements in Section 19.26 of the Code, and its several sub-sections.

19.26.04 – Uses Permitted within a Planned Community District

- The application includes big box and general retail, office, and similar uses, which are permitted in the PC zone. The proposal includes all uses in the RC zone, with several Conditional Uses (big box, fitness centers, and fueling stations) being changed to Permitted uses.

COMMUNITY PLAN CODE REQUIREMENTS

a) Section 19.26.06 – Guiding Standards of Community Plans

The standards for a Community Plan are below:

- Development Type and Intensity. The allowed uses and the conceptual intensity of development in a Planned Community District shall be as established by the Community Plan.
Staff finding: continues to comply. Subdivision plats and building permits will be reviewed for compliance with the Community Plan. This location is appropriate for higher density from the DAP to be allocated in the city and is a use type the needs density to function effectively.
- Equivalent Residential Unit Transfers.
Staff finding: complies. The Community Plan provides parameters for transfers within the project.
- Development Standards. Guiding development standards shall be established in the Community Plan.
Staff finding: complies. The proposed CP references Title 19 of the City Code for standards, except where specifically exempted by State Code.
- Open Space Requirements.
Staff finding: complies. While the Code currently requires 30% open space for development in the Planned Community Zone, it allows DAPs to include a lower range. The City Center DAP is the governing document for the proposed Community Plan, and the proposed open space and landscaping meets the standards and range of 15-17% as identified in the DAP for this place type. The master developer will provide a portion, and the interior developers will provide the remainder.

5. No structure (excluding signs and entry features) may be closer than twenty feet to the peripheral property line of the Planned Community District boundaries.
 - a. The area within this twenty foot area is to be used as a buffer strip and may be counted toward open space requirements, but shall not include required back yards or building set back areas.
 - b. The City Council may grant a waiver to the requirement set forth in this Subsection upon a finding that the buffer requirement will result in the creation of non-functional or non-useable open space area and will be detrimental to the provision of useful and functional open space within the Project.

Staff finding: complies. *The property is not located within 20' of the PC zone boundary.*

b) 19.26.07 – Contents of Community Plans

The items summarized below are required to be part of a Community Plan:

1. Legal Description. **Provided**
2. Use Map. **Provided**
3. Buildout Allocation. **Provided**
4. Open Space Plan. **Provided**
5. Guiding Principles. **Provided**
6. Utility Capacities. **Provided**
7. Conceptual Plans. Other elements as appropriate - conceptual grading, wildlife mitigation, open space management, hazardous materials remediation, fire protection. **Provided**
8. Development Agreement. **Pending**
9. Additional Elements.
 - a. responses to existing physical characteristics of the site. **Provided**
 - b. findings statement. **Provided**
 - c. environmental issues. **Provided**
 - d. means to ensure compliance with standards in Community Plan. **Provided**
10. Application and Fees. **Provided**

c) 19.26.05 – Adoption and Amendment of Community Plans

The criteria for amendment of a Community Plan are below:

- a. is consistent with the goals, objectives, and policies of the General Plan, with particular emphasis placed upon those policies related to community identity, distinctive qualities in communities and neighborhoods, diversity of housing, integration of uses, pedestrian and transit design, and environmental protection;

Staff finding: consistent. *See Section G of this report.*
- b. contains sufficient standards to guide the creation of innovative design that responds to unique conditions;

Staff finding: complies. *The plan proposes compliance with Title 19, with exceptions granted by State Code.*
- c. is compatible with surrounding development and properly integrates land uses and infrastructure with adjacent properties;

Staff finding: complies with conditions. *Adjacent property is undeveloped or commercial and is also governed by the same DAP as the proposed development. Infrastructure needs for future development have been considered in the planning of this site. Appropriate conditions and requirements have been placed in the plan and on the approval to ensure adequate infrastructure.*

- d. includes adequate provisions for utilities, services, roadway networks, and emergency vehicle access; and public safety service demands will not exceed the capacity of existing and planned systems without adequate mitigation;
Staff finding: complies with conditions. See Engineering conditions in Section F.
- e. is consistent with the guiding standards listed in Section 19.26.06; and
Staff finding: complies. See analysis in subsection H.a) above.
- f. contains the required elements as dictated in Section 19.26.07.
Staff finding: complies. The application contains all required elements.

VILLAGE PLAN CODE REQUIREMENTS

d) 19.26.03.2 – Additional Village Plan Requirements

Additional requirements for a Village Plan are summarized below:

- a. A detailed traffic study – **General information provided, detailed information required with site/preliminary plat or upon development exceeding 300,000 sq.ft..**
- b. A map and analysis of backbone infrastructure systems - **Provided.**
- c. Detailed architectural requirements and restrictions - **Provided.**
- d. If applicable, details regarding the creation of an owners’ association, master association, design review committee, or other governing body. - **Provided.**

e) 19.26.09 – Village Plan Approval

The criteria for a Village Plan approval are summarized below:

- a. is consistent with the adopted Community Plan;
Staff finding: complies. The Village Plan appears to be consistent with the allowed densities, FAR, uses, and standards in the Community Plan.
- b. does not exceed the total number of equivalent residential units dictated in the adopted Community Plan;
Staff finding: complies with conditions. With only a typo modification, the ERUs are consistent with the CP.
- c. for an individual phase, does not exceed the total number of equivalent residential units dictated in the adopted Community Plan unless transferred per the provisions of the Community Plan;
Staff finding: complies. The FAR and ERUs have been provided and are consistent with the CP.
- d. is consistent with the utility, infrastructure, and circulation plans of the Community Plan; includes adequately sized utilities, services, and roadway networks to meet demands; and mitigates the fair-share of off-site impacts;
Staff finding: complies with conditions. See Engineering conditions in Section F.
- e. properly integrates utility, infrastructure, open spaces, pedestrian and bicycle systems, and amenities with adjacent properties; and
Staff finding: complies. Utility plans, pedestrian plans, and trail/sidewalk cross sections have been provided. Future connectivity is also called out as a requirement.
- f. contains the required elements as dictated in Section 19.26.10.
Staff finding: complies. See below. All required topics have been included.

- g. meets the minimum required space in adopted Community Plan, and adopted District Area Plan if applicable.

Staff finding: complies. Total open space will meet or exceed standards.

19.26.10 – Contents of a Village Plan

The required contents of a Village Plan are summarized below:

1. Description - **Provided**
2. Detailed Use Map - **Provided**
3. Detailed Buildout Allocation – **Provided**
4. Development Standards – **Provided**
5. Design Guidelines – **Provided, minor changes needed**
6. Associations - **Provided**
7. Phasing Plan - **Provided**
8. Lotting Map – **Provided (only one lot proposed currently)**
9. Landscaping Plan – **Provided**
10. Utility Plan - **Provided**
11. Vehicular Plan - **Provided**
12. Pedestrian and Bicycle Plan – **Provided**
13. Density Transfers – **Provided**
14. Additional Detailed Plans. Other elements as necessary (grading plans, storm water drainage plans, wildlife mitigation plans, open space management plans, sensitive lands protection plans, hazardous materials remediation plans, and fire protection plans) - **Provided**
15. Site Characteristics - **Provided**
16. Findings Statement – **Provided**
17. Mitigation Plans. (Protection and mitigation of significant environmental issues) - **Provided**
18. Offsite Utilities - **Provided**

I. Recommendation:

The Planning Commission held a public hearing on June 24, 2020 and voted unanimously to forward positive recommendations to the City Council for both the CP and VP. Draft minutes from that meeting are attached.

Staff recommends that the City Council conduct two public meetings, review and discuss the proposed CP and VP, and choose from the following options:

Option 1 – Approvals

“I move to **approve** The University of Utah Community Plan Amendment with the Findings and Conditions below:”

Findings

1. The application complies with the City Center District Area Plan (DAP). Specifically, the neighborhood type, required contents, density, and unit type are as permitted in the DAP.
2. The application is consistent with the goals, objectives, and policies of the General Plan, as identified in Section G of this report, which section is incorporated by reference herein;
3. With appropriate modifications, the application complies with Section 19.26.05, 19.26.06, and 19.26.07 of the Development Code as outlined in Section H of the Staff report, which section is incorporated by reference herein. Particularly:
 - a. The ERU maximum and FAR does not exceed the number of ERUs and square footage of nonresidential uses of the General Plan;

- b. With required modifications and conditions, the application contains sufficient standards to guide the creation of innovative design that responds to unique conditions;
- c. The application is compatible with surrounding development and properly integrates land uses and infrastructure with adjacent properties;
- d. The application includes adequate provisions for utilities, services, roadway networks, and emergency vehicle access; and public safety service demands will not exceed the capacity of existing and planned systems without adequate mitigation;
- e. With required modifications and conditions, the application is consistent with the guiding standards listed in Section 19.26.06.
- f. The application contains the required elements as dictated in Section 19.26.07.

Conditions:

- 1. The maximum allowable ERUs in the Community Plan shall be 576.
- 2. All requirements of the City Engineer shall be met, including but not limited to the staff report in Exhibit 5.
- 3. All requirements of the Fire Department shall be met.
- 4. The Community Plan shall be edited as directed by the Council.
- 5. Changes below shall be made prior to recordation:
 - a. Correct minor discrepancies in references to ERUs
 - b. Update Utility maps to be consistent with update Master Utility Plan
 - c. Add statements required by Engineering in Section F
 - d. Provide a draft development agreement
 - e. Other minor typos and changes as needed
- 6. A subdivision plat shall be recorded to create the University of Utah lot(s) prior to site plan approval.
- 7. Other: _____
- 8. Other: _____

“I also move to **approve** The University of Utah Village Plan Amendment with the Findings and Conditions below:”

Findings

- 1. The application is consistent with the guiding standards in the The University of Utah Community Plan. Specifically, the density, unit types, thoroughfares, and other standards are expressly as contained in the Community Plan.
- 2. The application complies with the criteria in section 19.26.09 and 19.26.10 of the Development Code, as articulated in Section H of the Staff report, which section is incorporated by reference herein. Particularly:
 - a. With appropriate modifications, the application is consistent with the adopted Community Plan;
 - b. The range of density in the application does not exceed the total number of equivalent residential units dictated in the adopted Community Plan;
 - c. For an individual phase, the density will not exceed the total number of equivalent residential units dictated in the adopted Community Plan unless transferred per the provisions of the Community Plan;
 - d. The application is consistent with the utility, infrastructure, and circulation plans of the Community Plan; includes adequately sized utilities, services, and roadway networks to meet demands; and mitigates the fair-share of off-site impacts.
 - e. The application properly integrates utility, infrastructure, open spaces, pedestrian and bicycle systems, and amenities with adjacent properties; and
 - f. The application contains the required elements as dictated in Section 19.26.10.

Conditions:

1. The maximum allowable impact ERUs in the Village Plan shall be 567, and the maximum allowable density ERUs from the District Area Plan shall be 567.
2. All requirements of the City Engineer shall be met, including but not limited to the staff report in Exhibit 5.
3. All requirements of the Fire Department shall be met.
4. The Village Plan shall be edited as directed by the Council.
5. Changes as identified below shall be made prior to recordation.
 - a. Show drinking water and secondary water pipeline alignments and sizes (page 13)
 - b. Add statements required by Engineering in Section F
 - c. Other minor typos and changes as needed
6. All other code requirements shall be met.
7. Other: _____
8. Other: _____

Option 2 – Continuance

“I move to **continue** the University of Utah Community Plan and Village Plan Amendments to the August 4, 2020 meeting with direction to the applicant and Staff on information and / or changes needed to render a decision, as follows:

1. Changes identified by the Council shall be incorporated.
2. Other: _____
3. Other: _____

Option 3 – Denials

“I move to **deny** The University of Utah Community Plan Amendment with the Findings below:

1. The application is not consistent with the General Plan, as articulated by the Council: _____, and/or
2. The application is not consistent with the DAP, as articulated by the Council: _____, and/or
3. The application does not comply with Section 19.26 of the Code, as articulated by the Council: _____.

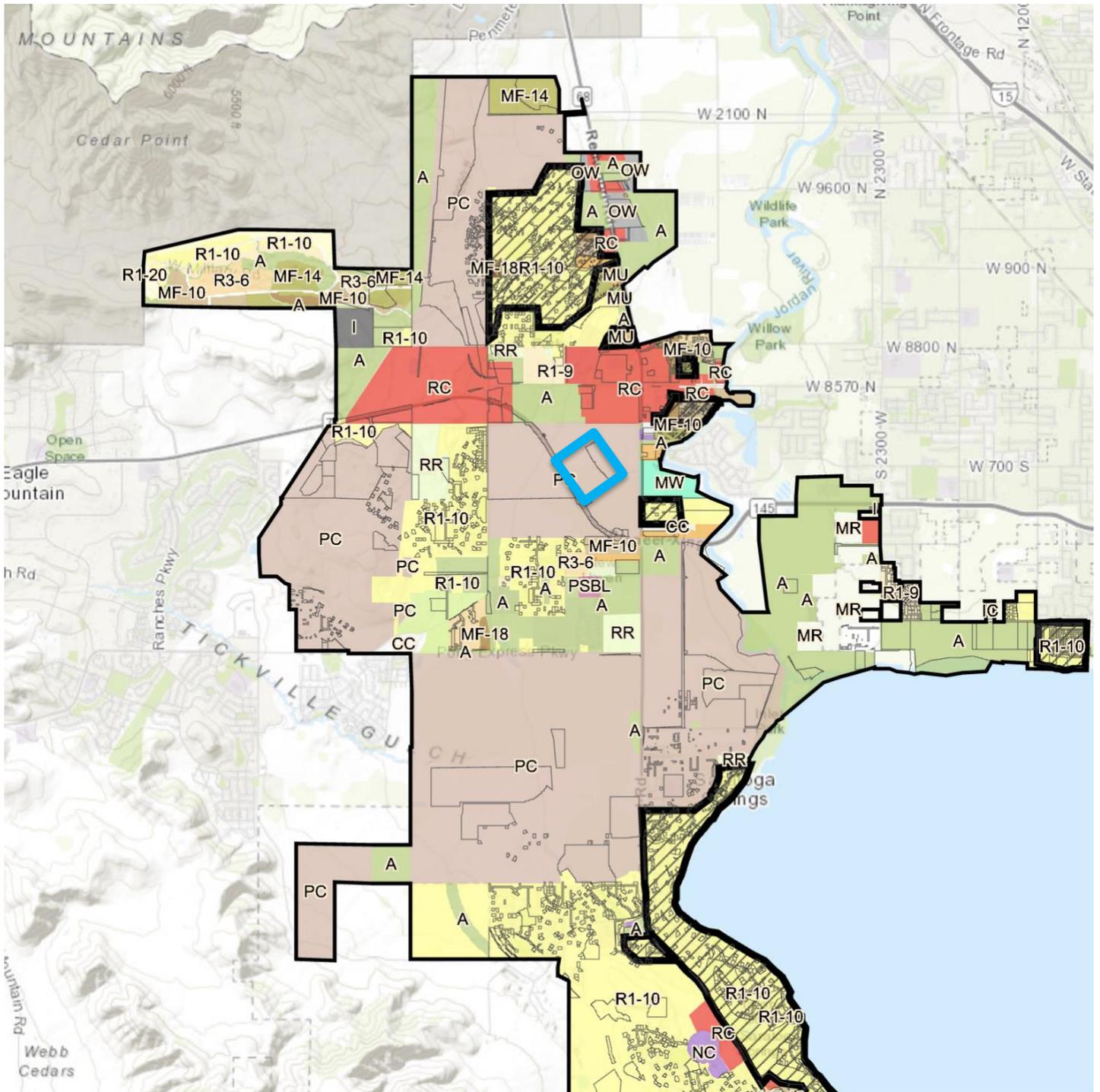
“I also move to **deny** The University of Utah Village Plan Amendment with the Findings below:

1. The application is not consistent with the General Plan, as articulated by the Council: _____, and/or
2. The application is not consistent with the DAP, as articulated by the Council: _____, and/or
3. The application does not comply with Section 19.26 of the Code, as articulated by the Council: _____.”

J. Exhibits:

1. Location & Zone Map (page 12)
2. Community Plan Layout (page 13)
3. Village Plan Layout (page 14)
4. City Engineer’s Reports dated 6/16/2020 (page 15)
5. Full Community Plan (pages 16-48)
6. Full Village Plan (pages 49-71)
7. Ordinance (pages 72-74)
8. Draft PC Minutes 6/25/2020 (pages 75-76)

Exhibit 1: Location and Zone Map





2. USE MAP AND BUILDOUT ALLOCATION

Future Phases - Business Park*

Business Park uses are defined generally by the District Area Plan as:

Business parks are comprised of low to medium density office buildings. Business parks can also contain a small amount of light industrial and retail uses. They provide a concentration of diverse employment opportunities in close proximity to housing. Business parks will be designed to be easily accessible by the freeway, major arterials, commuter rail and integrated into the community's street network for walkability. Business park uses must be sensitive to and compatible with the surrounding uses.

*Note: Phase plan is conceptual; actual phases may vary.

EQUIVALENT RESIDENTIAL UNITS

District Area Plan:

The Saratoga Springs City Center District Area Plan (DAP) established that for every 10 Million square feet of commercial building area, 4,620 equivalent residential units (ERUs) are permitted. That is equivalent to 2,164.5 square feet per ERU.

The DAP also established a floor area ratio (FAR) range for the Business Park place type. The suggested FAR range for Business Park is between .39 and .93. Therefore, based upon the community plan acreage (30.79 ac.) the amount of commercial building area should be between 523,073 s.f. and 1,247,328 s.f.. Taking into account the ERU conversion of 2,164.5 s.f./ERU, the ERU range established by the DAP for this property is between 242 and 576 ERUs. This community plan does not exceed the commercial building area totals or the ERU range established by the DAP.

Community Plan:

A maximum of 1,247,000 s.f. of commercial building area is anticipated at completion. Based upon the proposed uses and the City's fixture count tables, it is anticipated that the University of Utah Village Plan will contain up to 231 ERUs (1,247,000 / 2,164.5 = 576).

ACREAGE	
GROSS ACRES	33.14 ac
NET DEVELOPABLE AREA	30.79 ac
THOROUGHFARES	2.35 ac
EQUIVALENT RESIDENTIAL UNITS (ERU)	
PERMITTED ERU FOR COMMUNITY PLAN	576
DAP ERU ALLOCATION	576

PLACE TYPE	Acreage	FAR	
		Low (.39)	High (.93)
BUSINESS PARK	30.79	523,073 s.f.	1,247,328 s.f.
EQUIVALENT RESIDENTIAL UNITS (ERU)			
ERU CONVERSION	1 ERU/2,164.5 s.f.		
ERU RANGE		Low	High
ERU RANGE		242	576

Exhibit 3: VP Layout



9. LANDSCAPE PLAN

- Open Space
- Building

See Community Plan Plant List for Required Plant Material
 Note: Building and Parking Layouts are Conceptual

TABLE 5 - OPEN SPACE BREAKDOWN (VILLAGE PLAN CALCULATION)		
TYPE	ACRES	OPEN SPACE %
Park Lawn	6.66	20
Plaza	1.72	5.2
Subtotal (Applicable Open Space)	8.38	25.3
Parking Lot Landscaping	1.11	3.4
Total Open Space	9.49	28.6

City Council Staff Report

Author: Gordon Miner, City Engineer

Subject: U of U Medical Center Community/Village Plan

Date: June 16, 2020

Type of Item: Legislative



Description:

A. Summary: The Applicant submitted an amendment to their Community/Village Plan.

B. Background:

Applicant: University of Utah
Request: Amended Community/Village Plan Approval
Location: Medical Drive x Pioneer Crossing

C. Recommendation: Staff recommends the approval of the amended Community/Village Plan subject to the following conditions:

D. Conditions:

1. All review comments and redlines provided by the City Engineer and the City Engineer's consultants are to be complied with and implemented.
2. This Community/Village Plan is conceptual in nature. In case of changing circumstances or additional insight, this plan shall be amended as necessary.
3. The Applicant understands that this Community/Village Plan does not provide sufficient information to determine the volumes and characteristics of traffic this development will generate nor the impacts therefrom. Traffic impact studies will be required with site plans and the Developer will be required to mitigate the traffic impacts.
4. The Applicant understands that this Community/Village Plan does not provide sufficient information determine what project and system improvements will be necessary to service the Developer's property. As a result, this approval does not reserve utility system capacity. Prior to, concurrent with, or subsequent to the site plan approval, the Developer will be required to install all required infrastructure to service the property. In addition to all required project improvements, the developer may also be required to install any and all system improvements, subject to required impact fee credits.

UNIVERSITY OF UTAH MEDICAL CENTER COMMUNITY PLAN

May 14, 2020



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1. COMMUNITY PLAN DESCRIPTION

LEGAL DESCRIPTION

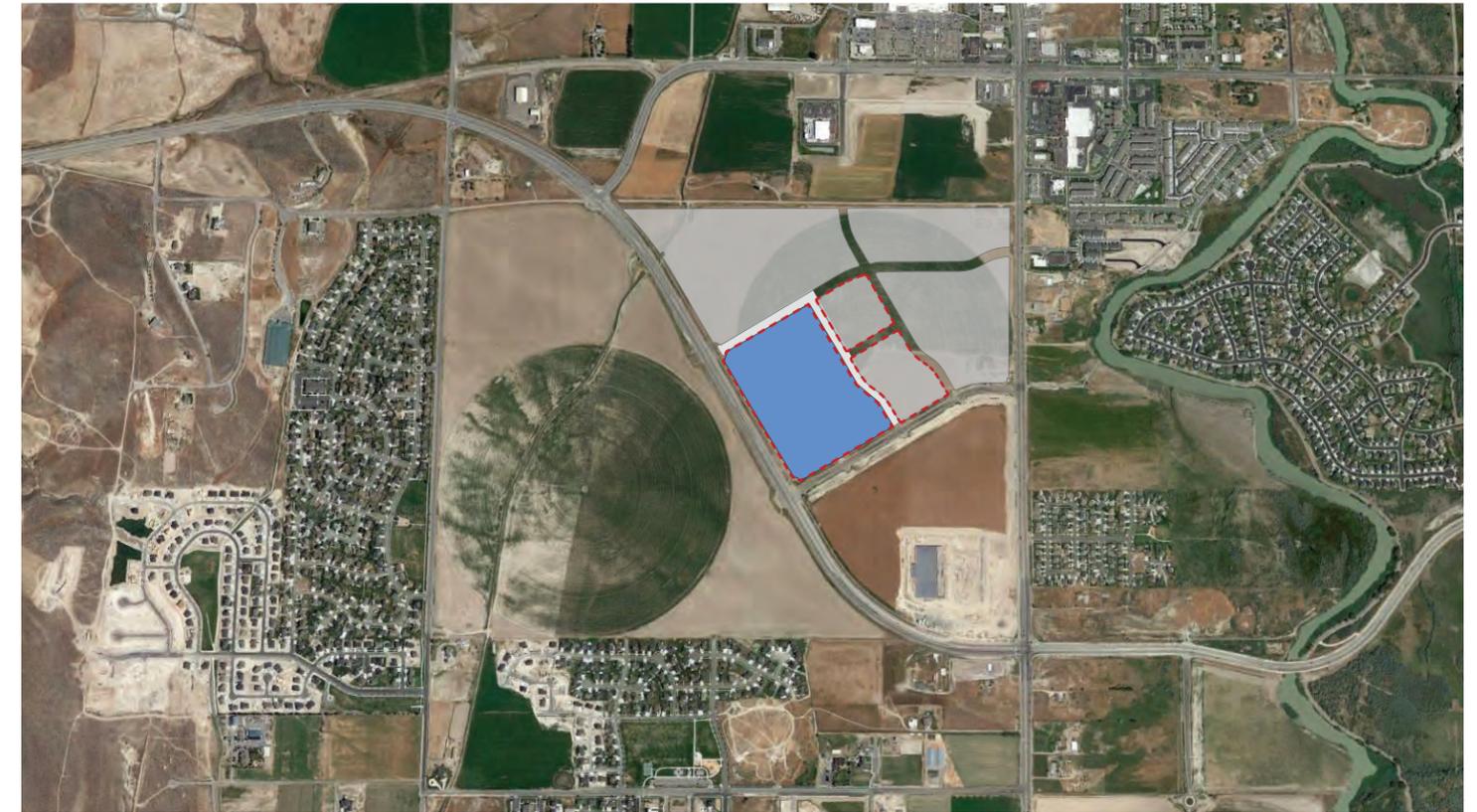
A portion of the Southwest Quarter of Section 14 and the Southeast Quarter of Section 15, Township 5 South, Range 1 West, Salt Lake Base & Meridian, located in Saratoga Springs, Utah, more particularly described as follows:

Beginning at a point on the easterly right-of-way line of Pioneer Crossing as described in Deed Entry No. 28749:2014 in the official records of the Utah County Recorder, said point also being North 00°20'51" East, along the section line, 67.26 feet and South 89°39'09" East 618.47 feet from the Southwest Corner of Section 14, Township 5 South, Range 1 West, Salt Lake Base & Meridian and running thence along said easterly right-of-way the following five (5) courses: 1) North 30°43'06" West 8.27 feet, 2) North 75°43'06" West 77.78 feet, 3) North 30°43'06" West 1270.50 feet, 4) North 14°16'54" East 77.78 feet, 5) North 30°43'06" West 10.38 feet to the southerly right-of-way line of Medical Drive as shown on University of Utah Saratoga Springs Sub recorded March 26, 2018 as Entry No. 28387:2018 and Map Filing No. 15973, in the office of the Utah County Recorder; thence, along said southerly right-of-way line of Medical Drive, the following four (4) courses: 1) North 59°16'54" East 51.45 feet, 2) North 55°26'40" East 174.65 feet, 3) North 59°16'54" East 702.21 feet, 4) easterly 12.57 feet along the arc of a 8.00 foot radius curve to the right, through a central angle of 90°00'00", (chord bears South 75°43'06" East 11.31 feet), to the westerly right-of-way line of Regent Street as shown on said University of Utah Saratoga Springs Sub; thence, along said westerly right-of-way line of Regent Street, the following six (6) courses: 1) South 30°43'06" East 818.33 feet, 2) southeasterly 233.81 feet along the arc of a 528.00 foot radius curve to the left, through a central angle of 25°22'17", (chord bears South 43°24'14" East 231.90 feet), 3) southeasterly 200.55 feet along the arc of a 472.00 foot radius curve to the right, through a central angle of 24°20'42", (chord bears South 43°55'02" East 199.05 feet), 4) South 30°52'34" East 26.58 feet, 5) South 23°35'46" East 52.42 feet, 6) South 30°43'02" East 89.41 feet to the northerly right-of-way line of Market Street as shown on Market Street Right of Way Dedication Plat, recorded April 23, 2015 as Entry No. 34053:2015 and Map Filing No. 14581, in the office of the Utah County Recorder thence, along said northerly right of way line, the following six (6) courses: 1) southerly 32.20 feet along the arc of a 20.50 foot radius curve to the right, through a central angle of 90°00'00", (chord bears South 14°16'57" West 28.99 feet), 2) South 59°16'58" West 496.30 feet, 3) westerly 32.20 feet along the arc of a 20.50 foot radius curve to the right, through a central angle of 90°00'00", through a central angle of 90°00'00", (chord bears North 75°43'02" West 28.99 feet), 4) South 59°16'58" East 69.00 feet, 5) southerly 32.20 feet along the arc of a 20.50 foot radius curve to the right, through a central angle of 90°00'00", (chord bears South 14°16'57" West 28.99 feet), 6) South 59°16'58" West 59.00 feet to the northerly line of that certain property dedicated to the City of Saratoga Springs as shown on University of Utah Parcel 2, Saratoga Springs Sub as recorded on August 24, 2018 as Entry No. 80617:2018 and Map Filing No. 16208, in the office of the Utah County Recorder; thence, along the said northerly line, the following two (2) courses: 1) South 66°09'04" West 200.72 feet, 2) South 59°16'58" West 140.78 feet to the Point of Beginning.

Contains 1,443,448 Sq. Ft. / 33.14 Ac. / 1 Parcels

OVERVIEW

The University of Utah is under contract with Suburban Land Reserve to purchase land in Saratoga Springs, UT. This property is located east of Pioneer Crossing, North of Market Street, west of Redwood Road, As depicted below which designates the Community Plan boundary.



The property is presently zoned Planned Community (PC) and is subject to requirements of a previously approved District Area Plan (DAP). The DAP grants the rights to develop, in accordance with Section 19.26 of the City Code.

This Community Plan is intended to fulfill the submittal requirement, as identified in the governing PC Zone and to establish the Community Plan level transportation and utility systems. The University of Utah Medical Center Community Plan is meant to provide Saratoga Springs with an urban medical business park environment that presently does not exist in the city.

Compliance with existing Title 19 Land Development Code: The University of Utah, as a State entity, is exempt from being required to comply with local municipal code. This Community Plan and subsequent Village Plan is exempt from Title 19 of the Saratoga Springs Land Development Code. The governing standards for this Community Plan are established by State Statute and are set forth in Title 10-Utah Municipal Code.

PLACE TYPE ASSIGNMENT

The planning area defined by this Community Plan incorporates the previous assignment, in the DAP, of the Business Park Place Type. The intent, at the Community Plan level, is to work from the Place Type palette identified in a given Community Plan area without the specific requirement of using all identified Place Types as identified. This intent has already been established, through precedent, by the Community Plan which was approved for Legacy Farms.

In the Community Plan area, identified for University of Utah Medical Center, the District Area Plan identifies three Place Types which may be used:

1. Town Neighborhood
2. Business Park
3. Regional Retail

TOWN NEIGHBORHOOD

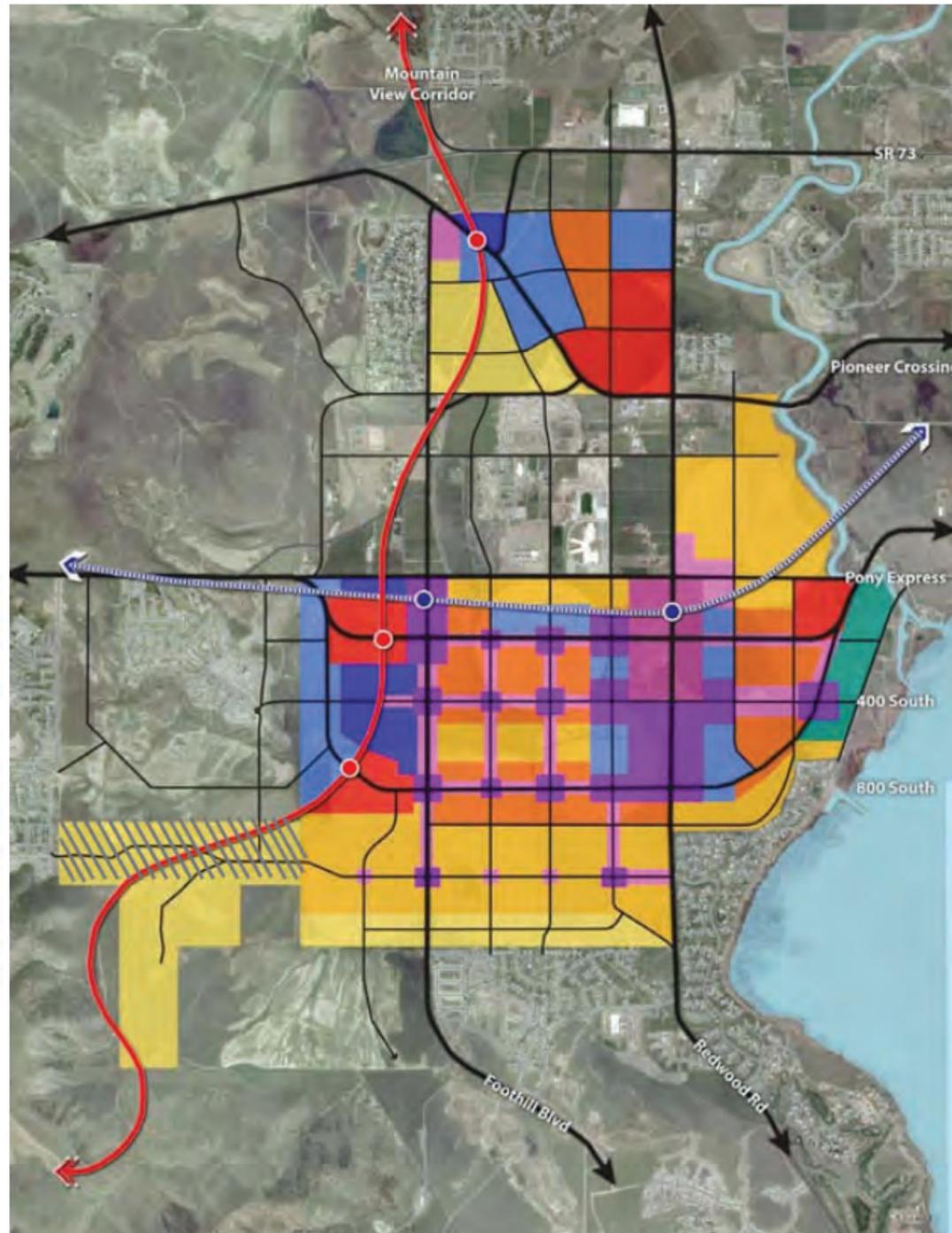
Range of Average Dwelling Units/Acre	6-34 du/ac
Range of Average FAR	0.36-1.82
Range of Open Space	13 - 15 %

BUSINESS PARK

Range of Average Dwelling Units/Acre	0 du/ac
Range of Average FAR	0.39-0.93
Range of Open Space	15 - 17%

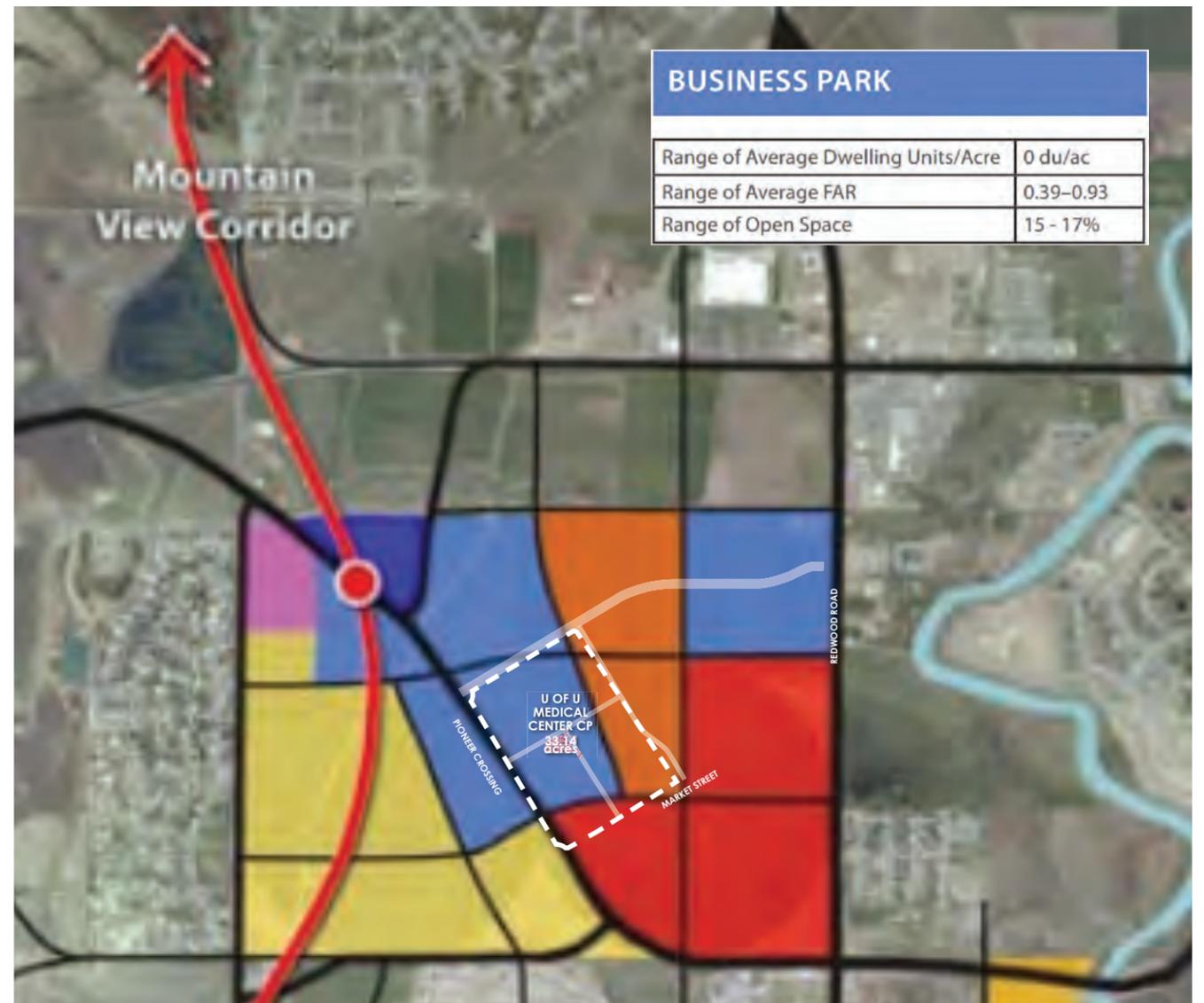
REGIONAL RETAIL

Range of Average Dwelling Units/Acre	0 du/ac
Range of Average FAR	0.36-0.47
Range of Open Space	11 - 14 %



BUSINESS PARK PLACE TYPE PARAMETERS

Based on the characteristics of each of these Place Types and the intent for future development in this Community Plan area it is intended to use only the Business Park Place Type which corresponds most closely to the types of uses proposed in this community plan.





2. USE MAP AND BUILDOUT ALLOCATION

Future Phases - Business Park*

Business Park uses are defined generally by the District Area Plan as:

Business parks are comprised of low to medium density office buildings. Business parks can also contain a small amount of light industrial and retail uses. They provide a concentration of diverse employment opportunities in close proximity to housing. Business parks will be designed to be easily accessible by the freeway, major arterials, commuter rail and integrated into the community's street network for walkability. Business park uses must be sensitive to and compatible with the surrounding uses.

*Note: Phase plan is conceptual; actual phases may vary.

EQUIVALENT RESIDENTIAL UNITS

District Area Plan:

The Saratoga Springs City Center District Area Plan (DAP) established that for every 10 Million square feet of commercial building area, 4,620 equivalent residential units (ERUs) are permitted. That is equivalent to 2,164.5 square feet per ERU.

The DAP also established a floor area ratio (FAR) range for the Business Park place type. The suggested FAR range for Business Park is between .39 and .93. Therefore, based upon the community plan acreage (30.79 ac.) the amount of commercial building area should be between 523,073 s.f. and 1,247,328 s.f.. Taking into account the ERU conversion of 2,164.5 s.f./ERU, the ERU range established by the DAP for this property is between 242 and 576 ERUs. This community plan does not exceed the commercial building area totals or the ERU range established by the DAP.

Community Plan:

A maximum of 1,247,000 s.f. of commercial building area is anticipated at completion. Based upon the proposed uses and the City's fixture count tables, it is anticipated that the University of Utah Village Plan will contain up to 231 ERUs (1,247,000 / 2,164.5 = 576).

TABLE 1 - VILLAGE PLAN SUMMARY

ACREAGE	
GROSS ACRES	33.14 ac
NET DEVELOPABLE AREA	30.79 ac
THOROUGHFARES	2.35 ac
EQUIVALENT RESIDENTIAL UNITS (ERU)	
PERMITTED ERU FOR COMMUNITY PLAN	576
DAP ERU ALLOCATION	576

TABLE 2 - ALLOWABLE ERUs (DAP CALCULATION)

PLACE TYPE	Acreage	FAR	
		Low (.39)	High (.93)
BUSINESS PARK	30.79	523,073 s.f.	1,247,328 s.f.
EQUIVALENT RESIDENTIAL UNITS (ERU)			
ERU CONVERSION	1 ERU/2,164.5 s.f.		
ERU RANGE		Low	High
ERU RANGE		242	576



3. LOT BREAKDOWN

The Allowable ERUs for this use, based on FAR, permits anywhere from 242 ERUs to 576 ERUs. The proposed 576 maximum ERU allocation for this community plan falls within that range. The 1,247,000 square feet corresponds to the proposed medical center development program and the ERU allocation was derived considering fixture counts and the probable water consumption for medical office. Using the City's conversion factor of 2,164.5 s.f./ERU, 1,247,000 square feet of building translates into 576 ERUs as a maximum allocation.

TABLE 3 - LOT BREAKDOWN (COMMUNITY PLAN CALCULATION)

PHASE #	ACRES	OPEN SPACE %	MAXIMUM BUILDING SF	IMPACT ERUs	DAP ERU ALLOCATION
Lot 1	33.14	N/A	1,247,000	576	576

FUTURE PROJECTIONS

Projected employment = 250 - 750 future employees (estimated)

AMENDMENTS AND DENSITY TRANSFER

Modifications to the Community Plan text or exhibits may occur in accordance with the following amendment process:

Major amendments are modifications that change the intent of the Community and Village Plans, and require City Council approval. Major amendments include the following:

- Any increase in non-residential intensity that results in Floor Area Ratios (FAR) that exceed 0.37 (500,000/30.79x43,560). FAR is calculated by dividing the building square footage by the net developable area of the parcel.
- The addition of adjacent property not included in the Community Plan that would constitute more than a 35% increase in acreage. (The potential area(s) where the site could increase are indicated in the map to the left.)

Minor amendments are accomplished administratively by the City Planning Director and may include:

- All site plan revisions that impact the configuration of proposed buildings and conceptual parking layout (so long as the total building area does not exceed the maximum building square feet in Table 3 above)
- Changes in phasing
- Minor changes in the conceptual location of streets, public improvements, or infrastructure.

APPROVAL CONTINGENCY

The allowed maximum building SF listed in Table 3 above is contingent on the completion of a traffic impact study for the site, an updated master utility plan, and any potential required resulting improvements. Any development above 300,000 SF on lot 1 will require an updated traffic impact study, and master utility plan to be approved by City staff.



4. OPEN SPACE

Perimeter Open Space

In addition to the perimeter open space shown in the diagram at the left, additional open space areas will be provided that are consistent with the open space types as outlined in the District Area Plan.

Existing Trails

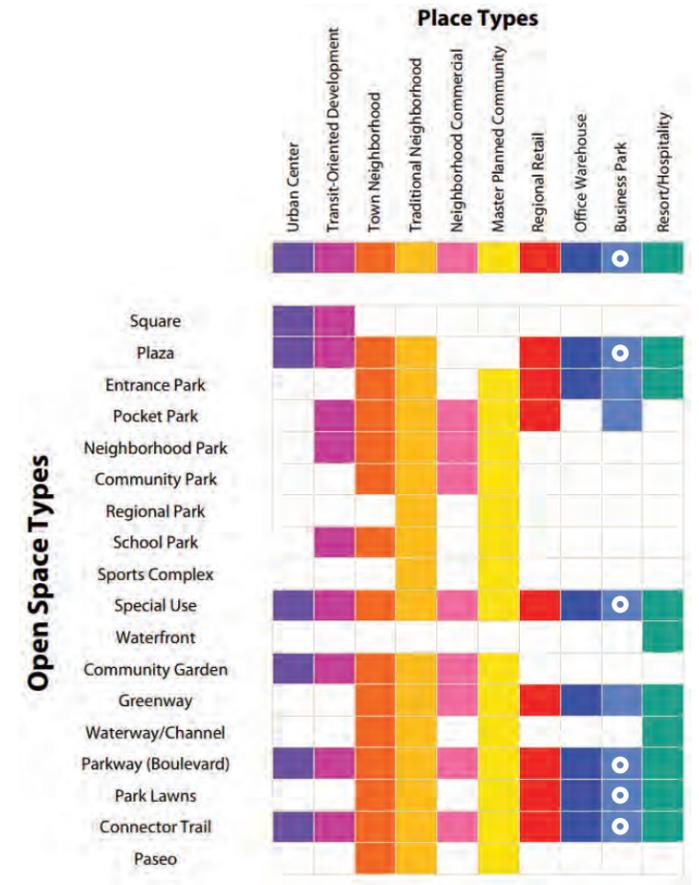
The following elements shall also be considered open space:

- Enhanced urban sidewalks and pathways. Any impervious trail or sidewalk surface greater than 5 feet in width shall be counted as open space (ex. open space calculation for a 12' wide trail that is 200' long: 12'-5'=7', 7' x 200' = 1,400 s.f.)
- General landscaped areas associated with the building or parking lot.

There shall be no minimum required open space percentage for this Community Plan and subsequent Village Plans. Open space quantities and distribution shall be governed by Utah Municipal Code. It is the intent of the University of Utah Medical Center to create an environment that is comfortable and aesthetically pleasing. Landscape treatments and open space amenities will be designed to satisfy the needs of the user and will be consistent with other similar facilities in the region.

The goals for providing open space within this development consist of the following:

- Provide access to the regional and city-wide trail system
- Create a comfortable outdoor environment for visitors and patrons
- Open space to provide dual purpose(s) with ecological functions (when appropriate)



Indicates allowable element in the University of Utah Medical Center Community Plan

TABLE 4 - OPEN SPACE SUMMARY

OPEN SPACE TYPE	ACRES
PARK LAWN	1.6 ac
PARKWAYS	
PIONEER CROSSING TRAIL	1.1 ac
TOTALS	
TOTAL OPEN SPACE	3.2 ac
COMMUNITY PLAN AREA	33.14 ac
% OPEN SPACE	10.0 %*

* Indicates Perimeter Open Space. Internal open space within each village plan will provide additional area to be counted toward the 15-17% range identified in the business park place type.

5. GUIDING PRINCIPLES

This Community Plan is organized in a similar order as prescribed in Saratoga Springs City Code section 19.26.07. The following is a general description of the intended character and objectives for this Community Plan that shall be required in subsequent Village Plans. In this Community plan the following will be addressed:

- a. Community-wide systems and themes including streetscape treatments (Thoroughfares), drainage and open space corridors, pedestrian systems, park and recreational systems, and public realm elements.
- b. The desired character of the Community Plan showing the general character and nature of live plant species.

5a. SYSTEMS AND THEMES

The theme for this property is medical campus. All elements implemented on this property will follow the medical theme.

THOROUGHFARES

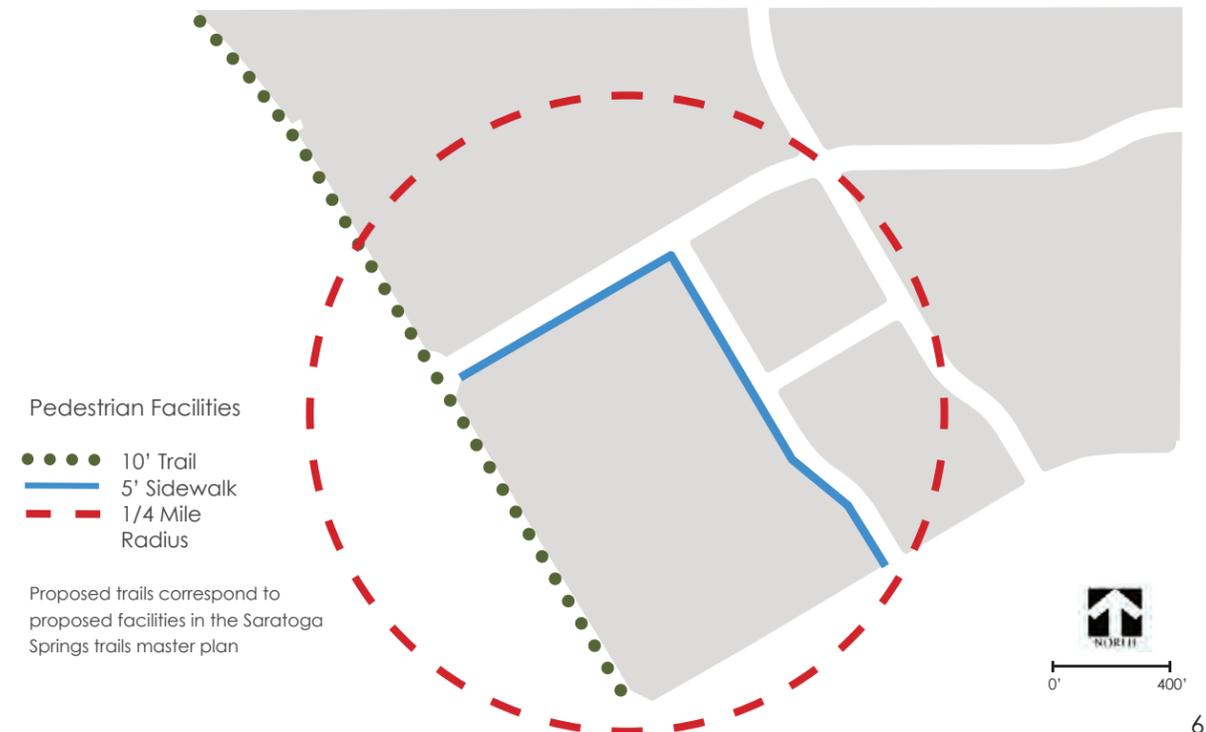
The *District Area Plan* identifies the principles/purposes associated with a comprehensive transportation system under the PC Zone. The general intent, that then carries forward into this *Community Plan*, calls out the need for an interconnected thoroughfare system that is intended to provide multiple pathways of movement through a neighborhood. The transportation system must also be multi-modal in nature meaning that it is accommodating to the automobile while also supporting pedestrian and bicycle traffic.

The thoroughfare network is designed to define parcels within which future development will occur. While the *Community Plan* establishes the parcels it is the *Village Plan* that will complete the circulation system by identifying streets, private drives, pedestrian pathways and other circulation routes that are internal to the parcels.

THOROUGHFARE PLAN



PEDESTRIAN NETWORK PLAN



PROTOTYPICAL THOROUGHFARE SECTIONS

Thoroughfare sections on this page demonstrate proposed configurations for the major collector and local streets within this community plan.

MAJOR COLLECTOR ST-77-44	
KEY	ST-77-44
Thoroughfare Type	
Right of Way Width	
Pavement Width	
ASSEMBLY ST-77-44	
Right-of-Way Width	77 ft
Pavement Width (PW)	44 ft
TRANSPORTATION WAY	
Direction of Travel	Two-way
Vehicular Lane Count (total)	3
Vehicular Lane Width	11 ft
Paved Median Width	12 ft
Parking Lane Type	Parallel
Parking Lane Count	-
Parking Lane Width	-
Design Speed	30 mph

LOCAL ST-59-32	
KEY	ST-59-32
Thoroughfare Type	
Right of Way Width	
Pavement Width	
ASSEMBLY ST-59-32	
Right-of-Way Width	59 ft
Pavement Width (PW)	32 ft
TRANSPORTATION WAY	
Direction of Travel	Two-way
Vehicular Lane Count (total)	2
Vehicular Lane Width	16 ft
Median Width	-
Parking Lane Type	Parallel
Parking Lane Count	-
Parking Lane Width	-
Design Speed	25 mph

5b. COMMUNITY CHARACTER

LANDSCAPE AND PUBLIC PLANTING

LANDSCAPE STANDARDS

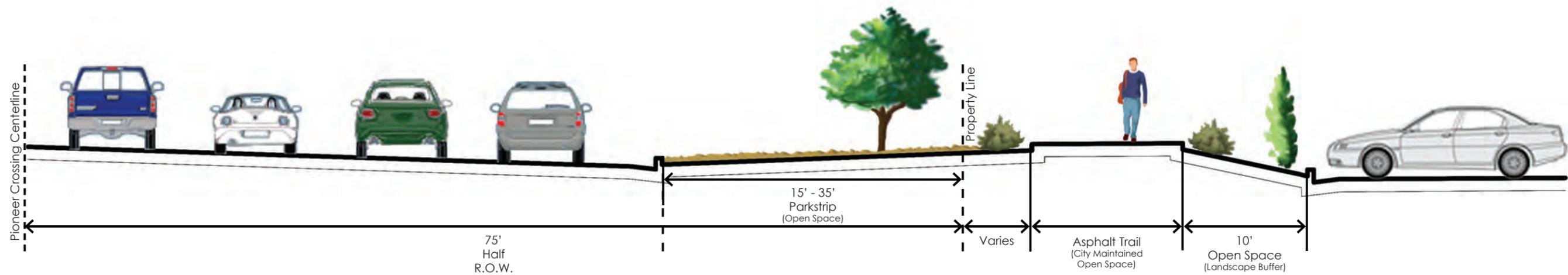
- All landscaping shall be governed by DFCM Design Requirements 020215, except as modified herein.
- All planting within the street right-of-way and public open spaces must consist of species specified in [Tables 5A-5O: Public Planting](#).
- Coniferous trees, where permitted in public right-of-way, must be a minimum height of ten (10) feet. Deciduous trees, where permitted in public right-of-way, must be a minimum of one and one half (1.5) inches in caliper when planted.
- Trees within the Community Plan area must provide, at maturity, a minimum vertical clearance of 8 feet at walkways, 13.5 feet at driveways and transportation ways, and 15 feet for loading areas.
- Parking lot landscaping, where required, must include the following:
 - Two trees must be planted for every 25 spaces (in the aggregate).
 - Landscaped areas should incorporate a xeric or water conscious design approach and materials where possible.
- Any landscaping that is within 20 feet of a parking stall or parking lot drive aisle shall be considered parking lot landscaping.



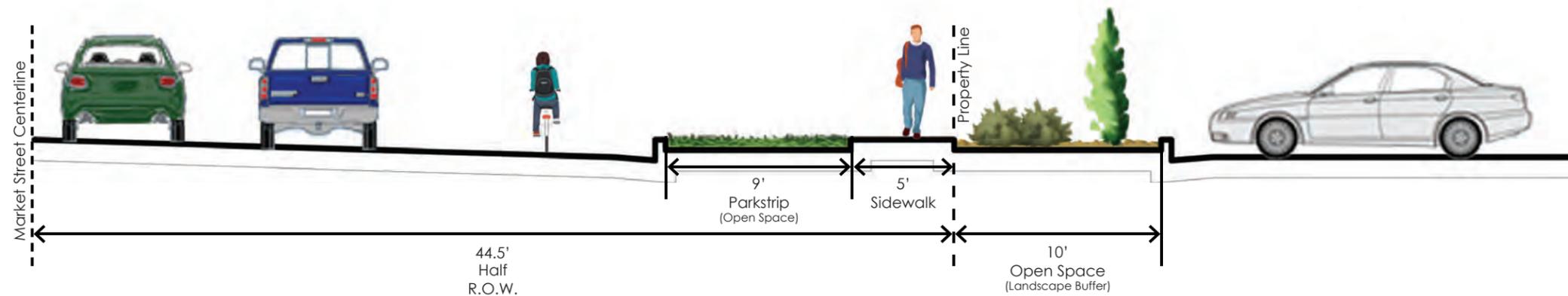
PUBLIC PLANTING

The exhibits below demonstrate the landscape treatment along Pioneer Crossing and Market Street in relation to the regional trail system.

The tables on the following pages provide a palette of plant types that are permitted to be used in subsequent Village Plans. The Village Plans shall include landscape plans that identify typical location of allowed plant types.



Pioneer Crossing Landscape Buffer with Parking



Market Street Landscape Buffer with Parking

PLANT LIST

TABLE 5A - PUBLIC PLANTING

	SPECIFIC NAME (BOTANICAL)	TYPE	SIZE (H X SPREAD)	PATTERN	PRODUCE / COLOR IN BLOOM	SPECIAL INSTRUCTIONS
Large Shade Trees > 50 ft	Bloodgood London Plane Tree (<i>Platanus acerifolia</i> 'Bloodgood')		60' x 60'	Allee Regular Clustered	1/3" berry / N/A	Tolerates salt, yellow fall color
	Bur Oak * (<i>Quercus macrocarpa</i>)		60' x 60'	Allee Regular	Nut / N/A	Tolerant of Urban conditions, soil adaptable
	Sycamore Maple * (<i>Acer pseudoplatanus</i>)		60' x 40'	Allee Regular	Samara / N/A	Tolerates alkaline and salt conditions
	Silver Linden * (<i>Tilia tomentosa</i>)		60' x 40'	Allee Regular Clustered	N/A / Yellow green	Green leaf surface, silver underside. Tolerant of heat/drought
	Espresso Kentucky Coffee Tree (<i>Gymnocladus dioica</i> 'Espresso')		60' x 40'	Allee Regular Clustered	1/3" berry / N/A	Tolerates wide range of conditions/salt
	Green Vase Zelkova * (<i>Zelkova serrata</i> 'Green Vase')		65' x 40'	Allee Regular Clustered	N/A / N/A	Tolerates high ph, salt, urban conditions Nice red-orange fall color
	Emerald Queen Norway Maple * (<i>Acer platanoides</i> 'Emerald Queen')		50' x 40'	Allee Regular Clustered	Samara / N/A	Tolerant of Urban conditions, soil adaptable
	Accolade Hybrid Elm (<i>Ulmus</i> x 'Accolade')		50' x 40'	Allee Regular	Samara / N/A	Pollution/salt/drought tolerant
	Crimson King Maple (<i>Acer platanoides</i> 'Crimson King')		50' x 40'	Allee Regular Clustered	Samara / N/A	Well adapted to extremes in soils. Withstands hoit, dry conditions.

* Denotes compatibility for use as a street tree.

TABLE 5B - PUBLIC PLANTING

	SPECIFIC NAME (BOTANICAL)	TYPE	SIZE (H X SPREAD)	PATTERN	PRODUCE / COLOR IN BLOOM	SPECIAL INSTRUCTIONS
Large Shade Trees > 50 ft	Magyar Maidenhair Tree * (<i>Ginkgo biloba</i> 'Magyar') male species only		50' x 30'	Regular, Clustered	N/A / N/A	Tolerates high ph, salt, urban conditions. Excellent yellow fall color
	Catalpa (<i>Catalpa speciosa</i>) Podless only		50' x 30'	Allee Regular Clustered	White	Attractive flower, withstands dry, alkaline conditions
	Colorado Blue Spruce (<i>Picea pungens</i>)		50' x 20'	Allee Regular Clustered	Cone	Native to Utah
	Austrian Pine (<i>Pinus nigra</i>)		50' x 30'	Clustered	Cone	Can withstand urban conditions and alkaline soils
	Scotch Pine (<i>Pinus sylvestris</i>)		50' x 30'	Clustered	Cone	Can withstand urban conditions and alkaline soils
	Cottonwood (<i>Populus sargentii</i>) cottonless variety		80' x 50'	Regular	N/A / N/A	Great fall color. Tolerant of poor soils/salt/drought
	Globe Willow (<i>Salix matsudana umbraculifera</i>)		50' x 40'	Allee Regular Clustered	N/A / N/A	Prefers wet conditions. Salt tolerant.
	English Columnar Oak (<i>Quercus robur</i> 'Fastigiata')		50' x 15'	Allee Regular Clustered	Acorn / Red	Prefers well drained soil and alkaline conditions
	Blue Atlas Cedar (<i>Cedrus atlantica</i>)		50' x 25'	Allee Regular Clustered	Cone	Tolerant of Urban conditions, soil adaptable

* Denotes compatibility for use as a street tree.

TABLE 5C - PUBLIC PLANTING

	SPECIFIC NAME (BOTANICAL)	TYPE	SIZE (H X SPREAD)	PRODUCE / COLOR IN BLOOM	SPECIAL INSTRUCTIONS
Medium Shade Trees 45 ft to 30 ft	Queen Elizabeth Hedge Maple (<i>Acer Campestre</i> 'Queen Elizabeth')		45' x 45'	N/A / N/A	Pollution/salt/drought tolerant
	Rocky Mountain Juniper (<i>Juniperus scopulorum</i>)		40' x 15'	Cone / N/A	Drought tolerant. Native
	Shangri-la Maidenhair Tree * (<i>Ginko biloba</i> 'Shangri-la')		45' x 25'	Seed / N/A	Males should be planted, excellent yellow fall color
	Armstrong Maple * (<i>Acer rubrum</i> 'Armstrong')		45' x 15'	Samara / N/A	Distinctly upright, soil adaptable
	Autumn Blaze Maple * (<i>Acer freemanii</i> 'Jeffsred')		45' x 40'	Samara / N/A	Prefers slightly acidic soil, Brilliant red fall color
	Miyabei Maple * (<i>Acer miyabei</i>)		40' x 40'	Samara / N/A	Prefers slightly acidic soil, Brilliant Yellow fall color
	Pacific Sunset Maple * (<i>Acer truncatum</i> x <i>A. platanoides</i> 'Warrenred')		30' x 25'	Samara / N/A	Prefers slightly acidic soil, Brilliant orange/red fall color
	Common Hackberry * (<i>Celtis occidentalis</i>)		40' x 30'	1/3" berry / N/A	Tolerates drought/pollution/poor soils/salt
	Little Leaf Linden * (<i>Tilia cordata</i>)		40' x 25'	N/A / Yellow green	Tolerant of urban conditions, soil adaptable

* Denotes compatibility for use as a street tree.

TABLE 5D - PUBLIC PLANTING

	SPECIFIC NAME (BOTANICAL)	TYPE	SIZE (H X SPREAD)	PATTERN	PRODUCE / COLOR IN BLOOM	SPECIAL INSTRUCTIONS
Medium Shade Trees 45 ft to 30 ft	Chancellor Linden * (<i>Tilia cordata</i> 'Chancole')		35' x 20'	Allee Regular Clustered	N/A / Yellow green	Tolerant of urban conditions, soil adaptable
	Sensation Box Elder * (<i>Acer negundo</i> 'Sensation')		30' x 30'	Allee Regular Clustered	Samara / N/A	Tolerant of urban conditions/poor soils/salt
	Big Tooth Maple (<i>Acer grandidentatum</i>)		30' x 20'	Clustered	Samara / N/A	Great red fall color. Requires well drained soil.
	Dawyck Purple Beech (<i>Fagus sylvatica</i> 'Dawyck Purple')		40' x 12'	Allee, Regular, Clustered	Nuts / N/A	Tolerant of urban conditions, soil adaptable
	Frontier Elm * (<i>Ulmus</i> x 'frontier')		30' x 25'	Allee, Regular, Clustered	N/A / N/A	Resistant to Dutch Elm disease
	Chanticleer Flowering Pear* (<i>Pyrus calleryana</i> 'Chanticleer')		35' x 16'	Allee, Regular, Clustered	1/2" berry / White	Tolerates Drought, clay soils, air pollution
	Musashino Columnar Zelkova (<i>Zelkova serrata</i> 'Musashino')		45' x 15'	Allee, Regular, Clustered	N/A / N/A	Tolerates high ph, salt, urban conditions Nice red-orange fall color
	Thornless Honeylocust * (<i>Gleditsia triacanthos</i> var. <i>inermis</i>) Various cultivars		45' x 35' (varies slightly)	Regular Clustered	Samara / N/A	Yellow fall color
	Limber Pine 'Vanderwolf's Pyramid' (<i>Pinus flexilis</i> 'Vanderwolf's Pyramid')		30' x 20'	Allee, Regular, Clustered	Cone	water regularly, do not overwater, prefers acidic soil
	Columnar Blue Spruce (<i>Picea pungens</i> 'Iseli fastigiata')		40' x 10'	Allee, Regular, Clustered	Cone	Native to Utah

* Denotes compatibility for use as a street tree.

TABLE 5E - PUBLIC PLANTING

	SPECIFIC NAME (BOTANICAL)	TYPE	SIZE (H X SPREAD)	PATTERN	PRODUCE / COLOR IN BLOOM	SPECIAL INSTRUCTIONS
Medium Shade Trees 45 ft to 30 ft	Lacebark Elm * (<i>Ulmus parvifolia</i>)		45' x 25'	Allee Regular	Samara / N/A	Pollution/salt/drought tolerant
	Chanticleer Pear * (<i>Pyrus calleryana</i> 'Chanticleer')		30' x 20'	Allee Regular Clustered	1/3" fruit / White	Great red fall color. Beware of fire blight epidemic, use with caution
	Columnar Oak (<i>Quercus robur fastigiata</i>) Various cultivars		45' x 10' (varies slightly)	Allee Regular	Nut / N/A	Tolerant of Urban conditions, soil adaptable
	Mountain Ash (<i>Sorbus alnifolia</i>)		35' x 25'	Allee Regular	1/4" Berry / White	Tolerant of Urban conditions, soil adaptable.
	Flowering Columnar Cherry (<i>Prunus sargentii columnaris</i>)		35' x 15'	Allee Regular	N/A / Pink	Profuse spring flowers, attractive foliage, orange/red fall color
	Goldenrain Tree (<i>Koelreuteria paniculata</i>)		30' x 20'	Allee Regular	Capsule / Yellow	Tolerant of Urban conditions, soil adaptable. Interesting seed capsules
	Small-Shade Trees < 25 ft	Tricolor Beech (<i>Fagus sylvatica</i> 'Tricolor')		25' x 15'	Allee Regular	Nut / N/A
Japanese Tree Lilac (<i>Syringa reticulata</i>) Various cultivars			20' x 25'	Allee Regular	N/A / White	Large, fragrant panicles of creamy white bloom in June
Sky Rocket Juniper (<i>Juniperus scopulorum</i> 'Skyrocket')			20' x 3'	Allee, Regular, Clustered	Cones / N/A	Drought tolerant. Withstands alkaline conditons.
Gambel Oak (<i>Quercus gambelii</i>)			25' x 20'	Clustered	Acorns / N/A	Native. Great red fall color.

TABLE 5F - PUBLIC PLANTING

	SPECIFIC NAME (BOTANICAL)	TYPE	SIZE (H X SPREAD)	PATTERN	PRODUCE / COLOR IN BLOOM	SPECIAL INSTRUCTIONS
Small-Shade Trees < 25 ft	Tricolor Beech (<i>Fagus sylvatica</i> 'Tricolor')		25' x 15'	Allee Regular	Nut / N/A	Deciduous, upright tree with great color!
	Japanese Tree Lilac (<i>Syringa reticulata</i>) Various cultivars		20' x 25'	Allee Regular	N/A / White	Large, fragrant panicles of creamy white bloom in June
	Sky Rocket Juniper (<i>Juniperus scopulorum</i> 'Skyrocket')		20' x 3'	Allee, Regular, Clustered	Cones / N/A	Drought tolerant. Withstands alkaline conditons.
	Gambel Oak (<i>Quercus gambelii</i>)		25' x 20'	Clustered	Acorns / N/A	Native. Great red fall color.
	Sunburst Magnolia (<i>Magnolia</i> 'Sunburst')		25' x 20'	Allee Regular	N/A / Yellow	Large yellow flowers bloom in May, Low maintenance
	Flame Maple (<i>Acer ginnala</i> 'Flame')		20' x 20'	Clustered	Samara / N/A	Tolerates drought, high ph soil. Excellent red fall color
	Japanese Maple (<i>Acer palmatum</i>) Various cultivars		Varies	Clustered	Samara / N/A	Excellent fall color
	Arnold Sentinel Austrian Pine (<i>Pinus nigra</i> 'Arnold Sentinel')		25' x 8'	Allee, Regular, Clustered	Cones / N/A	Drought tolerant. Withstands alkaline conditons.

* Denotes compatibility for use as a street tree.

TABLE 5G - PUBLIC PLANTING

	SPECIFIC NAME (BOTANICAL)	TYPE	SIZE (H X SPREAD)	PATTERN	PRODUCE / COLOR IN BLOOM	SPECIAL INSTRUCTIONS
Small- Shade Trees < 25 ft	Service Berry (<i>Amelanchia sp.</i>)		25' x 20'	Regular, Clustered	Nut / White	Cream white fragrant flower, tolerates poor soils
	Tatarian Maple * (<i>Acer Tataricum</i>)		25' x 20'	Clustered	Samara / N/A	Tolerates cold,drought, high ph soil. Excellent red fall color
	Lavalle Hawthorn * (<i>Crataegus x laval- lei</i>)		25' x 20'	Clustered	1/2" berry (persistent) white	Bronzy or cop- pery-red fall color with bright red persistent berries into winter
	Canada Red Chokecherry (<i>Prunus virginiana 'Canada Red'</i>)		25' x 20'	Allee, Regular, Clustered	1/3" berry white	Soil adaptable, tolerant of urban conditions, very attractive foliage
	Eastern Redbud (<i>Cercis canadensis</i>) Various cultivars		25' x 25'	Allee, Regular, Clustered	N/A / Pink	Excellent spring color, Tolerant of urban conditions.
	Flowering Plum (<i>Prunus cerasifera 'Thundercloud'</i>)		20' x 15'	Allee, Regular, Clustered	N/A / pink flowers	Purple leaf. Tolerant of urban conditions.
Crabapple (<i>Malus 'Indian Magic'</i>)		20' x 20'	Allee, Regular, Clustered	Orange berry / Deep pink blossoms	Persistent fruit. Tolerates urban conditions.	
Crabapple (<i>Malus 'Prairifire'</i>)		20' x 20'	Allee, Regular, Clustered	Red berry / Red blossoms	Persistent fruit. Tolerates urban conditions.	
Crabapple (<i>Malus 'Radiant'</i>)		25' x 20'	Allee, Regular, Clustered	Red berry / Deep pink blossoms	Persistent fruit. Tolerates urban conditions.	
Crabapple (<i>Malus 'Spring Snow'</i>)		25' x 22'	Allee, Regular, Clustered	Nearly Sterile / White blos- soms	Persistent fruit. Tolerates urban conditions.	

* Denotes compatibility for use as a street tree.

TABLE 5H - PUBLIC PLANTING

	SPECIFIC NAME (BOTANICAL)	SIZE (H X SPREAD)	PATTERN	PRODUCE / COLOR IN BLOOM	SPECIAL INSTRUCTIONS
Large Shrubs >6 ft in Height	Emerald Arborvitae (<i>Thuja occidentalis 'Emerald'</i>)	12' x 3'	Formal Massing	Cone / N/A	Evergreen shrub
	Dwarf Burning Bush (<i>Euonymus alatus 'compacta'</i>)	6' x 4'	Formal or Informal	N/A / N/A	Brilliant red fall color
	River Birch (<i>Betula sp.</i>) Various cultivars	20' x 10' (varies slightly)	Informal Cluster	Catkin / N/A	Wet conditions. Attractive red bark.
	Hedge Cotoneas- ter (<i>Cotoneaster lucida</i>)	6' x 6'	Informal Grouping	Black berries / White	Dark green lustrous leaves in summer
	Red Osier Dog- wood (<i>Comus sericea</i>)	10' x 8'	Informal Grouping	White berries / White	Attractive winter red twigs
	Sutherland Gold Elderberry (<i>Sambucus race- mosa 'Sutherland Gold'</i>)	12' x 8'	Formal Massing	Red/Black berries / White	Edible fruit, attrac- tive yellow foliage
	Forsythia (<i>Forsythia</i>) Various cultivars	8' x 6' (varies slightly)	Formal Massing	N/A / Yellow	Early spring flowers are powerful in large massings
	Wichita Blue Juniper (<i>Juniperus scopulo- rum 'Wichita Blue'</i>)	12' x 5'	Formal Massing	Cone / N/A	Evergreen shrub
	Lilac (<i>Syringa vulgaris sp.</i>) Various cultivars	Varies	Formal Massing	N/A / Pink, purple, white	Fragrant flowers
	Mock Orange (<i>Philadelphus coro- narius</i>)	8' x 6'	Formal Massing	N/A / White	Traditional pioneer plant, fragrant flowers

TABLE 5I - PUBLIC PLANTING

	SPECIFIC NAME (BOTANICAL)	SIZE (H X SPREAD)	PATTERN	PRODUCE / COLOR IN BLOOM	SPECIAL INSTRUCTIONS
Large Shrubs >6 ft in Height	Ninebark (<i>Physocarpus opulifolius</i>) Various cultivars	Varies	Informal Grouping	N/A / White	Attractive red/bronze foliage
	Golden Privet (<i>Ligustrum vicaryi</i>)	8' x 6'	Formal or Informal	N/A / White	Attractive yellow foliage, Fragrant flowers
	Rose of Sharron (<i>Hibiscus syriacus</i> sp.) Various cultivars	8' x 8'	Formal Massing	N/A / White/pink/purple/blue	Showy flowers in summer
	Rose (<i>Rosa</i> sp.) Various cultivars	Varies	Formal Massing	Flower varies by cultivar	Fragrant flowers
	Wild Rose (<i>Rosa woodsii</i>) Various cultivars	6' x 6'	Informal Grouping	Rosehips / Pink/magenta	Drought tolerant
	Utah Serviceberry (<i>Amelanchier utahensis</i>)	8' x 10'	Informal Grouping	Red/purple/black pome / White	Important food source for wildlife
	Purple Leaf Sand Cherry (<i>Prunus x cistena</i>)	8' x 8'	Formal Massing	N/A / White	Red/purple leaves
	Squawbush Sumac (<i>Rhus trilobata</i>)	6' x 8'	Informal Grouping	Small red pubescent berries / White	Excellent Red Fall Color
	Burkwood Viburnum (<i>Viburnum X burkwoodii</i>)	8' x 6'	Formal Massing	N/A / White	Soil adaptable. Very fragrant flowers
	American Cranberry Bush Viburnum (<i>Viburnum trilobum</i> sp.) Various Cultivars	10' x 10' (varies slightly)	Formal Massing	Red berries / White	Deep red fall color

TABLE 5J - PUBLIC PLANTING

	SPECIFIC NAME (BOTANICAL)	SIZE (H X SPREAD)	PATTERN	PRODUCE / COLOR IN BLOOM	SPECIAL INSTRUCTIONS
Large Shrubs >6 ft in Height	Dwarf Blue Arctic Willow (<i>Salix purpurea</i> nan)	6' x 4'	Formal Massing	N/A / N/A	Soil adaptable
	Hicks Yew (<i>Taxus x media</i>)	10' x 4'	Formal Massing	N/A / N/A	Evergreen shrub
Small Shrubs <6 ft in Height	Barberry (<i>Berberis thunbergii</i> atro.) Various cultivars	Varies	Formal or Informal	N/A / N/A	Attractive year-round foliage. Thorns
	Blue Mist Spirea (<i>Caryopteris x clandonensis</i>)	3' x 4'	Formal Massing	N/A / Blue/Purple	Flowers in summer/early fall
	Boxwood (<i>Buxus sempervirens</i>)	2' x 2'	Formal Massing	N/A / N/A	Evergreen shrub
	Cinquefoil (<i>Potentilla fruticosa</i> sp.) Various cultivars	3' x 3' (Varies)	Formal or Informal	N/A / White, Orange, Yellow, Pink	Drought tolerant once established
	Creeping Potentilla (<i>Potentilla neumanniana</i>)	12" x 3'	Formal Massing	N/A / Yellow	Slow growing creeping form
	Dwarf European Cranberry (<i>Viburnum opulus</i> 'Nanum')	2' x 3'	Formal Massing	Red berries / White	Uniform mounding shape
	Currant (<i>Ribes</i> sp.) Various Cultivars	Varies	Formal or Informal	Yellow spring berries / Yellow	Red fall color; fruit for birds

TABLE 5K - PUBLIC PLANTING

	SPECIFIC NAME (BOTANICAL)	SIZE (H X SPREAD)	PATTERN	PRODUCE / COLOR IN BLOOM	SPECIAL INSTRUCTIONS
Small Shrubs <6 ft in Height	Variegated Tartarian Dogwood (<i>Cornus alba</i> 'Elegantissima')	5' x 4'	Informal Cluster	Berries / White	Attractive cream and green foliage
	Arnold's Dwarf Forsythia (<i>Forsythia</i> x 'Arnold's Dwarf')	3' x 5'	Formal Massing	N/A / Yellow	Early spring flowers are powerful in large massings
	Utah Honeysuckle (<i>Lonicera utahensis</i>)	3' x 4'	Formal Massing	small red berries / white	Traditional pioneer plant
	Emerald Mound Honeysuckle (<i>Lonicera</i> x 'Emerald Mound')	3' x 5'	Formal or Informal	N/A / White	Compact shrub
	Horizontal Juniper (<i>Juniperus horizontalis</i>) Various cultivars	12" x 6'	Formal or Informal	Cone / N/A	Evergreen, purple in winter
	Miss Kim Lilac (<i>Syringa vulgaris</i> 'Miss Kim')	3' x 3'	Formal Massing	N/A / purple	Fragrant flowers
	Miniature Snowflake Mock Orange (<i>Philadelphus</i> var. 'Miniature Snowflake')	3' x 5'	Formal or Informal	N/A / White	Fragrant flowers
	Nest Spruce (<i>Picea abies</i> 'Nidiformis')	3' x 5'	Formal Massing	Cones / N/A	Evergreen shrub

TABLE 5L - PUBLIC PLANTING

	SPECIFIC NAME (BOTANICAL)	SIZE (H X SPREAD)	PATTERN	PRODUCE / COLOR IN BLOOM	SPECIAL INSTRUCTIONS
Small Shrubs <6 ft in Height	Creeping Scotch Pine (<i>Pinus sylvestris</i> 'Hillside Creeper')	1' x 8' (varies slightly)	Formal Massing	Cone / N/A	Evergreen
	Dwarf Mugo Pine (<i>Pinus mugo</i>) Various Cultivars	3' x 3' (varies slightly)	Formal Massing	Cone / N/A	Evergreen
	Rubber Rabbit Brush (<i>Chrysothamnus nauseosus</i>)	3' x 3'	Informal Grouping	N/A / Yellow	Yellow fall cover; seeds and cover for birds
	Black Sage (<i>Artemisia nova</i>)	2' x 3'	Informal Grouping	N/A / N/A	Native to Utah. Drought tolerant once established
	Silvermound Sage (<i>Artemisia schmidtiana</i>)	2' x 3'	Formal Massing	N/A / N/A	Uniform mounding shape
	Snow Berry (<i>Symphoricarpos alba</i>)	3' x 3'	Informal Grouping	White berries / White	Showy white berries
	Spirea (<i>Spiraea japonica</i> sp.) Various Cultivars	Varies	Formal or Informal	N/A / Pink, Purple	Flowers late spring through summer
	Spirea (<i>Spiraea x bumalda</i> sp.) Various Cultivars	Varies	Formal or Informal	N/A / Pink, Purple	Flowers late spring through summer
	False Spirea (<i>Sorbaria sorbifolia</i>) Various Cultivars	5' x 5'	Formal or Informal	N/A / Pink, Purple	Flowers late spring through summer

TABLE 5M - PUBLIC PLANTING

	SPECIFIC NAME (BOTANICAL)	SIZE (H X SPREAD)	PATTERN	PRODUCE / COLOR IN BLOOM	SPECIAL INSTRUCTIONS
Small Shrubs <6 ft in Height	Low Grow Sumac (<i>Rhus aromatica</i> 'Low Grow')	3' x 5'	Informal Cluster	N/A / White	Orange to red fall color
	Mormon Tea (<i>Ephedra nevadensis</i>)	2' x 3'	Informal Grouping	N/A / N/A	Drought tolerant, evergreen
	Yew (<i>Taxus sp.</i>) Various Cultivars	Varies	Formal Massing	N/A / N/A	Evergreen shrub
	Dense Japanese Yew (<i>Taxus x media</i> 'Densiformis')	3' x 4'	Formal Massing	N/A / N/A	Evergreen shrub
Perennials	Apache Plume (<i>Fallugia paradoxa</i>)	4' x 4'	Informal Grouping	N/A / Purple	Summer bloomer, drought tolerant
	Beardtongue (<i>Penstemon sp.</i>) Various Cultivars	Varies	Informal Grouping	N/A / Varies	Summer bloomer, drought tolerant
	Black Eyed Susan (<i>Rudbeckia fulgida</i>)	3' x 3'	Informal Grouping	N/A / Purple	Summer bloomer, drought tolerant
	Broom (<i>Genista lydia sp.</i>) Various cultivars	3' x 4'	Informal Grouping	N/A / Varies	Drought tolerant once established
	Butterfly Bush (<i>Buddleia davidii</i>) Various cultivars	Varies	Informal Cluster	N/A / Flower color varies by cultivar	Attracts butterflies and humming-birds

TABLE 5N - PUBLIC PLANTING

	SPECIFIC NAME (BOTANICAL)	SIZE (H X SPREAD)	PATTERN	PRODUCE / COLOR IN BLOOM	SPECIAL INSTRUCTIONS
Perennials	Butterfly Weed (<i>Aesclepsia tuberosa</i>)	2' x 18"	Informal Grouping	N/A / Orange	Nitrogen fixing tuber, summer bloomer
	Coneflower (<i>Echinacea sp.</i>) Various cultivars	Varies	Informal Grouping	N/A / Flower color varies by cultivar	Summer bloomer
	Daylily (<i>Heemerocallis sp.</i>) Various cultivars	Varies	Formal or Informal	N/A / Flower color varies by cultivar	Summer bloomer
	Desert Four o'clock (<i>Mirabilis multiflora</i>)	12" x 3'	Informal Grouping	N/A / Purple, magenta	Spring through summer bloomer, drought tolerant
	Licorice Mint Hyssop (<i>Agastache rupestris</i>) Various cultivars	4' x 18"	Informal Grouping	N/A / Orange, red, purple	Fragrant foliage, summer bloomer
	English Lavender (<i>Lavendula angustifolia</i>)	2' x 2'	Formal or Informal	N/A / Purple	Summer bloomer, fragrant foliage, medicinal value
	Globe Siberian Peashrub (<i>Caragana frutex globosa</i>)	3' x 4'	Informal Grouping	N/A / Yellow flower	Adapts to poor sites, medicinal value, compact shape
	Pygmy Peashrub (<i>Caraganax pygmaea</i>)	4' x 5'	Informal Grouping	N/A / Yellow flowers	Adapts to poor sites, medicinal value
	Prairie Sagewort (<i>Artemisia frigida</i>)	2' x 2'	Informal Grouping	N/A / Yellow	Summer bloomer
	Russian Sage (<i>Perovskia atriplicifolia</i>)	5' x 3'	Informal Grouping	N/A / Purple	Summer bloomer, drought tolerant

TABLE 5O - PUBLIC PLANTING

	SPECIFIC NAME (BOTANICAL)	SIZE (H X SPREAD)	PATTERN	PRODUCE / COLOR IN BLOOM	SPECIAL INSTRUCTIONS
Perennials	Salvia (<i>Salvia sp.</i>) Various cultivars	2' x 2'	Formal or Informal	N/A / Purple, red, pink	Summer bloomer
	Georgia Blue Speedwell (<i>Veronica peduncularis</i> 'Georgia Blue')	12" x 5'	Informal Grouping	N/A / Blue, Purple	Drought tolerant
	Adams Needle Yucca (<i>Yucca filamentosa</i>)	3' x 3'	Informal Grouping	N/A / White	Evergreen, drought tolerant

TABLE 5P - PUBLIC PLANTING

	SPECIFIC NAME (BOTANICAL)	SIZE (H X SPREAD)	PATTERN	PRODUCE / COLOR IN BLOOM	SPECIAL INSTRUCTIONS
Ornamental Grasses	Karl Foerster Feather Reed Grass (<i>Calamagrostis x acutiflora</i> 'Karl Foerster')	4' x 2'	Formal Massing	Seed heads / White/gold	Very attractive as a hedge in formal massings
	Maiden Hair Grass (<i>Miscanthus sinensis</i>) Various cultivars	6' x 3'	Formal Massing	Seed heads / Bronze/Purple	Very attractive as a hedge in formal massings
	Heavy Metal Switch Grass (<i>Panicum virgatum</i> 'Heavy Metal')	5' x 3'	Formal Massing	Seed heads / gold	Upright/stiff habit
	Elijah Blue Fescue (<i>Festuca ovina</i> 'glauca')	12" x 12"	Formal or Informal	N/A / N/A	Consistent compact shape
	Blue Oat Grass (<i>Helictotrichon sempervirens</i>)	2' x 2'	Informal Grouping	N/A / N/A	Consistent compact shape
	Flame Grass (<i>Miscanthus</i> 'Purpurascens')	4' x 3'	Informal Grouping	N/A / Purple seed heads	Blades turn gold to red in late summer
	Shenandoah Switchgrass (<i>Panicum</i> 'Shenandoah')	4' x 3'	Formal or Informal	N/A / Purple seed heads	Blades turn orange to purple in late summer
	Hameln Fountain Grass (<i>Pennesetum alopecuroides</i> 'Hameln')	2' x 2'	Formal or Informal	N/A / Cream seed heads	Consistent compact shape
	Karly Rose Fountain Grass (<i>Pennesetum alopecuroides</i> 'Karly Rose')	3' x 3'	Informal Grouping	N/A / Pink seed heads	Consistent compact shape
	Little Bluestem (<i>Schizachyrium scoparium</i>)	3' x 18"	Informal Grouping	N/A / N/A	Blades turn bronze to purple in late summer

TABLE 5Q - PUBLIC PLANTING

	SPECIFIC NAME (BOTANICAL)	SIZE (H)	PATTERN	PRODUCE / COLOR IN BLOOM	SPECIAL INSTRUCTIONS
Ground Cover	Bugleweed (<i>Ajuga</i>)	4"	Formal Massing	N/A / Blue/purple	Many cultivars are well adapted to region
	Basket of Gold (<i>Alyssum</i>)	8" to 12"	Informal Grouping	N/A / Yellow Flower	Early spring bloomer
	Compinkie Rockcress (<i>Arabis alpina</i> 'Compinkie')	6"	Informal Grouping	N/A / Deep Rose	Evergreen foliage
	Kinnikinnik (<i>Arctostaphylos uva ursi</i>)	6" to 8"	Informal Grouping	Red Berries / N/A	Evergreen, excellent red fall color
	Rockcress (<i>Aubrieta</i>)	4" to 6"	Formal Massing	N/A / Magenta	Drought tolerant once established
	Chocolate Flower (<i>Berlandiera lyrata</i>)	18"	Informal Grouping	N/A / Yellow	Fragrant, chocolate aroma
	Poppy Mallow (<i>Callirhoe involucrata</i>)	2" to 4"	Informal Grouping	N/A / Magenta	Aggressive spreader. Attractive when paired with <i>Berlandiera</i>
	Snow in Summer (<i>Cerastium arvense</i>)	4" to 6"	Formal Massing	N/A / White	
	Dwarf Tickseed (<i>Coreopsis 'nana'</i>)	6" to 8"	Formal Massing	N/A / Gold	Late spring bloomer
	Hardy Ice Plant (<i>Delosperma</i>)	4" to 6"	Informal Grouping	N/A / Varies	
	Yarrow (<i>Achillea millefolium</i>)	2'x 2'	Informal Massing	N/A / Yellow flowers	Drought tolerant.

TABLE 5R - PUBLIC PLANTING

	SPECIFIC NAME (BOTANICAL)	SIZE (H)	PATTERN	PRODUCE / COLOR IN BLOOM	SPECIAL INSTRUCTIONS
Ground Cover	Sulphur Flower (<i>Eriogonum umbellatum aureum</i>)	5"	Informal Grouping	N/A / Yellow	Summer bloomer
	Goblin Blanket Flower (<i>Gaillardia 'Goblin'</i>)	12"	Informal Grouping	N/A / Yellow/Red	Heavy reseeder
	Mountain Boxwood (<i>Pachistima myrsinides</i>)	8"	Informal Grouping	N/A / N/A	Evergreen
	Sedum (<i>Sedum</i>)	4" to 12"	Informal Grouping	N/A / Varies	Many cultivars are well adapted to region
	Scarlet Globemallow (<i>Sphaeralcea coccinea</i>)	6" to 12"	Informal Grouping	N/A / N/A	
	Lambs Ear (<i>Stachys Byzantine 'Helen Von Stein'</i>)	8" to 10"	Informal Grouping	N/A / Rose-purple	
	Kentucky Bluegrass (<i>Poa pratensis</i>)	Turf	N/A	N/A	

TABLE 5S - PUBLIC PLANTING

	SPECIFIC NAME (BOTANICAL)	SIZE (H X SPREAD)	PATTERN	PRODUCE / COLOR IN BLOOM	SPECIAL INSTRUCTIONS
Water-Wise	Gambel Oak (<i>Quercus gambelii</i>)	25' x 20'	Clustered	Acorns / N/A	Native. Great red fall color.
	Big Tooth Maple (<i>Acer grandidentatum</i>)	30' x 20'	Clustered	Samara / N/A	Great red fall color. Requires well drained soil.
	Utah Serviceberry (<i>Amelanchier utahensis</i>)	6 - 15'	Informal Grouping	Red/purple /black pome / White	Important food source for wildlife
	Rubber Rabbit Brush (<i>Chrysothamnus nauseosus</i>)	4'	Informal Grouping	N/A / Yellow	Yellow fall cover; seeds and cover for birds
	Wild Rose (<i>Rosa woodsii</i>)	2 - 6'	Informal Grouping	Rosehips / Pink/magenta	Drought tolerant
	Mormon Tea (<i>Ephedra nevadensis</i>)	2 - 4'	Informal Grouping	N/A / N/A	Drought tolerant, evergreen
	Snow Berry (<i>Symphoricarpos alba</i>)	3'	Informal Grouping	White berries / White	Showy white berries
	Black Sage (<i>Artemisia nova</i>)	18"	Informal Grouping	N/A / N/A	Drought tolerant once established
	Yarrow (<i>Achillea millefolium</i>)	2'x 2'	Informal Massing	N/A / Yellow flowers	Drought tolerant.
	Chocolate Flower (<i>Berlandiera lyrata</i>)	18"	Informal Grouping	N/A / Yellow	Fragrant, chocolate aroma
Blue Flax (<i>Linum lewisii</i>)	15"	Formal Massing	N/A / Blue	Heavy reseeder	

TABLE 5T- PUBLIC PLANTING

	SPECIFIC NAME (BOTANICAL)	SIZE (H X SPREAD)	PATTERN	PRODUCE / COLOR IN BLOOM	SPECIAL INSTRUCTIONS
Water-Wise	Creeping Potentilla (<i>Potentilla neumaniana</i>)	12"	Formal Massing	N/A / Yellow	Slow growing creeping form
	Scarlet Globemallow (<i>Sphaeralcea coccinea</i>)	6" to 12"	Informal Grouping	N/A / N/A	
	Lambs Ear (<i>Stachys Byzantine 'Helen Von Stein'</i>)	8" to 10"	Informal Grouping	N/A / Rose-purple	
	Sulphur Flower (<i>Eriogonum umbellatum aureum</i>)	5"	Informal Grouping	N/A / Yellow	Summer bloomer
	TYPE	SIZE	MAX. COVERAGE XERIC	MAX. COVERAGE TRADITIONAL	SPECIAL INSTRUCTIONS
Water-Wise	Crushed Stone	< 1"	66%	33%	3" min. depth, weed barrier required
	Colored decorative gravel	1" to 2.5"	66%	33%	4" min. depth, weed barrier required
	Cobble rock	3" to 6"	66%	33%	4" min. depth, weed barrier required

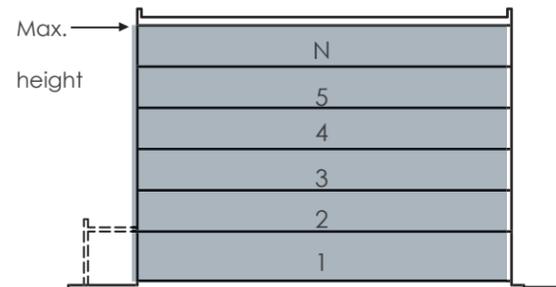
5c. GUIDING DEVELOPMENT STANDARDS

TABLE 6 - DEVELOPMENT CRITERIA	
BUILDING CONFIGURATION	
Principal Building (Non-Residential)	10 stories max.*
Parking Structures	5 levels max.**
PARCEL OCCUPATION	
Average Floor Area Ratio	0.39 - 0.93
Maximum Floor Area Ratio	1.82
SETBACKS - PRINCIPAL BUILDING	
Front- Primary (a)	12 ft. min
Front- Secondary (b)	20 ft. min
Side (c)	20 ft. min
Rear (d)	20 ft. min

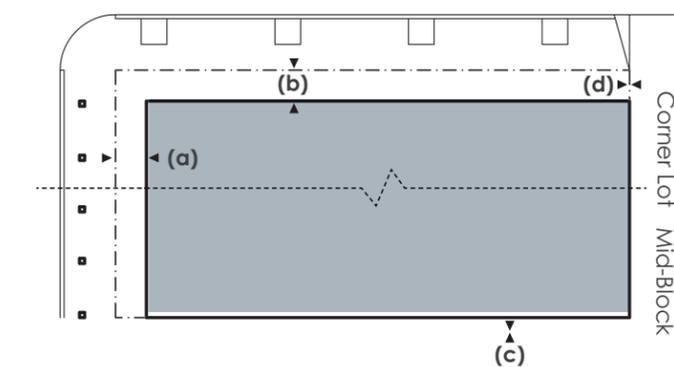
All buildings must comply with IRC and IBC. All buildings that exceed 35 feet in height, as measured in the Utah Municipal Code, must be sprinkled and meet all additional Fire and Building Department requirements

* One story equals 12'

** One parking level equals 10'



BUILDING HEIGHT



PRINCIPAL BUILDING SETBACKS

OFF-STREET PARKING

TABLE 7 - MINIMUM REQUIRED OFF-STREET PARKING*

OFFICE	
-Up to 30,000 sq.ft.	3.5 / 1000 sq.ft.
-Above 30,000 sq.ft.	3 / 1000 sq.ft.
MEDICAL OFFICE	
-Up to 30,000 sq.ft.	4 / 1000 sq.ft.
-Above 30,000 sq.ft.	4 / 1000 sq.ft.
RETAIL	
-Up to 30,000 sq.ft.	4.5 / 1000 sq.ft.
-Above 30,000 sq.ft.	4 / 1000 sq.ft.
OTHER	
	2.8 / 1000 sq.ft.

TABLE 8 - PARKING CONFIGURATION

ANGLE OF PARKING	ACCESS AISLE WIDTH		
	ONE WAY SINGLE LOADED	ONE WAY DOUBLE LOADED	TWO WAY DOUBLE LOADED
	90	24 ft	24 ft
60	15 ft	15 ft	20 ft
45	12 ft	12 ft	20 ft
Parallel	10 ft	10 ft	20 ft
Standard Stall	8.5 ft x 18 ft minimum		

On Street Parking	
ANGLE OF PARKING	STALL SIZE
Angled	8.5 ft x 18 ft minimum
Perpendicular	8.5 ft x 18 ft minimum
Parallel	8 ft x 22 ft minimum

* Parking aisles used to access a fire hydrant must be compliant with IFC standards.

SIGNAGE

This Community Plan and subsequent Village Plan is exempt from the signage regulations as set forth in Title 19 of the Saratoga Springs Land Development Code. The governing signage standards for this Community Plan are established by State Statute and are contained in the DFCM design requirements 020215.

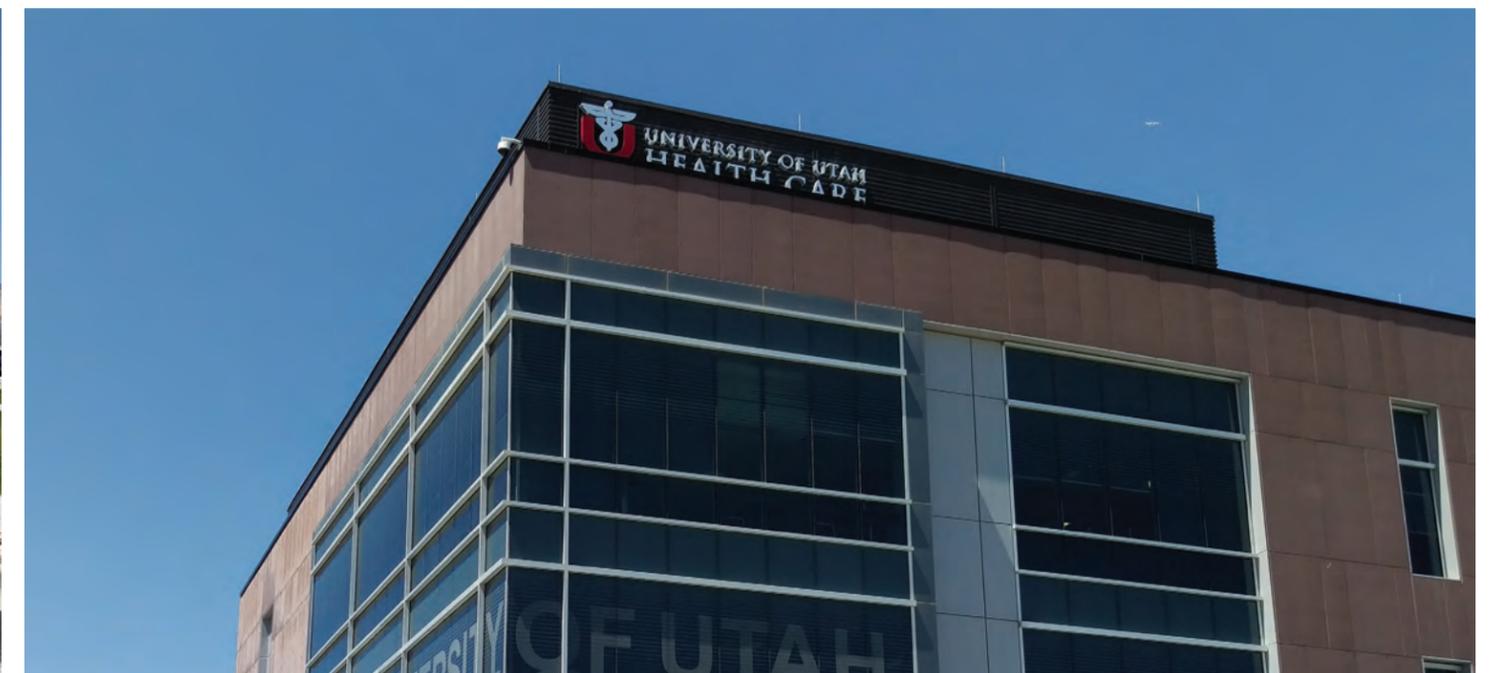
The following images are representative of the signage types, sizes, and materials that have been used on similar facilities in the region. The billboard sign type is prohibited.



Primary Entrance Sign



Secondary Entrance Sign



Parapet Building Signs

U of U MEDICAL CENTER

COMMUNITY PLAN

Window signs



Wall Mural Signs



Temporary Wayfinding Sign



Address Sign

LIGHTING

Public lighting in parking lots and along the peripheral arterial roadways, Market Street and Pioneer Crossing, will comply with Saratoga Springs City *Standard Street Light Details*. Public lighting for all public and private thoroughfares internal to the Community Plan will comply with State Statute and are set forth in Title 10 of the Utah Municipal Code. The aesthetic style of light fixtures within the University of Utah Medical Center Community Plan will be consistent with the style of fixture used on similar University facilities in the region.

Only full cut-off fixtures are permitted. No uplight for area and street lighting is allowed to reduce glare, light trespass, and sky-glow. Lumen levels should not exceed 1.25 foot candles, or 3,500 base foot candles per site. Lighting may be used for safety and convenience but it is not necessarily uniform or continuous. After 11 pm, most lighting should be extinguished or reduced by 50% as activity levels decline.

Uplighting from low-voltage landscape light fixtures is permitted to illuminate vegetation, tree canopy and architectural interest. The term low voltage landscape and architectural lighting, for the purpose of these standards, refers to permanently installed outdoor lighting fixtures operating at 12 volts or less, which illuminate landscape environments and exterior structures.

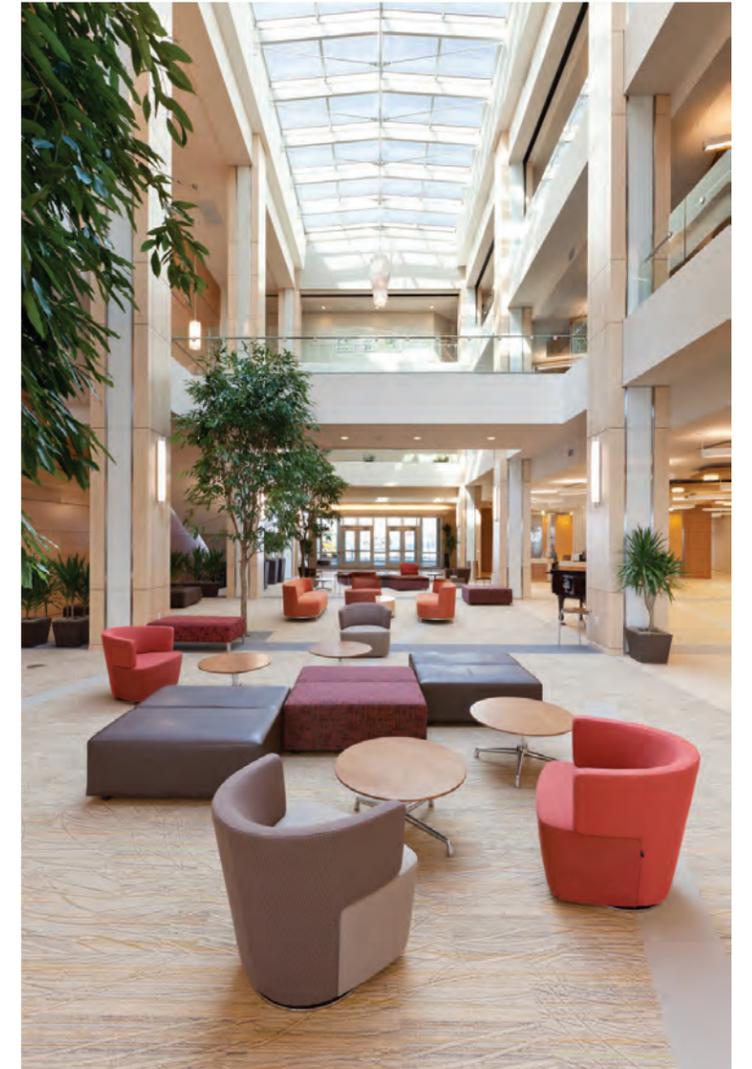
BUILDING FORM

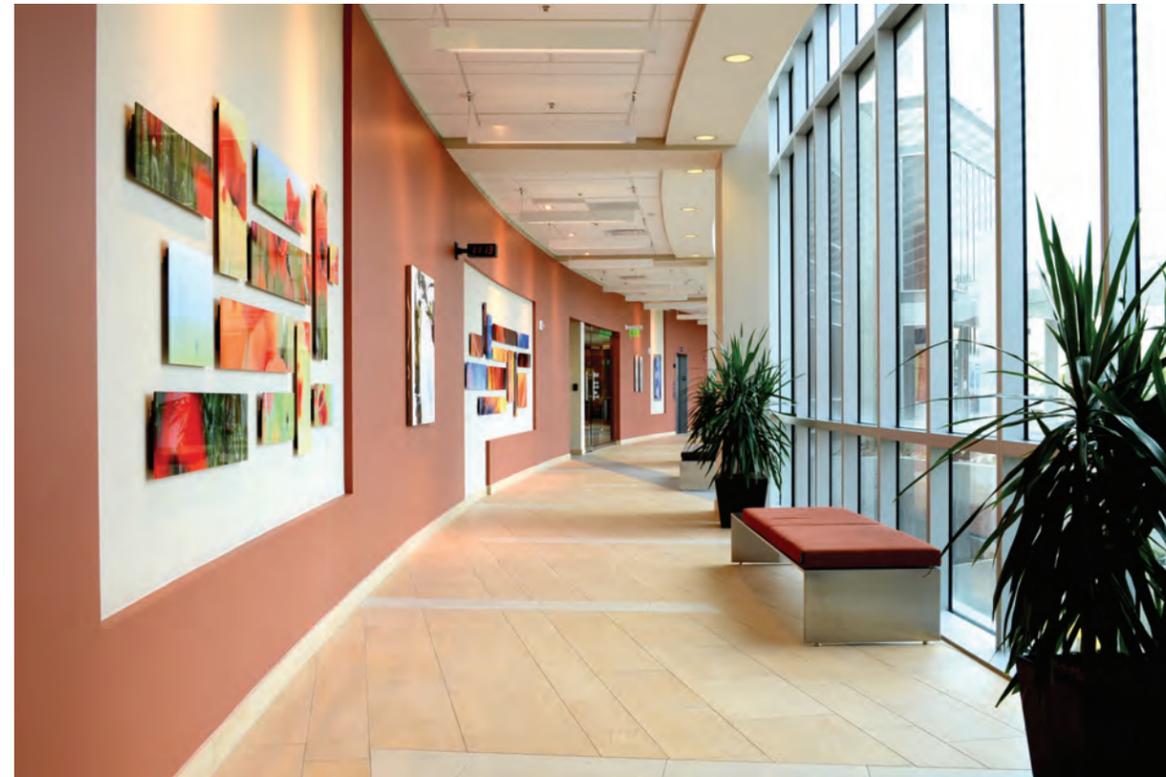
The following images are representative of the architectural style, massing, and materials that have been used on similar facilities in the region.



U of U MEDICAL CENTER

COMMUNITY PLAN





U of U MEDICAL CENTER

COMMUNITY PLAN

6. UTILITY CAPACITIES

Analyses of the existing systems are based on the conditions present at the time of analysis and does not create or imply a reservation of capacity. Demands are based on an overall ERU count of 180 in and anticipated business park use.

CULINARY WATER

Culinary water service for the University of Utah Medical Center will be provided through connection to the existing master plan pipelines crossing Market Street as well an additional connection to the existing 12" pipeline located at Redwood Road and Medical Drive.

Please refer to the Overall Utility Plan on the next page and the following calculations

University of Utah Medical Center - Culinary Water Demands

Design criteria:
 Culinary Water Source: 800 gpd/ERU
 Culinary Water Storage: 400 gpd/ERU

TABLE 9 - CULINARY WATER					
AREA	CONNECTIONS	CULINARY WATER			
	ERU	Source Req'd gdp/ERU	Total Source gmp	Storage Req'd gdp/ERU	Total Storage gal
ZONE 1 USES	576	800	100	400	230,400
OVERALL TOTAL			100		104,000

SECONDARY WATER

Secondary water service for the University of Utah Medical Center will be provided through temporary connection to the existing culinary system as the Zone 1 Secondary Water System is developed. Master Plan secondary water pipelines are accounted for within the Overall Utility Plan as well as anticipated local service lines. For the purpose of this analysis, it is assumed that a total of 15% of the Community Plan area will be irrigated.

Please refer to the Overall Utility Plan on the next page and the following calculations

University of Utah Medical Center - Culinary Water Demands

Design criteria:
 Secondary Water Source: 0,75 AF/yr
 7.5 gpm/Irrigated Acre (IA)
 Culinary Water Storage: 9,216 gal/Irrigated Acre (IA)

TABLE 10 - SECONDARY WATER							
LAND USE	IRRIGATED AREA			SECONDARY WATER REQUIREMENTS			
	ACRES	% Irrigated	Irrigated Area	Source Req'd gpm/IA	Total Source gpm	Storage Req'd gal/IA	Total Storage gal
ZONE 1 USES	30.79	15%	4.62	7.5	34.7	9,216	42,578

SANITARY SEWER

Sanitary sewer service for the University of Utah Medical Center will be provided through extension of existing sewer lines with Market Street or the extension of the Master Plan sewer line within Redwood Road.

Please refer to the Overall Utility Plan on the next page and the following calculations

University of Utah Medical Center - Sanitary Sewer Demands

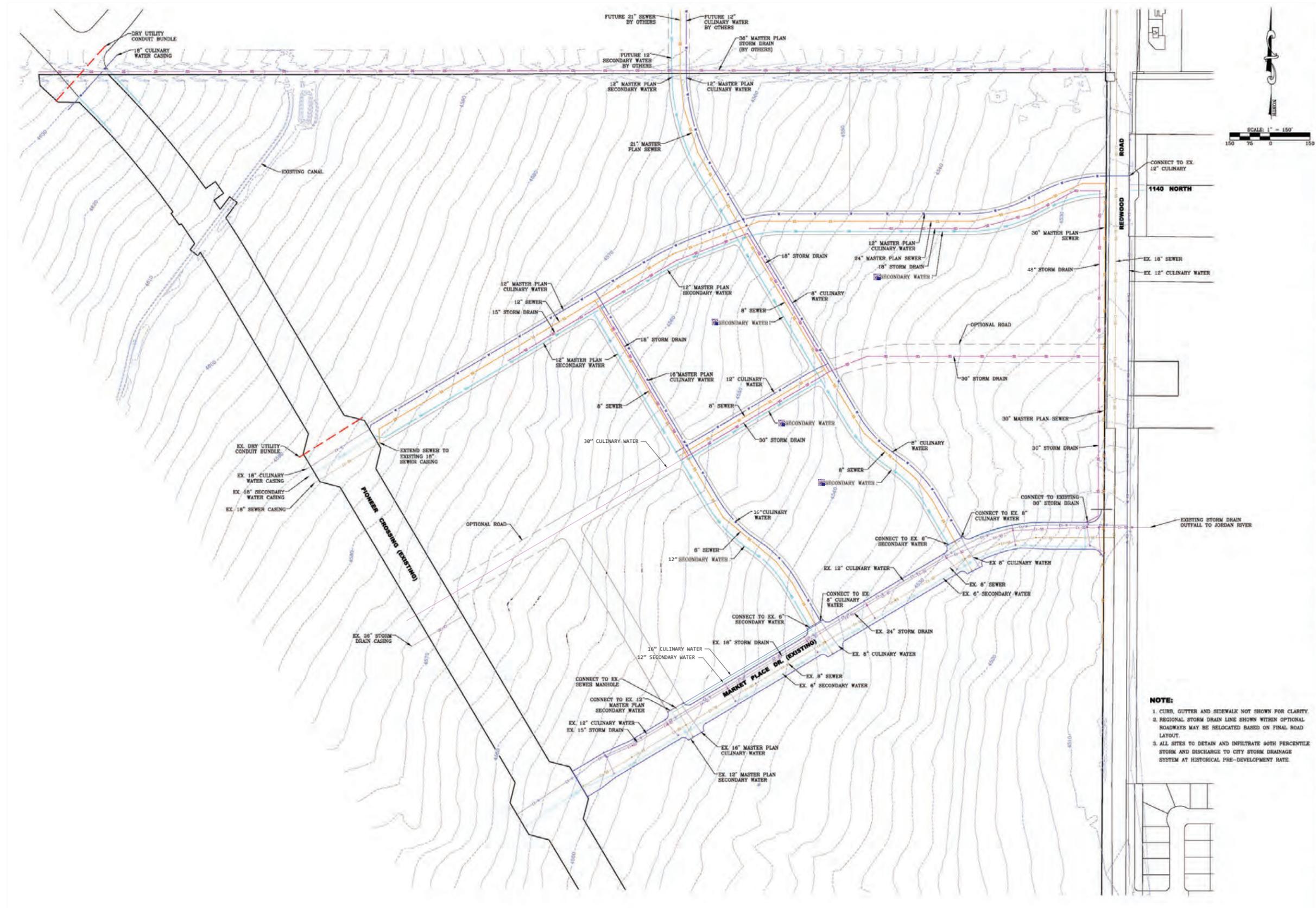
Design criteria:
 Sewer Flow: 255 gpd/ERU

TABLE 11 - SANITARY SEWER DEMANDS			
AREA	CONNECTIONS	SANITARY SEWER	
	ERU	Flow Rate gdp/ERU	Total Flow gpd
ZONE 1 USES	576	255	146,880
OVERALL TOTAL	576		146,880

STORM DRAINAGE

Storm drainage is to be detained on each site, with infiltration facilities constructed to infiltrate the 90th percentile storm as defined by Saratoga Springs City, and determined feasible by the City Engineer. All off-site discharges are to be limited to historical pre-development flows. Discharged flows are to be conveyed to the existing pipeline and Jordan River discharge located at the intersection of Market Drive and Redwood road.

Please refer to the Overall Utility Plan on the next page for further details

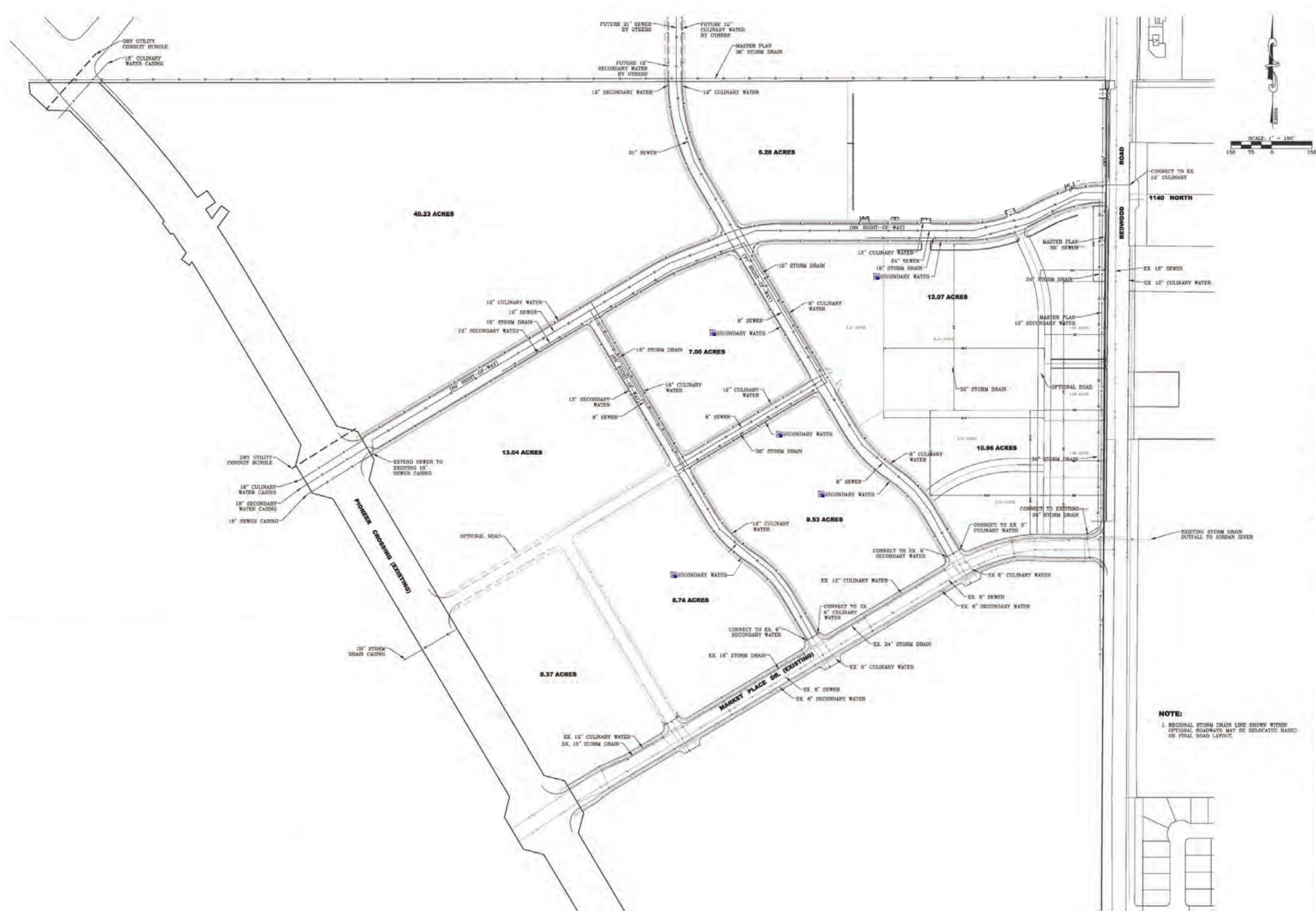


PIONEER CROSSING EAST COMMUNITY PLAN
SARATOGA, UTAH

OVERALL UTILITY PLAN

U of U MEDICAL CENTER

COMMUNITY PLAN



SUBURBAN LAND RESERVE
SARATOGA, UTAH
UTILITY PLAN

7. CONCEPTUAL PLANS

No other elements are required to be addressed in this Community Plan. If other elements are discovered in association with specific uses proposed in a Village Plan, then those elements shall be discussed at the Village Plan level.

8. DEVELOPMENT AGREEMENT

Not applicable

9. ADDITIONAL ELEMENTS

9a. PHYSICAL CHARACTERISTICS

The Property generally slopes to the east at a gradient between 2% and 4% and has been historically used for agricultural and related purposes. A canal owned and operated by the Utah Lake Distribution Company (ULDC) travels the North Western section of the property as shown right.

A Regional trail is planned to travel the property along a similar alignment of the ULDC canal providing regional connectivity to pedestrians and bicyclists. A pedestrian crossing had been constructed beneath Pioneer Crossing near this location.

Generally, the soils are a silty loam suitable for the intended uses.

Phase 1 Environmental Site Assessment identifies no underground storage tanks on site and adjoining properties. This study identifies one leaking underground storage tank a half mile from the site that poses no impact to this project.



9b. FINDINGS STATEMENT

Findings for the University of Utah Medical Center Community Plan:

1. The Community Plan is generally consistent with the goals, objectives, and policies of the District Area Plan (DAP). The thoroughfare network meets or exceeds the transportation system and complies with the City's standard street sections. The DFCM Design Requirements are in harmony with the DAP urban design guidelines. The Business Park place type is well suited for a medical office use that compliments the density objectives as outlined in the DAP.
2. The Community Plan creates a walkable, high intensity, business park development. The medical center is an important component that will allow people to live, work, shop, recreate, and receive quality health care within a sustainable community.
3. The Community Plan creates opportunity for employment and economic development. Medical facilities employ a significant number of individuals and attract other complementary commercial land uses to locate nearby.
4. The Community Plan, as proposed, is compatible with surrounding development and properly integrates land uses and infrastructure with adjacent properties, including the design for utilities and other shared infrastructure setting the precedent for the area.
5. The Community Plan has taken into account the existing and proposed infrastructure and includes adequate provisions for utilities, services, and roadway networks as outlined in the previous sections of this document.
6. The Community Plan is consistent with the guiding standards listed in the DAP; including development intensity, ERU allocation and Development Standards as outlined in the previous sections of this document.
7. The Community Plan contains the required elements as dictated in the DAP and outlined in the previous sections of this document.

9d. COMPLIANCE STATEMENT

The development will be governed by agreements between the future developer and tenants specifying responsibility for items such as maintenance, architectural standards and the time frame in which the various phases of the project will be developed for the project.

9c. ENVIRONMENTAL ISSUES

This site has historically been used for agricultural purposes and there are no know environmental conditions.

UNIVERSITY OF UTAH MEDICAL CENTER VILLAGE PLAN #3

May 14, 2020



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1. VILLAGE PLAN DESCRIPTION

LEGAL DESCRIPTION

A portion of the Southwest Quarter of Section 14 and the Southeast Quarter of Section 15, Township 5 South, Range 1 West, Salt Lake Base & Meridian, located in Saratoga Springs, Utah, more particularly described as follows:

Beginning at a point on the easterly right-of-way line of Pioneer Crossing as described in Deed Entry No. 28749:2014 in the official records of the Utah County Recorder, said point also being North 00°20'51" East, along the section line, 67.26 feet and South 89°39'09" East 618.47 feet from the Southwest Corner of Section 14, Township 5 South, Range 1 West, Salt Lake Base & Meridian and running thence along said easterly right-of-way the following five (5) courses: 1) North 30°43'06" West 8.27 feet, 2) North 75°43'06" West 77.78 feet, 3) North 30°43'06" West 1270.50 feet, 4) North 14°16'54" East 77.78 feet, 5) North 30°43'06" West 10.38 feet to the southerly right-of-way line of Medical Drive as shown on University of Utah Saratoga Springs Sub recorded March 26, 2018 as Entry No. 28387:2018 and Map Filing No. 15973, in the office of the Utah County Recorder; thence, along said southerly right-of-way line of Medical Drive, the following four (4) courses: 1) North 59°16'54" East 51.45 feet, 2) North 55°26'40" East 174.65 feet, 3) North 59°16'54" East 702.21 feet, 4) easterly 12.57 feet along the arc of a 8.00 foot radius curve to the right, through a central angle of 90°00'00", (chord bears South 75°43'06" East 11.31 feet), to the westerly right-of-way line of Regent Street as shown on said University of Utah Saratoga Springs Sub; thence, along said westerly right-of-way line of Regent Street, the following six (6) courses: 1) South 30°43'06" East 818.33 feet, 2) southeasterly 233.81 feet along the arc of a 528.00 foot radius curve to the left, through a central angle of 25°22'17", (chord bears South 43°24'14" East 231.90 feet), 3) southeasterly 200.55 feet along the arc of a 472.00 foot radius curve to the right, through a central angle of 24°20'42", (chord bears South 43°55'02" East 199.05 feet), 4) South 30°52'34" East 26.58 feet, 5) South 23°35'46" East 52.42 feet, 6) South 30°43'02" East 89.41 feet to the northerly right-of-way line of Market Street as shown on Market Street Right of Way Dedication Plat, recorded April 23, 2015 as Entry No. 34053:2015 and Map Filing No. 14581, in the office of the Utah County Recorder thence, along said northerly right of way line, the following six (6) courses: 1) southerly 32.20 feet along the arc of a 20.50 foot radius curve to the right, through a central angle of 90°00'00", (chord bears South 14°16'57" West 28.99 feet), 2) South 59°16'58" West 496.30 feet, 3) westerly 32.20 feet along the arc of a 20.50 foot radius curve to the right, through a central angle of 90°00'00", through a central angle of 90°00'00", (chord bears North 75°43'02" West 28.99 feet), 4) South 59°16'58" East 69.00 feet, 5) southerly 32.20 feet along the arc of a 20.50 foot radius curve to the right, through a central angle of 90°00'00", (chord bears South 14°16'57" West 28.99 feet), 6) South 59°16'58" West 59.00 feet to the northerly line of that certain property dedicated to the City of Saratoga Springs as shown on University of Utah Parcel 2, Saratoga Springs Sub as recorded on August 24, 2018 as Entry No. 80617:2018 and Map Filing No. 16208, in the office of the Utah County Recorder; thence, along the said northerly line, the following two (2) courses: 1) South 66°09'04" West 200.72 feet, 2) South 59°16'58" West 140.78 feet to the Point of Beginning.

Contains 1,443,448 Sq. Ft. / 33.14 Ac. / 1 Parcels

OVERVIEW

The University of Utah is under contract with Suburban Land Reserve to purchase 15.30 acres in Saratoga Springs, UT. This property is located east of Pioneer Crossing, North of Market Street, west of Redwood Road, As depicted below which designates the Village Plan boundary.



The property is presently zoned Planned Community (PC) and is subject to requirements of a previously approved District Area Plan (DAP). The DAP grants the rights to develop, in accordance with Section 19.26 of the City Code.

This Village Plan is intended to fulfill the submittal requirement, as identified in the governing PC Zone and to establish the Village Plan level transportation and utility systems. The University of Utah Medical Center Village Plan is meant to provide Saratoga Springs with an urban medical business park environment that presently does not exist in the city.

Compliance with existing Title 19 Land Development Code: The University of Utah, as a State entity, is exempt from being required to comply with local municipal code. This Village Plan is exempt from Title 19 of the Saratoga Springs Land Development Code. The governing standards for this Village Plan are established by State Statute and are set forth in Title 10-Utah Municipal Code.



2. LAND USE

 Current Phase - Medical Office (Business Park)

Business Park uses are defined generally by the District Area Plan as:

Business parks are comprised of low to medium density office buildings. Business parks can also contain a small amount of light industrial and retail uses. They provide a concentration of diverse employment opportunities in close proximity to housing. Business parks will be designed to be easily accessible by the freeway, major arterials, commuter rail and integrated into the community's street network for walkability. Business park uses must be sensitive to and compatible with the surrounding uses.

***Note: Phase plan is conceptual; actual phases may vary.**

***Note: This Village Plan amends previous Village Plans to incorporate significant additional acreage (13.06 - 33.14) and square footage (300,000 - 1,247,000).**



3. BUILDOUT ALLOCATION

■ Current Phase - Business Park

EQUIVALENT RESIDENTIAL UNITS

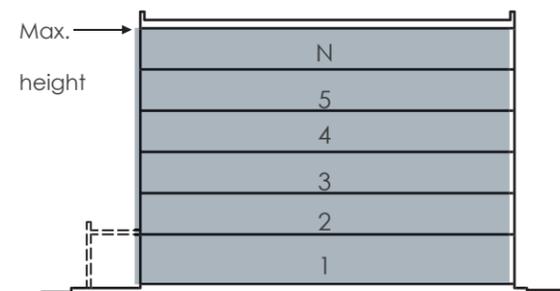
TABLE 1 - VILLAGE PLAN SUMMARY

ACREAGE	
GROSS ACRES	33.14 ac
NET DEVELOPABLE AREA	30.79 ac
THOROUGHFARES	2.35 ac
EQUIVALENT RESIDENTIAL UNITS (ERU)	
PERMITTED ERU FOR VILLAGE PLAN	576
DAP ERU ALLOCATION	576

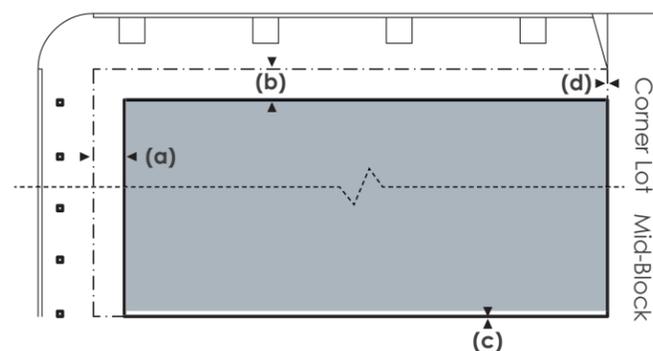
4. DEVELOPMENT STANDARDS

TABLE 3 - DEVELOPMENT CRITERIA	
BUILDING CONFIGURATION	
Principal Building (Non-Residential)	10 stories max.*
Parking Structures	5 levels max.**
PARCEL OCCUPATION	
Average Floor Area Ratio	0.93
SETBACKS - PRINCIPAL BUILDING	
Front- Primary (a)	12 ft. min
Front- Secondary (b)	20 ft. min
Side (c)	20 ft. min
Rear (d)	20 ft. min

All buildings must comply with IRC and IBC. All buildings that exceed 35 feet in height, as measured in the Utah Municipal Code, must be sprinkled and meet all additional Fire and Building Department requirements
 * One story equals 12'
 ** One parking level equals 10'



BUILDING HEIGHT

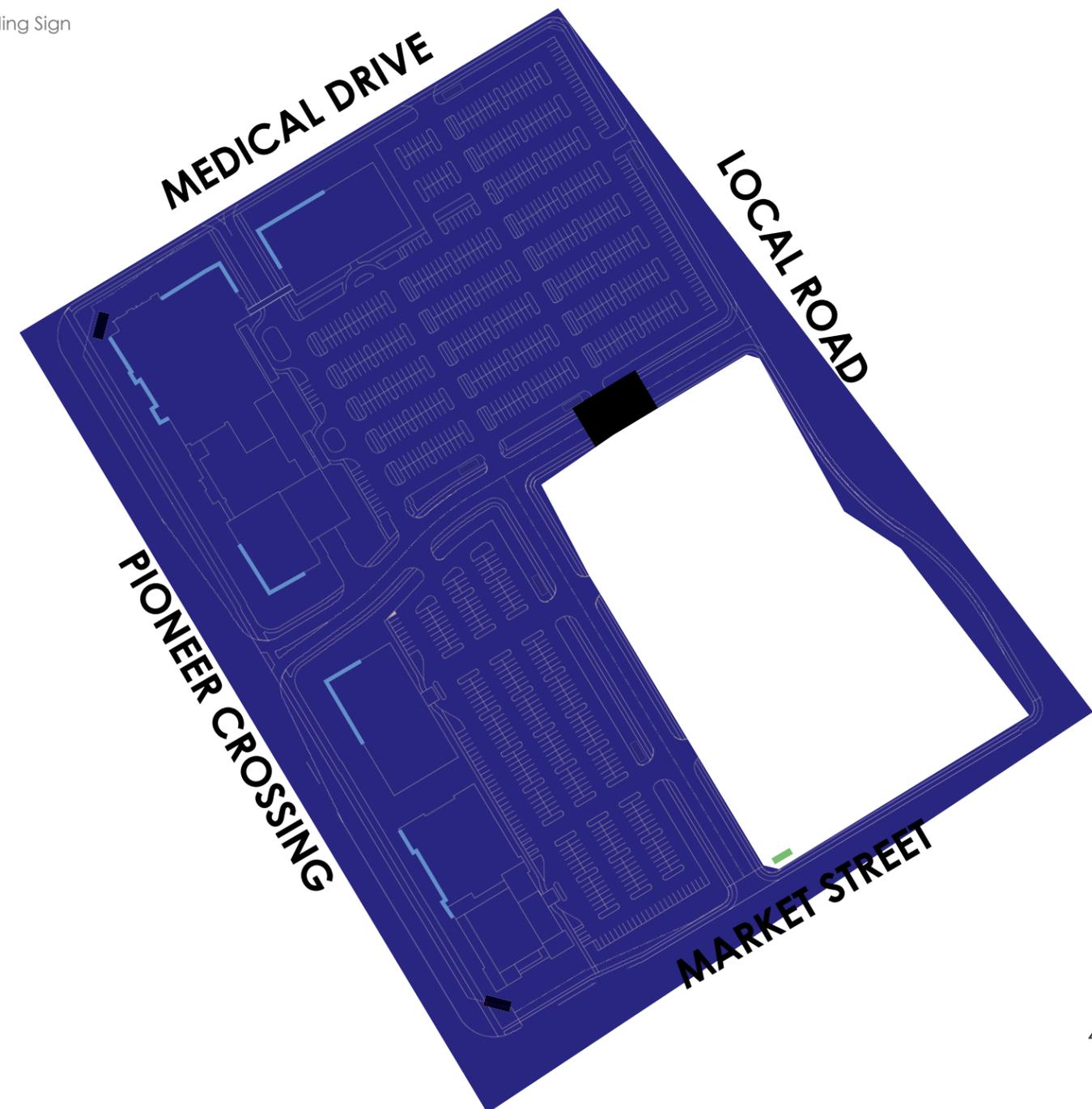


PRINCIPAL BUILDING SETBACKS

5. Design Guidelines

5a. Signage Legend

- Monument Sign
- Secondary Entrance Sign
- Building Sign



5b. SIGNAGE

This Village Plan is exempt from the signage regulations as set forth in Title 19 of the Saratoga Springs Land Development Code. The governing standards for this Village Plan are established by State Statute and are contained in the DFCM design requirements 020215.

The following images are representative of the signage types, sizes, and materials that have been used on similar facilities in the region. The billboard sign type is prohibited.



Primary Entrance Sign



Secondary Entrance Sign



Parapet Building Signs

Window signs



Wall Mural Signs



Temporary Wayfinding Sign

Address Sign

5c. LIGHTING

Public lighting in parking lots and along the peripheral arterial roadways, Market Street and Pioneer Crossing, will comply with Saratoga Springs City *Standard Street Light Details*. Public lighting for all public and private thoroughfares internal to the Village Plan will comply with State Statute and are set forth in Title 10 of the Utah Municipal Code. The aesthetic style of light fixtures within the University of Utah Medical Center Village Plan will be consistent with the style of fixture used on similar University facilities in the region.

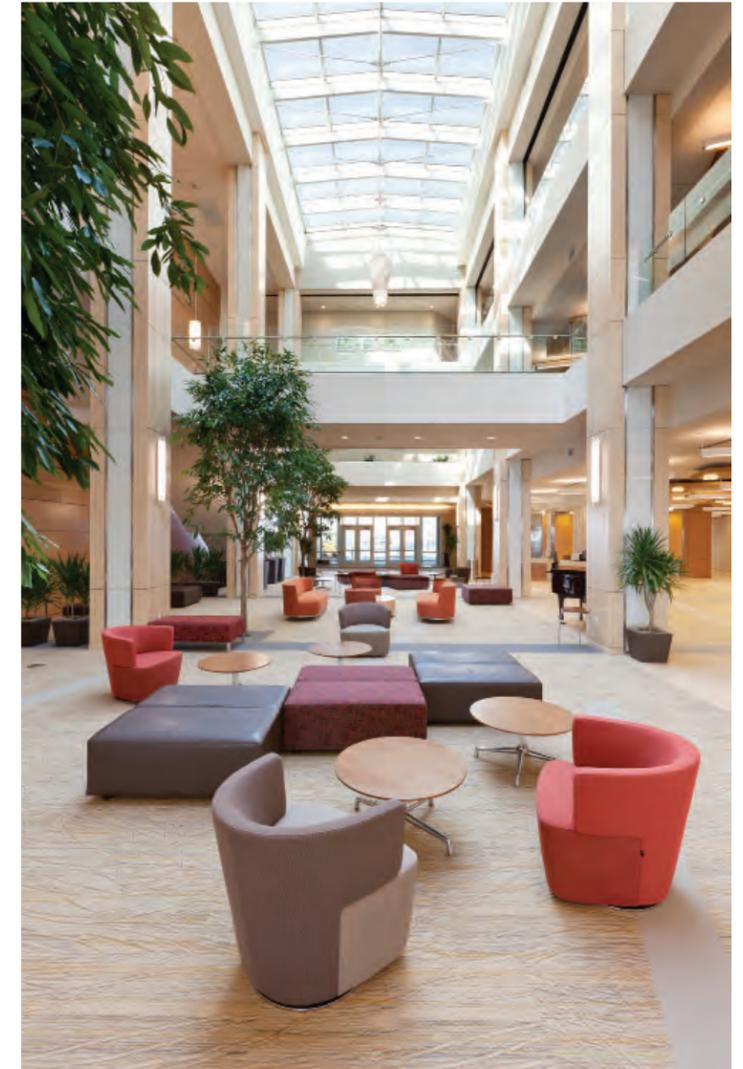
Only full cut-off fixtures are permitted. No uplight for area and street lighting is allowed to reduce glare, light trespass, and sky-glow. Lumen levels should not exceed 1.25 foot candles, or 3,500 base foot candles per site. Lighting may be used for safety and convenience but it is not necessarily uniform or continuous. After 11 pm, most lighting should be extinguished or reduced by 50% as activity levels decline.

Uplighting from low-voltage landscape light fixtures is permitted to illuminate vegetation, tree canopy and architectural interest. The term low voltage landscape and architectural lighting, for the purpose of these standards, refers to permanently installed outdoor lighting fixtures operating at 12 volts or less, which illuminate landscape environments and exterior structures.

5d. BUILDING FORM

The following images are representative of the architectural style, massing, and materials that have been used on similar facilities in the region.







6. Associations

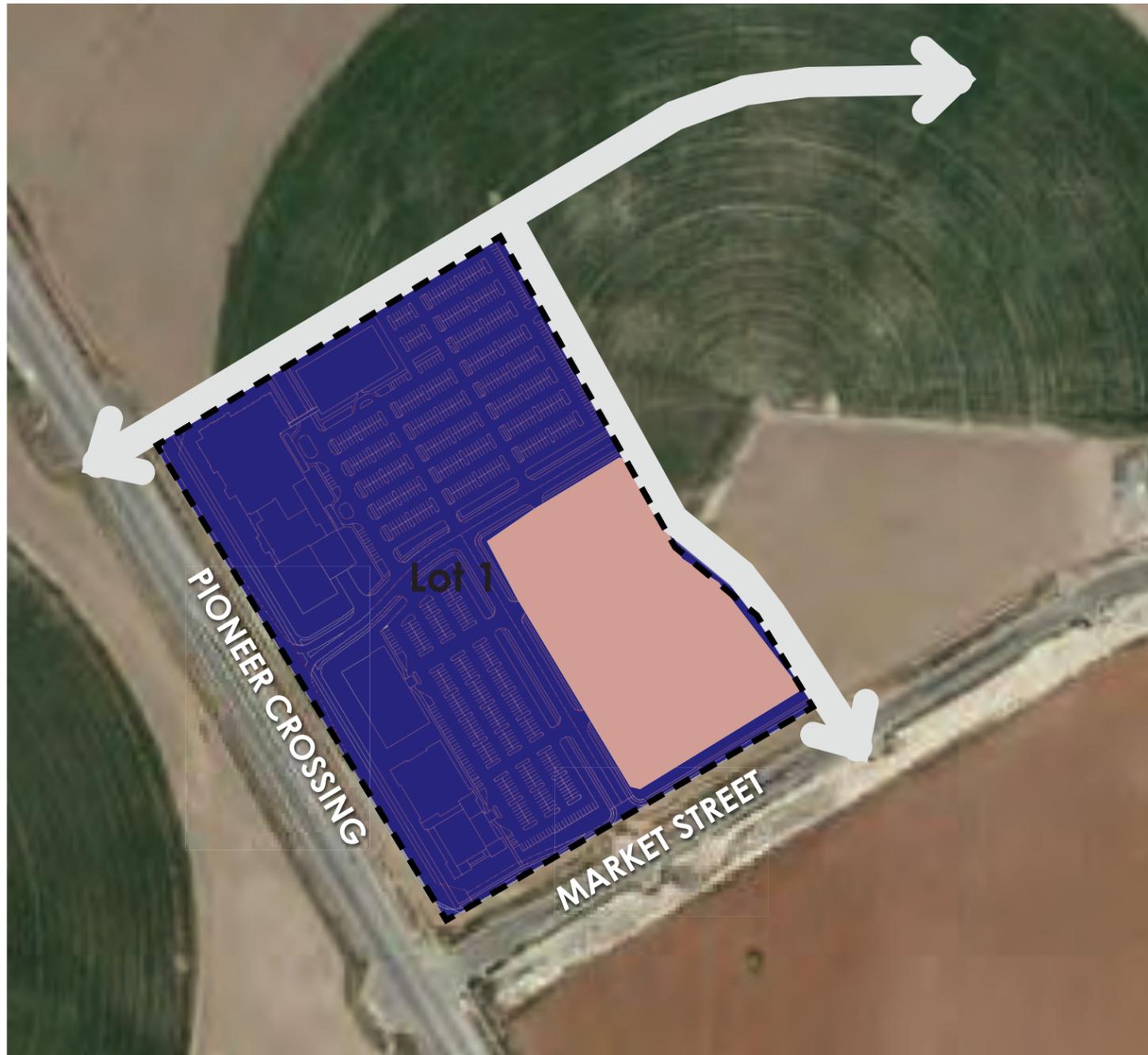
All development, future development and maintenance will be governed by the leases and agreements (e.g. Operations and Easement Agreement) encumbering the property.

The City of Saratoga Springs shall maintain all areas from back of curb to back of trail along Pioneer Crossing.



7. PHASING PLAN

-  Phase 1
-  Phase 2



8. LOT BREAKDOWN

TABLE 4 - LOT BREAKDOWN (VILLAGE PLAN CALCULATION)

PHASE #	ACRES	OPEN SPACE %	BUILDING S.F.	IMPACT ERUs	DAP ERU ALLOCATION
Lot 1 Total	30.79	15-17%	1,247,000	576	576



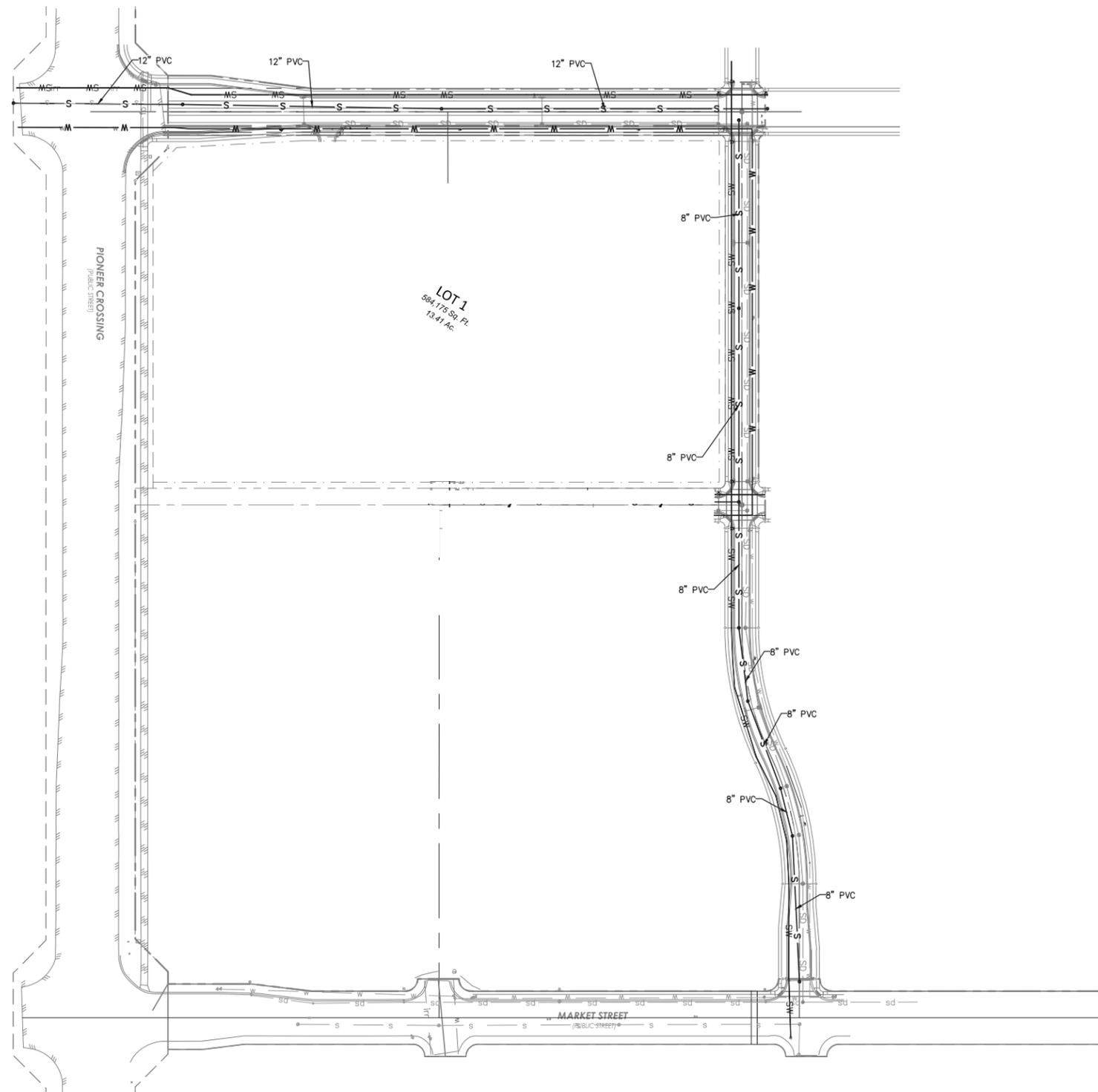
9. LANDSCAPE PLAN

- Open Space
- Building

See Community Plan Plant List for Required Plant Material
 Note: Building and Parking Layouts are Conceptual

TABLE 5 - OPEN SPACE BREAKDOWN (VILLAGE PLAN CALCULATION)		
TYPE	ACRES	OPEN SPACE %
Park Lawn	6.66	20
Plaza	1.72	5.2
Subtotal (Applicable Open Space)	8.38	25.3
Parking Lot Landscaping	1.11	3.4
Total Open Space	9.49	28.6

10. UTILITY PLAN



10a. UTILITY CAPACITIES

Analyses of the existing systems are based on the conditions present at the time of analysis and does not create or imply a reservation of capacity. Demands are based on an overall ERU count of 260 in and anticipated business park use.

CULINARY WATER

Culinary water service for the University of Utah Medical Center will be provided through connection to the existing master plan pipelines crossing Market Street as well an additional connection to the existing 12" pipeline located at Redwood Road and Medical Drive.

Please refer to the Overall Utility Plan and the following calculations

University of Utah Medical Center - Culinary Water Demands

Design criteria:

Culinary Water Source: 800 gpd/ERU

Culinary Water Storage: 400 gpd/ERU

TABLE 6 - CULINARY WATER

AREA	CONNECTIONS ERU	CULINARY WATER			
		Source Req'd gpd/ERU	Total Source gpm	Storage Req'd gpd/ERU	Total Storage gal
ZONE 1 USES	576	800	100	400	230,400
OVERALL TOTAL			100		230,400

SECONDARY WATER

Secondary water service for the University of Utah Medical Center will be provided through temporary connection to the existing culinary system as the Zone 1 Secondary Water System is developed. Master Plan secondary water pipelines are accounted for within the Overall Utility Plan as well as anticipated local service lines. For the purpose of this analysis, it is assumed that a total of 15% of the Village Plan area will be irrigated.

Please refer to the Overall Utility Plan and the following calculations

University of Utah Medical Center - Culinary Water Demands

Design criteria:

Secondary Water Source: 0,75 AF/yr
7.5 gpm/Irrigated Acre (IA)

Culinary Water Storage: 9,216 gal/Irrigated Acre (IA)

TABLE 7 - SECONDARY WATER							
LAND USE		IRRIGATED AREA		SECONDARY WATER REQUIREMENTS			
	ACRES	% Irrigated	Irrigated Area	Source Req'd gpm/IA	Total Source gpm	Storage Req'd gal/IA	Total Storage gal
ZONE 1 USES	30.79	15%	4.62	7.5	34.7	9,216	42,578

SANITARY SEWER

Sanitary sewer service for the University of Utah Medical Center will be provided through extension of existing sewer lines with Market Street or the extension of the Master Plan sewer line within Redwood Road.

Please refer to the Overall Utility Plan and the following calculations

University of Utah Medical Center - Sanitary Sewer Demands

Design criteria:

Sewer Flow: 255 gpd/ERU

TABLE 8 - SANITARY SEWER DEMANDS			
AREA	CONNECTIONS	SANITARY SEWER	
		Flow Rate gpd/ERU	Total Flow gpd
ZONE 1 USES	576	255	146,880
OVERALL TOTAL	576		146,880

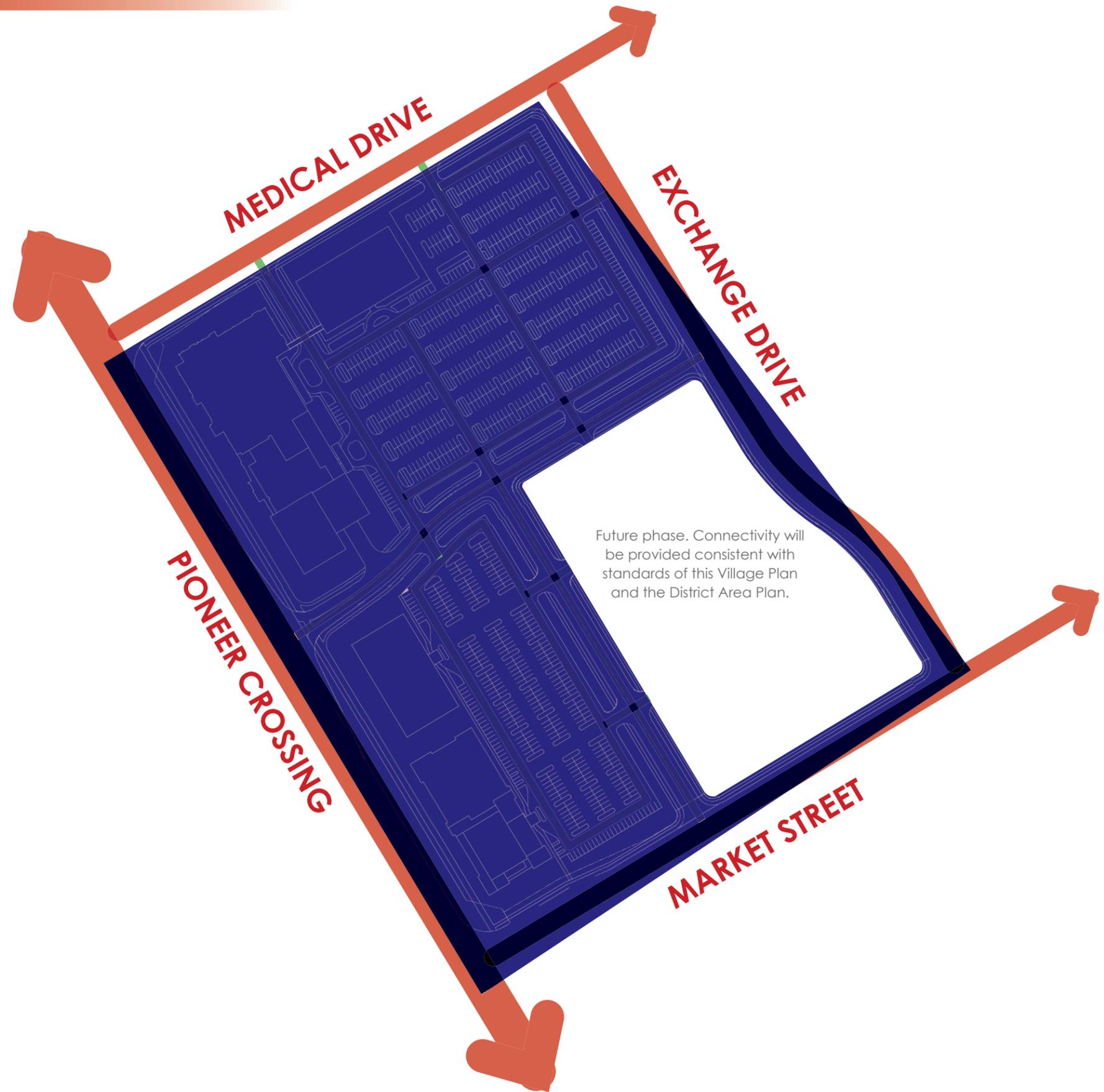
STORM DRAINAGE

Storm drainage is to be detained on each site, with infiltration facilities constructed to infiltrate the 90th percentile storm as defined by Saratoga Springs City, and determined feasible by the City Engineer. All off-site discharges are to be limited to historical pre-development flows. Discharged flows are to be conveyed to the existing pipeline and Jordan River discharge located at the intersection of Market Drive and Redwood road.

Please refer to the Overall Utility Plan for further details

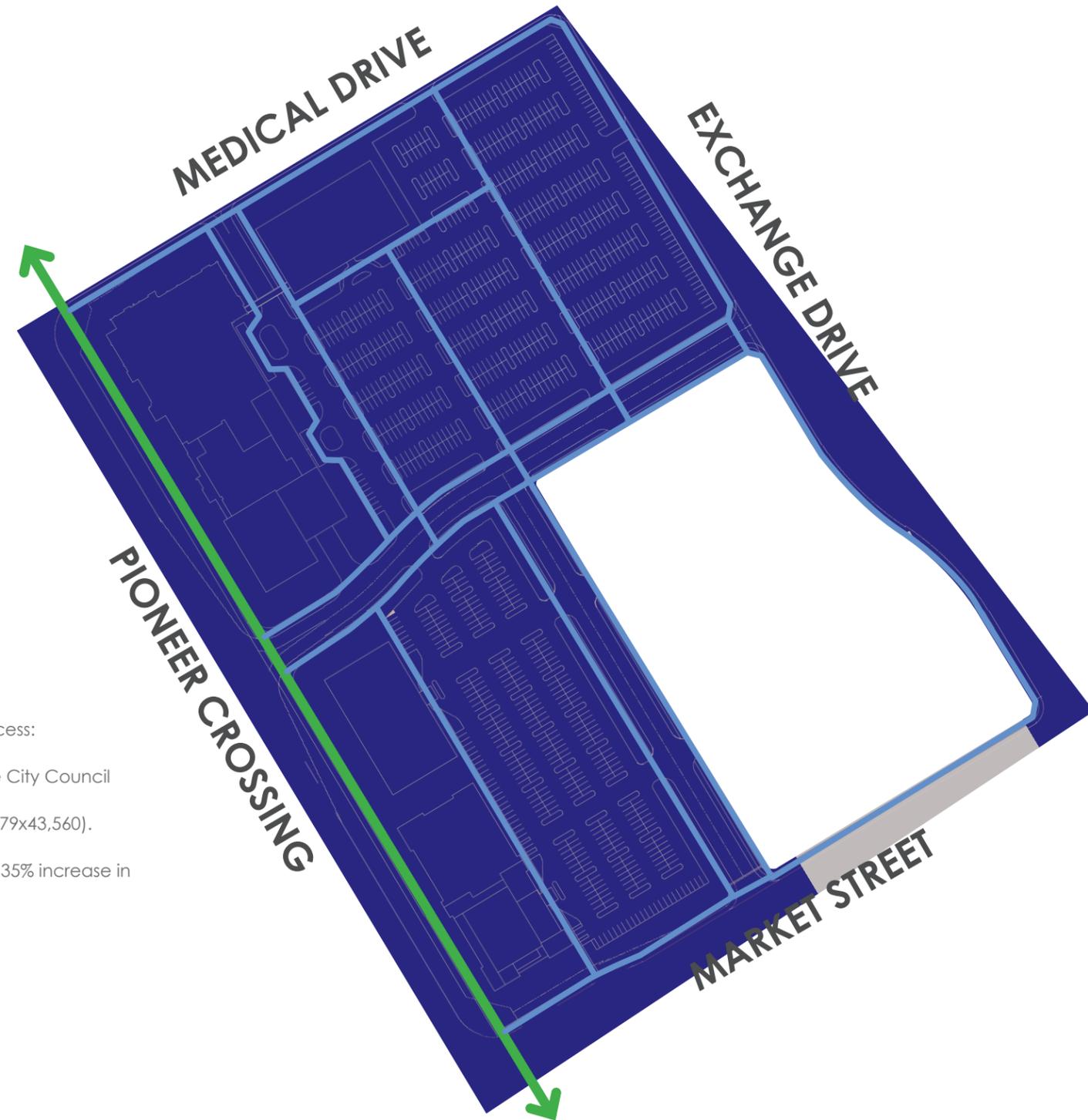
11. VEHICULAR PLAN

- Public
- Private



12. PEDESTRIAN PLAN

- Walkways
- Regional Trail



13. AMENDMENTS AND DENSITY TRANSFERS

Modifications to the Village Plan text or exhibits may occur in accordance with the following amendment process:

Major amendments are modifications that change the intent of the Community and Village Plans, and require City Council approval. Major amendments include the following:

- Any increase in non-residential intensity that results in Floor Area Ratios (FAR) that exceed 0.37 (500,000/30.79x43,560). FAR is calculated by dividing the building square footage by the net developable area of the parcel.
- The addition of adjacent property not included in the Community Plan that would constitute more than a 35% increase in acreage. (The potential area(s) where the site could increase are indicated in the map to the left.)

Minor amendments are accomplished administratively by the City Planning Director and may include:

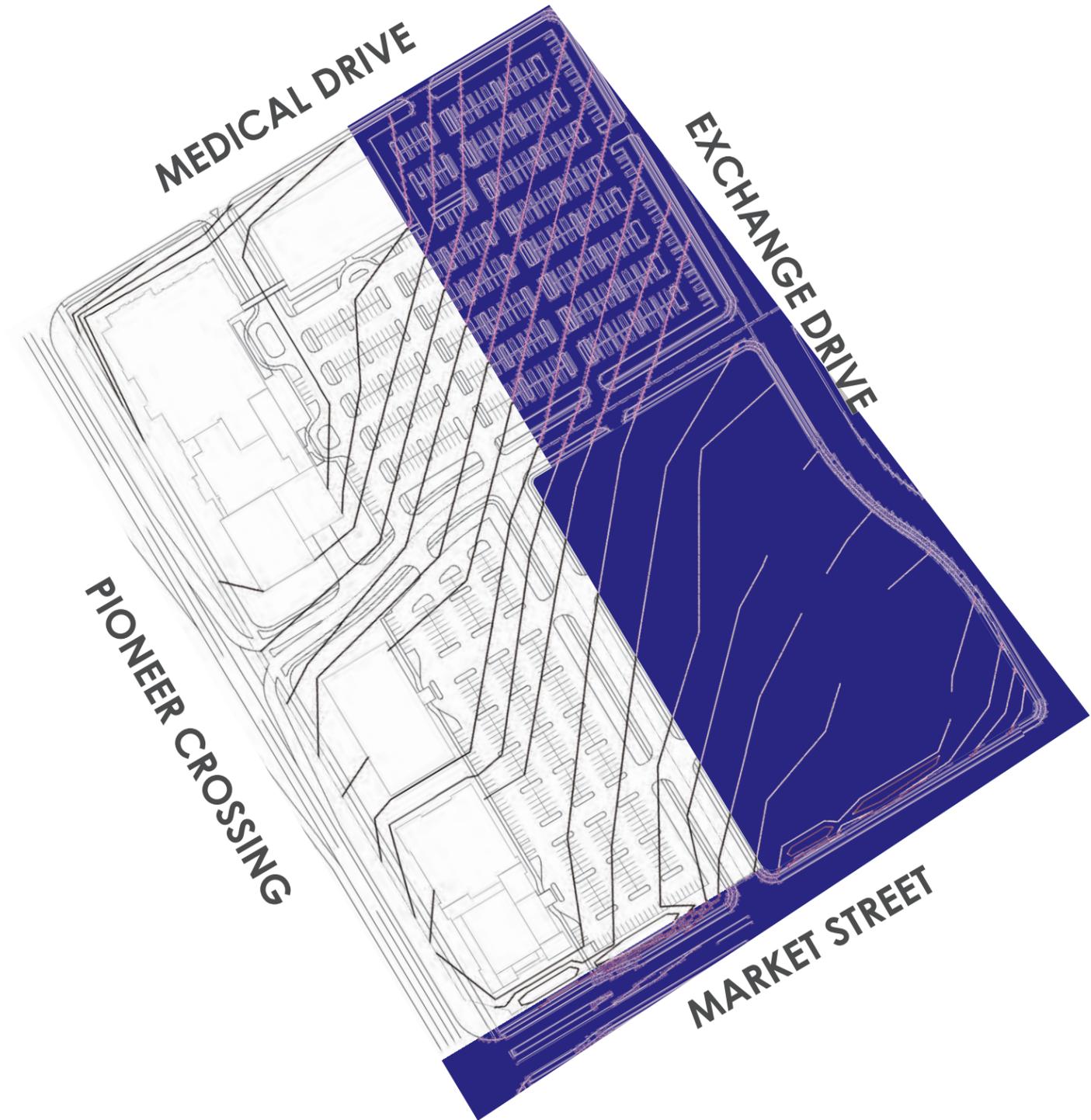
- All site plan revisions that impact the configuration of proposed buildings and conceptual parking layout (so long as the total building area does not exceed the maximum building square feet in Table 3 above)
- Changes in phasing
- Minor changes in the conceptual location of streets, public improvements, or infrastructure.

APPROVAL CONTINGENCY

The allowed maximum building SF listed in Table 4 above is contingent on the completion of a traffic impact study for the site, an updated master utility plan, and any potential required resulting improvements. Any development above 300,000 SF on lot 1 will require an updated traffic impact study, and master utility plan to be approved by City staff.

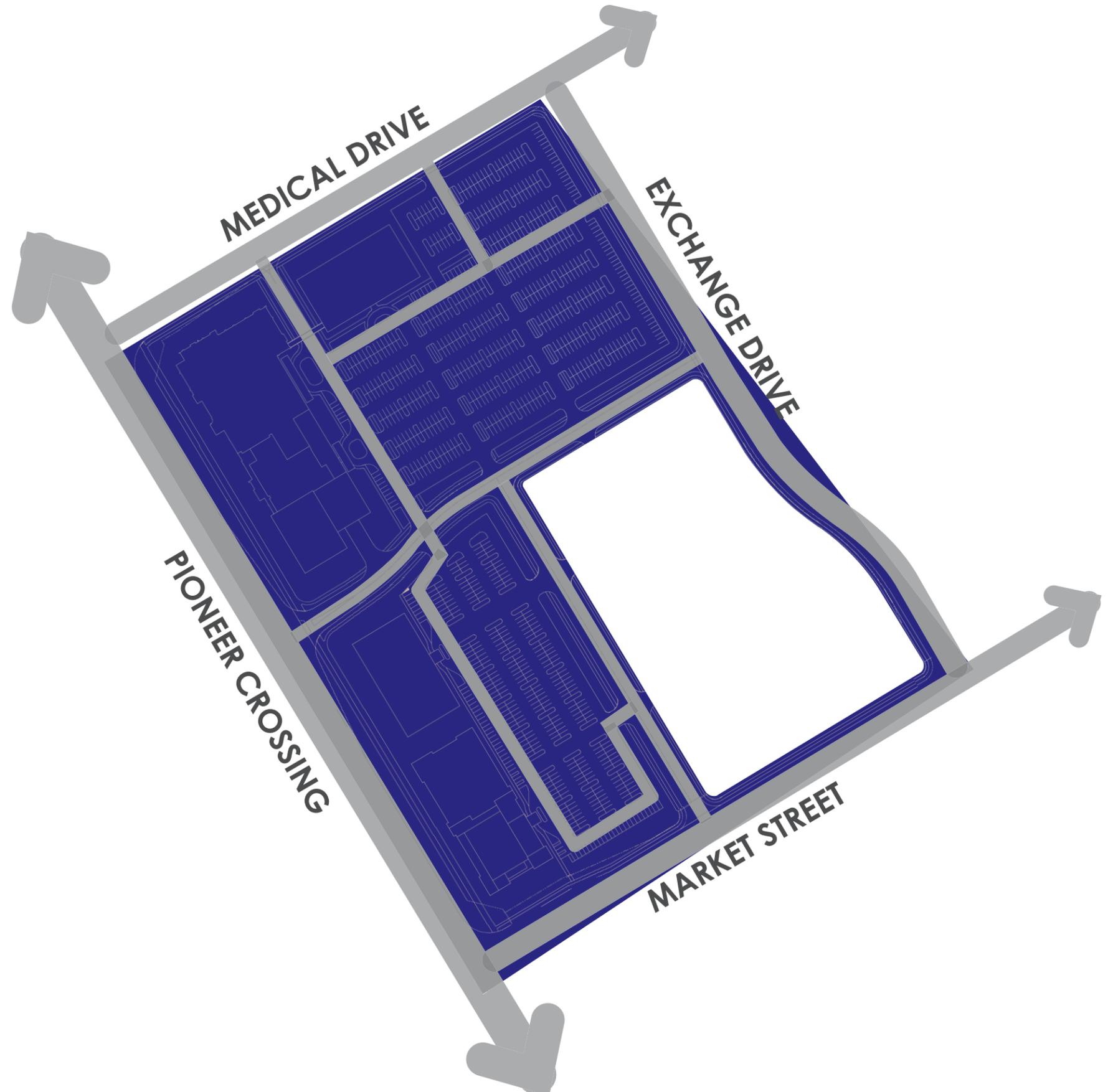
14. ADDITIONAL DETAILED PLANS

14a. GRADING/DRAINAGE PLAN



14b. FIRE LANE PLAN

■ Fire Lane Access



14c. WILDLIFE PLAN

Wildlife Corridor - There are no identified, designated, or protected wildlife corridors on the property.

15. SITE CHARACTERISTICS

The Property generally slopes to the east at a gradient between 2% and 4% and has been historically used for agricultural and related purposes. A canal owned and operated by the Utah Lake Distribution Company (ULDC) travels the North Western section of the property as shown right.

A Regional trail is planned to travel the property along a similar alignment of the ULDC canal providing regional connectivity to pedestrians and bicyclists. A pedestrian crossing had been constructed beneath Pioneer Crossing near this location.

Generally, the soils are a silty loam suitable for the intended uses.

Phase 1 Environmental Site Assessment identifies no underground storage tanks on site and adjoining properties. This study identifies one leaking underground storage tank a half mile from the site that poses no impact to this project.



16. FINDINGS STATEMENT

Findings for the U of U Village Plan:

1. The Village Plan is generally consistent with the goals, objectives, and policies of the District Area Plan (DAP). The thoroughfare network meets or exceeds the transportation system and complies with the City's standard street sections. The DFCM Design Requirements are in harmony with the DAP urban design guidelines. The Business Park place type is well suited for a medical office use that compliments the density objectives as outlined in the DAP..
2. The Village Plan creates a walkable, high intensity, business park development. The medical center is an important component that will allow people to live, work, shop, recreate, and receive quality health care within a sustainable community.
3. The Village Plan creates opportunity for employment and economic development. Medical facilities employ a significant number of individuals and attract other complimentary commercial land uses to locate nearby.
4. The Village Plan, as proposed, is compatible with surrounding development and properly integrates land uses and infrastructure with adjacent properties, including the design for utilities and other shared infrastructure setting the precedent for the area.
5. The Village Plan has taken into account the existing and proposed infrastructure and includes adequate provisions for utilities, services, and roadway networks as outlined in the previous sections of this document.
6. The Village Plan is consistent with the guiding standards listed in the DAP; including development intensity, ERU allocation and Development Standards as outlined in the previous sections of this document.
7. The Village Plan contains the required elements as dictated in the DAP and outlined in the previous sections of this document.

17. MITIGATION PLAN

This site has historically been used for agricultural purposes and there is no know environmental conditions that require mitigation of any kind. This statement includes wildlife as there are no identified, designated, or protected wildlife corridors on the property, and falls well outside of the city defined Wildland/Urban Interface zone.

18. OFFSITE UTILITIES

This is a conceptual estimate prepared prior to receiving surveys or preliminary design plans and will change up on completion of these items

TABLE 9 - OFFSITE UTILITIES				
ITEM NUMBER	DESCRIPTION	QUANTITY	UNIT PRICE	COST
1	16" DIP Culinary Water	2,400 LF	\$122.22	\$293,500
Subtotal				\$293,500
Total				\$293,500

19. COMPLIANCE STATEMENT

The development will be governed by agreements between the future developer and tenants specifying responsibility for items such as maintenance, architectural standards and the time frame in which the various phases of the project will be developed for the project.

ORDINANCE NO. 20- (date)

AN ORDINANCE OF THE CITY OF SARATOGA SPRINGS, UTAH, APPROVING A COMMUNITY PLAN AND VILLAGE PLAN AMENDMENT FOR THE AMENDED UNIVERSITY OF UTAH COMMUNITY PLAN AND AMENDED UNIVERSITY OF UTAH VILLAGE PLAN (“PROJECT”)

WHEREAS, the City approved the University of Utah Community Plan (“Community Plan”) and University of Utah Village Plan (“Village Plan”) for the Project in June 2017 which vested the Developer with the right to develop up to 363,000 sq.ft. of non-residential density; and

WHEREAS, Jonathan Bates with the University of Utah (“Developer”) has applied for an amendment to the Community Plan and Village Plan pursuant to Chapter 19.26 of the Land Development Code (“Application”); and

WHEREAS, on June 25, 2020 the Planning Commission, after a duly-noticed public hearing, reviewed the Application and forwarded positive recommendations to the City Council as required by Section 19.13.04 of the City Code; and

WHEREAS, after due consideration in a public meeting held on July 21, 2020 including due consideration of the public comment to and the recommendation from the Planning Commission, the City Council wishes to approve the Application; and

WHEREAS, the City Council, in exercising its legislative authority under Utah Code Annotated § 10-9a-101, et seq., has determined that approving the Application furthers the health, safety, prosperity, security, and general welfare of the residents and taxpayers of the City.

NOW THEREFORE, after due consideration of the Application and the recommendation from the Planning Commission, including all public comment made at the Planning Commission public hearing, the City Council of the City of Saratoga Springs, Utah hereby ordains as follows:

SECTION I – ENACTMENT

The University of Utah Community Plan and University of Utah Village Plan, attached hereto as Exhibit A and incorporated herein by this reference, are hereby approved and enacted, subject to the City Council’s adopted findings and conditions of approval.

SECTION II – AMENDMENT OF CONFLICTING ORDINANCES

If any ordinances, resolutions, policies, or zoning maps of the City of Saratoga Springs heretofore adopted are inconsistent herewith they are hereby amended to comply with the provisions hereof. If they cannot be amended to comply with the provisions hereof, they are hereby repealed.

SECTION III – EFFECTIVE DATE

This ordinance shall take effect upon its passage by a majority vote of the Saratoga Springs City Council and following notice and publication as required by the Utah Code.

SECTION IV – SEVERABILITY

If any section, subsection, sentence, clause, phrase, or portion of this ordinance is, for any reason, held invalid or unconstitutional by any court of competent jurisdiction, such provision shall be deemed a separate, distinct, and independent provision, and such holding shall not affect the validity of the remaining portions of this ordinance.

SECTION V – PUBLIC NOTICE

The Saratoga Springs Recorder is hereby ordered, in accordance with the requirements of Utah Code § 10-3-710—711, to do as follows:

- a. deposit a copy of this ordinance in the office of the City Recorder; and
- b. publish notice as follows:
 - i. publish a short summary of this ordinance for at least one publication in a newspaper of general circulation in the City; or
 - ii. post a complete copy of this ordinance in 3 public places within the City.

ADOPTED AND PASSED by the City Council of the City of Saratoga Springs, Utah, this 21 day of July, 2020.

Signed: _____
Jim Miller, Mayor

Attest: _____
Cindy LoPiccolo, City Recorder

VOTE

Chris Carn	_____
Michael McOmber	_____
Ryan Poduska	_____
Chris Porter	_____
Stephen Willden	_____

EXHIBIT A
Amended Community Plan and Village Plan



MINUTES – Planning Commission

Thursday, June 25, 2020

City of Saratoga Springs City Offices

1307 North Commerce Drive, Suite 200, Saratoga Springs, Utah 84045

PLANNING COMMISSION MEETING MINUTES - DRAFT

Call to Order - 6:00 p.m. by Chairman Troy Cunningham

Present: Via Video Conference

Commission Members: Bryce Anderson, Troy Cunningham, Ken Kilgore, Reed Ryan, Josh Wagstaff.

Staff: Sarah Carroll, Senior Planner; Conrad Hafen, Assistant City Attorney; Gordon Miner, City Engineer; David Johnson, Economic Development Director; Nicolette Fike, Deputy Recorder.

Others: Chris Hupp

Excused: Audrey Barton

1. **Pledge of Allegiance** - led by Commissioner Cunningham

2. **Roll Call** – A quorum was present

3. **Public Hearing: Community Plan major amendment and Village Plan major amendment for University of Utah. Located at Pioneer Crossing and Market Street. U of U, applicant.**

Senior Planner Carroll presented the amendments. The Community Plan proposes increasing acreage from 20 to 33 acres and then allocating additional density from the District Area Plan for a range of 523,073 sq.ft. up to 1,247,328 sq.ft. and an ERU range of 242-576. The Village Plan covers the entire area of the Community Plan and proposes to apply this square footage to a medical complex.

Chris Hupp was present as applicant with PSOMAS.

Public Hearing Open by Chairman Troy Cunningham. Receiving no public comment, the public hearing was closed by the Chair.

Commissioner Kilgore

- Asked how applicant responded to additional requirements. Chris Hupp explained that with the amount of money University of Utah is spending because of COVID they didn't have funds for the traffic study at this time. They know it is required and are fine with that and all the conditions.

- Asked about Open Space percentage differences. Chris Hupp advised the difference is the Internal vs. the Perimeter.

- Asked staff if they had a timeline for secondary water. City Engineer Gordon Miner advised the secondary water was in place for this parcel. Chris Hupp noted it will be updated on the plans.

Motion made by Commissioner Anderson to forward a positive recommendation to the City Council for the University of Utah Community Plan amendment with the Findings and Conditions in the Staff report. Seconded by Commissioner Kilgore. Aye: Bryce Anderson, Troy Cunningham, Ken Kilgore, Reed Ryan, Josh Wagstaff. Motion passed 5 - 0.

Motion made by Commissioner Kilgore to forward a positive recommendation to the City Council for the University of Utah Village Plan amendment with the findings and conditions in the Staff Report. Seconded by Commissioner Anderson. Aye: Bryce Anderson, Troy Cunningham, Ken Kilgore, Reed Ryan, Josh Wagstaff. Motion passed 5 - 0.

4. **Public Hearing: Continued Item from June 11, 2020: Amendments to Land Development Code, Title 19.10 – Hillside Development. City initiated.**

Senior Planner Sarah Carroll presented the proposed changes. Staff has worked on this project for about 18 months. The draft was put together by a consultant and reviewed by the committee. Developers who own affected property were also able to review it. The goal is to establish enforceable regulations including among other things: vegetation, grading limits, cuts & fills, and benching.

Public Input Open by Chairman Troy Cunningham Receiving no public comment, the public hearing was closed by the Chair.

- 55 Commissioner Anderson
- Asked about the process to form the committee and reviews and was curious as to what kind of comments did developers help with. Senior Planner Sarah Carroll noted the types of comments and that all the feedback was helpful and edits were made accordingly.
 - In response to question, received clarification from Senior Planner Sarah Carroll that when this code passes it would not apply to any current application, they would be vested. It would only apply to applications after it was passed.
- 60

Commissioner Kilgore

- Was concerned about added cost of applying for development and how this compares to other cities. Senior Planner Sarah Carroll noted they based the initial draft off of other cities in the initial review. She did note costs were discussed with developers and they were able to scale back from the initial draft. City Engineer Gordon Miner advised every development requires geo tech report already, this will add another element that will cost a little more; however, it is valuable and necessary information. He thinks the costs are more about impact on the project vs. cost of the studies. The feedback was valuable and it helped refine the ordinance so the impact of it was minimal. He noted that Senior Planner Sarah Carroll deserved a lot of kudos on this project.
- 65
- 70

Commissioner Ryan

- Appreciated the explanation of the process and that it affects more than just planning. He thinks what we have after the long process is a polished product. He noted some corrections needed after proof reading.
- 75

Motion made by Commissioner Anderson that Based upon the evidence and explanations received today, I move to recommend approval to the City Council to repeal and replace Section 19.10 of the Land Development Code, as attached, with the Findings and Conditions contained in the staff report. Seconded by Commissioner Ryan. Aye: Bryce Anderson, Troy Cunningham, Ken Kilgore, Reed Ryan, Josh Wagstaff. Motion passed 5 - 0.

80

Order of items was changed here from agenda.

- 85
5. **Reports of Action.** – No Reports were needed.
 6. **Commission Comments.** – No comments were made.
 7. **Director’s Report.** – No comments were made.
 8. **Approval of Minutes: June 11, 2020**
- 90

Motion made by Commissioner Ryan to approve the minutes of June 11, 2020. Seconded by Commissioner Kilgore. Aye: Bryce Anderson, Troy Cunningham, Ken Kilgore, Reed Ryan, Josh Wagstaff. Motion passed 5 - 0.

95

9. **Possible motion to enter into closed session** – No closed session was held.
 10. **Meeting Adjourned Without Objection at 6:28 p.m. by Chairman** Troy Cunningham.
- 100

Date of Approval

Planning Commission Chair

105

Deputy City Recorder

ORDINANCE NO. 20-24 (7-21-20)

**AN ORDINANCE OF THE CITY OF SARATOGA SPRINGS,
UTAH, APPROVING A COMMUNITY PLAN AND
VILLAGE PLAN AMENDMENT FOR THE AMENDED
UNIVERSITY OF UTAH COMMUNITY PLAN AND
AMENDED UNIVERSITY OF UTAH VILLAGE PLAN
("PROJECT")**

WHEREAS, the City approved the University of Utah Community Plan ("Community Plan") and University of Utah Village Plan ("Village Plan") for the Project in June 2017 which vested the Developer with the right to develop up to 363,000 sq.ft. of non-residential density; and

WHEREAS, Jonathan Bates with the University of Utah ("Developer") has applied for an amendment to the Community Plan and Village Plan pursuant to Chapter 19.26 of the Land Development Code ("Application"); and

WHEREAS, on June 25, 2020 the Planning Commission, after a duly-noticed public hearing, reviewed the Application and forwarded positive recommendations to the City Council as required by Section 19.13.04 of the City Code; and

WHEREAS, after due consideration in a public meeting held on July 21, 2020 including due consideration of the public comment to and the recommendation from the Planning Commission, the City Council wishes to approve the Application; and

WHEREAS, the City Council, in exercising its legislative authority under Utah Code Annotated § 10-9a-101, et seq., has determined that approving the Application furthers the health, safety, prosperity, security, and general welfare of the residents and taxpayers of the City.

NOW THEREFORE, after due consideration of the Application and the recommendation from the Planning Commission, including all public comment made at the Planning Commission public hearing, the City Council of the City of Saratoga Springs, Utah hereby ordains as follows:

SECTION I – ENACTMENT

The University of Utah Community Plan and University of Utah Village Plan, attached hereto as Exhibit A and incorporated herein by this reference, are hereby approved and enacted, subject to the City Council's adopted findings and conditions of approval.

SECTION II – AMENDMENT OF CONFLICTING ORDINANCES

If any ordinances, resolutions, policies, or zoning maps of the City of Saratoga Springs heretofore adopted are inconsistent herewith they are hereby amended to comply with the provisions hereof. If they cannot be amended to comply with the provisions hereof, they are hereby repealed.

SECTION III – EFFECTIVE DATE

This ordinance shall take effect upon its passage by a majority vote of the Saratoga Springs City Council and following notice and publication as required by the Utah Code.

SECTION IV – SEVERABILITY

If any section, subsection, sentence, clause, phrase, or portion of this ordinance is, for any reason, held invalid or unconstitutional by any court of competent jurisdiction, such provision shall be deemed a separate, distinct, and independent provision, and such holding shall not affect the validity of the remaining portions of this ordinance.

SECTION V – PUBLIC NOTICE

The Saratoga Springs Recorder is hereby ordered, in accordance with the requirements of Utah Code § 10-3-710—711, to do as follows:

- a. deposit a copy of this ordinance in the office of the City Recorder; and
- b. publish notice as follows:
 - i. publish a short summary of this ordinance for at least one publication in a newspaper of general circulation in the City; or
 - ii. post a complete copy of this ordinance in 3 public places within the City.

ADOPTED AND PASSED by the City Council of the City of Saratoga Springs, Utah, this 21st day of July, 2020.

Signed: _____
Jim Miller, Mayor

Attest: _____
Cindy LoPiccolo, City Recorder

VOTE

Chris Carn	_____
Michael McOmber	_____
Ryan Poduska	_____
Chris Porter	_____
Stephen Willden	_____

EXHIBIT A
Amended Community Plan and Village Plan



City Council Staff Report

Author: Chris Klingel, Assistant Public Works Director, Infrastructure

Subject: 2020 Road Maintenance Project (Seal Coat)

Date: July 21, 2020

Type of Item: Approval of Contract

Description: Award of Contract for Road Maintenance/Seal Coat Project

A. Topic:

This item is for the approval of contracts for multiple asphalt maintenance projects to be performed throughout the City.

B. Background:

Public Works has utilized various surface treatments to preserve and extend the life of City pavements. The City's engineering consultant, PEPG Consulting L.L.C., prepared construction drawings and project specifications for treatment types to be utilized in this project as specific street and traffic conditions dictate. The Bid was divided into 4 schedules as follows: Schedule A, Scrub Seal; Schedule B, Chip Seal; Schedule C, Asphalt Polymer Surface Treatment; Schedule D, Cold Recycle Asphalt and Seal. Bid documents were posted to Utah Public Procurement Place (Sciquest) on June 18, 2020 and opened July 9, 2020.

C. Analysis:

In accordance with State requirements that govern B and C road funds, this project was advertised for the 3 week minimum time period. The following summary shows the lowest bids received for all Schedules to the 2020 Road Maintenance Project. A complete bid summary is attached in the Bid Acceptance Recommendation from PEPG.

▪ Schedule A	Geneva Rock	\$47,030.20
▪ Schedule B	Staker Parson	\$79,922.00
▪ Schedule C	M&M Asphalt	\$69,326.88
▪ Schedule D	Coughlin Company	\$333,415.32

D. Fiscal Impact:

The funding for this project has been previously appropriated by the City Council with the approval of FY2020 budget under GL#s 35-4000-744 and 10-4410-740.

E. Recommendation

Staff recommends the City Council approve Resolution R20-31 (7-21-20) awarding the contract for the 2020 Road Maintenance Project Schedules A, B, and C to the lowest qualified contractor as follows: Schedule A, Geneva Rock, \$47,030.20; Schedule B, Staker Parson, \$79,922.00;

Schedule C, M&M Asphalt, \$69,326.88. Staff concurs with PEPG Consulting and recommends that Schedule D is NOT awarded at this time due to the low, and only, bid received significantly exceeding the engineer's estimate.

BID SCHEDULE A - SCRUB SEAL

ITEM	DESCRIPTION	SEGMENT ID	SEGMENT	QTY	UNIT	Engineer's	Geneva Rock
		NUMBER	AREA (SY)			Estimate	
A-1	MOBILIZATION			1	LS	\$ 25,000.00	\$ 20,000.00
A-2	TRAFFIC CONTROL			1	LS	\$ 8,000.00	\$ 3,000.00
A-3	PELICAN LN	400	1,085	1	LS	\$ 3,255.00	\$ 5,750.50
A-4	PELICAN LN	159	2,806	1	LS	\$ 8,418.00	\$ 14,871.80
A-5	SKIPPER LN	646	643	1	LS	\$ 1,928.00	\$ 3,407.90
BID SCHEDULE A - TOTAL						\$ 46,601.00	\$ 47,030.20

BID SCHEDULE B - CHIP SEAL

ITEM	DESCRIPTION	SEGMENT ID NUMBER	SEGMENT AREA (SY)	QTY	UNIT	Engingeer's			STAKER PARSON
						Estimate	CKC Asphalt	Geneva Rock	
B-1	MOBILIZATION			1	LS	\$ 20,000.00	\$ 10,000.00	\$ 20,000.00	\$ 10,000.00
B-2	TRAFFIC CONTROL			1	LS	\$ 8,000.00	\$ 5,500.00	\$ 3,000.00	\$ 8,000.00
B-3	400 SOUTH	674	11,678	1	LS	\$ 29,195.00	\$ 69,367.32	\$ 50,448.96	\$ 40,873.00
B-4	400 SOUTH	1880	3,246	1	LS	\$ 8,115.00	\$ 19,281.24	\$ 14,022.72	\$ 11,361.00
B-5	400 SOUTH	1879	2,768	1	LS	\$ 6,920.00	\$ 16,441.92	\$ 11,957.76	\$ 9,688.00
BID SCHEDULE B - TOTAL						\$ 72,230.00	\$ 120,590.48	\$ 99,429.44	\$ 79,922.00

BID SCHEDULE C - ASPHALT POLYMER SURFACE TREATMENT								
ITEM	DESCRIPTION	SEGMENT ID	SEGMENT	QTY	UNIT	Engineer's	Morgan	M&M Asphalt
		NUMBER	AREA (SY)			Estimate	Pavement	Services
C-1	MOBILIZATION			1	LS	\$ 5,000.00	\$ 4,650.00	\$ 1,000.00
C-2	TRAFFIC CONTROL			1	LS	\$ 5,000.00	\$ 4,250.00	\$ 500.00
C-3	ANCHORS WAY	551	691	1	LS	\$ 1,278.07	\$ 1,181.61	\$ 995.04
C-4	ANCHORS WAY	608	607	1	LS	\$ 1,122.92	\$ 1,037.97	\$ 874.08
C-5	ANCHORS WAY	558	539	1	LS	\$ 997.78	\$ 921.69	\$ 776.16
C-6	BALTIC RUSH AVE	1610	1,011	1	LS	\$ 1,870.93	\$ 1,728.81	\$ 1,455.84
C-7	BAYVIEW CIR	1066	1,569	1	LS	\$ 2,902.50	\$ 2,682.99	\$ 2,259.36
C-8	BAYVIEW CIR	1067	1,006	1	LS	\$ 1,860.96	\$ 1,720.26	\$ 1,448.64
C-9	BEACON DR	923	1,907	1	LS	\$ 3,527.74	\$ 3,260.97	\$ 2,746.08
C-10	BEACON DR	916	972	1	LS	\$ 1,798.03	\$ 1,662.12	\$ 1,399.68
C-11	BEACON DR	921	906	1	LS	\$ 1,675.97	\$ 1,549.26	\$ 1,304.64
C-12	BEACON DR	572	782	1	LS	\$ 1,447.16	\$ 1,337.22	\$ 1,126.08
C-13	BLACK BITTERN WAY	1746	1,411	1	LS	\$ 2,610.36	\$ 2,412.81	\$ 2,031.84
C-14	BLACK BITTERN WAY	1745	789	1	LS	\$ 1,458.83	\$ 1,349.19	\$ 1,136.16
C-15	BLUE HERON DR	1655	842	1	LS	\$ 1,558.17	\$ 1,439.82	\$ 1,212.48
C-16	GARIBALDI WAY	1670	1,717	1	LS	\$ 3,175.98	\$ 2,936.07	\$ 2,472.48
C-17	GARIBALDI WAY	1671	316	1	LS	\$ 585.20	\$ 540.36	\$ 455.04
C-18	HERON HILLS AVE	1658	862	1	LS	\$ 1,595.17	\$ 1,474.02	\$ 1,241.28
C-19	HERON HILLS AVE	1664	562	1	LS	\$ 1,040.20	\$ 961.02	\$ 809.28
C-20	HERON HILLS AVE	1666	656	1	LS	\$ 1,213.21	\$ 1,121.76	\$ 944.64
C-21	HERON HILLS AVE	1743	126	1	LS	\$ 233.72	\$ 215.46	\$ 181.44
C-22	KILLDEER DR	1657	479	1	LS	\$ 886.55	\$ 819.09	\$ 689.76
C-23	MCGREGOR LN	354	1,007	1	LS	\$ 1,862.10	\$ 1,721.97	\$ 1,450.08
C-24	MCGREGOR LN	913	1,497	1	LS	\$ 2,768.68	\$ 2,559.87	\$ 2,155.68
C-25	MCGREGOR LN	114	1,050	1	LS	\$ 1,942.81	\$ 1,795.50	\$ 1,512.00
C-26	MCGREGOR LN	919	1,055	1	LS	\$ 1,952.13	\$ 1,804.05	\$ 1,519.20
C-27	MCGREGOR LN	917	841	1	LS	\$ 1,556.53	\$ 1,438.11	\$ 1,211.04
C-28	MCGREGOR LN	904	4,019	1	LS	\$ 7,435.90	\$ 6,872.49	\$ 5,787.36
C-29	MCGREGOR LN	915	739	1	LS	\$ 1,367.32	\$ 1,263.69	\$ 1,064.16
C-30	MCGREGOR LN	913	653	1	LS	\$ 1,208.30	\$ 1,116.63	\$ 940.32
C-31	ROCK DR	1754	875	1	LS	\$ 1,618.32	\$ 1,496.25	\$ 1,260.00
C-32	ROCK DR	1747	832	1	LS	\$ 1,538.28	\$ 1,422.72	\$ 1,198.08
C-33	SPINNAKER BAY DR	1176	864	1	LS	\$ 1,598.70	\$ 1,477.44	\$ 1,244.16
C-34	SPINNAKER BAY DR	1177	710	1	LS	\$ 1,312.71	\$ 1,214.10	\$ 1,022.40
C-35	SPINNAKER BAY DR	1175	2,080	1	LS	\$ 3,848.71	\$ 3,556.80	\$ 2,995.20
C-36	SPINNAKER BAY DR	1171	1,562	1	LS	\$ 2,889.72	\$ 2,671.02	\$ 2,249.28
C-37	SPINNAKER BAY DR	1174	2,193	1	LS	\$ 4,057.87	\$ 3,750.03	\$ 3,157.92
C-38	TIGER HERON DR	1656	749	1	LS	\$ 1,385.49	\$ 1,280.79	\$ 1,078.56
C-39	TIGER HERON DR	1667	95	1	LS	\$ 175.02	\$ 162.45	\$ 136.80
C-40	TURNBUCKLE RD	483	859	1	LS	\$ 1,589.43	\$ 1,468.89	\$ 1,236.96
C-41	TURNBUCKLE RD	903	836	1	LS	\$ 1,545.72	\$ 1,429.56	\$ 1,203.84
C-42	WAYSIDE DR	1668	1,533	1	LS	\$ 2,835.73	\$ 2,621.43	\$ 2,207.52
C-43	WAYSIDE DR	1669	896	1	LS	\$ 1,658.04	\$ 1,532.16	\$ 1,290.24
C-44	WAYSIDE DR	573	1,621	1	LS	\$ 2,998.20	\$ 2,771.91	\$ 2,334.24
C-45	WINDLASS RD	914	944	1	LS	\$ 1,746.66	\$ 1,614.24	\$ 1,359.36
C-46	WINDLASS RD	922	1,102	1	LS	\$ 2,038.26	\$ 1,884.42	\$ 1,586.88
C-47	ZIGZAG HERON DR	1744	740	1	LS	\$ 1,368.85	\$ 1,265.40	\$ 1,065.60
BID SCHEDULE C - TOTAL						\$ 97,138.93	\$ 89,444.42	\$ 69,326.88

**BID SCHEDULE D - COLD RECYCLE ASPHALT and SEAL
(SEGMENTS 239, 240, 477, 197, 198)**

ITEM	DESCRIPTION	QTY	UNIT	Engineer's Estimate	Coughlin Company
D-1	MOBILIZATION	1	LS	\$ 25,000.00	\$ 23,335.00
D-2	TRAFFIC CONTROL	1	LS	\$ 10,000.00	\$ 8,000.00
D-3	COLD CENTRAL PLANT RECYCLE - LAKE MOUNTAIN DRIVE	13818	SY	\$ 110,544.00	\$ 193,175.64
D-4	CIR EMULSION	65	TON	\$ 26,000.00	\$ 33,712.25
D-5	CEMENT POWDER	25	TON	\$ 6,250.00	\$ 5,062.75
D-6	AGGREGATE ADDITIVE	120	TON	\$ 9,000.00	\$ 2,030.33
D-7	SEAL COAT - LAKE MOUNTAIN DRIVE	13818	SY	\$ 41,454.00	\$ 68,099.35
BID SCHEDULE D - TOTAL				\$ 228,248.00	\$ 333,415.32

RESOLUTION NO. R20-31 (7/21/20)

**A RESOLUTION APPROVING A CONTRACTS WITH
GENEVA ROCK, STAKER PARSON, AND M&M ASPHALT
FOR THE 2020 ROAD MAINTENANCE PROJECT**

WHEREAS, the City Council of the City of Saratoga Springs has found it in the public's interest to obtain services from qualified contractors to provide services in accordance with the 2020 Road Maintenance Project; and

WHEREAS, the City advertised a bid document on SciQuest and in a public newspaper for the 2020 Road Maintenance Project in order to acquire services from qualified contractors; and

WHEREAS, the City's engineering consultant, PEPG Consulting L.L.C, provided an analysis of all quotations to determine the lowest responsible contractor, which was determined to be Schedule A, Geneva Rock, \$47,030.20; Schedule B, Staker Parson, \$79,922.00; Schedule C, M&M Asphalt, \$69,326.88; and

WHEREAS, the City Council has determined that awarding the project to the lowest responsible contractor is in the best interest of the public, will further the public health, safety, and welfare, and will assist in the efficient administration of City government and public services.

NOW THEREFORE, BE IT RESOLVED by the governing body of the City of Saratoga Springs, Utah, that the 2020 Road Maintenance Project is awarded to Geneva Rock for Schedule A for \$47,030.20, Staker Parson for Schedule B for \$79,922.00, and M&M Asphalt for Schedule C for \$69,326.88, and the City Manager is authorized to enter into these contracts accordingly. This resolution shall take effect immediately upon passage.

PASSED on the 21st of July, 2020.

**CITY OF SARATOGA SPRINGS
A UTAH MUNICIPAL CORPORATION**

Jim Miller, Mayor

Attest: _____
Cindy LoPiccolo, City Recorder

BID SCHEDULE A - SCRUB SEAL

ITEM	DESCRIPTION	SEGMENT ID	SEGMENT	QTY	UNIT	Engineer's	Geneva Rock
		NUMBER	AREA (SY)			Estimate	
A-1	MOBILIZATION			1	LS	\$ 25,000.00	\$ 20,000.00
A-2	TRAFFIC CONTROL			1	LS	\$ 8,000.00	\$ 3,000.00
A-3	PELICAN LN	400	1,085	1	LS	\$ 3,255.00	\$ 5,750.50
A-4	PELICAN LN	159	2,806	1	LS	\$ 8,418.00	\$ 14,871.80
A-5	SKIPPER LN	646	643	1	LS	\$ 1,928.00	\$ 3,407.90
BID SCHEDULE A - TOTAL						\$ 46,601.00	\$ 47,030.20

BID SCHEDULE B - CHIP SEAL

ITEM	DESCRIPTION	SEGMENT ID NUMBER	SEGMENT AREA (SY)	QTY	UNIT	Engingeer's			STAKER PARSON
						Estimate	CKC Asphalt	Geneva Rock	
B-1	MOBILIZATION			1	LS	\$ 20,000.00	\$ 10,000.00	\$ 20,000.00	\$ 10,000.00
B-2	TRAFFIC CONTROL			1	LS	\$ 8,000.00	\$ 5,500.00	\$ 3,000.00	\$ 8,000.00
B-3	400 SOUTH	674	11,678	1	LS	\$ 29,195.00	\$ 69,367.32	\$ 50,448.96	\$ 40,873.00
B-4	400 SOUTH	1880	3,246	1	LS	\$ 8,115.00	\$ 19,281.24	\$ 14,022.72	\$ 11,361.00
B-5	400 SOUTH	1879	2,768	1	LS	\$ 6,920.00	\$ 16,441.92	\$ 11,957.76	\$ 9,688.00
BID SCHEDULE B - TOTAL						\$ 72,230.00	\$ 120,590.48	\$ 99,429.44	\$ 79,922.00

BID SCHEDULE C - ASPHALT POLYMER SURFACE TREATMENT								
ITEM	DESCRIPTION	SEGMENT ID	SEGMENT	QTY	UNIT	Engineer's	Morgan	M&M Asphalt
		NUMBER	AREA (SY)			Estimate	Pavement	Services
C-1	MOBILIZATION			1	LS	\$ 5,000.00	\$ 4,650.00	\$ 1,000.00
C-2	TRAFFIC CONTROL			1	LS	\$ 5,000.00	\$ 4,250.00	\$ 500.00
C-3	ANCHORS WAY	551	691	1	LS	\$ 1,278.07	\$ 1,181.61	\$ 995.04
C-4	ANCHORS WAY	608	607	1	LS	\$ 1,122.92	\$ 1,037.97	\$ 874.08
C-5	ANCHORS WAY	558	539	1	LS	\$ 997.78	\$ 921.69	\$ 776.16
C-6	BALTIC RUSH AVE	1610	1,011	1	LS	\$ 1,870.93	\$ 1,728.81	\$ 1,455.84
C-7	BAYVIEW CIR	1066	1,569	1	LS	\$ 2,902.50	\$ 2,682.99	\$ 2,259.36
C-8	BAYVIEW CIR	1067	1,006	1	LS	\$ 1,860.96	\$ 1,720.26	\$ 1,448.64
C-9	BEACON DR	923	1,907	1	LS	\$ 3,527.74	\$ 3,260.97	\$ 2,746.08
C-10	BEACON DR	916	972	1	LS	\$ 1,798.03	\$ 1,662.12	\$ 1,399.68
C-11	BEACON DR	921	906	1	LS	\$ 1,675.97	\$ 1,549.26	\$ 1,304.64
C-12	BEACON DR	572	782	1	LS	\$ 1,447.16	\$ 1,337.22	\$ 1,126.08
C-13	BLACK BITTERN WAY	1746	1,411	1	LS	\$ 2,610.36	\$ 2,412.81	\$ 2,031.84
C-14	BLACK BITTERN WAY	1745	789	1	LS	\$ 1,458.83	\$ 1,349.19	\$ 1,136.16
C-15	BLUE HERON DR	1655	842	1	LS	\$ 1,558.17	\$ 1,439.82	\$ 1,212.48
C-16	GARIBALDI WAY	1670	1,717	1	LS	\$ 3,175.98	\$ 2,936.07	\$ 2,472.48
C-17	GARIBALDI WAY	1671	316	1	LS	\$ 585.20	\$ 540.36	\$ 455.04
C-18	HERON HILLS AVE	1658	862	1	LS	\$ 1,595.17	\$ 1,474.02	\$ 1,241.28
C-19	HERON HILLS AVE	1664	562	1	LS	\$ 1,040.20	\$ 961.02	\$ 809.28
C-20	HERON HILLS AVE	1666	656	1	LS	\$ 1,213.21	\$ 1,121.76	\$ 944.64
C-21	HERON HILLS AVE	1743	126	1	LS	\$ 233.72	\$ 215.46	\$ 181.44
C-22	KILLDEER DR	1657	479	1	LS	\$ 886.55	\$ 819.09	\$ 689.76
C-23	MCGREGOR LN	354	1,007	1	LS	\$ 1,862.10	\$ 1,721.97	\$ 1,450.08
C-24	MCGREGOR LN	913	1,497	1	LS	\$ 2,768.68	\$ 2,559.87	\$ 2,155.68
C-25	MCGREGOR LN	114	1,050	1	LS	\$ 1,942.81	\$ 1,795.50	\$ 1,512.00
C-26	MCGREGOR LN	919	1,055	1	LS	\$ 1,952.13	\$ 1,804.05	\$ 1,519.20
C-27	MCGREGOR LN	917	841	1	LS	\$ 1,556.53	\$ 1,438.11	\$ 1,211.04
C-28	MCGREGOR LN	904	4,019	1	LS	\$ 7,435.90	\$ 6,872.49	\$ 5,787.36
C-29	MCGREGOR LN	915	739	1	LS	\$ 1,367.32	\$ 1,263.69	\$ 1,064.16
C-30	MCGREGOR LN	913	653	1	LS	\$ 1,208.30	\$ 1,116.63	\$ 940.32
C-31	ROCK DR	1754	875	1	LS	\$ 1,618.32	\$ 1,496.25	\$ 1,260.00
C-32	ROCK DR	1747	832	1	LS	\$ 1,538.28	\$ 1,422.72	\$ 1,198.08
C-33	SPINNAKER BAY DR	1176	864	1	LS	\$ 1,598.70	\$ 1,477.44	\$ 1,244.16
C-34	SPINNAKER BAY DR	1177	710	1	LS	\$ 1,312.71	\$ 1,214.10	\$ 1,022.40
C-35	SPINNAKER BAY DR	1175	2,080	1	LS	\$ 3,848.71	\$ 3,556.80	\$ 2,995.20
C-36	SPINNAKER BAY DR	1171	1,562	1	LS	\$ 2,889.72	\$ 2,671.02	\$ 2,249.28
C-37	SPINNAKER BAY DR	1174	2,193	1	LS	\$ 4,057.87	\$ 3,750.03	\$ 3,157.92
C-38	TIGER HERON DR	1656	749	1	LS	\$ 1,385.49	\$ 1,280.79	\$ 1,078.56
C-39	TIGER HERON DR	1667	95	1	LS	\$ 175.02	\$ 162.45	\$ 136.80
C-40	TURNBUCKLE RD	483	859	1	LS	\$ 1,589.43	\$ 1,468.89	\$ 1,236.96
C-41	TURNBUCKLE RD	903	836	1	LS	\$ 1,545.72	\$ 1,429.56	\$ 1,203.84
C-42	WAYSIDE DR	1668	1,533	1	LS	\$ 2,835.73	\$ 2,621.43	\$ 2,207.52
C-43	WAYSIDE DR	1669	896	1	LS	\$ 1,658.04	\$ 1,532.16	\$ 1,290.24
C-44	WAYSIDE DR	573	1,621	1	LS	\$ 2,998.20	\$ 2,771.91	\$ 2,334.24
C-45	WINDLASS RD	914	944	1	LS	\$ 1,746.66	\$ 1,614.24	\$ 1,359.36
C-46	WINDLASS RD	922	1,102	1	LS	\$ 2,038.26	\$ 1,884.42	\$ 1,586.88
C-47	ZIGZAG HERON DR	1744	740	1	LS	\$ 1,368.85	\$ 1,265.40	\$ 1,065.60
BID SCHEDULE C - TOTAL						\$ 97,138.93	\$ 89,444.42	\$ 69,326.88

**BID SCHEDULE D - COLD RECYCLE ASPHALT and SEAL
(SEGMENTS 239, 240, 477, 197, 198)**

ITEM	DESCRIPTION	QTY	UNIT	Engineer's Estimate	Coughlin Company
D-1	MOBILIZATION	1	LS	\$ 25,000.00	\$ 23,335.00
D-2	TRAFFIC CONTROL	1	LS	\$ 10,000.00	\$ 8,000.00
D-3	COLD CENTRAL PLANT RECYCLE - LAKE MOUNTAIN DRIVE	13818	SY	\$ 110,544.00	\$ 193,175.64
D-4	CIR EMULSION	65	TON	\$ 26,000.00	\$ 33,712.25
D-5	CEMENT POWDER	25	TON	\$ 6,250.00	\$ 5,062.75
D-6	AGGREGATE ADDITIVE	120	TON	\$ 9,000.00	\$ 2,030.33
D-7	SEAL COAT - LAKE MOUNTAIN DRIVE	13818	SY	\$ 41,454.00	\$ 68,099.35
BID SCHEDULE D - TOTAL				\$ 228,248.00	\$ 333,415.32



City Council Staff Report

Author: Chris Klingel, Assistant Public Works Director, Infrastructure

Subject: 2020 Manhole Collar Repair Project (Road Maintenance)

Date: July 21, 2020

Type of Item: Approval of Contract

Description: Award of Contract for Manhole Collar Repair Project

A. Topic:

This item is for the approval of a contract for the repair and replacement of failing manhole collars and adjacent asphalt in the Sunrise Meadows subdivision.

B. Background:

A significant number of manholes in the Sunrise Meadows subdivision are experiencing settlement adjacent to the collars, along with cracking/failing collars. This settlement has resulted in collars being higher than the adjacent asphalt, resulting in chipped collars from snow plowing operations as well as damage to snow plow blades. As part of the City's 2020 Road Maintenance programs, replacement of these collars and adjacent asphalt is recommended. The City's engineering consultant, PEPG Consulting L.L.C., prepared construction drawings and project specifications for this project for the installation of new manhole collars and adjacent asphalt repair. Bid documents were posted to Utah Public Procurement Place (Sciquest) on June 25, 2020 and opened July 9, 2020.

C. Analysis:

4 bids were received ranging from \$68,680.00 to \$163,300.00. The apparent low bidder was RC Enterprises in the amount of \$68,680.00. PEPG Consulting has recommended that Saratoga Springs reject the apparent low bid from RC Enterprises due to failure to submit their bid in accordance with the project documents, and accept the next low "qualified" bid, Snow Canyon Construction at \$103,120.00, as submitted.

D. Fiscal Impact:

The funding for this project has been previously appropriated by the City Council with the approval of FY2020 budget under GL#s 35-4000-744 and 10-4410-740.

E. Recommendation

Staff recommends the City Council approve Resolution R20-32 (7-21-20) awarding the contract for the 2020 Manhole Collar Repair Project to Snow Canyon Construction in the amount of \$103,120.00.

July 13, 2020

Chris Klingel, P.E.
Assistant Public Works Director
City of Saratoga Springs
213 N 900 East
Saratoga Springs, UT 84045

Re: 2020 Manhole Collar Repair Project – Bid Acceptance Recommendation

Chris,

We have reviewed the submitted bids and accompanying documentation for the 2020 Manhole Collar Repair Project. All bidders are local contractors with history in and around Saratoga Springs, are deemed compliant and considered reputable. The summary of bids is as follows:

	CONTRACTOR	Bid Schedule A Total
1	Western Paving	\$163,300.00
2	Snow Canyon Construction	\$103,120.00
3	B. Hansen Construction	\$111,750.00
4	RC Enterprises	\$68,680.00*

**Note: RC Enterprises Bid Rejected due to Failure to Submit Hardcopy Bid*

Submitted low bids for each schedule are highlighted in green, and review of the bid submittals and bid numbers has identified no significant discrepancies. ***Based on the review of the submitted documents and bid numbers, we are recommending that Saratoga Springs REJECT the apparent low bid from RC Enterprises due to failure to submit their bid in accordance with the project documents and accept the following low “qualified” bid as submitted.***

Bid Schedule A: Snow Canyon Construction at \$103,120.00

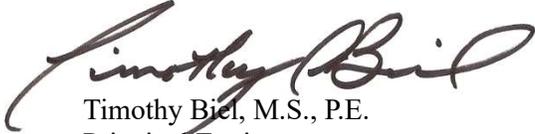
PEPG has reviewed the project documents and identified the following stipulations that identify the requirements to submit a hard-copy bid to the City.

Notice Inviting Bids: *The City of Saratoga Springs will receive sealed bids for the 2020 Manhole Collar Repair Project. Bids will be received until 3:00 P.M., Thursday, July 9, 2020 at the City of Saratoga Springs Offices, located at 1307 North Commerce Drive, Suite 200, Saratoga Springs, Utah, 84045*

Information for Bidders: *Each BID must be submitted in a sealed envelope, addressed to the City of Saratoga Springs, 1307 North Commerce Drive, Suite 200, Saratoga Springs, Utah 84045. Each sealed envelope containing a BID must be plainly marked on the outside as BID FOR CITY OF SARATOGA SPRINGS, 2020 MANHOLE COLLAR REPAIR PROJECT and the envelope should bear on the outside, the name of the BIDDER, his address, his license number (if applicable) and the name of the project for which the BID is submitted.*

The full bid tabulation is attached. Should you have any further questions, please feel free to contact us.

Sincerely,

A handwritten signature in black ink that reads "Timothy Biel". The signature is fluid and cursive, with the first name being more prominent.

Timothy Biel, M.S., P.E.
Principal Engineer
PEPG Consulting, LLC

Att: Bid Tabulation Summary
Bid Schedule Summaries

BID SCHEDULE A - MANHOLE COLLAR REPAIR PROJECT								
ITEM	DESCRIPTION	QTY	UNIT	Engineer's Estimate	Western Paving	Snow Canyon Construction	B. Hansen Construction	RC Enterprises
A-1	MOBILIZATION	1	LS	\$ 16,100.00	\$ 20,000.00	\$ 9,000.00	\$ 30,000.00	\$ 4,500.00
A-2	TRAFFIC CONTROL	1	LS	\$ 8,050.00	\$ 20,000.00	\$ 6,000.00	\$ 20,000.00	\$ 5,680.00
A-3	Manhole Collar Replacement - PCC	37	EA	\$ 27,750.00	\$ 37,000.00	\$ 23,865.00	\$ 24,050.00	\$ 16,650.00
A-4	Manhole Collar Replacement - Asphalt	11	EA	\$ 8,250.00	\$ 11,000.00	\$ 7,425.00	\$ 6,600.00	\$ 4,950.00
A-5	Manhole Frame Adjustment	23	EA	\$ 11,500.00	\$ 25,300.00	\$ 16,330.00	\$ 16,100.00	\$ 6,900.00
A-6	Asphalt Patch - Type 1	6000	SF	\$ 33,000.00	\$ 50,000.00	\$ 40,500.00	\$ 15,000.00	\$ 30,000.00
BID SCHEDULE A - TOTAL				\$ 104,650.00	\$ 163,300.00	\$ 103,120.00	\$ 111,750.00	\$ 68,680.00

Note: RC Enterprises Bid Rejected due to Failure to Submit Hardcopy Bid

RESOLUTION NO. R20-32 (7/21/20)

**A RESOLUTION APPROVING A CONTRACT WITH SNOW CANYON
CONSTRUCTION FOR THE 2020 MANHOLE COLLAR REPAIR PROJECT**

WHEREAS, the City Council of the City of Saratoga Springs has found it in the public's interest to obtain services from qualified contractors to provide services in accordance with the 2020 Manhole Collar Repair Project; and

WHEREAS, the City advertised a bid document on SciQuest and in a public newspaper for the 2020 Manhole Collar Repair Project in order to acquire services from qualified contractors; and

WHEREAS, the City's engineering consultant, PEPG Consulting L.L.C, provided an analysis of all quotations to determine the lowest responsible contractor, which was determined to be Snow Canyon Construction for a contract amount of \$103,120.00; and

WHEREAS, the City Council has determined that awarding the project to the lowest responsible contractor is in the best interest of the public, will further the public health, safety, and welfare, and will assist in the efficient administration of City government and public services.

NOW THEREFORE, BE IT RESOLVED by the governing body of the City of Saratoga Springs, Utah, that the 2020 Manhole Collar Repair Project is awarded to in the amount of \$103,120.00 and the City Manager is authorized to enter into the contract with Snow Canyon Construction. This resolution shall take effect immediately upon passage.

PASSED on the 21st of July, 2020.

**CITY OF SARATOGA SPRINGS
A UTAH MUNICIPAL CORPORATION**

Jim Miller, Mayor

Attest: _____
Cindy LoPiccolo, City Recorder

July 13, 2020

Chris Klingel, P.E.
Assistant Public Works Director
City of Saratoga Springs
213 N 900 East
Saratoga Springs, UT 84045

Re: 2020 Manhole Collar Repair Project – Bid Acceptance Recommendation

Chris,

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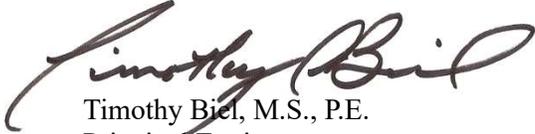
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Timothy Biel, M.S., P.E.
Principal Engineer
PEPG Consulting, LLC

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Note: RC Enterprises Bid Rejected due to Failure to Submit Hardcopy Bid



SARATOGA
SPRINGS

Life's just better here

**City Council
Staff Report**

**Title 19 Code Amendments
Chapters 19.10, Hillside Development Ordinance
July 21, 2020
Public Meeting**

Report Date: July 13, 2020
Applicant: City Initiated
Land Use Authority: City Council
Previous Meeting: n/a
Author: Sarah Carroll, Senior Planner

A. Executive Summary:

The Planning Department keeps a running list of minor and major changes that are needed to provide additional clarity and effectiveness, to remove inconsistencies and typos, and incorporate best practices, and has the goal of adopting amendments approximately four times a year. Section 19.10 covers Hillside Development and has been in need of updates for some time now. Staff proposes that this section of Code be repealed and replaced with the attached version.

RECOMMENDATION:

Staff recommends the City Council conduct a public meeting, discuss the proposed amendments, and choose from the options in Section G of this report. Options include approval, denial, or continuation of the proposed amendments.

B. Specific Request: This is a request to repeal and replace Section 19.10 of the Land Development Code. Over the past year and a half a committee including Planning, Building, Engineering, Legal, Fire, and Public Works has been working on a new version of Section 19.10. Staff had a consultant put together an initial draft and then worked to improve the draft. Staff then sent the draft to developers who own property within hillside areas and after reviewing and considering their feedback additional changes were made. Staff is now ready to present the attached updated version.

C. Process: Section 19.17.03 of the Code outlines the process and criteria for an amendment:

1. The City Council shall review the petition and render a decision within thirty days of the receipt of the petition.

Complies. There is no application as this is City initiated. The amendments were presented to the Planning Commission for a recommendation. The Planning Commission public hearing was held on June 25, 2020 and they forwarded a positive recommendation.

2. The Planning Commission shall recommend adoption of proposed amendments only where it finds the proposed amendment furthers the purpose of the Saratoga Springs Land Use Element of the General Plan and that changed conditions make the proposed amendment necessary to fulfill the purposes of this Title.

Complies. Please see Sections E and F of this report.

3. The Planning Commission shall provide a notice and hold a public hearing as required by Utah Code. The City Council shall hold a public meeting to consider the request. For an application which concerns a specific parcel of property, the City shall provide the notice required by Chapter 19.13 for a public hearing.

Complies. Please see Section D of this report.

4. For an application which does not concern a specific parcel of property, the City shall provide the notice required for a public hearing except that notice is not required to be sent to property owners directly affected by the application or to property owners within 300 feet of the property included in the application.

Complies. Please see Section D of this report.

D. Community Review: Per Section 19.17.03 of the City Code, this item was noticed as a Planning Commission public hearing in the Daily Herald. As these amendments affect the entire City, no mailed notice was required. A public meeting with the City Council will be scheduled following the public hearing with the Planning Commission.

E. General Plan:

Land Use Element – General Goals

The General Plan has stated goals of responsible growth management, the provision of orderly and efficient development that is compatible with both the natural and built environment, establish a strong community identity in the City of Saratoga Springs, and implement ordinances and guidelines to assure quality of development.

Staff conclusion: consistent. The proposed changes will still ensure quality of development, maintain community identity, ensure quality development through the maintenance of high standards, and require mitigation of impacts to existing development (the built environment).

F. Code Criteria:

Code amendments are a legislative decision. Therefore, the City Council has significant discretion when considering changes to the Code.

The criteria for an ordinance change is outlined below and act as guidance to the Planning Commission and City Council.

19.01.04. Purpose.

1. The purpose of this Title, and for which reason it is deemed necessary, and for which it is designed and enacted, is to preserve and promote the health, safety, morals, convenience, order, fiscal welfare, and the general welfare of the City, its present and future inhabitants, and the public generally, and in particular to:
 - a. encourage and facilitate the orderly growth and expansion of the City;
 - b. secure economy in governmental expenditures;
 - c. provide adequate light, air, and privacy to meet the ordinary or common requirements of happy, convenient, and comfortable living of the municipality's inhabitants, and to foster a wholesome social environment;
 - d. enhance the economic well-being of the municipality and its inhabitants;
 - e. facilitate adequate provisions for transportation, water, sewer, schools, parks, recreation, storm drains, and other public requirements;
 - f. prevent the overcrowding of land, the undue concentration of population, and promote environmentally friendly open space;
 - g. stabilize and conserve property values;
 - h. encourage the development of an attractive and beautiful community; and
 - i. promote the development of the City of Saratoga Springs in accordance with the Land Use Element of the General Plan.

Consistent. The proposed amendments will provide clarity in development standards to ensure orderly growth, will maintain high standards to ensure a wholesome environment, and will both allow flexibility for property owners while helping ensure an attractive and beautiful community.

19.17.05. Consideration of General Plan, Ordinance, or Zoning Map Amendment

The Planning Commission and City Council shall consider, but not be bound by, the following criteria when deciding whether to recommend or grant a general plan, ordinance, or zoning map amendment:

1. The proposed change will conform to the Land Use Element and other provisions of the General Plan;

Consistent. See Section E of this report.

2. the proposed change will not decrease nor otherwise adversely affect the health, safety, convenience, morals, or general welfare of the public;
Consistent. The amendments maintain clear and consistent standards and will not adversely affect the health and welfare of the general public.
3. the proposed change will more fully carry out the general purposes and intent of this Title and any other ordinance of the City; and
Consistent. The stated purposes of the Code are found in section 19.01.04.
4. in balancing the interest of the petitioner with the interest of the public, community interests will be better served by making the proposed change.
Consistent. The amendments will provide additional clarity and effectiveness of the Code and better enhance the consistency in development review.
5. Any other reason that, subject to legislative discretion, could advance the general welfare.

G. Possible Motions:

Option 1 – Approval

“Based upon the evidence and explanations received today, I move that the City Council repeal and replace Section 19.10 of the Land Development Code, as attached, with the Findings and Conditions contained in this staff report:

Findings:

1. The amendments are consistent with the *Land Use Element – General Goals* of the General Plan, as outlined in Section E of this report and incorporated herein by reference.
2. The amendments are consistent with Section 19.01.04, *Purpose*, as outlined in Sections F of this report and incorporated herein by reference.
3. The Amendments are consistent with Section 19.17.05, *Consideration of General Plan, Ordinance, or Zoning Map Amendment*, as outlined in Sections F of this report and incorporated herein by reference.

Conditions:

The amendments shall be edited as directed by the City Council:

1. _____
2. _____

Option 2 – Continuance

Vote to **continue** all or some of the Code amendments to the next meeting, with specific feedback and direction to Staff on changes needed to render a decision.

Motion: “I move to continue the repeal and replacement of Section 19.10 of the Code to the [DATE] meeting, with the following direction on additional information needed and/or changes to the draft:

1. _____
2. _____
3. _____

Option 3 – Denial

“Based upon the evidence and explanations received today, I move that City Council deny the request to repeal and replace Sections 19.10 of the Code, with the Findings below:

Findings

1. The amendments do not comply with the General Plan, City Code Section 19.01.04, and/or Section 19.17.05, as articulated by the Planning Commission: _____
2. The amendments do not comply with City Code Section 19.17.04, sub paragraphs 2, 3, and/or 4, as articulated by the Planning Commission:
3. _____
4. _____

Exhibits:

- A. Proposed Section 19.10
- B. Draft Planning Commission Minutes

Chapter 19.10. Hillside Development Ordinance

Sections:

- 19.10.01. Purpose.**
- 19.10.02. Definitions.**
- 19.10.03. Scope and Application.**
- 19.10.04. Required Plans and Reports.**
- 19.10.05. Hillside Development Standards.**
- 19.10.06. Maps.**

19.10.01. Purpose.

1. The provisions of this Chapter are enacted in order to provide standards, guidelines, and criteria for minimizing flooding, erosion, and other environmental hazards that may result from the development of hillsides within the City. In addition, these standards are intended to protect the natural scenic character of hillsides and especially sensitive lands that may not be suitable for development.
2. This Chapter outlines the requirements for the development of areas within the City limits that contain slopes equal to or greater than fifteen percent. No development shall occur on slopes equal or greater than fifteen percent except as specifically allowed in this Chapter. Slope maps at the end of this section identify applicable areas.
3. To achieve the intent of this Chapter, it is required that professionals, qualified in each of the disciplines addressed herein, be used to provide creative and appropriate designs in hillside areas.

19.10.02. Definitions.

1. **“Buildable Area”** means the portion of a lot upon which buildings may be placed in compliance with required setbacks, lot coverage restrictions, and other applicable provisions of City Code.
2. **“Development Activity”** means the definition as specified in Utah Code Section 10-9a-103.
3. **“Engineering Standards”** means the current version of the City of Saratoga Springs Standard Technical Specifications and Drawings Manual.
4. **“Landslide”** means the movement of a mass of rock, debris, or earth down a slope. Landslides are a type of “mass wasting,” which denotes any down-slope movement of soil and rock under the direct influence of gravity.

5. **“Limits of Disturbance”** means the specific area on a site where construction and development activity shall be contained, except as otherwise provided in this Chapter.
6. **“Low Impact Development (LID)”** means principles that mimic nature by using techniques that infiltrate, evapotranspire, and/or harvest/reuse the runoff generated from storm water to partially retain precipitation onsite, per City storm water regulations.
7. **“Maximum Extent Practicable”** means:
 - a. able to be constructed or implemented consistent with sound science and engineering principles; and
 - b. economically and otherwise reasonable in light of the societal and environmental benefits to be gained.
8. **“Slope Map”** means a topographical map portraying the steepness or degree of inclination of a feature relative to the horizontal plane.
9. **“Terracing or Terraces”** means grading of slopes, typically long and linear, to accommodate flat buildable areas. Terracing, also referred to as benching or stepping, leaves steps on the side of the excavation that can either be a single or multiple terrace.
10. **“Topographical Survey”** means a survey that gathers data about the elevation of points on a piece of land and presents them as contour lines on a plot. The purpose of a topographic survey is to collect survey data about the natural and man-made features of the land, as well as its elevations.
11. **“Vegetation, invasive or noxious weeds”** means a non-native plant which grows aggressively, spreads, and displaces other plants, and/or is harmful or poisonous vegetation. Refer to Utah Noxious Weed Act and Engineering Standards to determine which species are considered to be noxious or invasive.
12. **“Vegetation, native or adapted”** means plants that are indigenous to a specific area or have special features that allow them to live in a particular habitat in the City. This includes plants that have developed, occur naturally, or existed for many years in an area. Refer to Engineering Standards for a list of specific species.
13. **“Vegetation Preservation Plan”** means the identification, preservation and protection of existing native vegetation that minimizes exposed soils and erosion.

19.10.03. Scope and Application.

1. The provisions of this Chapter are intended to supplement those set forth in this Title 19 and the City’s Engineering Standards. In the event of conflict, the more restrictive provision shall apply.
2. The provisions of this chapter shall apply to all plats, site plans, building permits, development, Community Plans, Village Plans, and Neighborhood Plans within the City, which shall demonstrate compliance with this Chapter

3. The provisions of this Chapter provide regulations for grading, filling, and excavating in order to avoid risks of erosion, flooding, landslide, or any other unsafe condition.
4. Detailed reports and plans are required for new developments as outlined in this Chapter and must be approved by City Staff before any construction will be permitted in designated hillside areas.

19.10.04. Required Plans and Reports for All Development in the City.

1. **Requirements at Concept Plan, Village Plan, and Neighborhood Plan.** The following reports and plans shall be prepared at the expense of the applicant and shall be submitted as part of a Concept Plan, Village Plan, and Neighborhood Plan application in addition to all other City Code requirements. All reports and plans submitted herein shall be prepared by persons or firms licensed or certified to practice their specialty in the State of Utah.
 - a. **Slope Survey.** Detailed slope map derived from data no older than 5 years with a minimum of two-foot contour intervals:
 - i. The map shall identify and delineate all disturbed and undisturbed areas.
 - ii. The map shall include a color legend of the site with the existing slopes identified in increments of 0-14.99 percent, 15-29.99 percent, and 30 percent or greater.
 - b. **Lotting Plan.** Plan showing overall project layout, including:
 - i. lots with setbacks;
 - ii. limits of disturbance and buildable areas;
 - iii. open spaces; and
 - iv. roads, highways, and rights-of-way
 - c. **Conceptual Grading and Drainage Plan.** Plan which identifies at a minimum all existing and proposed drainages, areas of proposed cuts and fills, and the proposed size and scale of such areas and activities.
2. **Requirements of Development Activity, Subdivision, and Site Plan.** The following reports and plans shall be prepared at the expense of the applicant and shall be submitted as part of the Preliminary Plat or Site Plan application in addition to all other Preliminary Plat or Site Plan requirements. All reports and plans submitted herein shall be prepared by persons or firms licensed or certified to practice their specialty in the State of Utah.
 - a. **Grading and Drainage Plan.** A Grading and Drainage Plan shall be prepared by an engineer, land surveyor, or landscape architect licensed by the State of Utah. Such plan shall comply with applicable provisions of the City's Engineering Standards. All developments within the hillside overlay shall comply with the Hillside Standards in this Chapter and are subject to all of the following requirements, which compliance shall be further detailed in the Grading and Drainage Plan:

- i. A slope classification map and analysis for the development site. Two maps shall be prepared. The first shall represent the *pre-development* slope districts and the second shall represent *post-development* slope districts.
- ii. Balanced cut and fill shall be implemented to the maximum extent practicable. Balanced cut and fill measures include the following:
 - 1. avoiding stockpiling material on-site; and
 - 2. minimizing the export and import of material
- iii. All roof drainage that cannot be drained to a roadway or approved drainage system shall be managed on site via Low Impact Development principles, per City storm water regulations.
- iv. Topsoil stockpile areas shall be designated.
- v. Access or haul road locations, designs, and maintenance requirements shall be designated on the grading plan.
- vi. A written statement addressing the Hillside Development Guidelines found in 19.10.05 of this Chapter shall be submitted with the grading plan.

b. Slope Protection Plan and Requirements. A Slope Protection Plan shall be prepared by an engineer, land surveyor, or landscape architect licensed by the State of Utah and shall identify areas within the project with contiguous slopes greater than 30 percent that are required to be protected from disturbance. These areas may be located within lots if the provisions of this chapter can be met, otherwise they shall be placed in protected open space. In either case, these areas shall be identified on the development application, subdivision plan, site plan, and building plan as areas that may not be disturbed. The following standards apply to the slope protection plan:

- i. Provide a detailed slope map derived from a physical survey no older than 5 years with a minimum of two-foot contour intervals.
 - 1. The map shall identify all disturbed and undisturbed areas.
 - 2. The map shall include a color legend of the site slope percentages in increments of 0-14.99 percent, 15-29.99 percent, and 30 percent or greater.
- ii. Contiguous slopes of 30 percent or greater are to be protected, except for the following exceptions:
 - 1. Areas with slopes that exceed 30 percent may be disturbed if:
 - A. they are smaller than one-half (0.50) acre in size;
 - B. they are isolated from other areas that exceed 30 percent;
 - C. they are less than 100 feet in length and width; and
 - D. their disturbance or removal will not create unstable geologic or drainage conditions that result in damage to public or private property.
 - 2. Man-made slopes exceeding 30 percent may be disturbed if it is determined, per the geotechnical report, that the change in grade will restore the area and will improve the stability of a previously disturbed area.

3. Prior to disturbance of the slope a geotechnical report shall be prepared by a licensed engineer and shall be approved by the City Engineer, along with a grading plan.

c. Vegetation Preservation and Slope Stabilization Plan. A Slope Stabilization Plan shall be prepared by a qualified professional licensed by the state of Utah and shall contain all of the following:

- i. Location of existing vegetation on the development site, including noxious and invasive weeds, and areas of native vegetation to be preserved, containing the following details:
 1. A delineation of the area to be developed or remain as permanent native open space;
 2. An inventory or survey of the vegetation species or a subset of species (such as noxious weeds) present;
 3. A map showing the area and the location of populations of each species; and
 4. A characterization of each identified plant species as native versus non-invasive or noxious.
- ii. For open space or common areas of the development proposed to remain native and cleared of existing vegetation in the course of construction, a plan for replanting with native vegetation possessing erosion control characteristics at least equal to the existing native vegetation, which was removed, in compliance with the Engineering Standards. Existing non-invasive vegetation shall be replaced in kind;
- iii. A plant schedule listing the plant species and seed mixes to be used for revegetation in accordance with City standards for revegetation species;
- iv. A plan showing how the planting and installation of revegetation will be supervised by a person or firm having expertise in the practice of revegetation (e.g., licensed landscape architects) and how the revegetation will be protected with mulch and fertilized and watered in conjunction with a planting and maintenance schedule;
- v. Slope stabilization and erosion control measures while new vegetation is being established;
- vi. Temporary irrigation as needed until established;
Plans shall comply with Utah Wildland-Urban Interface Code.

d. Geology Report. A Geology Report shall be prepared by a Geotechnical Engineer or Geologist licensed by the State of Utah. A geologic map shall accompany the report. Mapping shall reflect careful attention to the rock composition, structural elements, and surface and subsurface distribution of the earth materials exposed or inferred within both bedrock and surficial deposits. The map shall clearly distinguish the difference between observed and inferred features or relationships. The Geology Report shall contain, at a minimum, the following:

- i. Identification of any zones of deformation with respect to active faults and other mass movements of soil and rock;
 - ii. Alluvial fans and other areas with debris and flood flow hazards;
 - iii. Identification of anomalies of the terrain or characteristics of the geological materials which would have any potential impact upon the use of the site;
 - iv. Active or inactive landslide areas;
 - v. Identification of all rock fall zones; and
 - vi. Written recommendations for construction of proposed structures or public improvements to minimize or avoid impacts of potential geologic hazards (as prepared by a Geotechnical Engineer).
- e. Fire Protection Report.** A Fire Protection Report, approved by the Fire Marshall, shall be prepared to assess fire probability and potential hazards. The plan shall be prepared by a person or agency qualified by training and experience and approved by the City Fire Marshall. The Fire Protection Report is a separate and independent obligation from the Fire Protection Plan that may be required by the Fire Marshall or Building Official in the Wildland-Urban Interface Code, Fire Code, or Building Code. The Fire Protection Report shall include the following:
- i. The width and approximate location of any easement required for access of fire protection equipment;
 - ii. The width and approximate location of recommended fuel breaks on the development site; and
 - iii. A letter from the Fire Marshall specifying required fire protection measures and fire suppression flow.
- f. Physical Constraints Report.** A report prepared by a licensed geologist or geotechnical engineer demonstrating that buildings, structures, or building envelopes shall not be placed on or within any of the following areas:
- a. natural or manmade slopes exceeding 30 percent with the exception of terracing to accommodate walk-out basements;
 - b. within the distance recommended by the Geology Report of any fault line;
 - c. areas considered as navigable, interstate waters, or areas having a significant nexus to such waters per federal law, within the jurisdiction of the United States or State of Utah such as wetlands, drainages, streams, rivers, and lakes, whether or not ephemeral, without the proper permits (or letter exempting the area from such jurisdiction) through the Utah Division of Water Rights and United States Army Corps of Engineers or other state or federal entity having jurisdiction;
 - d. landslide hazard areas, except that lots, but not buildings or building envelopes, may be included in landslide areas if supported by the required geotechnical report;
 - e. an area of flood hazard as defined and specified in Chapter 18.02;
 - f. areas of springs, seeps, or surface water areas.
 - i. These areas are defined as follows:

1. Spring: A spring is any natural situation where water flows from an aquifer.
 2. Seep: A seep is a moist or wet place where water, usually ground, reaches the earth's surface from an underground aquifer.
 3. Surface water areas: Surface water is water on the surface such as in a river, lake, or wetland.
- g. existing or master planned detention basins, roads, and utility corridors.

19.10.05. Hillside Development Guidelines.

1. **General Guidelines.** A written statement addressing the following guidelines shall be submitted with the grading plan:
 - a. Development shall be concentrated in the flattest areas of the site in order to preserve as much of the natural terrain as possible.
 - b. Varied lot sizes and designs shall be utilized in order to reduce the amount of grading required and preserve natural landforms.
 - c. Building pads shall be located in order to preserve as much of the natural terrain as possible.
 - d. Lots and buildings shall be designed to fit the natural contour of the site rather than the site being altered to fit a particular structure type.
 - e. Large flat pads shall be avoided in favor of stepped pads, or split-level structures that follow the general contours of the site.
2. **Limits of Disturbance.** No building or other structure is allowed on slopes greater than 30 percent. No excavation, grading, or permanent clearing shall be allowed on slopes greater than 30 percent, without the necessary plans and methods implemented as outlined in this Chapter.
3. **Limits on grading.** Grading shall comply with the following standards, in addition to the standards within other applicable Chapters:
 - a. All cut, filled, and graded slopes and transitions shall be re-contoured to blend into the grade of surrounding land.
 - b. The outside corners or edges of all permanent cut and fill slopes shall be rounded to eliminate sharp corners and shall have a minimum curvature radius of at least five feet.
 - c. All permanent cuts and fills shall be constructed and stabilized to prevent settlement, sliding, and erosion.
 - d. Mass grading and benching of hillside areas to create large flat building envelopes for multiple homes shall be avoided. Instead, smaller stepped envelopes for each home shall be used that follow the existing topography.
 - e. Cut and fill slopes exceeding 50 percent shall be retained.
 - f. The maximum slope of driveways shall not exceed 15 percent and shall minimize disturbance to natural terrain.
 - g. Terracing shall be used to facilitate the completion of balanced cut and fill slopes as well as to reduce overall impacts to slopes.

4. **Limits on changes to established lot grades** The elevation of an established lot shall not be permanently raised or lowered more than 6 feet at any point for construction of any structure or improvement, except:
 - a. Areas outside the building pad but within the lot may be raised or lowered more than 6 feet if a retaining wall or other slope protection measure is used to reduce the steepness of man-made slopes, provided that the retaining wall complies with the provisions of this Chapter.

5. **Limits on man-made slopes.**
 - a. Maximum cuts and fills shall not exceed 25 feet in height unless it is determined, per a geotechnical report, that the change in grade will restore the area and will improve the stability of a previously disturbed area.
 - b. The grade of man-made slopes shall not exceed 50 percent without being retained.
 - c. All cut, filled, and graded slopes shall be re-contoured and stabilized, as per this Chapter, to blend into the natural grade of surrounding land.
 - d. All permanent fills shall be constructed and stabilized to prevent settlement, sliding, or erosion damage to streets, curbs, gutters, sidewalks, or buildings.

6. **Terracing and retaining walls.** Use of retaining walls is encouraged to reduce the steepness of man-made slopes as outlined herein. Cutting terraces combined with the use of retaining walls may be implemented to create buildable areas, to minimize or alleviate potential erosion to hillsides, and to establish planting pockets conducive to revegetation of hillsides. The following standards shall apply:
 - a. Individual retaining walls may be permitted to support steep slopes but shall not exceed 10 feet in height measured from adjacent finished grade.
 - b. When the overall retained height would exceed ten feet, the retaining wall shall be segmented into a maximum of three stepped walls with no individual wall exceeding six feet in height as measured from the lowest adjacent grade to the top of the wall.
 - c. Retaining walls taller than 4 feet shall be separated from any other retaining wall by a minimum distance of 3 horizontal feet or half the height of the highest wall, whichever is greater. Terraces created between retaining walls shall be permanently landscaped or re-vegetated per City Code.
 - d. A building permit shall be obtained if required by the Building Code. The lot owner or developer may be required to obtain documentation from the building official that a building permit is not required.
 - e. The parabolic slip plane mode of failure of the retaining wall system shall be used to determine height and wall separation. (See Figure 2.)

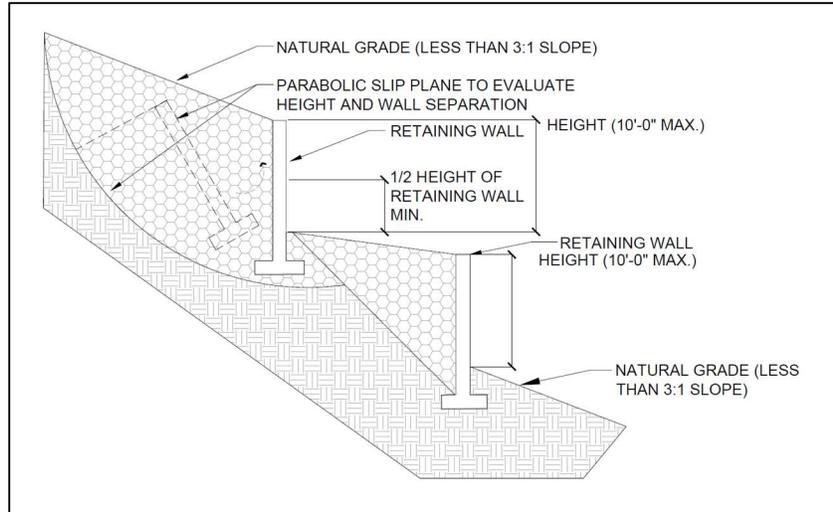
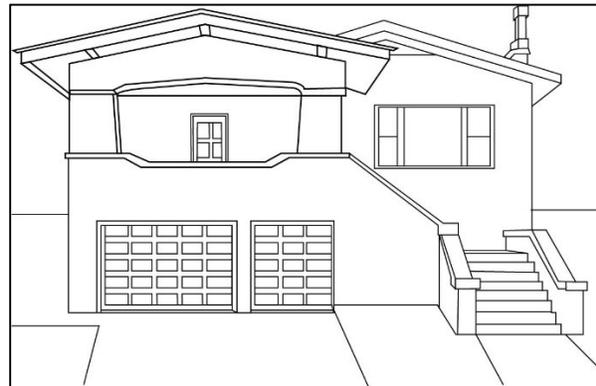
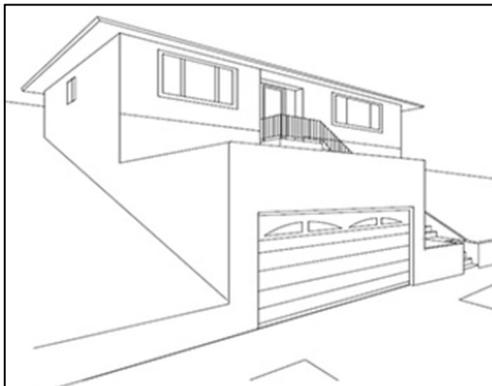


FIGURE 2

7. **Structures.** Additional grading for structures shall be determined on an individual lot basis, shall be minimized by designing the house to fit the natural slopes, and shall meet the following requirements:
- The general location and magnitude of cuts and fills shall be identified with each site plan.
 - Where building masses orient against the lot's existing contours, the structures shall be stepped with the grade and broken into a series of individual smaller components.
 - Structures and foundation types shall be utilized that are compatible with the existing hillside conditions and require less grading. Split-level, embedded structures, and stepped foundations shall be utilized.
 - Building height shall comply with the requirements in the specific zone using the definition in 19.02.
 - No more than four feet of the foundation may be exposed on the fronts of the structure and no more than six feet on the sides and backs of the structure.



8. **Preservation of existing vegetation.** Existing concentrations of significant trees and vegetation shall be preserved, except that noxious or invasive trees and vegetation and sage brush are not required to be preserved.

- a. For the purposes of this subsection, “significant trees and vegetation” means:
 - i. Large trees of 6-inch caliper or greater; and
 - ii. Groves of five or more smaller trees, or clumps of shrubs covering an area of 50 square feet or more measured at the drip lines.
- b. Areas with significant trees and non-invasive vegetation may not be disturbed unless specifically approved by the City, based on a replacement plan as described in Chapter 19.06.

9. Revegetation.

- a. Any permanent slope exposed or created in new development shall be landscaped or revegetated with native or adapted trees and other native or adapted plant material.
- b. New vegetation shall be equivalent to, or exceed, the density and erosion-control characteristics of the original vegetation cover to mitigate adverse environmental and visual effects.
- c. All existing native or adapted vegetation within and adjacent to major drainage channels shall be preserved to the maximum extent practical.
- d. All areas of the site where removal of native or adapted natural vegetation in the course of development will occur shall be replanted with native or adapted trees and plants. The vegetation shall possess erosion control characteristics (such as fast growing and deep roots) at least equal to the native or adapted vegetation which was removed. These may be replaced within other areas of the site such as open space, common areas, or street trees.
- e. Use of fire-resistant plants for revegetation is strongly encouraged and shall be required if the area is located in a Wildland-Urban Interface area per the City’s Fire Code. (For a list of fire-resistant plants, refer to the Wildland-Urban Interface, contact the local Forest Service, or contact the Utah Division of Forestry, Fire, and State Lands.)
- f. All disturbed areas shall be stabilized no later than 30 days after the disturbance is complete. Reseeding may be delayed until the earliest planting season thereafter if temporary stabilization measures are implemented in the interim.

10. Buildable Area and Limits of Disturbance.

- a. Slopes greater than 30 percent shall be identified on the plat and restricted on the plat as protected, undisturbed areas. A lot may contain existing natural grades in excess of 30 percent if the following conditions are met:
 - i. The subdivision plat clearly identifies the limits of disturbance and each lot contains a buildable area that is:
 - 1. at least 2000 square feet of contiguous area;
 - 2. a minimum dimension of 30 feet in any direction;
 - 3. no greater than 30 percent in slope; and
 - 4. contained within the building setbacks of a proposed lot.
 - ii. Slopes greater than 30 percent shall be recorded on the plat or site plan with a prohibition on their disturbance.

- iii. No grading, building, accessory building, or structure will be allowed outside of the limits of disturbance as delineated on the respective plat or site plan.
 - iv. Access and driveways shall be included within the limits of disturbance for a lot.
 - v. No grading related to the construction of the structure shall occur outside the limits of disturbance.
- b. The buildable area and limits of disturbance must be recorded on the plat along with an easily identified location for clear access.

11. Streets and hard surface trail access and driveways.

- a. Streets and hard surface trails and driveways may cross slopes over 30 percent and up to 50 percent if deemed necessary by the Development Review Committee (DRC). Approval shall be based on the following findings:
 - i. No alternate location for access is feasible or available.
 - ii. No individual segment or increment of the street or trail crossing these slopes exceeds 1500 feet in length.
 - iii. Visual, environmental, and safety impacts from the street or trail crossing shall be mitigated as outlined in the revegetation, grading, and erosion sections of this chapter.
- c. The developer shall dedicate to the City a slope easement for any cut or fill slope created by construction of a street on a hillside which is not contained within the public right-of-way to allow for future road maintenance or reconstruction of the road.
- d. Points of access shall be provided to all developed and undeveloped land for emergency firefighting equipment.
- e. Emergency vehicle access shall be provided to trails in canyons, drainages, and natural washes shall be provided for developments that are located adjacent to such canyons, drainages, or washes.
- f. When open space, common area, or undeveloped land is behind lots, access between homes is required every 1000 feet for emergency access.
- g. Private driveways that are longer than 150 feet shall not exceed a grade of 10 percent at any point, so as not to hinder emergency service vehicles.
- h. Driveways longer than 150 feet shall require a fire truck turn around.
- i. Access via streets and driveways require approval by the Fire Chief and shall comply with the Fire Code.

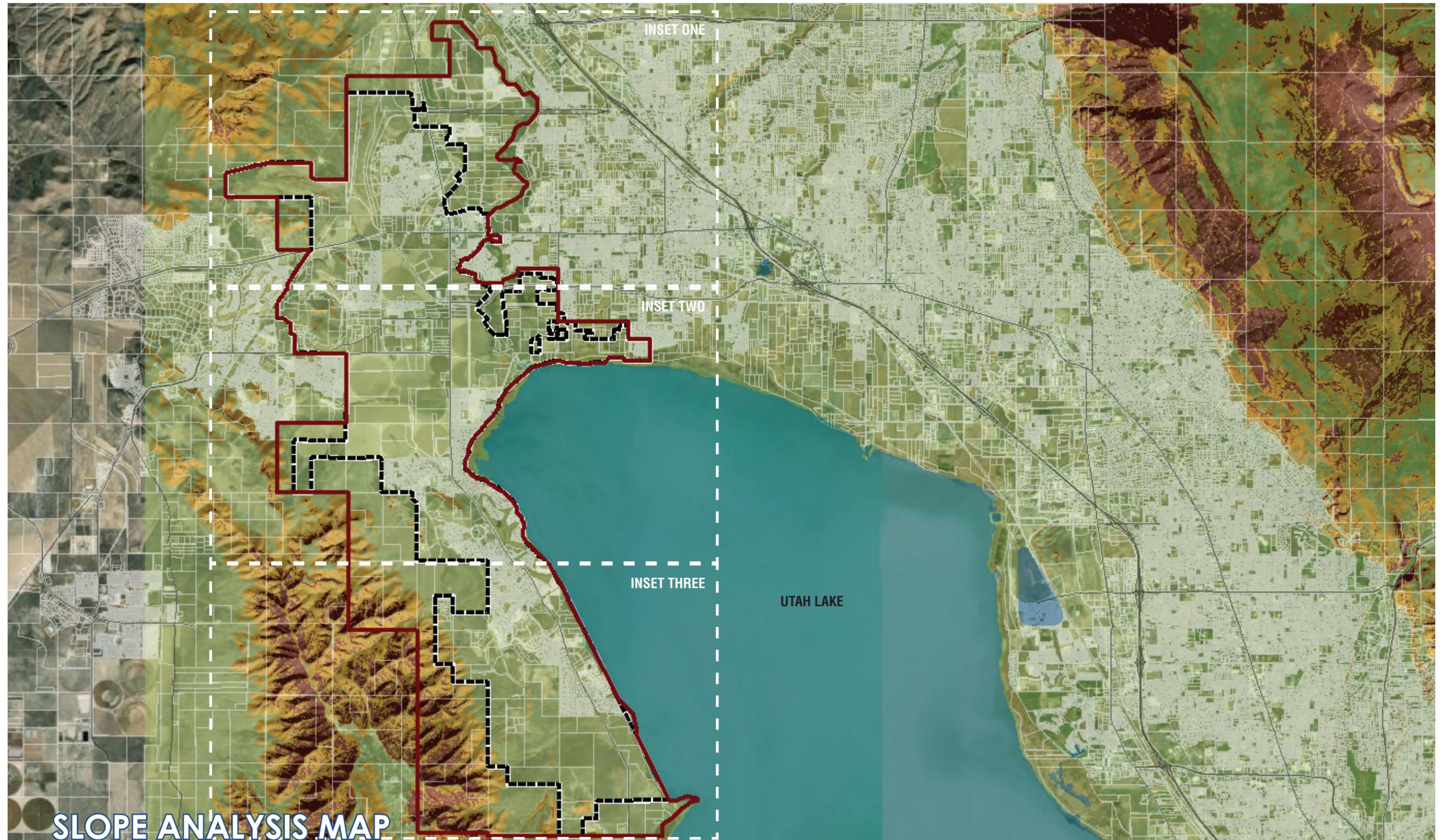
12. Drainage corridor and flood zone protection.

- a. **Filling and dredging.** Filling or dredging of natural drainage channels as identified for protection by the City shall meet Engineering Standards.
- b. **Minimum setbacks.** Lots shall be setback 20 feet horizontally from the top of the required freeboard, whether ephemeral or not, of: (a) water courses; (b) gullies; and (c) major drainages as identified for protection by the City as open channels in the Storm Drain Capital Facilities Plan.

13. Responsibility for construction and maintenance of improvements. The developer shall be fully responsible for making all improvements in accordance with accepted plans.

19.10.06. Maps.

1. Slope Analysis Map
2. Slope Analysis (North) Map Enlargement
3. Slope Analysis (Central) Map Enlargement
4. Slope Analysis (South) Map Enlargement



SLOPE ANALYSIS MAP

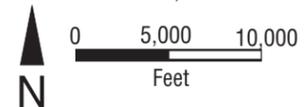
Legend

-  Property Parcels
-  City Boundary
-  Annex Boundary

Notes

-  0-14.99%
-  15-29.99%
-  30% +

1 Inch = 10,000 Feet

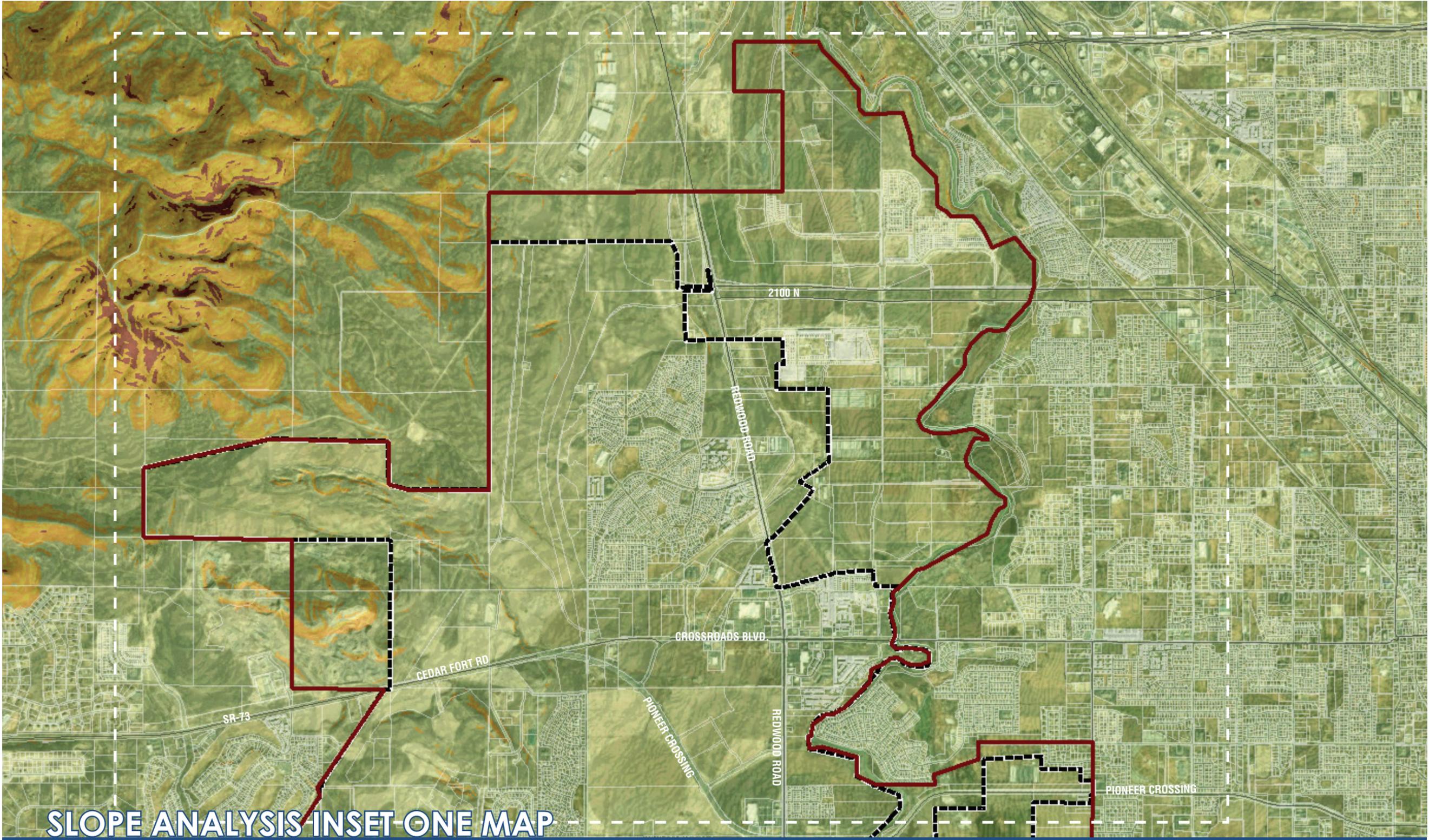


Adopted: October 2019



**SARATOGA
SPRINGS**

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SLOPE ANALYSIS INSET ONE MAP

Legend

- Property Parcels
- City Boundary
- Annex Boundary

Notes

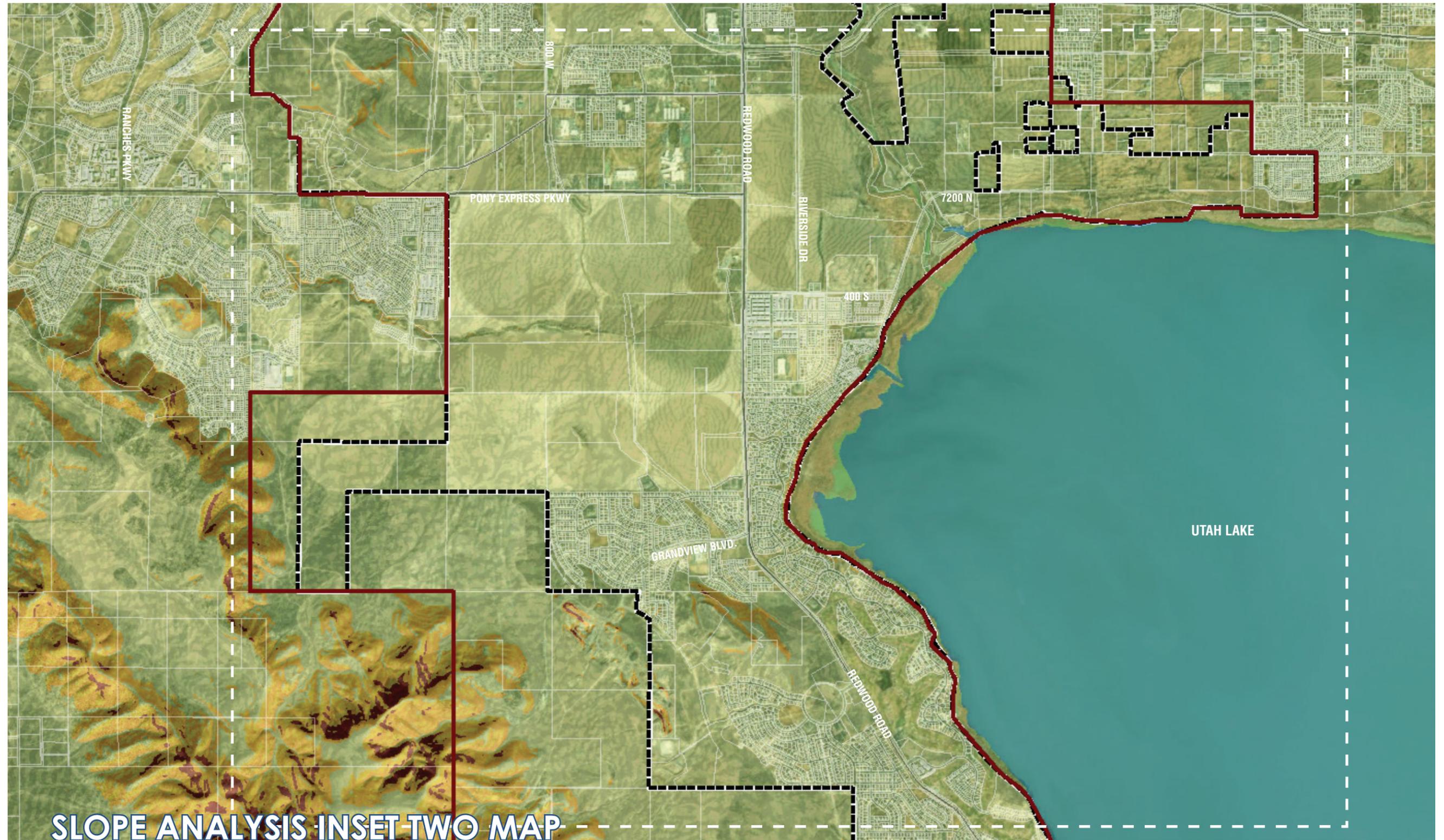
- 0-14.99%
- 15-29.99%
- 30% +

1 Inch = 3,500 Feet

Feet

Adopted: October 2019

SARATOGA SPRINGS
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SLOPE ANALYSIS INSET TWO MAP

Legend

- Property Parcels
- City Boundary
- Annex Boundary

Notes

- 0-14.99%
- 15-29.99%
- 30% +

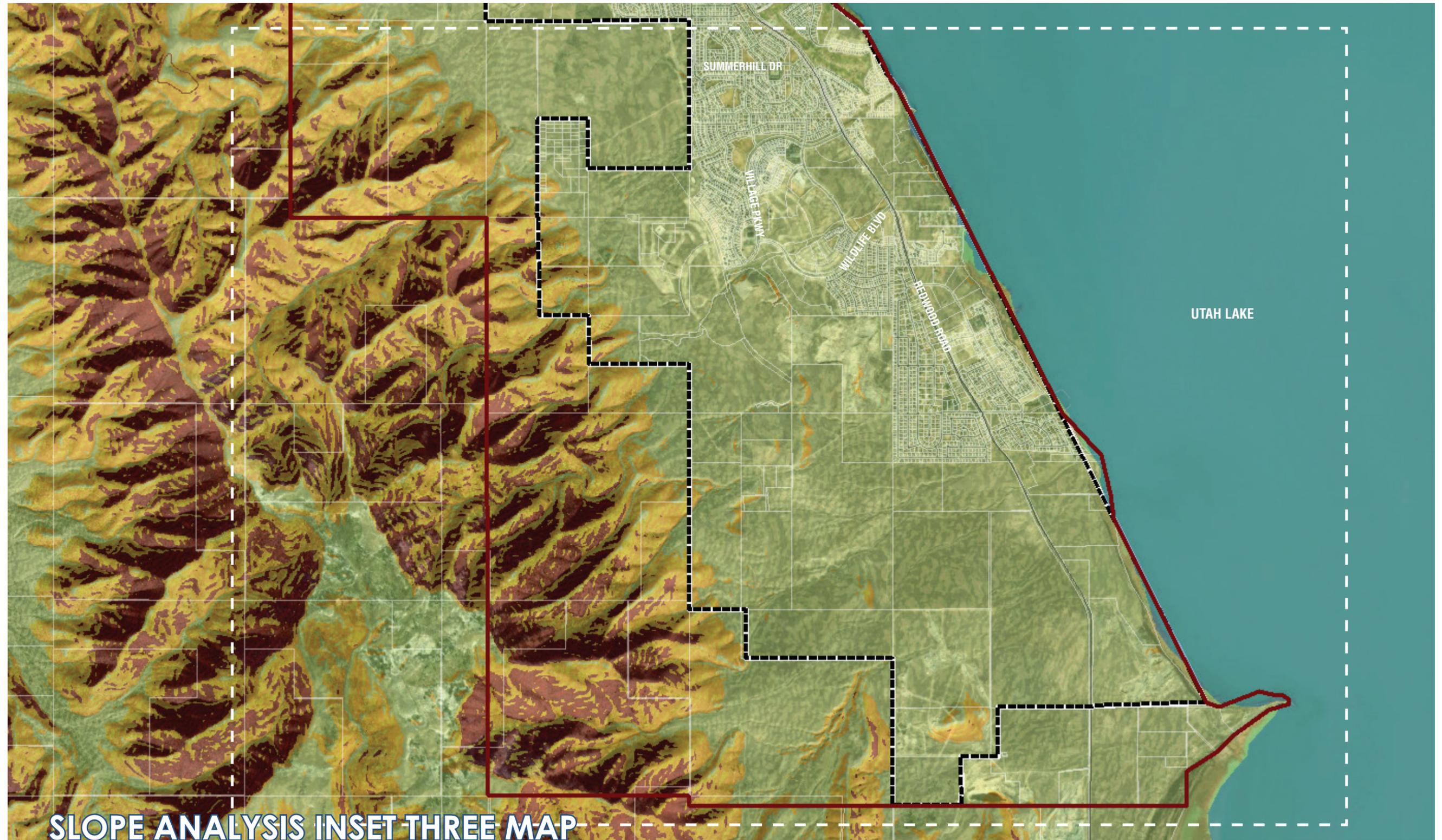
1 Inch = 3,500 Feet

0 1,750 3,500
Feet

Adopted: October 2019



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SLOPE ANALYSIS INSET THREE MAP

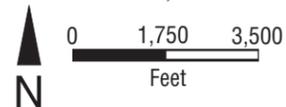
Legend

-  Property Parcels
-  City Boundary
-  Annex Boundary

Notes

-  0-14.99%
-  15-29.99%
-  30% +

1 Inch = 3,500 Feet



Adopted: October 2019



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SPRINGS**
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MINUTES – Planning Commission

Thursday, June 25, 2020

City of Saratoga Springs City Offices

1307 North Commerce Drive, Suite 200, Saratoga Springs, Utah 84045

PLANNING COMMISSION MEETING MINUTES

Call to Order - 6:00 p.m. by Chairman Troy Cunningham

Present: Via Video Conference

5 Commission Members: Bryce Anderson, Troy Cunningham, Ken Kilgore, Reed Ryan, Josh Wagstaff.
Staff: Dave Stroud, Planning Director; Sarah Carroll, Senior Planner; Conrad Hafen, Assistant City Attorney; Gordon Miner, City Engineer; David Johnson, Economic Development Director; Nicolette Fike, Deputy Recorder.
Others: Chris Hupp

10 **Excused:** Audrey Barton

1. **Pledge of Allegiance** - led by Commissioner Cunningham

2. **Roll Call** – A quorum was present

15 3. **Public Hearing: Community Plan major amendment and Village Plan major amendment for University of Utah. Located at Pioneer Crossing and Market Street. U of U, applicant.**

20 Senior Planner Carroll presented the amendments. The Community Plan proposes increasing acreage from 20 to 33 acres and then allocating additional density from the District Area Plan for a range of 523,073 sq.ft. up to 1,247,328 sq.ft. and an ERU range of 242-576. The Village Plan covers the entire area of the Community Plan and proposes to apply this square footage to a medical complex.
Chris Hupp was present as applicant with PSOMAS.

25 **Public Hearing Open** by Chairman Troy Cunningham. Receiving no public comment, the public hearing was closed by the Chair.

Commissioner Kilgore

- 30 - Asked how applicant responded to additional requirements. Chris Hupp explained that with the amount of money University of Utah is spending because of COVID they didn't have funds for the traffic study at this time. They know it is required and are fine with that and all the conditions.
- Asked about Open Space percentage differences. Chris Hupp advised the difference is the Internal vs. the Perimeter.
- Asked staff if they had a timeline for secondary water. City Engineer Gordon Miner advised the secondary water was in place for this parcel. Chris Hupp noted it will be updated on the plans.

35 **Motion made by Commissioner Anderson to forward a positive recommendation to the City Council for the University of Utah Community Plan amendment with the Findings and Conditions in the Staff report. Seconded by Commissioner Kilgore. Aye: Bryce Anderson, Troy Cunningham, Ken Kilgore, Reed Ryan, Josh Wagstaff. Motion passed 5 - 0.**

40 **Motion made by Commissioner Kilgore to forward a positive recommendation to the City Council for the University of Utah Village Plan amendment with the findings and conditions in the Staff Report. Seconded by Commissioner Anderson. Aye: Bryce Anderson, Troy Cunningham, Ken Kilgore, Reed Ryan, Josh Wagstaff. Motion passed 5 - 0.**

45 4. **Public Hearing: Continued Item from June 11, 2020: Amendments to Land Development Code, Title 19.10 – Hillside Development. City initiated.**

Senior Planner Sarah Carroll presented the proposed changes. Staff has worked on this project for about 18 months. The draft was put together by a consultant and reviewed by the committee. Developers who own

50 affected property were also able to review it. The goal is to establish enforceable regulations including among other things: vegetation, grading limits, cuts & fills, and benching.

Public Input Open by Chairman Troy Cunningham Receiving no public comment, the public hearing was closed by the Chair.

55

Commissioner Anderson

- Asked about the process to form the committee and reviews and was curious as to what kind of comments did developers help with. Senior Planner Sarah Carroll noted the types of comments and that all the feedback was helpful and edits were made accordingly.
- 60 - In response to question, received clarification from Senior Planner Sarah Carroll that when this code passes it would not apply to any current application, they would be vested. It would only apply to applications after it was passed.

Commissioner Kilgore

- 65 - Was concerned about added cost of applying for development and how this compares to other cities. Senior Planner Sarah Carroll noted they based the initial draft off of other cities in the initial review. She did note costs were discussed with developers and they were able to scale back from the initial draft. City Engineer Gordon Miner advised every development requires geo tech report already, this will add another element that will cost a little more; however, it is valuable and necessary information. He thinks the costs are more about impact on the project vs. cost of the studies. The feedback was valuable and it helped refine the ordinance so the impact of it was minimal. He noted that Senior Planner Sarah Carroll deserved a lot of kudos on this project.

70

Commissioner Ryan

- 75 - Appreciated the explanation of the process and that it affects more than just planning. He thinks what we have after the long process is a polished product. He noted some corrections needed after proof reading.

Motion made by Commissioner Anderson that Based upon the evidence and explanations received today, I move to recommend approval to the City Council to repeal and replace Section 19.10 of the Land Development Code, as attached, with the Findings and Conditions contained in the staff report. Seconded by Commissioner Ryan. Aye: Bryce Anderson, Troy Cunningham, Ken Kilgore, Reed Ryan, Josh Wagstaff. Motion passed 5 - 0.

80

Order of items was changed here from agenda.

85

5. **Reports of Action.** – No Reports were needed.
6. **Commission Comments.** – No comments were made.
- 90 7. **Director’s Report.** – No comments were made.
8. **Approval of Minutes: June 11, 2020**

Motion made by Commissioner Ryan to approve the minutes of June 11, 2020. Seconded by Commissioner Kilgore. Aye: Bryce Anderson, Troy Cunningham, Ken Kilgore, Reed Ryan, Josh Wagstaff. Motion passed 5 - 0.

95

9. **Possible motion to enter into closed session** – No closed session was held.

- 100 10. **Meeting Adjourned Without Objection at 6:28 p.m. by Chairman Troy Cunningham.**

Date of Approval

Planning Commission Chair

105

Deputy City Recorder

DRAFT

ORDINANCE NO. 20-25 (7-21-20)

**AN ORDINANCE OF THE CITY OF SARATOGA SPRINGS,
UTAH, (“CITY”) ADOPTING AMENDMENTS TO TITLE 19
OF THE SARATOGA SPRINGS CITY CODE AND
ESTABLISHING AN EFFECTIVE DATE**

WHEREAS, on September 6, 2011, pursuant to Utah Code § 10-3-707, the City Council of the City of Saratoga Springs, Utah (“City Council”) codified ordinances previously adopted; and

WHEREAS, pursuant to authority granted in Utah Code Annotated § 10-3-701 et seq., the City Council may adopt and amend laws, ordinances, regulations, and codes that comprise the regulatory, penal, and administrative ordinances of the City of Saratoga Springs; and

WHEREAS, the City Council has reviewed the City Code and finds that further amendments to the City Code are necessary to accomplish the purposes in Utah Code Annotated § 10-3-701 et seq.; and

WHEREAS, pursuant to Utah Code Chapter 10-9a, a legislative body such as the City Council may enact or amend land use regulations so long as such advances the purposes in Chapter 10-9a and a duly-noticed public hearing was first held by the planning commission; and

WHEREAS, the Saratoga Springs Planning Commission held a public hearing, after the required public notice, on June 25, 2020 and forwarded a positive recommendation to the City Council with or without amendments; and

WHEREAS, the City Council has reviewed the Planning Commission’s recommendation and all public comment received at the Planning Commission public hearing; and

WHEREAS, the City Council hereby finds that the amendments attached as Exhibit A advance the purposes of Utah Code Chapter 10-9a and further the public health, safety, and welfare of Saratoga Springs residents.

NOW THEREFORE, the City Council ordains as follows:

SECTION I – ENACTMENT

The amendments to Title 19 of the City Code attached as Exhibit A, incorporated herein by this reference, are hereby enacted. Section 19.10 shall be repealed in its entirety and replaced.

SECTION II – AMENDMENT OF CONFLICTING ORDINANCES

If any ordinances, resolutions, policies, or zoning maps of the City of Saratoga Springs heretofore adopted are inconsistent herewith they are hereby amended to comply with the provisions hereof. If they cannot be amended to comply with the provisions hereof, they are hereby repealed.

SECTION III – EFFECTIVE DATE

This ordinance shall take effect upon its passage by a majority vote of the Saratoga Springs City Council and following notice and publication as required by the Utah Code.

SECTION IV – SEVERABILITY

If any section, subsection, sentence, clause, phrase, or portion of this ordinance is, for any reason, held invalid or unconstitutional by any court of competent jurisdiction, such provision shall be deemed a separate, distinct, and independent provision, and such holding shall not affect the validity of the remaining portions of this ordinance.

SECTION V – PUBLIC NOTICE

The Saratoga Springs Recorder is hereby ordered, in accordance with the requirements of Utah Code §§ 10-3-710–711, to do as follows:

- a. deposit a copy of this ordinance in the office of the City Recorder; and
- b. publish notice as follows:
 - i. publish a short summary of this ordinance for at least one publication in a newspaper of general circulation in the City; or
 - ii. post a complete copy of this ordinance in three public places within the City.

ADOPTED AND PASSED by the City Council of the City of Saratoga Springs, Utah, this 21st day of July, 2020.

Signed: _____
Jim Miller, Mayor

Attest: _____
Cindy LoPiccolo, City Recorder

VOTE

Chris Carn	_____
Michael McOmber	_____
Ryan Poduska	_____
Chris Porter	_____
Stephen Willden	_____

EXHIBIT A
Title 19 Amendments

Chapter 19.10. Hillside Development Ordinance

Sections:

- 19.10.01. Purpose.**
- 19.10.02. Definitions.**
- 19.10.03. Scope and Application.**
- 19.10.04. Required Plans and Reports.**
- 19.10.05. Hillside Development Standards.**
- 19.10.06. Maps.**

19.10.01. Purpose.

1. The provisions of this Chapter are enacted in order to provide standards, guidelines, and criteria for minimizing flooding, erosion, and other environmental hazards that may result from the development of hillsides within the City. In addition, these standards are intended to protect the natural scenic character of hillsides and especially sensitive lands that may not be suitable for development.
2. This Chapter outlines the requirements for the development of areas within the City limits that contain slopes equal to or greater than fifteen percent. No development shall occur on slopes equal or greater than fifteen percent except as specifically allowed in this Chapter. Slope maps at the end of this section identify applicable areas.
3. To achieve the intent of this Chapter, it is required that professionals, qualified in each of the disciplines addressed herein, be used to provide creative and appropriate designs in hillside areas.

19.10.02. Definitions.

1. **“Buildable Area”** means the portion of a lot upon which buildings may be placed in compliance with required setbacks, lot coverage restrictions, and other applicable provisions of City Code.
2. **“Development Activity”** means the definition as specified in Utah Code Section 10-9a-103.
3. **“Engineering Standards”** means the current version of the City of Saratoga Springs Standard Technical Specifications and Drawings Manual.
4. **“Landslide”** means the movement of a mass of rock, debris, or earth down a slope. Landslides are a type of “mass wasting,” which denotes any down-slope movement of soil and rock under the direct influence of gravity.

5. **“Limits of Disturbance”** means the specific area on a site where construction and development activity shall be contained, except as otherwise provided in this Chapter.
6. **“Low Impact Development (LID)”** means principles that mimic nature by using techniques that infiltrate, evapotranspire, and/or harvest/reuse the runoff generated from storm water to partially retain precipitation onsite, per City storm water regulations.
7. **“Maximum Extent Practicable”** means:
 - a. able to be constructed or implemented consistent with sound science and engineering principles; and
 - b. economically and otherwise reasonable in light of the societal and environmental benefits to be gained.
8. **“Slope Map”** means a topographical map portraying the steepness or degree of inclination of a feature relative to the horizontal plane.
9. **“Terracing or Terraces”** means grading of slopes, typically long and linear, to accommodate flat buildable areas. Terracing, also referred to as benching or stepping, leaves steps on the side of the excavation that can either be a single or multiple terrace.
10. **“Topographical Survey”** means a survey that gathers data about the elevation of points on a piece of land and presents them as contour lines on a plot. The purpose of a topographic survey is to collect survey data about the natural and man-made features of the land, as well as its elevations.
11. **“Vegetation, invasive or noxious weeds”** means a non-native plant which grows aggressively, spreads, and displaces other plants, and/or is harmful or poisonous vegetation. Refer to Utah Noxious Weed Act and Engineering Standards to determine which species are considered to be noxious or invasive.
12. **“Vegetation, native or adapted”** means plants that are indigenous to a specific area or have special features that allow them to live in a particular habitat in the City. This includes plants that have developed, occur naturally, or existed for many years in an area. Refer to Engineering Standards for a list of specific species.
13. **“Vegetation Preservation Plan”** means the identification, preservation and protection of existing native vegetation that minimizes exposed soils and erosion.

19.10.03. Scope and Application.

1. The provisions of this Chapter are intended to supplement those set forth in this Title 19 and the City’s Engineering Standards. In the event of conflict, the more restrictive provision shall apply.
2. The provisions of this chapter shall apply to all plats, site plans, building permits, development, Community Plans, Village Plans, and Neighborhood Plans within the City, which shall demonstrate compliance with this Chapter

3. The provisions of this Chapter provide regulations for grading, filling, and excavating in order to avoid risks of erosion, flooding, landslide, or any other unsafe condition.
4. Detailed reports and plans are required for new developments as outlined in this Chapter and must be approved by City Staff before any construction will be permitted in designated hillside areas.

19.10.04. Required Plans and Reports for All Development in the City.

1. **Requirements at Concept Plan, Village Plan, and Neighborhood Plan.** The following reports and plans shall be prepared at the expense of the applicant and shall be submitted as part of a Concept Plan, Village Plan, and Neighborhood Plan application in addition to all other City Code requirements. All reports and plans submitted herein shall be prepared by persons or firms licensed or certified to practice their specialty in the State of Utah.
 - a. **Slope Survey.** Detailed slope map derived from data no older than 5 years with a minimum of two-foot contour intervals:
 - i. The map shall identify and delineate all disturbed and undisturbed areas.
 - ii. The map shall include a color legend of the site with the existing slopes identified in increments of 0-14.99 percent, 15-29.99 percent, and 30 percent or greater.
 - b. **Lotting Plan.** Plan showing overall project layout, including:
 - i. lots with setbacks;
 - ii. limits of disturbance and buildable areas;
 - iii. open spaces; and
 - iv. roads, highways, and rights-of-way
 - c. **Conceptual Grading and Drainage Plan.** Plan which identifies at a minimum all existing and proposed drainages, areas of proposed cuts and fills, and the proposed size and scale of such areas and activities.
2. **Requirements of Development Activity, Subdivision, and Site Plan.** The following reports and plans shall be prepared at the expense of the applicant and shall be submitted as part of the Preliminary Plat or Site Plan application in addition to all other Preliminary Plat or Site Plan requirements. All reports and plans submitted herein shall be prepared by persons or firms licensed or certified to practice their specialty in the State of Utah.
 - a. **Grading and Drainage Plan.** A Grading and Drainage Plan shall be prepared by an engineer, land surveyor, or landscape architect licensed by the State of Utah. Such plan shall comply with applicable provisions of the City's Engineering Standards. All developments within the hillside overlay shall comply with the Hillside Standards in this Chapter and are subject to all of the following requirements, which compliance shall be further detailed in the Grading and Drainage Plan:

- i. A slope classification map and analysis for the development site. Two maps shall be prepared. The first shall represent the *pre-development* slope districts and the second shall represent *post-development* slope districts.
- ii. Balanced cut and fill shall be implemented to the maximum extent practicable. Balanced cut and fill measures include the following:
 - 1. avoiding stockpiling material on-site; and
 - 2. minimizing the export and import of material
- iii. All roof drainage that cannot be drained to a roadway or approved drainage system shall be managed on site via Low Impact Development principles, per City storm water regulations.
- iv. Topsoil stockpile areas shall be designated.
- v. Access or haul road locations, designs, and maintenance requirements shall be designated on the grading plan.
- vi. A written statement addressing the Hillside Development Guidelines found in 19.10.05 of this Chapter shall be submitted with the grading plan.

b. Slope Protection Plan and Requirements. A Slope Protection Plan shall be prepared by an engineer, land surveyor, or landscape architect licensed by the State of Utah and shall identify areas within the project with contiguous slopes greater than 30 percent that are required to be protected from disturbance. These areas may be located within lots if the provisions of this chapter can be met, otherwise they shall be placed in protected open space. In either case, these areas shall be identified on the development application, subdivision plan, site plan, and building plan as areas that may not be disturbed. The following standards apply to the slope protection plan:

- i. Provide a detailed slope map derived from a physical survey no older than 5 years with a minimum of two-foot contour intervals.
 - 1. The map shall identify all disturbed and undisturbed areas.
 - 2. The map shall include a color legend of the site slope percentages in increments of 0-14.99 percent, 15-29.99 percent, and 30 percent or greater.
- ii. Contiguous slopes of 30 percent or greater are to be protected, except for the following exceptions:
 - 1. Areas with slopes that exceed 30 percent may be disturbed if:
 - A. they are smaller than one-half (0.50) acre in size;
 - B. they are isolated from other areas that exceed 30 percent;
 - C. they are less than 100 feet in length and width; and
 - D. their disturbance or removal will not create unstable geologic or drainage conditions that result in damage to public or private property.
 - 2. Man-made slopes exceeding 30 percent may be disturbed if it is determined, per the geotechnical report, that the change in grade will restore the area and will improve the stability of a previously disturbed area.

3. Prior to disturbance of the slope a geotechnical report shall be prepared by a licensed engineer and shall be approved by the City Engineer, along with a grading plan.

c. Vegetation Preservation and Slope Stabilization Plan. A Slope Stabilization Plan shall be prepared by a qualified professional licensed by the state of Utah and shall contain all of the following:

- i. Location of existing vegetation on the development site, including noxious and invasive weeds, and areas of native vegetation to be preserved, containing the following details:
 1. A delineation of the area to be developed or remain as permanent native open space;
 2. An inventory or survey of the vegetation species or a subset of species (such as noxious weeds) present;
 3. A map showing the area and the location of populations of each species; and
 4. A characterization of each identified plant species as native versus non-invasive or noxious.
- ii. For open space or common areas of the development proposed to remain native and cleared of existing vegetation in the course of construction, a plan for replanting with native vegetation possessing erosion control characteristics at least equal to the existing native vegetation, which was removed, in compliance with the Engineering Standards. Existing non-invasive vegetation shall be replaced in kind;
- iii. A plant schedule listing the plant species and seed mixes to be used for revegetation in accordance with City standards for revegetation species;
- iv. A plan showing how the planting and installation of revegetation will be supervised by a person or firm having expertise in the practice of revegetation (e.g., licensed landscape architects) and how the revegetation will be protected with mulch and fertilized and watered in conjunction with a planting and maintenance schedule;
- v. Slope stabilization and erosion control measures while new vegetation is being established;
- vi. Temporary irrigation as needed until established;
Plans shall comply with Utah Wildland-Urban Interface Code.

d. Geology Report. A Geology Report shall be prepared by a Geotechnical Engineer or Geologist licensed by the State of Utah. A geologic map shall accompany the report. Mapping shall reflect careful attention to the rock composition, structural elements, and surface and subsurface distribution of the earth materials exposed or inferred within both bedrock and surficial deposits. The map shall clearly distinguish the difference between observed and inferred features or relationships. The Geology Report shall contain, at a minimum, the following:

- i. Identification of any zones of deformation with respect to active faults and other mass movements of soil and rock;
- ii. Alluvial fans and other areas with debris and flood flow hazards;
- iii. Identification of anomalies of the terrain or characteristics of the geological materials which would have any potential impact upon the use of the site;
- iv. Active or inactive landslide areas;
- v. Identification of all rock fall zones; and
- vi. Written recommendations for construction of proposed structures or public improvements to minimize or avoid impacts of potential geologic hazards (as prepared by a Geotechnical Engineer).

e. Fire Protection Report. A Fire Protection Report, approved by the Fire Marshall, shall be prepared to assess fire probability and potential hazards. The plan shall be prepared by a person or agency qualified by training and experience and approved by the City Fire Marshall. The Fire Protection Report is a separate and independent obligation from the Fire Protection Plan that may be required by the Fire Marshall or Building Official in the Wildland-Urban Interface Code, Fire Code, or Building Code. The Fire Protection Report shall include the following:

- i. The width and approximate location of any easement required for access of fire protection equipment;
- ii. The width and approximate location of recommended fuel breaks on the development site; and
- iii. A letter from the Fire Marshall specifying required fire protection measures and fire suppression flow.

f. Physical Constraints Report. A report prepared by a licensed geologist or geotechnical engineer demonstrating that buildings, structures, or building envelopes shall not be placed on or within any of the following areas:

- a. natural or manmade slopes exceeding 30 percent with the exception of terracing to accommodate walk-out basements;
- b. within the distance recommended by the Geology Report of any fault line;
- c. areas considered as navigable, interstate waters, or areas having an significant nexus to such waters per federal law, within the jurisdiction of the United States or State of Utah such as wetlands, drainages, streams, rivers, and lakes, whether or not ephemeral, without the proper permits (or letter exempting the area from such jurisdiction) through the Utah Division of Water Rights and United States Army Corps of Engineers or other state or federal entity having jurisdiction;
- d. landslide hazard areas, except that lots, but not buildings or building envelopes, may be included in landslide areas if supported by the required geotechnical report;
- e. an area of flood hazard as defined and specified in Chapter 18.02;
- f. areas of springs, seeps, or surface water areas.
 - i. These areas are defined as follows:

1. Spring: A spring is any natural situation where water flows from an aquifer.
 2. Seep: A seep is a moist or wet place where water, usually ground, reaches the earth's surface from an underground aquifer.
 3. Surface water areas: Surface water is water on the surface such as in a river, lake, or wetland.
- g. existing or master planned detention basins, roads, and utility corridors.

19.10.05. Hillside Development Guidelines.

1. **General Guidelines.** A written statement addressing the following guidelines shall be submitted with the grading plan:
 - a. Development shall be concentrated in the flattest areas of the site in order to preserve as much of the natural terrain as possible.
 - b. Varied lot sizes and designs shall be utilized in order to reduce the amount of grading required and preserve natural landforms.
 - c. Building pads shall be located in order to preserve as much of the natural terrain as possible.
 - d. Lots and buildings shall be designed to fit the natural contour of the site rather than the site being altered to fit a particular structure type.
 - e. Large flat pads shall be avoided in favor of stepped pads, or split-level structures that follow the general contours of the site.

2. **Limits of Disturbance.** No building or other structure is allowed on slopes greater than 30 percent. No excavation, grading, or permanent clearing shall be allowed on slopes greater than 30 percent, without the necessary plans and methods implemented as outlined in this Chapter.

3. **Limits on grading.** Grading shall comply with the following standards, in addition to the standards within other applicable Chapters:
 - a. All cut, filled, and graded slopes and transitions shall be re-contoured to blend into the grade of surrounding land.
 - b. The outside corners or edges of all permanent cut and fill slopes shall be rounded to eliminate sharp corners and shall have a minimum curvature radius of at least five feet.
 - c. All permanent cuts and fills shall be constructed and stabilized to prevent settlement, sliding, and erosion.
 - d. Mass grading and benching of hillside areas to create large flat building envelopes for multiple homes shall be avoided. Instead, smaller stepped envelopes for each home shall be used that follow the existing topography.
 - e. Cut and fill slopes exceeding 50 percent shall be retained.
 - f. The maximum slope of driveways shall not exceed 15 percent and shall minimize disturbance to natural terrain.
 - g. Terracing shall be used to facilitate the completion of balanced cut and fill slopes as well as to reduce overall impacts to slopes.

4. **Limits on changes to established lot grades** The elevation of an established lot shall not be permanently raised or lowered more than 6 feet at any point for construction of any structure or improvement, except:
 - a. Areas outside the building pad but within the lot may be raised or lowered more than 6 feet if a retaining wall or other slope protection measure is used to reduce the steepness of man-made slopes, provided that the retaining wall complies with the provisions of this Chapter.

5. **Limits on man-made slopes.**
 - a. Maximum cuts and fills shall not exceed 25 feet in height unless it is determined, per a geotechnical report, that the change in grade will restore the area and will improve the stability of a previously disturbed area.
 - b. The grade of man-made slopes shall not exceed 50 percent without being retained.
 - c. All cut, filled, and graded slopes shall be re-contoured and stabilized, as per this Chapter, to blend into the natural grade of surrounding land.
 - d. All permanent fills shall be constructed and stabilized to prevent settlement, sliding, or erosion damage to streets, curbs, gutters, sidewalks, or buildings.

6. **Terracing and retaining walls.** Use of retaining walls is encouraged to reduce the steepness of man-made slopes as outlined herein. Cutting terraces combined with the use of retaining walls may be implemented to create buildable areas, to minimize or alleviate potential erosion to hillsides, and to establish planting pockets conducive to revegetation of hillsides. The following standards shall apply:
 - a. Individual retaining walls may be permitted to support steep slopes but shall not exceed 10 feet in height measured from adjacent finished grade.
 - b. When the overall retained height would exceed ten feet, the retaining wall shall be segmented into a maximum of three stepped walls with no individual wall exceeding six feet in height as measured from the lowest adjacent grade to the top of the wall.
 - c. Retaining walls taller than 4 feet shall be separated from any other retaining wall by a minimum distance of 3 horizontal feet or half the height of the highest wall, whichever is greater. Terraces created between retaining walls shall be permanently landscaped or re-vegetated per City Code.
 - d. A building permit shall be obtained if required by the Building Code. The lot owner or developer may be required to obtain documentation from the building official that a building permit is not required.
 - e. The parabolic slip plane mode of failure of the retaining wall system shall be used to determine height and wall separation. (See Figure 2.)

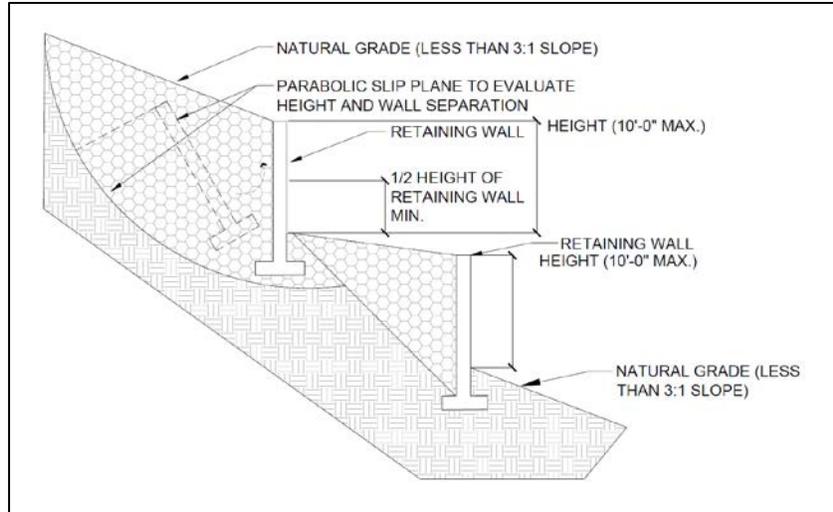
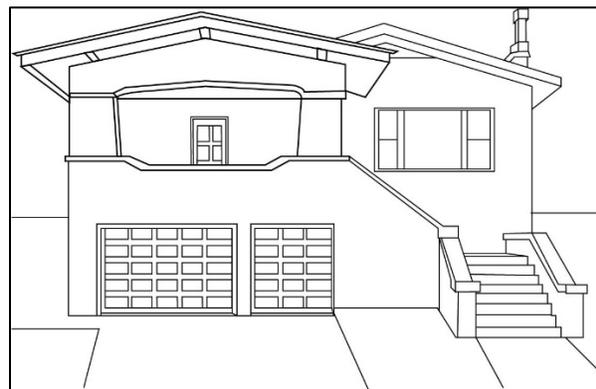
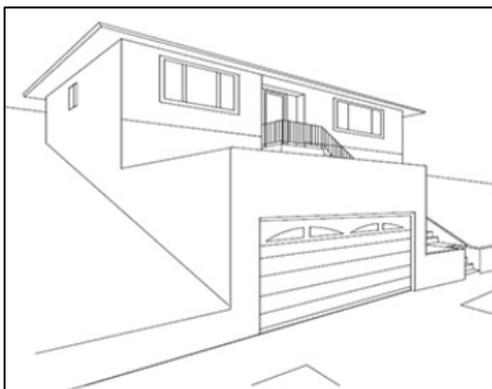


FIGURE 2

7. **Structures.** Additional grading for structures shall be determined on an individual lot basis, shall be minimized by designing the house to fit the natural slopes, and shall meet the following requirements:
- The general location and magnitude of cuts and fills shall be identified with each site plan.
 - Where building masses orient against the lot's existing contours, the structures shall be stepped with the grade and broken into a series of individual smaller components.
 - Structures and foundation types shall be utilized that are compatible with the existing hillside conditions and require less grading. Split-level, embedded structures, and stepped foundations shall be utilized.
 - Building height shall comply with the requirements in the specific zone using the definition in 19.02.
 - No more than four feet of the foundation may be exposed on the fronts of the structure and no more than six feet on the sides and backs of the structure.



8. **Preservation of existing vegetation.** Existing concentrations of significant trees and vegetation shall be preserved, except that noxious or invasive trees and vegetation and sage brush are not required to be preserved.

- a. For the purposes of this subsection, “significant trees and vegetation” means:
 - i. Large trees of 6-inch caliper or greater; and
 - ii. Groves of five or more smaller trees, or clumps of shrubs covering an area of 50 square feet or more measured at the drip lines.
- b. Areas with significant trees and non-invasive vegetation may not be disturbed unless specifically approved by the City, based on a replacement plan as described in Chapter 19.06.

9. Revegetation.

- a. Any permanent slope exposed or created in new development shall be landscaped or revegetated with native or adapted trees and other native or adapted plant material.
- b. New vegetation shall be equivalent to, or exceed, the density and erosion-control characteristics of the original vegetation cover to mitigate adverse environmental and visual effects.
- c. All existing native or adapted vegetation within and adjacent to major drainage channels shall be preserved to the maximum extent practical.
- d. All areas of the site where removal of native or adapted natural vegetation in the course of development will occur shall be replanted with native or adapted trees and plants. The vegetation shall possess erosion control characteristics (such as fast growing and deep roots) at least equal to the native or adapted vegetation which was removed. These may be replaced within other areas of the site such as open space, common areas, or street trees.
- e. Use of fire-resistant plants for revegetation is strongly encouraged and shall be required if the area is located in a Wildland-Urban Interface area per the City’s Fire Code. (For a list of fire-resistant plants, refer to the Wildland-Urban Interface, contact the local Forest Service, or contact the Utah Division of Forestry, Fire, and State Lands.)
- f. All disturbed areas shall be stabilized no later than 30 days after the disturbance is complete. Reseeding may be delayed until the earliest planting season thereafter if temporary stabilization measures are implemented in the interim.

10. Buildable Area and Limits of Disturbance.

- a. Slopes greater than 30 percent shall be identified on the plat and restricted on the plat as protected, undisturbed areas. A lot may contain existing natural grades in excess of 30 percent if the following conditions are met:
 - i. The subdivision plat clearly identifies the limits of disturbance and each lot contains a buildable area that is:
 - 1. at least 2000 square feet of contiguous area;
 - 2. a minimum dimension of 30 feet in any direction;
 - 3. no greater than 30 percent in slope; and
 - 4. contained within the building setbacks of a proposed lot.
 - ii. Slopes greater than 30 percent shall be recorded on the plat or site plan with a prohibition on their disturbance.

- iii. No grading, building, accessory building, or structure will be allowed outside of the limits of disturbance as delineated on the respective plat or site plan.
- iv. Access and driveways shall be included within the limits of disturbance for a lot.
- v. No grading related to the construction of the structure shall occur outside the limits of disturbance.
- b. The buildable area and limits of disturbance must be recorded on the plat along with an easily identified location for clear access.

11. Streets and hard surface trail access and driveways.

- a. Streets and hard surface trails and driveways may cross slopes over 30 percent and up to 50 percent if deemed necessary by the Development Review Committee (DRC). Approval shall be based on the following findings:
 - i. No alternate location for access is feasible or available.
 - ii. No individual segment or increment of the street or trail crossing these slopes exceeds 1500 feet in length.
 - iii. Visual, environmental, and safety impacts from the street or trail crossing shall be mitigated as outlined in the revegetation, grading, and erosion sections of this chapter.
- c. The developer shall dedicate to the City a slope easement for any cut or fill slope created by construction of a street on a hillside which is not contained within the public right-of-way to allow for future road maintenance or reconstruction of the road.
- d. Points of access shall be provided to all developed and undeveloped land for emergency firefighting equipment.
- e. Emergency vehicle access shall be provided to trails in canyons, drainages, and natural washes shall be provided for developments that are located adjacent to such canyons, drainages, or washes.
- f. When open space, common area, or undeveloped land is behind lots, access between homes is required every 1000 feet for emergency access.
- g. Private driveways that are longer than 150 feet shall not exceed a grade of 10 percent at any point, so as not to hinder emergency service vehicles.
- h. Driveways longer than 150 feet shall require a fire truck turn around.
- i. Access via streets and driveways require approval by the Fire Chief and shall comply with the Fire Code.

12. Drainage corridor and flood zone protection.

- a. **Filling and dredging.** Filling or dredging of natural drainage channels as identified for protection by the City shall meet Engineering Standards.
- b. **Minimum setbacks.** Lots shall be setback 20 feet horizontally from the top of the required freeboard, whether ephemeral or not, of: (a) water courses; (b) gullies; and (c) major drainages as identified for protection by the City as open channels in the Storm Drain Capital Facilities Plan.

13. Responsibility for construction and maintenance of improvements. The developer shall be fully responsible for making all improvements in accordance with accepted plans.

19.10.06. Maps.

1. Slope Analysis Map
2. Slope Analysis (North) Map Enlargement
3. Slope Analysis (Central) Map Enlargement
4. Slope Analysis (South) Map Enlargement

RESOLUTION NO. R20-33 (7-21-20)

**A RESOLUTION APPROVING THE NATIONAL RESOURCES
CONSERVATION SERVICE (NRCS) EMERGENCY WATERSHED
PROTECTION (EWP) PROGRAM GRANT AGREEMENT AND
AUTHORIZING THE CITY MANAGER TO ENTER INTO CONTRACTS FOR
GOODS AND SERVICES**

WHEREAS, the City applied for and has received approval for funding from the NRCS through their EWP program to mitigate flooding due to the Knolls fire in an amount of \$793,150; and

WHEREAS, the NRCS EWP program has a 25% local match requirement that would equal \$233,967 for a total project budget of \$1,027,117 (\$793,150 + \$233,967); and

WHEREAS, the City Council of the City of Saratoga Springs has found it in the public's interest to enter into an agreement with the NRCS and to obtain services from qualified engineering firms, construction companies, and vendors to provide goods and services to furnish and install mitigation measures in accordance with the NRCS EWP Program Grant; and

WHEREAS, the City Council has determined that awarding engineering and construction contracts, upon soliciting and receiving of bids in accordance with the City's procurement policy, to furnish and install mitigation measures in accordance with the NRCS EWP Program Grant is in the best interest of the public, will further the public health, safety, and welfare, and will assist in the efficient administration of City government and public services.

NOW THEREFORE, BE IT RESOLVED by the governing body of the City of Saratoga Springs, Utah, that the City Manager be authorized to enter into an agreement with the NRCS and to negotiate and enter into contract with one or more engineering firms, construction companies, and vendors in an amount not to exceed \$1,027,117.

This resolution shall take effect immediately upon passage.

PASSED on the 21st of July, 2020.

**CITY OF SARATOGA SPRINGS
A UTAH MUNICIPAL CORPORATION**

Jim Miller, Mayor

Attest: _____
Cindy LoPiccolo, City Recorder

BUDGET INFORMATION - Construction Programs

NOTE: Certain Federal assistance programs require additional computations to arrive at the Federal share of project costs eligible for participation. If such is the case, you will be notified.

COST CLASSIFICATION	a. Total Cost	b. Costs Not Allowable for Participation	c. Total Allowable Costs (Columns a-b)
1. Administrative and legal expenses & all other TA costs	\$.00	\$.00	\$.00
2. Land, structures, rights-of-way, appraisals, etc.	\$.00	\$.00	\$.00
3. Relocation expenses and payments	\$.00	\$.00	\$.00
4. Architectural and engineering fees (see 1 above) TA	\$.00	\$.00	\$.00
5. Other architectural and engineering fees (see 1 above) TA	\$.00	\$.00	\$.00
6. Project inspection fees (see 1 above) TA	\$.00	\$.00	\$.00
7. Site work	\$.00	\$.00	\$.00
8. Demolition and removal	\$.00	\$.00	\$.00
9. Construction FA	\$.00	\$.00	\$.00
10. Equipment	\$.00	\$.00	\$.00
11. Miscellaneous	\$.00	\$.00	\$.00
12. SUBTOTAL (sum of lines 1-11)	\$.00	\$.00	\$.00
13. Contingencies	\$.00	\$.00	\$.00
14. SUBTOTAL	\$.00	\$.00	\$.00
15. Project (program) income	\$.00	\$.00	\$.00
16. TOTAL PROJECT COSTS (subtract #15 from #14)	\$.00	\$.00	\$.00
FEDERAL FUNDING			
17. Federal assistance requested, calculate as follows: (Consult Federal agency for Federal percentage share.) Enter the resulting Federal share.	100 % of TA + 75% of FA Enter eligible costs from line 16c Multiply X _____%		\$.00

Application for Federal Assistance SF-424		
* 1. Type of Submission: <input type="checkbox"/> Preapplication <input checked="" type="checkbox"/> Application <input type="checkbox"/> Changed/Corrected Application	* 2. Type of Application: <input checked="" type="checkbox"/> New <input type="checkbox"/> Continuation <input type="checkbox"/> Revision	* If Revision, select appropriate letter(s): _____ * Other (Specify): _____
* 3. Date Received: _____	4. Applicant Identifier: _____	
5a. Federal Entity Identifier: _____	5b. Federal Award Identifier: _____	
State Use Only:		
6. Date Received by State: _____	7. State Application Identifier: _____	
8. APPLICANT INFORMATION:		
* a. Legal Name: Saratoga Springs City		
* b. Employer/Taxpayer Identification Number (EIN/TIN): 87-0575087	* c. Organizational DUNS: 1699143350000	
d. Address:		
* Street1: 213 N. 900 E.	_____	
Street2:	_____	
* City: Saratoga Springs	_____	
County/Parish: Utah County	_____	
* State: UT: Utah	_____	
Province:	_____	
* Country: USA: UNITED STATES	_____	
* Zip / Postal Code: 84045-0000	_____	
e. Organizational Unit:		
Department Name: Public Works	Division Name: _____	
f. Name and contact information of person to be contacted on matters involving this application:		
Prefix: Mr.	* First Name: Jeremy	_____
Middle Name:	_____	
* Last Name: Lapin	_____	
Suffix:	_____	
Title: Public Works Director		
Organizational Affiliation: _____		
* Telephone Number: 801-766-6506 ext171	Fax Number: _____	
* Email: JLapin@saratogaspringscity.com		

Application for Federal Assistance SF-424

*** 9. Type of Applicant 1: Select Applicant Type:**

C: City or Township Government

Type of Applicant 2: Select Applicant Type:

Type of Applicant 3: Select Applicant Type:

* Other (specify):

*** 10. Name of Federal Agency:**

USDA-Natural Resources Conservation Service

11. Catalog of Federal Domestic Assistance Number:

10.923

CFDA Title:

Emergency Watershed Protection Program

*** 12. Funding Opportunity Number:**

N/A

* Title:

N/A

13. Competition Identification Number:

N/A

Title:

N/A

14. Areas Affected by Project (Cities, Counties, States, etc.):

Add Attachment

Delete Attachment

View Attachment

*** 15. Descriptive Title of Applicant's Project:**

Saratoga Springs City Emergency Watershed Protection FY20 Knolls Fire

Attach supporting documents as specified in agency instructions.

Add Attachments

Delete Attachments

View Attachments

Application for Federal Assistance SF-424

16. Congressional Districts Of:

* a. Applicant [UT-4]

* b. Program/Project [UT-4]

Attach an additional list of Program/Project Congressional Districts if needed.

[] [Add Attachment] [Delete Attachment] [View Attachment]

17. Proposed Project:

* a. Start Date: [07/31/2020]

* b. End Date: [03/08/2021]

18. Estimated Funding (\$):

* a. Federal	[793,150.00]
* b. Applicant	[233,967.00]
* c. State	[]
* d. Local	[]
* e. Other	[]
* f. Program Income	[]
* g. TOTAL	[1,027,117.00]

*** 19. Is Application Subject to Review By State Under Executive Order 12372 Process?**

- a. This application was made available to the State under the Executive Order 12372 Process for review on []
- b. Program is subject to E.O. 12372 but has not been selected by the State for review.
- c. Program is not covered by E.O. 12372.

*** 20. Is the Applicant Delinquent On Any Federal Debt? (If "Yes," provide explanation in attachment.)**

Yes No

If "Yes", provide explanation and attach

[] [Add Attachment] [Delete Attachment] [View Attachment]

21. *By signing this application, I certify (1) to the statements contained in the list of certifications** and (2) that the statements herein are true, complete and accurate to the best of my knowledge. I also provide the required assurances** and agree to comply with any resulting terms if I accept an award. I am aware that any false, fictitious, or fraudulent statements or claims may subject me to criminal, civil, or administrative penalties. (U.S. Code, Title 218, Section 1001)

** I AGREE

** The list of certifications and assurances, or an internet site where you may obtain this list, is contained in the announcement or agency specific instructions.

Authorized Representative:

Prefix: [Mr.] * First Name: [Mark]

Middle Name: [James]

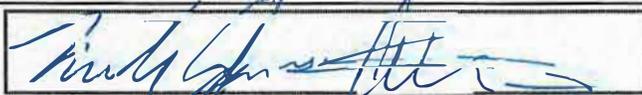
* Last Name: [Christensen]

Suffix: []

* Title: [City Manager]

* Telephone Number: [801-766-9793 ext 111] Fax Number: []

* Email: [markc@saratogaspringcity.com]

* Signature of Authorized Representative: 

* Date Signed: [07/07/2020]

INTERLOCAL COOPERATION AGREEMENT BETWEEN UTAH COUNTY AND LOCAL ENTITY FOR DISBURSEMENT FROM THE CORONAVIRUS RELIEF FUND

THIS IS AN INTERLOCAL COOPERATION AGREEMENT (“Agreement”) effective the 15th day of June, 2020 by and between Utah County, a political subdivision of the State of Utah (“County”) and _____, a political subdivision of the State of Utah (“Recipient”) (collectively “parties”).

WITNESSETH:

WHEREAS, pursuant to the provisions of the Interlocal Cooperation Act (“Interlocal Act”), Title 11, Chapter 13, Utah Code Annotated, 1953 as amended, public agencies, including political subdivisions of the State of Utah as therein defined, are authorized to enter into written agreements with one another for joint or cooperative action; and

WHEREAS, pursuant to the Interlocal Act, the parties desire to work together through joint and cooperative action that will benefit the residents of Recipient and County; and

WHEREAS, the parties to this Agreement are public agencies as defined in the Interlocal Act; and

WHEREAS, earlier this year the United States of America began battling a public health emergency known as Coronavirus Disease 2019 (“COVID-19”). On March 27, 2020 and in response to COVID-19, President Trump signed the Coronavirus Aid, Relief and Economic Security Act (“CARES Act”); and

WHEREAS, the Federal Government provided \$1.25 billion to Utah state and local governments through the Coronavirus Relief Fund (“CRF”) included in section 5001 of the CARES Act. Based on the distribution formula in the CARES Act, \$934.8 million was paid to the State of Utah (“State”), \$203.6 million was paid directly to Salt Lake County, and \$111.6 million was paid directly to Utah County (the “County Allocation”). State and local governments can only use the CRF payments to respond to the COVID-19 pandemic. While the County is not required to distribute a portion of its \$111.6 million payment to local entities, the County Commission have elected to share a portion with local entities within Utah County; and

WHEREAS, the CARES Act provides that payments from CRF may only be used to cover costs that: (1) are necessary expenditures incurred due to the public health emergency with respect to COVID–19, (2) were not accounted for in the budget most recently approved as of March 27, 2020 (the date of enactment of the CARES Act) for the State or local government; and (3) were incurred during the period that begins on March 1, 2020, and ends on December 30, 2020; and

NOW, THEREFORE, the parties do mutually agree, pursuant to the terms and provisions of the Interlocal Act, as follows:

Section 1. EFFECTIVE DATE; DURATION

This Agreement shall become effective and shall enter into force, within the meaning of the Interlocal Act, upon the submission of this Agreement to, and the approval and execution thereof by Resolution of the governing bodies of each of the parties to this

Agreement. The term of this Agreement shall be from the effective date hereof through December 31, 2020.

This Agreement shall not become effective until it has been reviewed and approved as to form and compatibility with the laws of the State of Utah by the Utah County Attorney's Office and the attorney for Recipient. Prior to becoming effective, this Agreement shall be filed with the person who keeps the records of each of the parties hereto.

Section 2. ADMINISTRATION OF AGREEMENT

The parties to this Agreement do not contemplate nor intend to establish a separate legal entity under the terms of this Agreement. The parties hereto agree that, pursuant to Section 11-13-207, Utah Code Annotated, 1953 as amended, County, shall act as the administrator responsible for the administration of this Agreement. The parties further agree that this Agreement does not anticipate nor provide for any organizational changes in the parties. The administrator agrees to keep all books and records in such form and manner as the Utah County Clerk/Auditor shall specify and further agrees that said books shall be open for examination by the parties hereto at all reasonable times.

Section 3. PURPOSE

This Agreement has been established and entered into between the County and Recipient to provide CRF funds to the Recipient from the County Allocation to respond to the COVID-19 pandemic.

Section 4. CRF FUNDING AMOUNTS

1. From the County Allocation, \$20 million will be set aside for economic support, to be overseen and recommended by a seven-member committee chosen by the Council of Governments (“COG”) within Utah County and then allocated by the County in accordance with the recommendation. This \$20 million shall be known as “Part 1” of the County Allocation and shall only be expended as authorized by the CARES Act including the costs incurred by County to administer this Part 1. This seven-member committee shall comply with the Utah Open and Public Meetings Act, Utah Code, Title 52, Chapter 4.

2. From the County Allocation, \$45,815,170.95 will be set aside for eligible recipients who may receive an allocation up to the maximum amount listed in the Available Funds for Cities and Unincorporated County document attached hereto as Exhibit “A” and incorporated herein by this reference. This \$45,815,170.95 shall be known as “Part 2” of the County Allocation. This amount may be subject to revision by the County due to federal mandate or by an order of a court of law. If Recipient places any CRF funds in an interest-bearing account, Recipient must expend the interest earned on CRF funds in accordance with the requirements of the CARES Act or return the interest earned to County. If Recipient received funds to reimburse or otherwise cover the costs of permissible expenditures, as described in Section 5, from any other sources other than the County Allocation, then Recipient shall provide an accounting to County of all such funds from the other sources and repay to County such funds up to an amount equal to the

Recipient's portion of the County's Allocation. Recipient acknowledges that it shall receive no funds from the County outside of those CRF funds in the County Allocation.

3. From the County Allocation, \$45,815,170.95 will be set aside for the County. This \$45,815,170.95 shall be known as "Part 3" of the County Allocation.

Section 5. PERMISSIBLE USE OF CRF FUNDING

The CARES Act and additional guidance issues by the United States Treasury Department provides that CRF funds may only be used to cover costs that meet the following conditions:

1. are necessary expenditures incurred due to the public health emergency with respect to the Coronavirus Disease 2019 (COVID-19);
 - a. The requirement that expenditures be incurred "due to" the public health emergency means that expenditures must be used for actions taken to respond to the public health emergency.
 - b. CRF Funds may NOT be used to fill shortfalls in government revenue to cover expenditures that would not otherwise qualify under the statute.
 - c. The expenditure is reasonably necessary for its intended use in the reasonable judgment of the government officials responsible for spending the CRF funds.
2. were not accounted for in the budget most recently approved as of March 27, 2020 (the date of enactment of the CARES Act) for the Recipient; and
 - a. A cost meets this requirement if either (a) the cost cannot lawfully be funded using a line item, allotment, or allocation within that budget or (b) the cost is for a substantially

different use from any expected use of CRF funds in such a line item, allotment, or allocation.

- b. The “most recently approved” budget refers to the enacted budget for the relevant fiscal period for the Recipient, without taking into account subsequent supplemental appropriations enacted or other budgetary adjustments made by the Recipient in response to the COVID-19 public health emergency.
 - c. A cost is not considered to have been accounted for in a budget merely because it could be met using a budgetary stabilization fund, rainy day fund, or similar reserve account.
3. were incurred during the period that begins on March 1, 2020, and ends on December 30, 2020.
- a. A cost is “incurred” when the Recipient has expended funds to cover the cost.

These provisions and guidance are current as of May 26, 2020. The Recipients accepting funds must agree to adhere to any additional current or future Federal or State legislative guidance regarding spending, reporting, or any other matter related to CRF funds. Further, the Recipients shall require that any subgrantee to which it awards CRF funds adhere to the CARES Act and any current or future guidance related to the CRF funds. Federal guidance has been updated regularly and can be found at <https://home.treasury.gov/policy-issues/cares/state-and-local-governments>.

Section 6. TIME PERIOD

The Recipient has until **November 2, 2020** to expend the CRF funds and provide the necessary documentation of the expenditure of the CRF funds to County. CRF funds provided by the County that are not expended on eligible expenditures on or before **November 2, 2020**, must be returned to the County on or before 5:00 P.M. MST, **November 9, 2020**, so that the County will have time to reallocate and expend the funds before they expire on December 30, 2020. The

Recipient may petition the County to retain allocated, but unspent CRF funds, after the **November 2, 2020** date, with approval from the County. Any requests for exceptions shall be emailed to Peter Brown, Finance Manager COVID Project, in the Utah County Clerk/Auditor's Office, peterb@utahcounty.gov, before 5:00 P.M. MST, November 2, 2020.

Section 7. REPORTING ON USE OF CRF FUNDS

The Recipient shall retain documentation related to any uses of the CRF funds, including but not limited to invoices and/or sales receipts. All payroll expenditures must illustrate compliance with CARES Act by detailed, daily documentation. Any subgrants made by the Recipient shall similarly require, as a term of the grant, that the subgrantee shall retain documentation and shall produce such documentation to the Recipient and the County upon request.

Consistent with County's responsibilities for the management of CARES funds distributed to it and in accordance with being subject to the Federal Single Audit Act, Recipient shall be prepared to submit receipts and HR records if requested in connection with an audit. All receipts should be individually accompanied (either physically or by PO number) by an explanation form that will be provided by the County that will need to explain how the expenses respond to the "reasonably necessary" justification of the CARES Act Coronavirus Relief Fund (CFR). The Recipient is required to report CRF expenditures at the detailed transaction level on a quarterly basis or data uploaded to Transparent Utah if available for use by County and Recipient. CRF Funds will be identified using function codes specified for these CRF funds in the Uniform Chart of Accounts for Local Government of Utah (revised June 2020) and related resources provided by the Office of the State Auditor. The Recipient is also required to provide summary and detailed

documentation supporting the use of CRF Funds upon request of County, state, federal, or independent auditors. The County may request additional reporting if necessary.

Section 8. ACCOUNTABILITY FOR THE USE OF CRF FUNDS

If County, state, or federal audit findings determine that any CRF funds were expended by the Recipient in violation of the requirements of the CARES Act and request repayment of those CRF funds, the Recipient shall provide funds to the County for repayment to the Federal Government as required by the CARES Act. If the County is forced to repay the funds because the Recipient is unwilling or unable to repay the funds, the amount paid by the County will become a past due obligation of the Recipient to the County and may be collected as such.

Section 9. AVAILABILITY OF CRF FUNDS

It is expressly understood and agreed that the obligation of the County to proceed under this Agreement is conditioned upon the availability of CRF funds remaining in the County Allocation. If the CRF funds anticipated for the continuing fulfillment of the Agreement from the County Allocation are, at any time, not forthcoming or insufficient, either through the failure of the Federal government to provide or if CRF funds are not otherwise available to the County, the County shall have the right upon ten (10) working days written notice to the Recipient, to terminate this Agreement without damage, penalty, cost, or expense to the Recipient of any kind whatsoever. The effective date of termination shall be as specified in the notice of termination.

It is also expressly understood and agreed that any disbursement of CRF funds to

Recipient shall be considered an advance payment from County to Recipient subject to repayment of those CRF funds. Recipient shall either submit to County the appropriate justification documents of funds under the CARES Act or repay the CRF funds to the County. If the Recipient is unwilling or unable to repay any portion of the CRF funds which are not expended as required herein, that amount of the CRF funds will become a past due obligation of the Recipient to the County and may be collected as such.

Section 10. METHOD OF TERMINATION

This Agreement will automatically terminate at the end of its term herein, pursuant to the provisions of paragraph one (1) of this Agreement. Prior to the automatic termination at the end of the term of this Agreement, any party to this Agreement may terminate the Agreement sixty (60) days after providing written notice of termination to the other party. The Parties of this Agreement agree to bring current, prior to termination, any financial obligation incurred in the exercise of its rights and obligations set forth herein.

Section 11. INDEMNIFICATION

To the fullest extent permitted by law, Recipient shall indemnify and hold harmless County, its officers, employees, and agents, from and against any and all claims, demands, causes of action, audits, orders, decrees, judgements, losses, risks of loss, damages, expenses, and liabilities arising out of or related to the Agreement. Recipient shall also pay any litigation and appeal expenses that County incurs, including attorney's fees, penalties, and interest arising out of or related to the Agreement. Recipient shall assume sole liability for any injuries or damages caused to a third party as a result of fulfillment of the Agreement. Recipient is not responsible for

other Recipient's or County's misuse of Parts 2 and 3 of the County Allocation. County reserves the right to conduct, control, and direct its own defense for any claims, demands, causes of action, audits, orders, decrees, judgements, losses, damages, expenses, and liabilities arising out of or related to the Agreement. Both Recipient and County agree that the terms of this Agreement are subject to, and not a waiver of, the protections, immunities and liability limits of the Governmental Immunity Act, U.C.A. 63G-1-101, et. seq. Recipient's obligations under this provision shall survive the expiration or other termination of this Agreement.

Section 12. FILING OF INTERLOCAL COOPERATION AGREEMENT

Executed copies of this Agreement shall be placed on file in the office of the County Clerk/Auditor of County and with the official keeper of records of Recipient and shall remain on file for public inspection during the term of this Agreement.

Section 13. ADOPTION REQUIREMENTS

This Agreement shall be (a) approved by Resolution of the governing body of each of the parties, (b) executed by a duly authorized official of each of the parties (c) submitted to and approved by an Authorized Attorney of each of the parties, as required by Section 11-13-202.5, Utah Code Annotated, 1953 as amended, and (d) filed in the official records of each party.

Section 14. AMENDMENTS

This Agreement may not be amended, changed, modified or altered except by an instrument in writing which shall be (a) approved by Resolution of the governing body of each of the parties, (b) executed by a duly authorized official of each of the parties, (c) submitted to and

approved by an Authorized Attorney of each of the parties, as required by Section 11-13-205.5, Utah Code Annotated, 1953 as amended, and (d) filed in the official records of each party.

Section 15. SEVERABILITY

If any term or provision of the Agreement or the application thereof shall to any extent be invalid or unenforceable, the remainder of this Agreement, or the application of such term or provision to circumstances other than those with respect to which it is invalid or unenforceable, shall not be affected thereby, and shall be enforced to the extent permitted by law. To the extent permitted by applicable law, the parties hereby waive any provision of law which would render any of the terms of this Agreement unenforceable.

Section 16. NO PRESUMPTION

Should any provision of this Agreement require judicial interpretation, the Court interpreting or construing the same shall not apply a presumption that the terms hereof shall be more strictly construed against the party, by reason of the rule of construction that a document is to be construed more strictly against the person who himself or through his agents prepared the same, it being acknowledged that each of the parties have participated in the preparation hereof.

Section 17. HEADINGS

Headings herein are for convenience of reference only and shall not be considered any interpretation of the Agreement.

Section 18. BINDING AGREEMENT

This Agreement shall be binding upon the heirs, successors, administrators, and assigns of each of the parties hereto.

Section 19. NOTICES

All notices, demands and other communications required or permitted to be given hereunder shall be in writing and shall be deemed to have been properly given if delivered by hand or by certified mail, return receipt requested, postage paid, to the parties at their addresses first above written, or at such other addresses as may be designated by notice given hereunder.

Section 20. ASSIGNMENT

The parties to this Agreement shall not assign this Agreement, or any part hereof, without the prior written consent of all other parties to this Agreement. No assignment shall relieve the original parties from any liability hereunder.

Section 21. GOVERNING LAW

All questions with respect to the construction of this Agreement, and the rights and liability of the parties hereto, shall be governed by the laws of the State of Utah.

Section 22. COUNTERPARTS AND FACSIMILE SIGNATURES

The Agreement may be executed in counterparts, each of which when executed and delivered shall be deemed to be an original, binding between the executing parties, and all of which together constitute one and the same instrument. Original, facsimile, emailed, texted, electronic, or power of attorney signatures shall be binding upon the executing party.

Section 23. SUB-RECIPIENT REQUIREMENTS

By virtue of terms and conditions of the Single Audit Act (31 U.S.C. §§ 7501-7507) and the related provisions of the Uniform Guidance, 2 C.F.R. § 200.303 regarding internal controls, §§ 200.330 through 200.332 regarding subrecipient monitoring and management, and subpart F regarding audit requirements. CRF funds received through this Agreement make Recipient a sub-recipient of the federal grant.

As Recipient is a Sub-recipient of the grant monies, and as such, shall have no authorization, express or implied, to bind County to any agreements, settlements, liability, or understanding whatsoever, and agrees not to perform any acts as agent for the County, except as herein expressly set forth. Recipient as Sub-recipient shall be responsible for the payment of all income tax and social security amounts due as a result of CRF funds received from the County for these necessary COVID-19 related purchases. Persons employed by the County and acting under the direction of the County shall not be deemed to be employees or agents of Recipient.

- a) All Recipient's records with respect to any matters covered by this Agreement shall be made available to the County, State of Utah, and the Comptroller General of the United States or any of their authorized representatives.
- b) Failure of Recipient to comply with the above requirements will constitute a violation of this Agreement and may result in the withholding of future payments.
- c) Local governments or non-profit organizations that expend \$750,000 or more in total federal financial assistance (from all sources) in the Recipient's fiscal year shall have a Single Audit completed.

- d) All Sub-recipient's, regardless of Single Audit eligibility, will make all pertinent financial records available for review, monitoring or audit, in a timely manner to appropriate officials of the federal granting agency, State of Utah, County and/or the General Accounting Office.
- e) To comply with 2 C.F.R. § 200.331 the County as the pass-through entity is providing the following required information:

Subrecipient Name	[City Name]
Subrecipient DUNS number	[City DUNS]
Federal Award Identification Number	Not Available
Federal Award Date	March 27, 2020
Subaward Period of Performance Start & End Date	March 1, 2020 – December 30, 2020
Amount of Federal Funds Obligated by this action by the County to the Subrecipient	[Award Amount]
Total Amount of Federal Funds Obligated to the Subrecipient by the County including the current obligation	[Award Amount]
Total Amount of the Federal Award committed to the Subrecipient by the County	[Award Amount]
Federal award project description	Project description: Through this subaward, Utah County will provide Covid-19 relief funding for direct support for cities in Utah County, direct support relating to expenditures “reasonably necessary” to help combat the spread of Covid-19.
Name of Federal awarding agency	United States Department of the Treasury
Name of pass-through entity	Utah County Government
Contact information for awarding official of the pass-through entity	Utah County Auditor’s Office Attn: Peter Brown, CARES Act Finance Manager 100 East Center Street, Suite 3600 Provo, UT 84606 Phone: 801.851.8222 Email: PeterB@UtahCounty.gov
CFDA Number and Name	21.019
Is the award for Research and Development?	No
Indirect cost rate for the Federal award	None

Nothing contained in this Agreement is intended to, nor shall be construed in any manner, as creating or establishing the relationship of employer/employee between the parties. Recipient as Sub-recipient shall at all times remain an "independent contractor" with respect to the services to be performed under this Agreement. County shall be exempt from payment of all Unemployment Compensation, FICA, retirement, life and/or medical insurance and Workers' Compensation Insurance, as the Sub-recipient is an independent contractor.

UTAH COUNTY

Authorized by Resolution No. 2020-____, authorized and passed on the _____ day of _____, 2020.

**BOARD OF COUNTY COMMISSIONERS
UTAH COUNTY, UTAH**

By: _____
TANNER AINGE, Chairman

ATTEST: AMELIA POWERS GARDNER

Utah County Clerk/Auditor

By: _____
Deputy

APPROVED AS TO FORM AND COMPATIBILITY
WITH THE LAWS OF THE STATE OF UTAH:

DAVID O. LEAVITT

Utah County Attorney

By: _____
Deputy County Attorney

RECIPIENT

Authorized by Resolution No. _____, authorized and passed on the _____ day of _____, 2020.

By: _____
MAYOR

ATTEST: _____
City/Town Recorder

APPROVED AS TO FORM AND COMPATIBILITY
WITH THE LAWS OF THE STATE OF UTAH:

City/Town Attorney

Funding Distribution CARES Act (\$20M Carve Out)				Amount	\$ 111,630,341.90
Available Funds for cities and unincorporated County:				Carve Out	\$ 20,000,000.00
Municipality	Population: July 1 2019 Pop.	% of Population			
Alpine	10,507	1.61%	\$ 738,985.00		
American Fork	33,479	5.14%	\$ 2,354,666.30		
Cedar Fort	364	0.06%	\$ 25,601.08		
Cedar Hills	10,224	1.57%	\$ 719,080.86		
Draper*	2,794	0.43%	\$ 196,509.38		
Eagle Mountain	39,301	6.03%	\$ 2,764,142.90		
Elk Ridge	4,447	0.68%	\$ 312,769.23		
Fairfield	118	0.02%	\$ 8,299.25		
Genola	1,573	0.24%	\$ 110,633.24		
Goshen	912	0.14%	\$ 64,143.36		
Highland	19,441	2.98%	\$ 1,367,336.76		
Lehi	72,562	11.14%	\$ 5,103,476.68		
Lindon	11,913	1.83%	\$ 837,872.68		
Mapleton	10,619	1.63%	\$ 746,862.25		
Orem	99,228	15.23%	\$ 6,978,966.73		
Payson	20,740	3.18%	\$ 1,458,698.86		
Pleasant Grove	38,563	5.92%	\$ 2,712,237.41		
Provo	120,221	18.46%	\$ 8,455,459.75		
Salem	8,928	1.37%	\$ 627,929.77		
Santaquin	12,487	1.92%	\$ 878,243.62		
Saratoga Springs	34,628	5.32%	\$ 2,435,478.49		
Spanish Fork	42,389	6.51%	\$ 2,981,330.08		
Springville	34,289	5.26%	\$ 2,411,635.73		
Unincorporated County (Lake Shore, El	9,116	1.40%	\$ 641,152.30		
Vineyard	11,041	1.69%	\$ 776,542.63		
Woodland Hills	1,523	0.23%	\$ 107,116.60		
Total	651,407	100.00%	\$ 45,815,170.95		

Source: <https://gardner.utah.edu/wp-content/uploads/SubCounty-Estimates-April2020.pdf>



MINUTES – CITY COUNCIL

Tuesday, June 16, 2020

City of Saratoga Springs City Offices

1307 North Commerce Drive, Suite 200, Saratoga Springs, Utah 84045

City Council Policy Meeting

Call to Order: Mayor Jim Miller called the Meeting to order at 6:02 p.m.

Roll Call:

Pursuant to the COVID-19 Federal Guidelines, this Meeting will be conducted electronically.

Present Mayor Jim Miller, Council Members Chris Porter, Michael McOmber, Ryan Poduska, and Stephen Willden.

Staff Present City Manager Mark Christensen, City Attorney Kevin Thurman, Assistant City Manager Owen Jackson, Economic Development and Public Relations Director David Johnson, City Engineer Gordon Miner, City Planner Rachel Day, Finance Justin Sorenson, Senior Planner Sarah Carroll, Human Resources Director Laura Gamon, Library Director Melissa Grygla, Finance Director Chelese Rawlings, Events AnnElise Harrison, Police Chief Andrew Burton and Deputy City Recorder Kayla Moss.

Invocation by Council Member Poduska

Pledge of Allegiance by Council Member McOmber

PUBLIC INPUT: None Submitted

REPORTS: Council Member Porter advised that he attended the briefing on the cares act to discuss the funding that was set aside for municipalities. Some of the cities decided to earmark the funding, \$20 million will go to economic development with the county and the remainder will be split 50/50 to county and the cities. Our share looks like it will be about \$2.4 million. He and a couple of other cities tried to push for dividing it among the cities but the greater majority decided to give a good amount of the money to the county to control.

Council Member Poduska advised that a lot of residents have been in touch with him from the Fox Hollow area. They want to know what can be done to protect the residents from gun activity in the mountains that are causing the fires.

City Manager Christensen advised there have been 5 fires in the City within the last week. He wants to make sure the word is spread that this year is extra dry and citizens need to be careful in their July 4th activities. On Tuesday July 7th a joint meeting is going to be held with Lehi City at the Marina.

PUBLIC HEARINGS:

1) Fiscal Year 2019-2020 Budget Amendments; Resolution R20-26 (6-16-20).

Finance Specialist Justin Sorenson advised that this is the 7th budget amendment for the Fiscal Year. This is the chance to clean up the budget and make sure everything is in order for the fiscal end. They are accounting for money coming for the cares act, some appreciation of costs and other changes to make sure the budget is ready for the next year.

Mayor opened Public Hearing at 6:15 pm. No comments were submitted and the public hearing was closed.

51
52 Motion by Council Member Willden made a motion to approve the Fiscal Year 2019-2020 Budget
53 Amendments; Resolution R20-26 (6-16-20) was seconded by Council Member Porter.
54 Vote: Council Members McOmber, Poduska, Porter, and Willden– Aye.
55 Motion carried unanimously.
56

57 **2) Fiscal Year 2020-2021 Final Budget and Pay Plan for Elected and Appointed Officials; Resolution R20-27 (6-**
58 **16-20).**

59 Finance Specialist Justin Sorenson advised that this should be the same format that they are used to seeing.
60 Each department head has worked diligently to reduce how much they are planning to spend this year
61 due to COVID-19 concerns.
62

63 Council Member McOmber thanked staff for being cognizant of the need to reduce the budget due to
64 COVID-19. He hopes that everything will bounce back and the money can come back to the departments
65 for the budget but we will have to see what the economy does.
66

67 Council Member Porter also thanked staff for decreasing their planned spending for the year. He would
68 also like to cap the pay increase for elected officials at a 5% increase each year. He thinks that pay has
69 almost doubled since the pay plan has been enacted.
70

71 Council Member Willden does not want to go to an automatic increase. He wants to make sure it is based
72 on what the market calls for.
73

74 Council Member McOmber believes that they should stick to the pay plan set up 6 years ago. If they want
75 to be treated like employees then they should look at retirement, 401k and all of the other benefits that
76 employees get.
77

78 Mayor Miller advised that they set up the pay structure to de-politicize it and it is in place for a reason.
79

80 Mayor Miller opened the public hearing at 6:26 pm. There were no submitted comments so the public
81 hearing was closed.
82

83 Motion by Council Member McOmber made a motion to approve the Fiscal Year 2020-2021 Final
84 Budget and Pay Plan for Elected and Appointed Officials; Resolution R20-27 (6-16-20) was seconded
85 by Council Member Willden.
86 Vote: Council Members McOmber, Poduska, Porter, and Willden– Aye.
87 Motion carried unanimously.
88

89 **BUSINESS ITEMS:**
90

91 **1) Fiscal Year 2020-2021 Certified Tax Rate; Resolution R20-28 (6-16-20).**

92 Finance Director Chelese Rawlings advised that the certified tax rate this year is .001446 which is a
93 decrease from .001570 last year. This is due growth in the City.
94

95 Council Member McOmber advised that because of the fiscal impact that has happened because of COVID-
96 19 he is not pushing for a tax decrease but he would like to discuss it in the future.
97

98 Motion by Council Member Poduska made a motion to approve the Fiscal Year 2020-2021 Certified
99 Tax Rate; Resolution R20-28 (6-16-20) was seconded by Council Member Porter.
100 Vote: Council Members McOmber, Poduska, Porter, and Willden– Aye.
101 Motion carried unanimously.
102

103 **2) Authorization for Participation in the Employer “PickUp” of Public Safety and Firefighter Employment**
104 **Retirement Contributions; Resolution R20-29 (6-16-20).**

105 Human Resources Director Laura Gamon advised that this has been implemented by Utah Retirements
106 System and this would allow the City to make the adjustment.

107
108 Motion by Council Member Porter made a motion to approve the Authorization for Participation in
109 the Employer “PickUp” of Public Safety and Firefighter Employment Retirement Contributions;
110 Resolution R20-29 (6-16-20) was seconded by Council Member McOmber.

111 Vote: Council Members McOmber, Poduska, Porter, and Willden– Aye.
112 Motion carried unanimously.

113
114 **3) Library Board Appointment, Christy Jepson; Resolution R20-30 (6-16-20).**

115 Library Director Melissa Grygla advised that Christy has been with the library board for three years and she
116 would like to serve another term. They are also adjusting the amount of years so that the term expirations are
117 staggered.

118
119 Motion by Council Member Porter made a motion to approve Library Board Appointment, Christy Jepson;
120 Resolution R20-30 (6-16-20) was seconded by Council Member Poduska.

121 Vote: Council Members McOmber, Poduska, Porter, and Willden– Aye.
122 Motion carried unanimously.

123
124 **4) Lake Mountain Estates Plat B-30 Preliminary-Final Plat, Nathan Coulter Applicant, ~3600 South McGregor**
125 **Lane.**

126 City Planner Rachel Day made the presentation on this plat to the City Council. It is a three lot subdivision on
127 McGregor Lane. The zoning is R1-10, it matches everything around it. They are seeking approval for a fee in
128 lieu for open space. The planning commission recommended approval for this preliminary plat.

129
130
131 Motion by Council Member Willden to approve the Lake Mountain Estates Plat B-30 Preliminary-Final Plat,
132 Nathan Coulter Applicant, ~3600 South McGregor Lane with all staff findings and conditions was seconded by
133 Council Member Poduska.

134 Vote: Council Members McOmber, Poduska, Porter, and Willden– Aye.
135 Motion carried unanimously.

136
137 **5) Saratoga Dignity Senior Community Development Agreement Amendment and Concept Plan, Rimrock**
138 **Construction Applicant, ~700 West 1400 North / ~1590 North Cozy Lane / ~1538 North Foothill Boulevard;**
139 **Ordinance 20-22 (6-16-20) to Approve Said Development Agreement Amendment.**

140 Senior Planner Sarah Carroll presented this item to the City Council. This first came to the City in 2018 and the
141 applicant is now requesting a decrease in the number of the senior community units and an increase on the
142 bed size of the assisted living facility.

143
144 The applicant Mark Hampton advised that the facility in Lehi is completely full and they have found that many
145 of the people going to that facility are from Saratoga Springs. The demand for assisted living has created this
146 amendment request. They plan to have 71 parking stalls on the site.

147
148 Council Member McOmber asked if the parking in front of the clubhouse is counted from the assisted living
149 facility. He is concerned that the clubhouse needs parking stalls as well as the assisted living facility. He’s not
150 sure there is enough parking for the facility. He’s a little concerned about how much traffic will be generated
151 from the amount of beds they are now proposing.

152
153 Council Member Poduska asked how many employees they would need to have now for the 90 bed facility.

154

155 Mr. Hampton advised that at peak time the number of employees is 21.

156
157 Council Member Porter agrees that parking may be kind of tight. He thinks the 12 bed facility fit in well with
158 the neighborhood and the 90 bed facility has a more commercial feeling that may not blend in with the
159 neighborhood as well.

160
161 Council Member Willden thinks that there is a need within the City for this facility. He does think parking could
162 be a substantive concern. He doesn't know what the appropriate numbers would be. He also is concerned
163 about what this would do to open space and other things in the community. He would be more comfortable
164 with a 74 bed facility.

165
166 Council Member Poduska is in support of adding more parking on the eastern side. If the east wing is eliminated
167 and reduced to a 74 bed facility he is in support of that.

168
169 Council Member McOmber advised they need to be conscious of the street lighting. There needs to be good
170 shielding in place to make sure the light doesn't travel to the R-3 zone.

171
172 Motion by Council Member Willden to approve the Saratoga Dignity Senior Community Development
173 Agreement Amendment and Concept Plan, Rimrock Construction Applicant, ~700 West 1400 North / ~1590
174 North Cozy Lane / ~1538 North Foothill Boulevard; Ordinance 20-22 (6-16-20) to Approve Said Development
175 Agreement Amendment including all staff findings and conditions and amending conditions one to allow for
176 74 units instead of 90 and removing 3 cottages was seconded by Council Member McOmber.

177 Vote: Council Members McOmber, Poduska, Porter, and Willden— Aye.

178 Motion carried unanimously.

179
180 **6) Chapter 18.02, Flood Damage Prevention, Repeal and Replace; Ordinance 20-23 (6-16-20).**

181 City Engineer Gordon Miner advised that the City participates in the national flood prevention program. FEMA
182 has made a change in their recommended ordinance. The City took that and made it applicable to the City.

183
184 Motion by Council Member Poduska to approve Chapter 18.02, Flood Damage Prevention, Repeal and Replace;
185 Ordinance 20-23 (6-16-20) was seconded by Council Member McOmber.

186 Vote: Council Members McOmber, Poduska, Porter, and Willden— Aye.

187 Motion carried unanimously.

188
189 **7) Reconsideration of Ordinance 20-19 (5-19-20) Regarding Engineering Standard Drawing LP-6A.**

190 City Engineer Gordon Miner advised some adjustments were made to the small cell tower drawing.

191
192 City Attorney Kevin Thurman advised the state statute did not allow for the tower to be as tall as what the
193 drawing was showing. The drawing was supposed to be illustrative in nature but not regulatory. It was changed
194 so that it would just illustrate the idea.

195
196 Motion by Council Member McOmber to approve the Reconsideration of Ordinance 20-19 (5-19-20) Regarding
197 Engineering Standard Drawing LP-6A with all staff findings and conditions and removing "50 feet" from the
198 picture was seconded by Council Member Willden.

199 Vote: Council Members McOmber, Poduska, Porter, and Willden— Aye.

200 Motion carried unanimously.

201
202 **MINUTES:**

203
204 1. June 2, 2020.

205 Council Member Willden asked for a change on line 45 to add "when you consider the state unemployment
206 rate".

207 Motion by Council Member Porter to approve the Minutes of June 2, 2020, with the submitted and posted
208 changes, was seconded by Council Member Poduska.

209 Vote: Council Members McOmber, Poduska, Porter, and Willden– Aye.

210 Motion carried unanimously.

211

212 **ADJOURNMENT:**

213

214 There being no further business, Mayor Miller adjourned the meeting at 6:48 p.m.

215

216

217

218 _____
Jim Miller, Mayor

219

220 Attest:

221

222

223 _____
Cindy LoPiccolo, City Recorder

224

225 Approved:



MINUTES – CITY COUNCIL SPECIAL EMERGENCY MEETING

Sunday, June 28, 2020

City of Saratoga Springs

City of Saratoga Springs City Offices

1307 North Commerce Drive, Suite 200, Saratoga Springs, Utah 84045

Pursuant to the COVID-19 State and Federal Guidelines, this Meeting was conducted electronically.

City Council Special Emergency Meeting

Call to Order: Mayor Jim Miller called the Special Emergency Meeting to order at 6:52 p.m.

Roll Call:

Present Mayor Jim Miller, Council Members Stephen Willden, Chris Porter, Michael McOmber, Ryan Poduska, and Christopher Carn.

Staff Present City Attorney Kevin Thurman, Assistant City Manager Owen Jackson, and City Recorder Cindy LoPiccolo.

BUSINESS:

1. **Declaration of Local Emergency Pursuant to Utah Code Annotated § 53-2a-208(4)(a).** City Attorney Kevin Thurman presented a Declaration of Local Emergency to address the damage suffered by the City and threat of a disaster brought on by a fast moving wildfire named the Knolls Fire that started south of Saratoga Springs the afternoon of June 28, 2020.

Council Members discussed and concurred that the Fire Chief would have the authority to make the decision and give order as necessary in regard to evacuation and resources for fire assistance, and the City Manager authority to request assistance from surrounding communities and direct all resources for flood mitigation.

Motion by Council Member Carn to approve the Declaration of Local Emergency with amendment to give the Fire Chief flexibility to make the determinations and orders necessary in regard to necessary evacuation and travel restrictions, and City Manager authorization to give direction and make necessary expenditures to prevent flooding caused by the fire, was seconded by Council Member McOmber

Vote: Council Members Carn, Poduska, Porter, McOmber, and Willden – Aye.

Motion carried unanimously.

ADJOURNMENT:

There being no further business, Mayor Miller adjourned the meeting at 7:15 p.m.

Jim Miller, Mayor

Attest:

49
50
51
52
53

Cindy LoPiccolo, City Recorder
Approved:

DRAFT



MINUTES – CITY COUNCIL JOINT WORK SESSION WITH CITY OF LEHI

Tuesday, July 7, 2020

City of Saratoga Springs

North Marina, ~1175 East Saratoga Road, Saratoga Springs, Utah 84045

Police Station/Court Facility Community Room, 367 South Saratoga Road, Saratoga Springs, Utah 84045

City of Saratoga Springs

Present Mayor Jim Miller, Council Members Ryan Poduska, Stephen Willden, Chris Porter, Michael McOmber, and Christopher Carn.

Staff Present City Manager Mark Christensen, City Attorney Kevin Thurman, Assistant City Manager Owen Jackson, Planning Director Dave Stroud, Parks Supervisor Rick Kennington, Administrative Assistant Tina Fairbourn, and City Recorder Cindy LoPiccolo.

City of Lehi

Present Mayor Mark Johnson, Council Members Paul Hancock, Chris Condie, Mike Southwick, and Katie Koivisto.

Staff Present City Manager Jason Walker, Assistant to the City Administrator Beau Thomas, Community Development Director Kim Struthers, Public Works Director Dave Norman.

Site Visit – North Marina

City Officials and Staff met at the North Marina for a site tour, which was followed by informal dinner and work session in the Police and Court Facility Community Room.

Work Session – North Marina

Mayor Jim Miller called the work session to order at 6:40 p.m. Discussion concerned the possibility of the two cities joining in design, construction, and operation of a regional North Marina Park for public recreational use. Attendees discussed possible Marina size, facilities and amenities, phasing with no construction timeline, split maintenance, and revenue sharing with both cities applying for grants.

City Manager Christensen requested consideration of what is proposed and that staff be advised.

Mayor Miller thanked Lehi Mayor, Council and staff for attending and joining the tour and work session.

ADJOURNMENT:

There being no further discussion, Mayor Miller adjourned the work session at 7:20 p.m.

Jim Miller, Mayor

Attest:

Cindy LoPiccolo, City Recorder

Approved:

DRAFT



MINUTES – CITY COUNCIL

Tuesday, July 21, 2020

City of Saratoga Springs City Offices

1307 North Commerce Drive, Suite 200, Saratoga Springs, Utah 84045

City Council Policy Meeting

Call to Order: Mayor Jim Miller called the Meeting to order at 6:03 p.m.

Roll Call:

Pursuant to the COVID-19 Federal Guidelines, this Meeting will be conducted electronically.

Present Mayor Jim Miller, Council Members Christopher Carn, Chris Porter, Michael McOmber, Ryan Poduska, and Stephen Willden.

Staff Present City Manager Mark Christensen, Assistant City Manager Owen Jackson, City Engineer Gordon Miner, Planning Director David Stroud, Public Works Director Jeremy Lapin, Senior Planner Sarah Carroll, Assistant City Attorney Maren Barker, and Deputy City Recorder Kayla Moss.

Invocation by Council Member Willden

Pledge of Allegiance by Council Member

PUBLIC INPUT: None Submitted

REPORTS: Assistant City Manager Owen Jackson advised that Strategic Plan Advisory Committee will be moving forward in the next month or two. They have ways to do zoom meetings and other appropriate ways to meet during COVID.

Council Member Porter advised that he met with MAG and UDOT to see what they can do to get service to the City.

City Manager Christensen gave an update on the knolls fire mitigation process. They are currently working on getting a grant with a 25% match. It is anticipated that it will cost about one million dollars for the project.

BUSINESS ITEMS:

- 1) University of Utah Medical Center Community Plan Amendment and Village Plan Amendment, Jonathan Bates University of Utah Applicant, Northeast Corner of Pioneer Crossing and Market Street; Ordinance 20-24 (7-21-20).**

The applicant is asking to increase the acreage and increase the density to meet the district area plan range.

Council Member McOmber wants to make sure that parking needs are being met with how much the density may increase for this project.

Motion by Council Member Willden to approve the University of Utah Medical Center Community Plan Amendment and Village Plan Amendment, Jonathan Bates University of Utah Applicant, Northeast Corner of Pioneer Crossing and Market Street; Ordinance 20-24 (7-21-20) was seconded by Council Member McOmber. Vote: Council Members Carn, McOmber, Poduska, Porter, and Willden– Aye.

Motion carried unanimously.

2) Award of Contracts for 2020 Road Maintenance Project (Seal Coat) as follows: Schedule A Geneva Rock, Schedule B Staker Parson, and Schedule C M&M Asphalt; Resolution R20-31 (7-21-20).

Public Works Director Jeremy Lapin presented this project to the Council. They removed a project on Harbor Parkway because the numbers didn't come in as expected.

Motion by Council Member Carn to approve the Award of Contracts for 2020 Road Maintenance Project (Seal Coat) as follows: Schedule A Geneva Rock, Schedule B Staker Parson, and Schedule C M&M Asphalt; Resolution R20-31 (7-21-20) including the amounts that were in the staff report was seconded by Council Member Porter.
Vote: Council Members Carn, McOmber, Poduska, Porter, and Willden– Aye.

Motion carried unanimously.

3) Award of Contract for 2020 Manhole Collar Repair Project (Road Maintenance) to Snow Canyon Construction; Resolution R20-32 (7-21-20).

Public Works Director Lapin advised this will repair manhole collars in the Sunrise Meadows subdivision.

Motion by Council Member Porter to approve 1) Award of Contract for 2020 Manhole Collar Repair Project (Road Maintenance) to Snow Canyon Construction in the amount of \$103,120; Resolution R20-32 (7-21-20) was seconded by Council Member Carn.

Vote: Council Members Carn, McOmber, Poduska, Porter, and Willden– Aye.

Motion carried unanimously.

4) Code Amendment Title 19.10 Hillside Development; Ordinance 20-25 (7-21-20).

Senior Planner Sarah Carroll advised that this is to repeal and replace the current Title 19.10 in City Code.

Council Member Willden thinks he has seen that walls higher than 10 feet aren't allowed. He wondered why that was.

Senior Planner Carroll advised that it can be up to 18 feet if they are stepped; at three steps of 6 feet.

Motion by Council Member Willden to approve the Code Amendment Title 19.10 Hillside Development; Ordinance 20-25 (7-21-20) with all staff findings and conditions was seconded by Council Member McOmber.

Vote: Council Members Carn, McOmber, Poduska, Porter, and Willden– Aye.

Motion carried unanimously.

5) National Resources Conservation Service (NRCS) Emergency Watershed Protection (EWP) Program Grant Agreement and City Manager Authorization; Resolution R20-33 (7-21-20).

City Manager Christensen advised that this is so that the City Manager can take immediate action as soon as money becomes available and approval is given from the federal government. This isn't to try and avoid meetings, it is just to make the process more efficient. This should be the cap of what he can spend without further City Council discussion.

Motion by Council Member Carn to approve the National Resources Conservation Service (NRCS) Emergency Watershed Protection (EWP) Program Grant Agreement and City Manager Authorization; Resolution R20-33 (7-21-20) was seconded by Council Member Porter.

Vote: Council Members Carn, McOmber, Poduska, Porter, and Willden– Aye.

Motion carried unanimously.

6) Interlocal Cooperation Agreement with Utah County for Disbursement from the Coronavirus Relief Fund, CARES (Corona Virus Aid and Economic Security) Act; Resolution R20-34 (7-21-20).

City Manager Christensen advised they intended to get this to the Council sooner. The county has made some minor tweaks but they are not willing to change what they will allow as far as indemnification. The amount will

be \$2.4 million based on population and the amount given to Utah County. The City is recommending approval of this agreement.

Motion by Council Member McOmber to approve Interlocal Cooperation Agreement with Utah County for Disbursement from the Coronavirus Relief Fund, CARES (Corona Virus Aid and Economic Security) Act; Resolution R20-34 (7-21-20) with either the Mayor or City Manager signing the agreement was seconded by Council Member Carn.

Vote: Council Members McOmber, Poduska, Porter, and Willden– Aye.

Motion carried unanimously.

MINUTES:

1. June 16, 2020; June 28, 2020; July 7, 2020.

Motion by Council Member Willden to approve the Minutes of June 16, 2020, June 28, 2020, and July 7, 2020 with the submitted and posted changes, was seconded by Council Member McOmber.

Vote: Council Members McOmber, Poduska, Porter, and Willden– Aye.

Motion carried unanimously.

ADJOURNMENT:

There being no further business, Mayor Miller adjourned the meeting at 6:53 p.m.



Jim Miller, Mayor

Attest:



Cindy LoPiccolo, City Recorder

Approved: *8-4-20*

