



SARATOGA  
SPRINGS

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1. 2020-03-26 Pc Agenda

Documents:

[2020-03-26 PC AGENDA AMENDED.PDF](#)

2. 2020-03-26 Pc Packet

Documents:

[2020-03-26 PC PACKET.PDF](#)

3. 2020-03-26 Pc Approved Minutes

Documents:

[2020-03-26 PC APPROVED MINUTES.PDF](#)



# AGENDA – Planning Commission Meeting

Planning Commissioner Troy Cunningham, Chair  
Planning Commissioner Ken Kilgore – Vice Chair  
Planning Commissioner Bryce Anderson  
Planning Commissioner Audrey Barton  
Planning Commissioner Reed Ryan  
Planning Commissioner Josh Wagstaff

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## CITY OF SARATOGA SPRINGS

Thursday, March 26, 2020, 6:00 pm

City of Saratoga Springs Council Chambers - 1307 North Commerce Drive, Suite 200, Saratoga Springs, UT 84045

**Pursuant to the COVID-19 State and Federal Guidelines, this Meeting will be conducted electronically and Public attendance is not advised in order to meet congregation of 10 persons or less. Public Comment may be submitted to [comments@saratogaspringscity.com](mailto:comments@saratogaspringscity.com)**

1. Pledge of Allegiance.
2. Roll Call.
3. Public Input: Citizens may submit comments to the Planning Commission via email to [comments@saratogaspringscity.com](mailto:comments@saratogaspringscity.com).
4. Public Hearing: Rezone from Agriculture to Mixed Use for River View Plaza & Townhomes, located at 1080 N. Redwood Rd. Jared Osmond, applicant.
5. Public Hearing: Code Amendments for Title 19.16, Site Design Standards, City initiated.
6. Business Item: Site Plan for Mountain Sunrise Academy located at 1802 E. 145 N., Mike Glauser as applicant.
7. Business Item: Site Plan for Saratoga Towne Center located at 1509 N. Commerce Dr. JDH Town Center, LLC as applicant.
8. Approval of Minutes: March 12, 2020.
9. Reports of Action.
10. Commission Comments.
11. Director's Report.
12. Possible motion to enter into closed session for the purchase, exchange, or lease of property; pending or reasonably imminent litigation; the character, professional competence, or the physical or mental health of an individual; or the deployment of security personnel, devices, or systems.
13. Adjourn.

**PLEASE NOTE: The order of items may be subject to change with the order of the planning commission chair. One or more members of the Commission may participate electronically via video or telephonic conferencing in this meeting.**

In compliance with the Americans with Disabilities Act, individuals needing special accommodations (including auxiliary communicative aids and services) during this meeting should notify the City Recorder at 801.766.9793 at least one day prior to the meeting.



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SPRINGS**

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**PLANNING COMMISSION  
Staff Report**

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**Riverview Plaza & Townhomes: Rezone and Concept Plan**

**March 26, 2020**

**Public Hearing**

Report Date:	March 19, 2020
Applicant:	Osmond Development, LLC (Jared Osmond)
Owner:	Osmond Development, LLC (500 East Properties, LLC)
Location:	West of Redwood Road along Riverside Drive, South of Riverbend Townhomes and north of the Chiu property
Major Street Access:	Redwood Road and Riverside Drive
Parcel Number(s) & Size:	58:032:0202, 5.45 acres, 58:032:0129, 0.49 acres, 58:032:0201, 3.77 acres
Land Use Designation:	Community Commercial along Redwood Road; Medium Density Residential along the Jordan River
Parcel Zoning:	Agricultural
Adjacent Zoning:	Agricultural (South), Mixed Waterfront (South)
Current Use:	Residential, vacant
Adjacent Uses:	Agriculture, vacant
Type of Action:	Legislative; public hearings at Planning Commission and public meeting at City Council
Land Use Authority:	City Council
Future Routing:	City Council
Planner:	Kimber Gabryszak, Senior Planner & David Stroud, Planning Director

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**A. Executive Summary:**

The applicant requests the City rezone 9+ acres of property from Agricultural to Mixed Use, located between Redwood Road and the Jordan River as shown on Exhibit 1. The applicant also requests non-binding feedback on the proposed Riverview Plaza and Townhomes concept development.

**Recommendation:**

Staff recommends the Planning Commission conduct a public hearing on the proposed rezone, take public comment, review and discuss the proposal, and choose from the options in Section H of this report. Options include recommendation of approval with or without modification, recommendation of denial, or continuation.

**B. Background:** The subject property is unplatted, undeveloped, and a desirous location for commercial development. The applicant’s objective is to rezone the property, and then develop an office, retail, and residential development under the Mixed Use Zone.

**C. Specific Requests:**

- Rezone. The applicant requests a rezone of the aforementioned ~9+ acres from Agricultural to Mixed Use.
- Non-binding feedback on the proposed concept plan which currently propose:
  - 7 commercial buildings
    - 3 designated for “retail” (25,040 sq.ft.)
    - 4 designated for “commercial” (19,200 sq.ft.)
  - 3 residential buildings
    - 39 residential condominiums

**D. Process:**

**Rezone**

The table in Section 19.13.04 outlines the process requirements of a rezone. A public hearing is required with the Planning Commission who then make a recommendation to the City Council. The City Council shall then either approve, continue, or deny the request at a public meeting.

**Concept Plan**

Section 19.17.02 states “Petitions for changes to the City’s Zoning Map for all land use zones shall be accompanied by an application for Concept Plan Review or Master Development Agreement approval pursuant to Chapter 19.13 of this Code.”

Per Chapter 19.13 of the City Code, the process for a concept plan includes an informal review of the concept plan by both the Planning Commission and the City Council. The review shall be for comment only, no public hearing is required and no recommendation or action made on the concept plan itself.

**E. Community Review:** This item was noticed in the *Daily Herald* as a Planning Commission public hearing and a mailed notice sent to all property owners within 300 feet. As of the date of this report, no contact has been made with the City regarding the proposal. The notice has also been posted in the City building, [www.saratogspringscity.com](http://www.saratogspringscity.com), and [www.utah.gov/pmn/index.html](http://www.utah.gov/pmn/index.html).

**F. General Plan:** The land use designation of the parcels is a combination of Community Commercial and Medium Density Residential. The applicant’s request to change the zone from Agricultural to Mixed Use is consistent with the goals and purposes of the General Plan.

**The General Plan defines Community Commercial as:**

*These areas include a variety of commercial uses which are well integrated into the community and are located in commercial clusters along major transportation corridors. Office components should be included as an integral part of developments in this district so as to capitalize on the benefits that can be enjoyed with a mixture of distinct but complementary land-uses.*

**The General Plan defines Medium Density Residential as:**

*Residential developments at higher densities in neighborhoods that still maintain a suburban character. Designed to create a functional transition from one land-use to another. Developments in these areas should be constructed with urban street and usable recreational features and lands.*

**Staff conclusion: *complies.*** *While the Mixed Use Zone is not identified specifically as a zone in the above Land Use Designations, the uses and densities and standards of the Mixed Use Zone are consistent with the two Land Use Zones currently in place.*

*The requested zones comply with the requested land use designations. Additionally, the proposed concept plan clusters commercial along major transportation corridors with residential between the Jordan River and Riverside Drive as identified in the Waterfront Buffer Overlay.*

**G. Code Criteria:**

Rezoning is a legislative decision. Therefore, the City Council has significant discretion when making a decision on such requests. Because of this legislative discretion, the Code criteria below are guidelines and are not binding.

**Rezone:**

Section 19.13.04 requires the Planning Commission to hold a public hearing and make a recommendation to the City Council regarding rezoning and General Plan amendments.

**Staff finding: *complies.*** *A Planning Commission public hearing is scheduled on March 26, 2020.*

**19.17.03. Planning Commission and City Council Review.**

1. The Planning Commission reviews the petition and makes a recommendation to the City Council within 30 days of the receipt of the petition. **Staff finding: consistent.**

*Petition was preceded by a concept plan that went through an initial review process with several submittals that took longer than 30 days. The rezone application was submitted on February 24, 2020 and this hearing was scheduled within that timeframe on the earliest available agenda.*

2. The Planning Commission shall recommend adoption of proposed amendments only when it finds the proposed amendment furthers the purpose of the Saratoga Springs Land Use Element of the General Plan and this Title. **Staff finding: consistent.**

*The Land Use Plan identifies desired land uses for all areas within the City of Saratoga Springs and provides a framework to guide future planning for the community – where people live, work, play, and shop. It supports a variety of land uses that can continue to make Saratoga Springs an attractive place to live and work, while preserving Saratoga Springs’ small-town charm. Stable and peaceful single-family neighborhoods are the “building block” of the community, with a mix of smaller and denser residential units in appropriate locations to help diversify the housing stock. Employment areas accommodate a diverse array of businesses and support well-paying jobs.*

*The proposal includes a mixture of commercial and residential uses in a location well situated to support additional uses and densities through transportation and infrastructure access.*

3. The Planning Commission shall provide the notice and hold a public hearing as required by Utah Code. For an application which concerns a specific parcel of property, the City shall provide the notice required by Chapter 19.13 regarding a public hearing. **Staff finding: consistent.**

*All required notices in compliance with State and local laws have been sent or posted informing the public of the Planning Commission public hearing.*

#### **19.17.04. Gradual Transition of Uses and Density.**

It is the policy of the City Council, through exercising its zoning authority, to: (a) transition high intensity uses to help prevent the impacts of high density uses on low density areas; and (b) to limit inconsistent uses being located on adjacent parcels. The City Council may implement this policy using its zoning powers. Through amendments to the General Plan and the Zoning Map, the City Council intends to apply the following guidelines to implement this policy:

1. Residential lots, parcels, plats, or developments should not increase by more than 20% of density as compared to adjacent lots, zones, parcels, plats, or developments to enable a gradual change of density and uses. To appropriately transition, new lots should be equal to or larger than immediately adjacent existing platted lots.

#### 2. Exceptions

a. The City should avoid allowing high intensity uses (e.g., commercial, industrial, multi-family structures, etc.) adjacent to lower intensity uses (e.g., single family, low density residential, etc.), however may allow these uses to be located adjacent to each other if appropriate transitions and buffers are in place. Appropriate buffers and transitions include a combination of roadways, landscaping, building orientation and facades, increased setbacks, open spaces, parks, and trails.

3. Despite these guidelines, the City Council recognizes that it will become necessary to allow high intensity next to low intensity uses in order to allow for the implementation of multiple zones in the City. The City Council should use their best efforts to limit inconsistent uses and zones being located on adjacent parcels and to mitigate inconsistent uses and zones through transitions and buffers.

**Staff finding: consistent.** The approved General Plan identifies Community Commercial adjacent to Low Density Residential. As stated above, with many zones implemented in the City, commercial next to residential maybe necessary at times; the proposal currently places commercial and medium density residential uses in an area near to similar uses. In this case, there is a currently undeveloped parcel in between however the General Plan anticipates similar uses on adjacent properties. The long range planning in place will ensure that this transitional goal will occur.

#### **19.17.05. Consideration of General Plan, Ordinance, or Zoning Map Amendment.**

The Planning Commission and City Council shall consider, but not be bound by, the following criteria when deciding whether to recommend or grant a General Plan, ordinance, or zoning map amendment:

1. The proposed change will conform to the Land Use Element and other provisions of the General Plan. **Staff finding: consistent.**

*The changes proposed are compatible with the surrounding land uses and the proposed zone contains standards consistent with both land use designations currently in place.*

2. The proposed change will not decrease or otherwise adversely affect the health, safety, convenience, morals, or general welfare of the public. **Staff finding: complies.**

*No adverse consequences are anticipated by the changing of the land use designations and zones. Commercial uses and medium density residential uses are planned for in this location on the current General Plan land use map.*

3. The proposed change will more fully carry out the general purposes and intent of this Title and any other ordinance of the City. **Staff finding: complies.**

*The purpose of Title 19 is to preserve and promote the health, safety, morals, convenience, order, fiscal welfare, and the general welfare of the City, its present and future inhabitants, and the public generally. The proposed development will be required to comply with Title 19.*

4. In balancing the interest of the petitioner with the interest of the public, community interests will be better served by making the proposed change. **Staff finding: complies.**

*The proposal balances new retail and office uses with new residential housing to help house the growing population; at the same time also making enhancements to protect the shoreline, improve the shoreline trail, and preserve open space.*

5. Any other reason that, subject to legislative discretion of the City Council, could advance the general welfare. **Staff finding: complies.**

*The Council may determine that bringing additional commercial use to the City, in a location designed for more intense use and where traffic impacts may be mitigated, is beneficial by providing tax base to support city-wide infrastructure for the current and future residents.*

### **Concept Plan Review**

Section 19.17.02 states “Petitions for changes to the City’s Zoning Map for all land use zones shall be accompanied by an application for Concept Plan Review or Master Development Agreement approval pursuant to Chapter 19.13 of this Code.”

Per Chapter 19.13 of the City Code, the process for a concept plan includes an informal review of the concept plan by both the Planning Commission and the City Council. The reviews shall be for comment only, no public hearing is required and no recommendation or action made.

The proposed concept plan contains several outstanding redline corrections. Instead of resubmitting a concept plan multiple times, staff typically provides the applicant a first review and allows the applicant the choice of moving on in the development process or resubmitting until the applicant is comfortable with the level of corrections needed. In this case, two full reviews and one supplemental review have been made of the concept plan and rezone. The current concept plan is contained in Exhibit 4.

The primary objective of a land use map and rezone request is to determine if the proposed changes are desired and needed. Multiple site plans could be developed in any zone. What the applicant submits at the time of GPA/rezone is just a concept. A concept implies there could be changes.

As in the case of any rezone application, the Planning Commission and City Council need to answer the question – **do we want the land use designations and zone as proposed by the applicant?** The concept plan should be for informational purposes and not be the sole reason to approve or deny the request because other development concepts can be appropriate on the subject property.

The Planning Review Checklist was used and identifies areas the concept plan is deficient regarding Code requirements. A few key items are listed below but the list is not exhaustive. Full compliant checklist will be used at the time of site plan approval provided the rezone is approved by the City Council.

- The curve of Riverside must be modified to meet Engineering requirements.

- UDOT may require a right-in/right-out access in anticipation of potential future median.
- A few remaining contradictory or outdated pieces of information must be harmonized (e.g. County acreage vs. surveyed, company ownership records, etc.)
- Overall density appears to comply with the standards of the Mixed-Use Zone.
- Riverbank stabilization, open space improvements, and other site plan specific items will be reviewed for completeness and code compliance through the site plan and subdivision processes.

The concept-level review does not address all site plan issues as a more comprehensive review is performed at the site plan and/or subdivision stage. It is now the policy of staff to review the concept plan once and provide feedback. The applicant then determines to stay in the cycle of submit/review/resubmit or move on to action by the Planning Commission and City Council after one review. Because one review can point out several corrections, the concept plan can drastically change. The emphasis should be on the proposed changes to the General Plan land use map and rezone and if those changes are the desire of the City. Development will then follow according to the zone.

#### **H. Recommendation and Alternatives:**

Staff recommends the Planning Commission conduct a public hearing, take public input, discuss the application, provide feedback on the concept plan and choose from the following options.

##### **Option 1 – Staff Recommendation: positive**

I move to forward to the City Council a **positive** recommendation regarding the Riverview Plaza and Townhomes rezone generally at 1080 North Redwood Road as outlined in Exhibit 1 with the findings and conditions in the staff report dated March 19, 2020:

##### **Findings**

1. The Rezone will not result in a decrease in public health, safety, and welfare as outlined in the findings for approval in Section G of this report, which section is hereby incorporated by reference, herein.
2. The Rezone is consistent with Chapter 19.17 of the Code, as articulated in the findings for approval in Section G of this report, which section is incorporated by reference, herein.

##### **Conditions**

1. The River View Plaza and Townhomes rezone is recommended as shown in the attachment to the Staff report in Exhibit 1.
2. All conditions of the City Engineer, if applicable, shall be met, including but not limited to those in the Staff Report in Exhibit 3.
3. All conditions of the Fire Marshal shall be met.
4. All other Code requirements shall be met.
5. Any other conditions or changes as articulated by the Planning Commission.

##### **Alternative 1 – Continuance**

The Planning Commission may also choose to continue the item. "I move to **continue** the River View Plaza and Townhomes rezone to another meeting on [DATE], with direction to the applicant and Staff on information and/or changes needed to render a decision, as follows:

1. \_\_\_\_\_
2. \_\_\_\_\_

**Alternative 2 – Negative Recommendation**

The Planning Commission may also choose to forward a negative recommendation to the City Council regarding the application. "I move to forward a negative recommendation to the City Council regarding the River View Plaza and Townhomes rezone with the findings below:

1. The River View Plaza and Townhomes rezone is not consistent with the General Plan, as articulated by the Planning Commission: \_\_\_\_\_, and/or,
2. The River View Plaza and Townhomes rezone is not consistent with Chapter 19.17 of the Code, as articulated by the Planning Commission: \_\_\_\_\_.

**Comments on Concept Plan:**

1. All requirements of the City Engineer shall be met, including but not limited to those in the attached report.
2. All requirements of UDOT concerning access shall be met.
3. Additional items will require further review at the subdivision/site plan review level.
4. The plans shall comply with all Code requirements.
5. Any comments providing direction from the Planning Commission: \_\_\_\_\_

**J. Exhibits:**

1. Proposed Zone Change & Location
2. General Plan Land Use Map
3. City Engineer's staff report
4. Concept Plan

**Exhibit 1: Proposed Zone Change & Location**

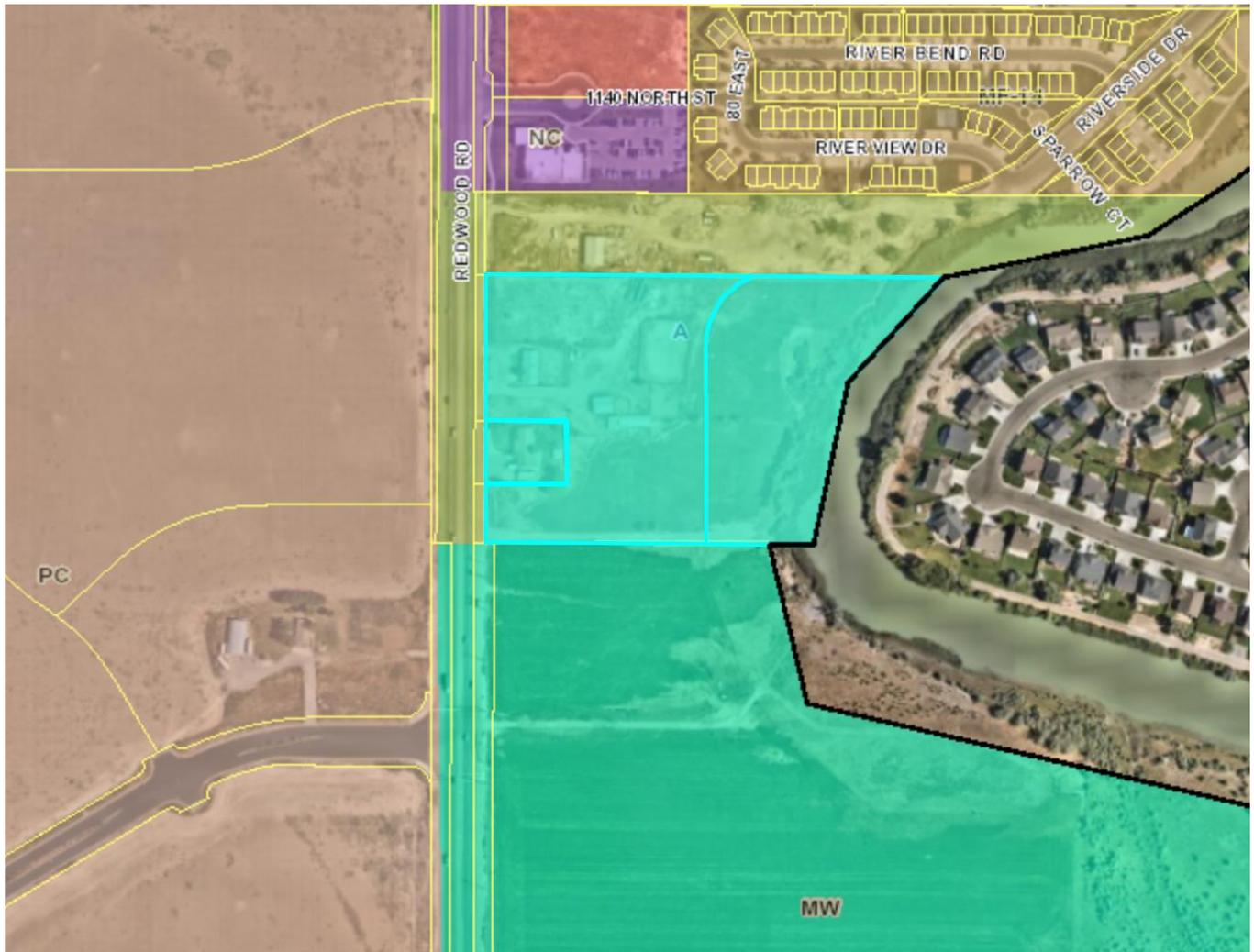
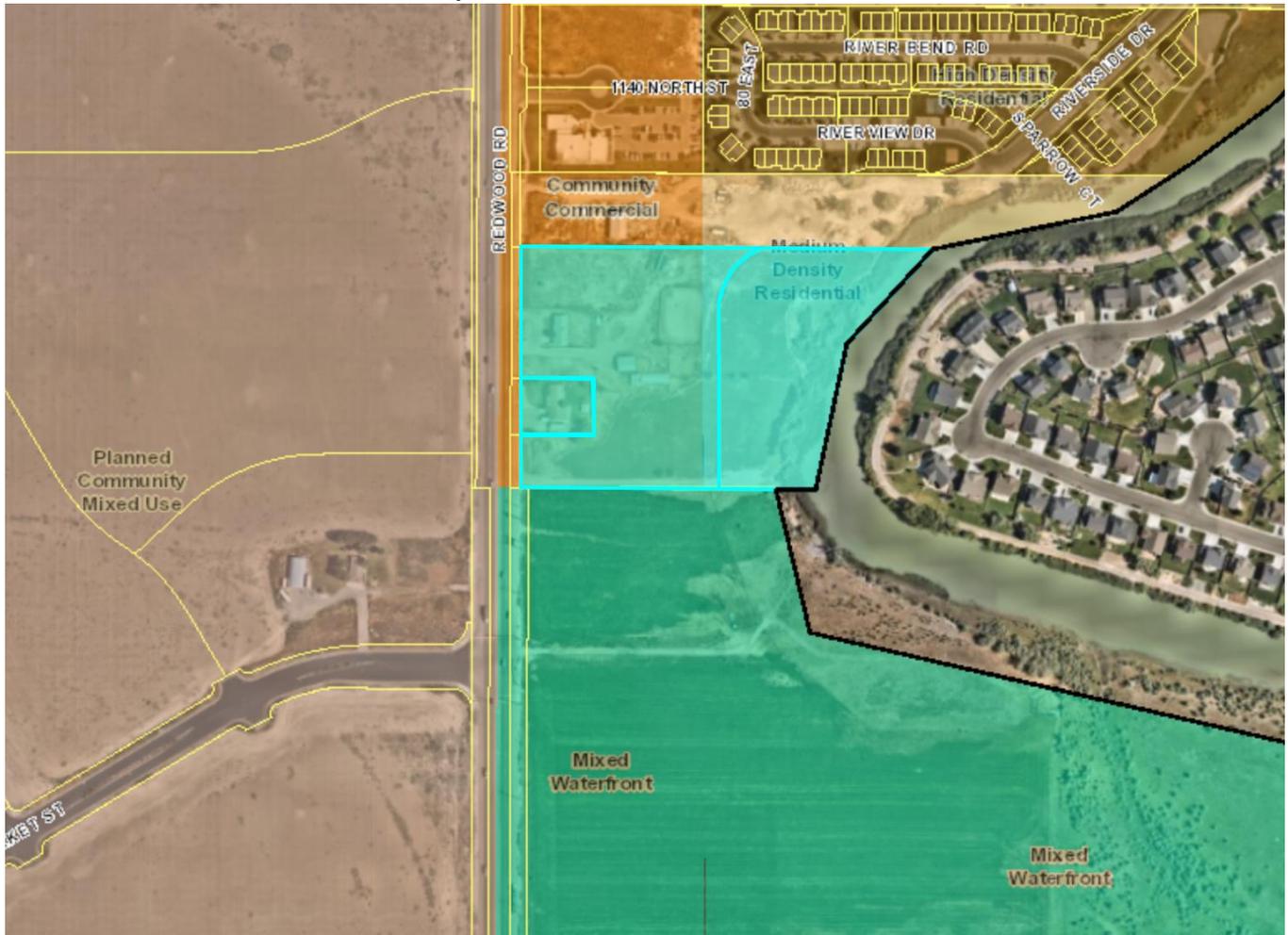
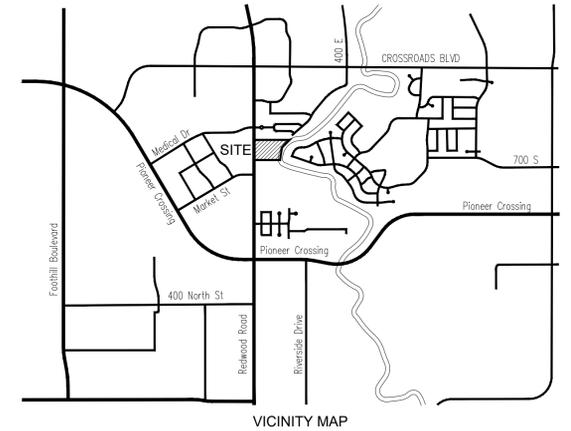
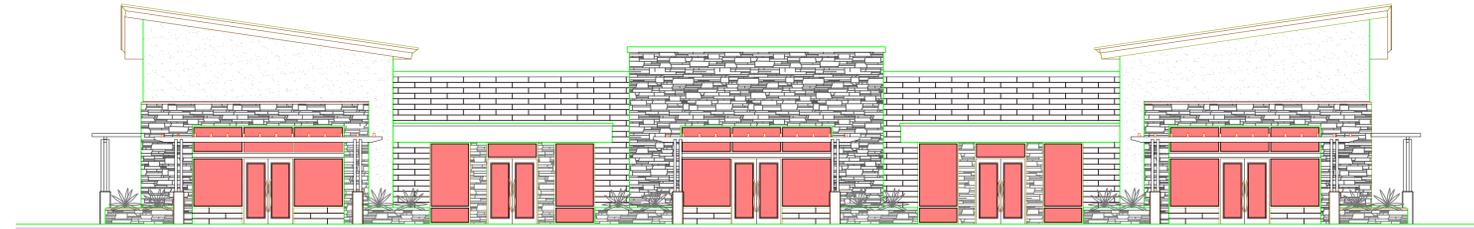


Exhibit 2: General Plan Land Use Map



# River View Plaza & River View Townhomes

## Exhibit 4



Symbol	Description
	Proposed 8" Sanitary Sewer Main
	Existing Sanitary Sewer Main (size noted on plan)
	Proposed Culinary Water Main (size noted on plan)
	Existing Culinary Water Main (size noted on plan)
	Existing Storm Drain pipe (size noted on plan)
	Proposed Storm Drain pipe (size noted on plan)
	Cable TV utility lines
	Existing Power lines
	New underground Power lines
	Outside Boundary line
	Existing surface improvements
	Existing Sidewalk
	Existing Sidewalk
	Existing Contour Elevation
	Finish Contour Elevation
	Finish Spot Elevation
	Drainage Flow Direction
	Water Meter (size noted on plan)
	Culinary Water Valve
	Fire Hydrant
	Sanitary Sewer Manhole
	Storm Drain Manhole
	Storm Drain Box
	top of asphalt
	top of sidewalk
	back of top of curb
	back of top of sidewalk
	Sanitary Sewer Manhole
	Storm Drain Manhole
	Water Valve
	Gas valve
	Water Meter
	edge of existing asphalt
	Public Utility Easement

### City Offices

1307 North Commerce Drive Suite 200  
Saratoga springs, UT 84045  
Phone (801) 766-9793  
Fax (801) 766-9794  
City Manager : Mark Christensen  
Assistant City Manager: Owen Jackson

### Planning Department

1307 North Commerce Drive Suite 200  
Saratoga springs, UT 84045  
Phone (801) 766-9793

Planning Director: David Stroud

### Public Works Department

Public Works Dir: Jeremy Lapin  
801-766-6506 x171

### Public Safety

Saratoga Springs Police Department  
367 S. Saratoga Road  
Saratoga Springs, Utah 84045  
801-766-6503

Emergency 911  
Police Dispatch 801-851-4100  
Utah County Animal Shelter  
801-785-3442

### Engineering

Gordon Miner, PE  
1307 North Commerce Drive Suite 200  
Saratoga Springs, UT. 84045  
Office (801) 766-6506

Capital Projects Manager:  
Chris Klingel  
801-766-6506 x171

### Gas

Questar  
1640 North Mountain Springs Parkway  
Springville, Utah 84663  
Phone (801) 853-6585  
Brad Mattinson

### Electricity

Rocky Mountain Power  
70 North 200 East  
American Fork, Utah 84003  
Phone (801) 756-1220  
Fax (801) 756-1274  
Mark Steele

### Telephone

Qwest  
75 East 100 North  
Provo, Utah 84606  
Phone (801) 356-7050  
Cell (801) 473-3385  
Kasey Lunt

### Cable T.V.

Comcast Cable Communications, Inc.  
1350 East Miller Avenue  
Salt Lake City, Utah 84106  
Phone (801) 485-0500  
Fax (801) 487-1887

### Project Address:

1032 North Redwood Road  
Saratoga Springs, Utah 84045

### Developer/Owner:

Osmond Development LLC  
Jared Osmond  
881 West State Road #140-446  
Pleasant Grove, UT 84062  
801-473-8660

### Engineer/Land Surveyor:

Dudley and Associates, Inc.  
353 East 1200 South  
Orem, Utah 84058  
801-224-1252

### Site Data:

Zone = A (Agricultural) Current  
MU Zone Proposed  
Total Property Area = 414,573 sq.ft. or 9.52 Acres  
Total number of Buildings = 6

TOTAL COMMERCIAL ACREAGE - 5.74 ACRES 250,172 SQUARE FEET  
RETAIL BUILDINGS - 25,040 SQUARE FEET (175 STALLS - 7.0 STALLS / 1,000 SQ.FT.)  
OFFICE BUILDING - 19,200 SQUARE FEET (96 STALLS - 5.0 STALLS / 1,000 SQ.FT.)

TOTAL RESIDENTIAL ACREAGE - 3.77 ACRES 164,402 SQUARE FEET

39 DWELLING UNITS - 10.34 UNITS PER ACRE WITH 81 STALLS MORE THAN 2.25 STALLS / UNIT

### Parking Requirements

Total Retail = 25,040 sq.ft. 7 stalls/1000 sq.ft. = 175 Parking stalls required  
Retail/ Office Space = 44,240 sq.ft. 5 stalls/1000 sq.ft. = 96 Parking stalls required  
Total Commercial Parking required = 271, 274 shown

36 Residential Units = 2.25 stalls / Unit = 81 Parking stalls required, 87 shown

ADA Spaces Required = 7 ADA Accessible spaces  
ADA Spaces shown = 12 (10 Van accessible spaces)

### OVERALL PROPERTY DESCRIPTION

Commencing at a point located North 00°36'28"East along the quarter Section line 1326.29 feet and East 67.36 feet from the South quarter corner of Section 14, Township 5 South, Range 1 West, Salt Lake Base and Meridian; thence North 00°22'39"East along the easterly boundary line of Redwood Road 546.36 feet; thence South 89°21'19"East 941.29 feet; thence South 78°47'51"West 5.83 feet; thence South 42°38'41"West 288.90 feet; thence South 12°17'41"West 337.41 feet; thence North 89°21'19"West 671.59 feet to the point of beginning.

Area = 414,573 sq.ft. or 9.52 Acres

### Sheet Index

1.0	Cover Sheet
1.1	General Notes
1.2	Existing Condition Plan
2.0	Concept Plan
3.0	Preliminary Utility Plan

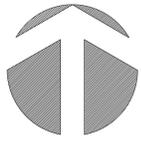
	Square Footage	Acreage	Percent of total
Total Area	250,172	5.74	100
Total Building / Pad Area	48,833	1.12	21
Total Hard Surface Area	125,185	2.87	55
Total Impervious Area	174,018	3.99	76
Total Landscaped Area	53,975	1.24	24

### Commercial Area

	Square Footage	Acreage	Percent of total
Total Area	164,402	3.77	100
Total Building / Pad Area	34,556	0.79	21
Total Hard Surface Area	12,627	0.29	55
Total Impervious Area	47,183	1.08	76
Total Landscaped Area	74,303	1.70	24

### Residential Area

Street Right of Way = 45,979 sq.ft. or 1.05 Acres



NORTH  
1" = 40'

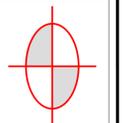
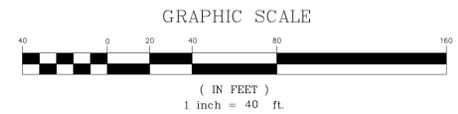
COSTCO

REDWOOD ROAD

RIVERSIDE DRIVE

JORDAN RIVER

Costco SE Entry  
(Right in-Right Out)



DUDLEY AND ASSOCIATES  
ENGINEERS PLANNERS SURVEYORS  
353 EAST 1200 SOUTH, OREM, UTAH  
801-224-1252

River View Plaza & River View Townhomes  
**Concept Plan**  
Utah  
Saratoga Springs

Revisions

No.	Description

Date	12-3-2019
Scale	1" = 40'
By	TD
Tracing No.	L

Sheet No.	C - 2.0
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**Code Amendment**  
**Sections 19.16.03.02**  
**March 26, 2020**  
**Public Hearing**

Report Date: March 19, 2020  
Applicant: City Initiated  
Previous Meeting: None  
Land Use Authority: City Council  
Future Routing: City Council  
Author: David Stroud, AICP, Planning Director

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**A. Executive Summary:**

Proposed amendment to change the existing standard that regulates when loading bay doors are prohibited or permitted when adjacent to a public right-of-way,

**RECOMMENDATION:**

**Staff recommends the Planning Commission conduct a public hearing, take public comment, discuss the proposed amendments, and choose from the options in Section G of this report.**

Options include forwarding a positive recommendation to the City Council with or without modifications, continuing the amendments to a future meeting, or a negative recommendation to the City Council.

**B. Specific Request:**

The proposed amendment comes about after reviewing concept plans for the 2250 North Redwood Road zone change in conjunction with the adjacent concept plan to the immediate north on the Boyd Brown property. The City Council approved the rezone of the 2250 North Redwood Road property on March 17, 2020. The concept plan (non-binding) currently shows a private road through the 2250 North development because at the time of application and currently, loading bay doors cannot be adjacent to a public road.

After reviewing the concept plan to the north, it makes sense to carry the road all the way to Hardman Way in Lehi as a public road. Stagecoach Drive is currently stubbed to the south of the 2250 North property. From this point, as plans in the City now show, the road segment would be public (current Stagecoach drive) to private (2250 North) to private (Boyd Brown) then to public Hardman Way. Because of the connectivity from the public Redwood Road via Harvest Hills Blvd/Stagecoach Drive to public Hardman Way in Lehi and the amount of traffic this road will handle, a public ROW is the best option. The developer of 2250 North Redwood Road would also

prefer a public ROW as this relieves private maintenance duties of the road but also provides for a wider asphalt width which will benefit trucks entering and leaving the proposed warehouse/flex buildings.

With that said, the current Code does not allow loading dock facilities to be adjacent to a public ROW. The proposed amendment would allow loading docks adjacent to a public right-of-way in one situation. If a lot has two frontages on public streets and the lot is not a corner lot, loading bay doors shall only face the lower classification of the two streets. The text amendment is as follows:

**19.16.03. Site Design Standards, General.**

The following standards are applicable to all new non-residential, two-family, three-family, and multi-family development:

**2. Parking areas.**

- a. On-site parking shall be located primarily to the sides or rear of the building. Variations may be approved by the Land Use Authority, subject to the following criteria:
  - i. The use is a big box with outparcels helping to screen parking, or
  - ii. At least 50% of the parking is located to the side or rear of the building, or
  - iii. A safety issue is created by locating parking to the side or rear as verified and documented by the Saratoga Springs Police Department. For example, the parking will be entirely concealed from view by existing walls or buildings.
  - iv. That portion of development that lies within the Waterfront Buffer Overlay; or
  - v. The development is Office, Warehouse/Flex space and when loading docks are not adjacent to a public right-of-way. Exception: when a lot with Office, Warehouse/Flex space is adjacent to two public streets and is not a corner lot, loading docks may face the lower classification of the two streets.
- b. Parking lots shall be designed with a hierarchy of circulation: major access drives with no parking; major circulation drives with little or no parking; and then parking aisles for direct access to parking spaces.
- c. The use of shared parking with adjacent sites is encouraged as per the shared parking provision within Section 19.09 of the Land Development Code.
- d. Parking lots adjacent to, and visible from, public streets shall be screened from view through the use of earth berms, screen walls, landscape hedges or combinations thereof with a minimum height of three feet as measured from the parking surface. Within regional parks this requirement may be met through the use of intermittent planter beds rather than a berm, hedge, or screen wall; trees and shrubs may be clustered in the planter beds where necessary to avoid light spillage.

**C. Process:**

Section 19.17.03 of the Code outlines the process and criteria for an amendment:

- a. The Planning Commission shall review the petition and make its recommendation to the City Council within thirty days of the receipt of the petition.

***Complies.*** *There is no application as this is City initiated and has been presented for a recommendation to the City Council.*
- b. The Planning Commission shall recommend adoption of proposed amendments only where it finds the proposed amendment furthers the purpose of the Saratoga Springs

Land Use Element of the General Plan and that changed conditions make the proposed amendment necessary to fulfill the purposes of this Title.

**Complies.** Please see Sections E and F of this report.

- c. The Planning Commission and City Council shall provide the notice and hold a public hearing as required by the Utah Code. For an application which concerns a specific parcel of property, the City shall provide the notice required by Chapter 19.13 for a public hearing.

**Complies.** Please see Section D of this report.

- d. For an application which does not concern a specific parcel of property, the City shall provide the notice required for a public hearing except that notice is not required to be sent to property owners directly affected by the application or to property owners within 300 feet of the property included in the application.

**Complies.** Please see Section D of this report.

**D. Community Review:**

This item was noticed in the Daily Herald as a Planning Commission public hearing. As of the date of this report, no public input has been received. The notice has also been posted in the City building, [www.saratogspringscity.com](http://www.saratogspringscity.com), and [www.utah.gov/pmn/index.html](http://www.utah.gov/pmn/index.html).

**E. General Plan:**

**Land Use Element – General Goals**

The General Plan has stated goals of responsible growth management, orderly and efficient development that is compatible with both the natural and built environment, establishment of a strong community identity in the City of Saratoga Springs, and implementation of ordinances and guidelines to assure quality of development.

**Staff conclusion: consistent.** *The proposed changes will still ensure quality of development, maintain community identity, ensure quality development through the maintenance of high standards, and require mitigation of impacts to existing/proposed development.*

**F. Code Criteria:**

**Code amendments are a legislative decision and grants the City Council significant discretion when considering changes to the Code.**

The criteria for an ordinance (Code) change are outlined below and act as guidance to the Council and to the Commission in making a recommendation. Note that the criteria is not binding.

**19.17.04 Consideration of General Plan, Ordinance, or Zoning Map Amendment**

The Planning Commission and City Council shall consider, but not be bound by, the following criteria when deciding whether to recommend or grant a general plan, ordinance, or zoning map amendment:

1. The proposed change will conform to the Land Use Element and other provisions of the General Plan;  
**Consistent.** *See Section E of this report.*
  
2. the proposed change will not decrease nor otherwise adversely affect the health, safety, convenience, morals, or general welfare of the public;  
**Consistent.** *The amendments will not adversely affect the health and welfare of the general public.*
  
3. the proposed change will more fully carry out the general purposes and intent of this Title and any other ordinance of the City; and  
**Consistent.** *The stated purposes of the Code are found in section 19.01.04:*
  1. The purpose of this Title, and for which reason it is deemed necessary, and for which it is designed and enacted, is to preserve and promote the health, safety, morals, convenience, order, fiscal welfare, and the general welfare of the City, its present and future inhabitants, and the public generally, and in particular to:
    - a. encourage and facilitate the orderly growth and expansion of the City;
    - b. secure economy in governmental expenditures;
    - c. provide adequate light, air, and privacy to meet the ordinary or common requirements of happy, convenient, and comfortable living of the municipality's inhabitants, and to foster a wholesome social environment;
    - d. enhance the economic well-being of the municipality and its inhabitants;
    - e. facilitate adequate provisions for transportation, water, sewer, schools, parks, recreation, storm drains, and other public requirements;
    - f. prevent the overcrowding of land, the undue concentration of population, and promote environmentally friendly open space;
    - g. stabilize and conserve property values;
    - h. encourage the development of an attractive and beautiful community; and
    - i. promote the development of the City of Saratoga Springs in accordance with the Land Use Element of the General Plan.  
**Consistent.** *The proposed amendment will provide a streamlined development review process both benefiting the City, developers, and the public.*
  
4. in balancing the interest of the petitioner with the interest of the public, community interests will be better served by making the proposed change.  
**Consistent.** *The amendments will provide additional clarity and effectiveness of the Code and better enhance the consistency in development review.*

**G. Recommendation:**

**Option 1 – Positive Recommendation**

The Planning Commission may choose to forward a **positive** recommendation on all or some of the amendment to the Code Sections listed in the motion, as proposed or with modifications:

Motion: “Based upon the evidence and explanations received today, I move to forward a **positive** recommendation to the City council for the proposed amendment to Title 19 with the findings and conditions in the staff report dated March 19, 2020:”

**Findings:**

1. The amendments are consistent with Section 19.17.04.1, General Plan, as outlined in Sections E and F of this report and incorporated herein by reference.
2. The amendments are consistent with Section 19.17.04.2 as outlined in Section F of this report and incorporated herein by reference.
3. The amendments are consistent with Section 19.17.04.3 as outlined in Section F of this report and incorporated herein by reference.
4. The amendments are consistent with Section 19.17.04.4 as outlined in Section F of this report, and incorporated herein by reference.

**Conditions:**

1. The amendments shall be edited as directed by the Commission:

- a. \_\_\_\_\_
- b. \_\_\_\_\_

**Option 1 – Continuance**

Vote to **continue** all or some of the Code amendments to the next meeting, with specific feedback and direction to Staff on changes needed to render a decision.

Motion: “I move to continue the amendments to Title 19 to the [DATE] Planning Commission meeting with the following direction on additional information needed and/or changes to the draft:

- a. \_\_\_\_\_
- b. \_\_\_\_\_

**Option 2 – Negative Recommendation**

Vote to forward a **negative** recommendation to the City Council for all or some of the proposed Code amendments.

Motion: “Based upon the evidence and explanations received today, I move to forward a **negative** recommendation to the City Council for the proposed amendments to all or some of the Title 19 amendments with the Findings below:

**Findings**

1. The amendments do not comply with Section 19.17.04, sub paragraphs 1, 2, 3, and/or 4, as articulated by the Planning Commission:
2. \_\_\_\_\_
3. \_\_\_\_\_



**Site Plan**

**Mountain Sunrise Academy Charter School**

**March 26, 2020**

**Public Meeting**

Report Date:	March 19, 2020
Applicant:	Boyer MSA, L.C.
Owner:	Boyer MSA, L.C.
Location:	1800 E 145 N
Major Street Access:	145 North
Parcel Number(s) & Size:	13:031:0034, 4.32 acres
Parcel Zoning:	I/C (Institutional Civic)
Parcel General Plan:	Institutional/Civic
Adjacent Zoning:	Utah County and Agriculture
Current Use of Parcel:	Undeveloped
Adjacent Uses:	Agricultural, Undeveloped, Utah County
Previous Meetings:	N/A
Previous Approvals:	Annexation Plat approved October 10, 2019
Type of Action:	Administrative
Land Use Authority:	Planning Commission
Future Routing:	N/A
Author:	David Stroud, AICP, Planning Director

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**A. Executive Summary:**

This is a request for site plan approval for Mountain Sunrise Academy Charter School in the Institutional/Civic (IC) zone. The site plan includes a building footprint of 26,127 square feet with outdoor play areas, 101 parking stalls, and associated landscaping.

**Recommendation:**

**Staff recommends that the Planning Commission conduct a public meeting on the site plan application, review and discuss the proposal, and select from the motions in Section H of this report.** Options include approval with conditions, continuation, or denial.

**B. Background:**

The school parcel was annexed into the City in October 2019. Several site plan standards are governed by the State Code for this school site. The City cannot regulate architecture, landscaping, or fencing. The City can regulate setbacks, height, bulk and massing regulations, off-site parking, curb cut, traffic circulation, and construction staging. The parking standard is determined by the Planning Commission as the Land Use Authority. The Planning Commission should consider staffing and student levels needed for parking as well as potential uses that might require additional parking. A final plat has been reviewed by staff and will be recorded with the County Recorder.

**C. Specific Request:**

The applicant is requesting review and approval of the proposed site plan of the Mountain Sunrise Academy Charter School located at approximately 1800 East 145 North in the I/C zone.

**D. Process:**

Section 19.13 summarizes the process for site plans and states that the Planning Commission is the Land Use Authority.

**E. Community Review:**

Site Plans do not require a public hearing and newspaper and mailed notices are not required. Public notices are not required for the application. The agenda is posted on the City webpage, posted in the City buildings, and available at [www.utah.gov/pmn](http://www.utah.gov/pmn). As of the date of this report, the neighbor to the east contacted the City to state there may be a boundary discrepancy. However, the City cannot adjudicate issues between property owners regarding a boundary line dispute.

**F. General Plan:**

The site is designated as Institutional/Civic on the Land Use Map of the General Plan. The General Plan describes the general characteristics of the Institutional/Civic land use designation as follows:

Institutional/ Civic	Areas that accommodate public or quasi-public land uses. Activities in the institutional areas will vary greatly and shall include schools, libraries, hospitals, public buildings or facilities and other land-uses that provide essential services to the general public.
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*Staff conclusion: Consistent. The proposed use as a Charter School as per 10-9a-305 of State Code permits such a use in any zone within the City. However, when the property was annexed the zone and land use approved was Institutional/Civic which is the most appropriate zone and designation as the future use at the time of annexation was already known.*

**G. Code Criteria:**

For full analysis please see the attached Planning Review Checklist which is incorporated by reference herein.

- 19.04, Land Use Zones: **Complies.**

- 19.05, Supplemental Regulations: **Complies**.
- 19.06, Landscaping and Fencing: **Complies**.
- 19.09, Off Street Parking: **Complies**.
- 19.11, Lighting: **Complies**.
- 19.13, Process: **Complies** – scheduled for PC as required.
- 19.14, Site Plans: **Complies**.
- 19.16, Site and Architectural Design Standards: **Complies** – standards governed by the State.

**H. Recommendation and Alternatives:**

Staff recommends that the Planning Commission conduct a public meeting, discuss the application, and choose from the options below.

**Staff Recommended Motion – approval**

“I move to **approve** the proposed site plan of the Mountain Sunrise Academy Charter School, located at approximately 1800 East 145 North, with the Findings and Conditions below:”

**Findings**

1. The application is consistent with the General Plan, as articulated in Section “F” of the staff report, which section is incorporated by reference herein.
2. The application can comply with the Land Development Code subject to the conditions below and as articulated in Section “G” of the staff report, which section is incorporated by reference herein.
3. State Code §10-9a-305 prohibits the City from regulating landscaping, architecture, and fencing.
4. State Code §10-9a-305 permits the City to regulate setback, height, bulk and massing regulations, off-site parking, curb cut, traffic circulation, and construction staging.

**Conditions:**

1. All conditions of the City Engineer shall be met, including but not limited to those in the attached staff report.
  2. All requirements of the Fire Chief shall be met.
  3. All other Code requirements shall be met.
  4. The final plat shall be recorded prior.
  5. A separate sign permit is required for final approval of any signs.
  6. Any other conditions or changes as articulated by the Planning Commission:
- 

**Alternative 1 – Continuance**

The Planning Commission may also choose to continue the item. “I move to **continue** the Mountain Sunrise Academy Charter School site plan application to another meeting on [DATE], with direction to the applicant and Staff on information and/or changes needed to render a decision, as follows:

1. \_\_\_\_\_

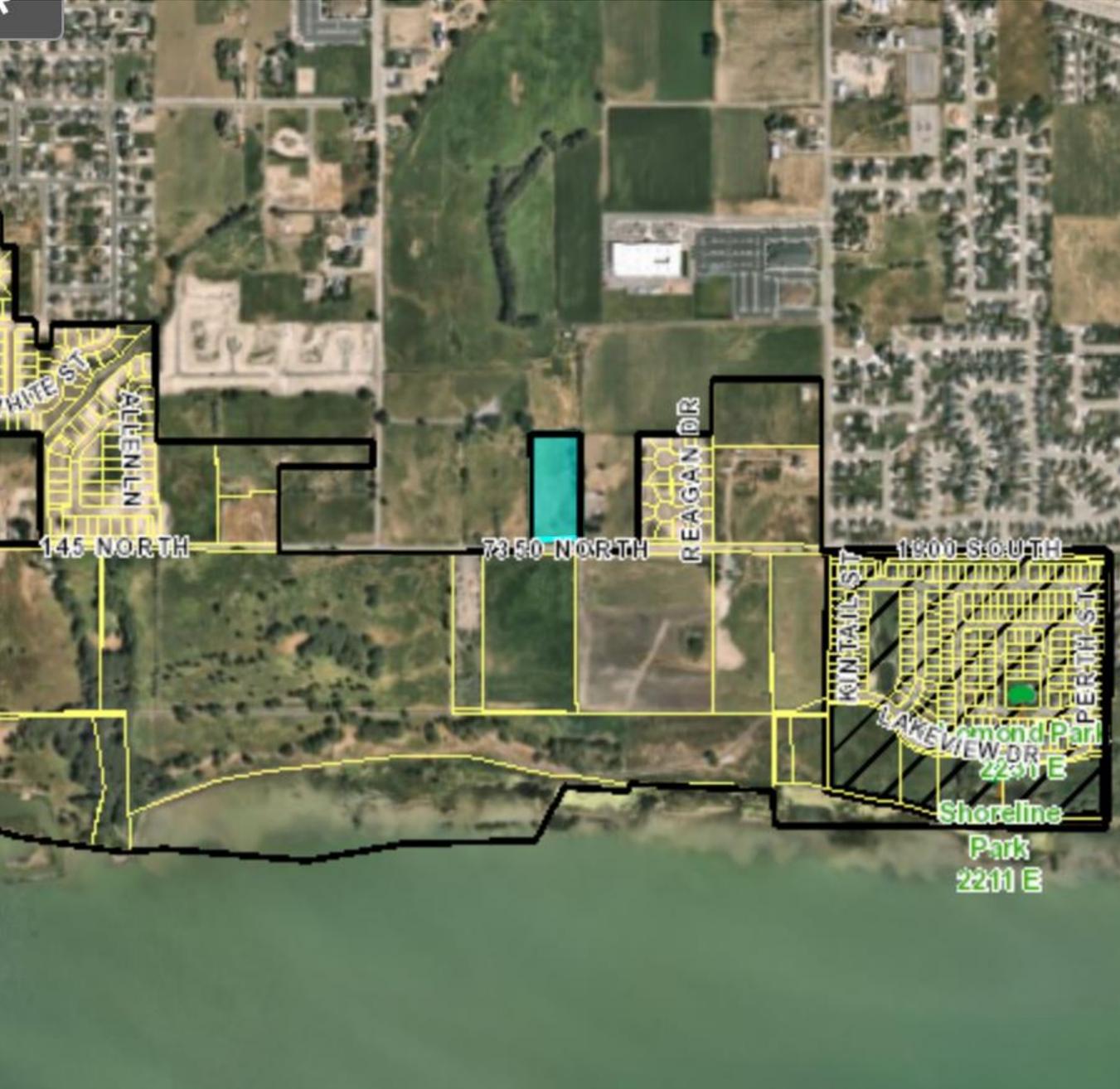
**Alternative 2 – Denial** The Planning Commission may also choose to deny the site plan. “I move to **deny** the proposed Site Plan of the Mountain Sunrise Academy Charter School, located at approximately 1800 East 145 North, based on the following findings:”

1. The Site Plan is not consistent with the General Plan, as articulated by the Planning Commission: \_\_\_\_\_, and/or,
2. The Site Plan is not consistent with Section [XX.XX] of the Code, as articulated by the Planning Commission: \_\_\_\_\_.

**I. Exhibits:**

1. Location Map
2. **City Engineer’s Report**
3. Planning Review Checklist
4. Site Plan
5. Landscape Plan
6. Photometric Plan
7. Elevations

Exhibit 1 – Location Map



# Staff Report

**Author:** Gordon Miner, City Engineer  
**Subject:** Mountain Sunrise Academy Charter School – Site Plan  
**Date:** March 26, 2020  
**Type of Item:** Site Plan Approval



SARATOGA  
SPRINGS

## Description:

**A. Topic:** The Applicant has submitted a Site Plan application. Staff has reviewed the submittal and provides the following recommendations.

**B. Background:**

*Applicant:* Boyer MSA, L.C.  
*Request:* Site Plan Approval  
*Location:* 145 North  
*Acreage:* 4.32 acres – 1 Lot

**C. Recommendation:** Staff recommends the approval of Site Plan subject to the following conditions:

1. All review comments and redlines provided by the City Engineer are to be complied with and implemented with the approved construction drawings.
2. Provide a Storm Water Pollution Prevention Plan (SWPPP) following the State template, prior to the pre-construction meeting.
3. Developer must secure water rights as required by the City Engineer, City Attorney, and development code.
4. Provide easements for all public utilities not located in the public right-of-way.
5. Developer is required to ensure that there are no adverse effects to adjacent properties due to the grading practices employed during construction of these plats.
6. Developer may be required by the Saratoga Springs Fire Chief to perform fire flow tests prior to the issuance of certificate of occupancy or prior to the commencement of the warranty period.
7. Submittal of as-built drawings in pdf format to the City Engineer is required prior to acceptance of site improvements and the commencement of the warranty period.
8. All study intersections are currently operating at an acceptable LOS during the morning peak hour in existing (2019) background conditions.
  - a. The current intersection control at the 1700 West / 145 North intersection is a southbound yield.
  - b. Recommendation: Install a stop sign in place of the yield sign at the 1700 West/ 145 North intersection to have a stronger control.
  - c. The development will consist of a charter school starting with 392 students in

- year one and building up to 504 students by year three.
- d. It was initially assumed that the School Access / 145 North intersection had full movement access for left- and right-turns.
  - e. All study intersections are anticipated to operate at an acceptable LOS during the morning peak hour with project traffic added.
  - f. All study intersections are anticipated to operate at an acceptable LOS during the morning peak hour in future (2024) background conditions. However, a significant eastbound queue is anticipated at the 1100 West / 145 North intersection.
  - g. Recommendation: Install an eastbound left-turn pocket at the 1100 West / 145 North intersection to provide separate lanes for left-turn and through vehicles.
  - h. The School Access / 145 North intersection is anticipated to operate at LOS F during the morning peak hour due to high through volumes on 145 North. Significant queues are also anticipated.
  - i. Recommendation: Restrict left turns at School Access to limit southbound and eastbound queueing and delays.
9. A reimbursement agreement is required for the 12-inch secondary waterline installed along the frontage, which must extend to the existing 12-inch secondary waterline at the Willow Glen Subdivision.

## APPLICATION REVIEW CHECKLIST

### Application Information

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<b>Date Received:</b>	10/4/2019, 12/5/2019
<b>Date of Review:</b>	10/23/2019, 12/23/2019, 2/11/2020
<b>Project Name:</b>	Mountain Sunrise Academy Charter School
<b>Project Request / Type:</b>	Preliminary/final plat and site plan
<b>Meeting Type:</b>	N/A
<b>Applicant:</b>	Boyer MSA, L.C.
<b>Owner:</b>	Same
<b>Location:</b>	1800 East 145 North
<b>Major Street Access:</b>	145 North
<b>Parcel Number(s) and size:</b>	13:031:0034, 4.32 acres
<b>Land Use Designation:</b>	I/C
<b>Parcel Zoning:</b>	I/C
<b>Adjacent Zoning:</b>	County and Agriculture
<b>Current Use:</b>	Vacant/agriculture
<b>Adjacent Uses:</b>	Residential/agriculture/vacant
<b>Previous Meetings:</b>	N/A
<b>Previous Approvals:</b>	Annexation approved 10.1.19
<b>Type of Action:</b>	Administrative
<b>Land Use Authority:</b>	Planning Commission
<b>Future Routing:</b>	Planning Commission
<b>Planner:</b>	David Stroud, Planning Director

### Section 19.13 – Application Submittal

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- Application Complete: **Yes.**
- Rezone Required: **No.**
- General Plan Amendment required: **No.**
- Additional Related Application(s) required: **Yes.** Preliminary and final plat.

### Section 19.13.04 – Process

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- DRC: 12/23/2019
  - Neighborhood Meeting: N/A
  - PC: TBD
  - CC: TBD
-

## General Review

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### Building Department

- Setback detail
- Lot numbering – per phase (i.e. Phase 1: 100, 101, 102. Phase 2: 200, 201, 202, etc.)
- True buildable space on lots (provide footprint layout for odd shaped lots)
- Lot slope and need for cuts and fills

### Fire Department

- Commercial:
  - Fire flows shall meet existing needs as well as future development in the area.
  - Hydrant spacing shall not exceed 300'.
  - Buildings shall be fire sprinkled and meet NFPA 13 requirements and all applicable IFC 2015 edition requirements and appendices.
  - Alarm system and notification systems shall all be tied together with the fire sprinkler system and monitored 24/7, 365 by a third party monitoring company.
  - This same system and / or monitoring company shall also be able to notify UVSSD 911 dispatch center 24/7 365.
  - All sprinkler plans and alarm plans shall be third party reviewed by PCI in Centerville, Utah, Attn: Bob Goodloe.
  - School shall meet NFPA 13 requirements for fire sprinklers. School shall have monitored smoke detection as well. All systems shall be monitored by 24/7 365 third party monitoring company. Knox Box shall be located at or near the front entrance to school 5'6" from finished grade. Annunciation panel shall also be near entrance. Knox Locks shall be supplied by the builder and installed by the fire department. Drive Isle widths and approaches are within requirements.

### GIS / Addressing

- comments

### Additional Recommendations:

- 

## Code Review

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- 19.04, Land Use Zones
  - Zone: I/C
  - Use: I/C

19.04.01 Requirements		Institutional/Civic	
Category To Be Reviewed	Regulation	Determination	How
Development Size (Minimum)			
Lot Size (Minimum)	20,000 sq. ft.	<b>Complies</b>	4.55 acres
Front/Corner Side Setback (Minimum)	25'	<b>Complies</b>	45' 9"
Interior Side Setback (Minimum)	25'	<b>Complies</b>	37' 4" and 110' 6"
Rear Setback (Minimum)	25'	<b>Complies</b>	295' 4"
Building Separation (Minimum)	20'	<b>N/A</b>	One building
Lot Width (Minimum)	80'	<b>Complies</b>	296' 9"

Lot Frontage (Minimum)	80'	<b>Complies</b>	296' 9"
Building Height (Maximum)	50'	<b>Complies</b>	39' 9"
Lot coverage (Maximum)	50%	<b>Complies</b>	13.1 percent
Building Size (Minimum)			
Building Size (Maximum)			

### 19.05 Supplemental Regulations

Regulation	Compliance	Findings
<b>Flood Plain:</b> Buildings intended for human occupancy shall be constructed at least one foot above the base flood elevation.	<b>Complies.</b>	<i>Zone X (500 year)</i>
<b>Water &amp; Sewage:</b> Each lot shall be connected to City water and sewer.	<b>Complies.</b>	<i>Will connect to city services</i>
<b>Transportation Master Plan:</b> Lots shall not interfere with the Transportation Master Plan.	<b>Complies.</b>	
<b>Property Access -</b> All lots shall abut a dedicated public or private road.	<b>Complies.</b>	

### 19.06 Landscaping and Fencing

#### Landscape Plans

Regulation	Compliance	Findings
<b>Landscape Architect:</b> Landscaped plans shall be prepared by a licensed landscape architect.	<b>Complies.</b>	<i>Babcock Designs</i>
<b>Existing Conditions:</b> Show the location and dimension of all existing and proposed structures, property lines, easements, parking lots, power lines, rights-of-way, ground signs, refuse areas, and lighting.	<b>Complies.</b>	
<b>Planting Plan:</b> Show location and planting details for all proposed vegetation and materials. Indicate the size of the plant material at maturation. All existing vegetation that will be removed or remain must be identified.	<b>Complies.</b>	<i>Not regulated as per State Code</i>
<b>Plants:</b> The name (both botanical and common name), quantity, and size of all proposed plants.	<b>Complies.</b>	
<b>Topography:</b> Existing and proposed grading of the site indicating contours at two feet intervals.	<b>Complies.</b>	
<b>Irrigation:</b> Irrigation plans showing the system layout and details.	<b>Complies.</b>	<i>Not regulated as per State Code</i>
<b>Fencing:</b> Location, style, and details for proposed and existing fences and identification of the fencing materials.	<b>Complies.</b>	<i>Not regulated as per State Code</i>
<b>Data Table:</b> Table including the total number of each plant type, and total square footage and percentage of landscaped areas, domestic turf grasses, decorative rock, mulch, bark, and drought tolerant plant species.	<b>Complies.</b>	
<b>Completion of Landscape Improvements:</b> All required landscaping improvements shall be completed in accordance with the approved landscape plans.	<b>Complies.</b>	<i>Not regulated as per State Code</i>

#### Planting Standards

<b>Deciduous Trees:</b> 2" in caliper.	<b>Complies.</b>	
<b>Evergreen Trees:</b> 6' in height.	<b>Complies.</b>	
<b>Tree Base Clearance:</b> 3' diameter around every tree must be kept clear of turf and rock mulch	<b>Complies.</b>	<i>Not regulated as per State Code</i>
<b>Shrubs:</b> 25% of required shrubs must be a minimum of 5 gallons in size.	<b>Complies.</b>	
<b>Turf:</b> No landscaping shall be comprised of more than seventy percent turf, except within landscaped parks.	<b>Complies.</b>	<i>Not regulated as per State Code</i>
<b>Artificial Turf :</b> Not allowed	<b>Complies.</b>	<i>No artificial turf on plan</i>

<b>Drought Tolerant Plants:</b> 50% of all plants shall be drought tolerant.	<b>Complies.</b>	<i>Not regulated as per State Code</i>
<b>Rock Mulch:</b> Rock mulch shall be two separate colors and separate sizes and must be contrasting in color from the pavement and other hard surfaces. All colors used must be earth tones.	<b>Complies.</b>	
<b>Design Requirements</b>		
<b>Evergreens:</b> Evergreens shall be incorporated into landscaped treatment of sites where screening and buffering are required.	<b>Complies.</b>	
<b>Softening of Walls and Fences:</b> Plants shall be placed intermittently against long expanses of building walls, fences, and barriers to create a softening effect.	<b>Complies.</b>	
<b>Planting and Shrub Beds:</b> Planting and shrub beds are encouraged to be used in order to conserve water.	<b>Complies.</b>	
<b>Water Conservation:</b> Water-conserving sprinkler heads and rain sensors are required. Drip lines should be used for shrubs and trees.	<b>Complies.</b>	<i>Not regulated as per State Code</i>
<b>Energy Conservation:</b> Placement of plants shall be designed to reduce energy consumption. Deciduous trees are encouraged to be planted on the south and west sides of structures. Evergreens are encouraged to be planted on the north side of structures.	<b>Complies.</b>	
<b>Placement:</b> Whenever possible, landscaping shall be placed immediately adjacent to structures, particularly where proposed structures have large empty walls.	<b>Complies.</b>	
<b>Trees and Power Poles:</b> No trees shall be planted directly under or within ten feet of power lines, poles, or utility structures unless: <ul style="list-style-type: none"> <li>• The Planning Commission gives its approval.</li> <li>• The Power Company or owner of the power line gives written consent.</li> <li>• The maximum height or width at maturity of the tree species planted is less than 5 feet to any pole, line, or structure.</li> </ul>	<b>Can Comply.</b>	<i>TBD at site plan stage</i>
<b>Preservation of Existing Vegetation</b>		
Where possible and appropriate, existing native vegetation must be incorporated into the landscape treatment of the proposed site.	<b>Complies.</b>	<i>Not regulated as per State Code</i>
<b>Tree Preservation:</b> Existing mature evergreen trees of 16 feet in height or greater, and existing mature deciduous or decorative trees of more than four inches (4") in caliper, shall be identified on the landscape plan and preserved if possible. If a mature tree is preserved, an area around the roots as wide as the existing canopy shall not be disturbed.	<b>Complies.</b>	<i>Three existing trees to remain</i>
If preservation is not possible, the required number of trees shall be increased by double the number of such trees removed.	<b>Complies.</b>	
The replacement trees for evergreen trees shall be evergreens, and for deciduous shall be deciduous.	<b>Complies.</b>	
Deciduous trees smaller than four inches in caliper, or mature ornamental trees, that are removed shall be replaced on a one to one ratio.	<b>Complies.</b>	<i>Not regulated as per State Code</i>
Replacement trees shall be in addition to the minimum tree requirements of this Chapter, and shall comply with minimum sizes as outlined in the Chapter.	<b>Complies.</b>	<i>Not regulated as per State Code</i>
<b>Planter Beds</b>		
<b>Weed Barrier:</b> A high quality weed barrier or pre-emergent shall be used.	<b>Complies.</b>	<i>Not regulated as per State Code</i>
<b>Materials:</b> High quality materials such as wood chips, wood mulch, ground cover, decorative rock, landscaping rocks, or similar materials shall be used, and materials must be heavy enough to not blow away in the wind	<b>Complies.</b>	<i>Not regulated as per State Code</i>

<b>Edging:</b> Edging must be used to separate planter and turf areas.	<b>Complies.</b>	<i>Not regulated as per State Code</i>
<b>Drip Lines:</b> Drip lines must be used in plater beds.	<b>Complies.</b>	<i>Not regulated as per State Code</i>
<b>Fencing and Screening</b>		
<b>Front Yards:</b> Fences exceeding three feet in height shall not be erected in any front yard space of any residential lot.	<b>Complies.</b>	<i>Not regulated as per State Code</i>
<b>Clear Sight Triangle:</b> All landscaping and fencing shall be limited to a height of not more than three feet and the grade at such intersections shall not be bermed or raised. Clear sight is located at all intersections of streets, driveways, or sidewalks, for a distance of twenty feet back from the point of curvature of curved ROWs and property lines or thirty feet back from the intersection of straight ROWs and property lines, whichever is greater landscaping shall not exceed 3' in height and the area shall not be bermed or raised within clear sight triangles.	<b>Complies.</b>	<i>Not regulated as per State Code</i>
<b>Amount of Required Landscaping</b>		
Portions of the property that are not developed with structures, rights of ways, or parking areas shall be landscaped.	<b>Complies.</b>	<i>Not regulated as per State Code</i>
Multi-family, common space not including parks, and nonresidential development in all Zones shall be required to adhere to the minimum landscaped standards in 19.06.07 of the Land Development Code.	<b>Complies.</b>	
At least 50% of the landscaped area shall be covered with live vegetation at maturity. The percentage may be reduced to 40% in areas where bark mulch, wood or plant fiber mulch, or rubber mulch is used instead of rock mulch.	<b>Complies.</b>	

<b>Landscape Amount</b>			
<b>Category To Be Reviewed</b>	<b>Regulation</b>	<b>Compliance</b>	<b>Findings</b>
Total Square Footage	198,198		
Required Landscaping	39,640 (N/A)	<b>Complies</b>	82,328
Required Deciduous Trees	15	<b>Complies</b>	33
Required Evergreen Trees	13	<b>Complies</b>	16
Required Shrubs	33	<b>Complies</b>	483
Drought Tolerant Plants	30	<b>Complies</b>	TBD

<b>19.09 Off Street Parking</b>		
<b>General Provisions</b>		
<b>Regulation</b>	<b>Compliance</b>	<b>Findings</b>
<b>Materials:</b> Parking areas shall consist of concrete, asphalt, or other impervious materials approved in the City's adopted construction standards	<b>Complies.</b>	<i>Heavy duty asphalt</i>
<b>Parking Area Access:</b> Common Access: Parking areas for one or more structures may have a common access so long as the requirements of all City ordinances, regulations, and standards are met. The determination of the locations for a common access shall be based upon the geometry, road alignment, and traffic volumes of the accessed road per the Standard Technical Specifications and Drawings.	<b>Complies.</b>	
<b>Sidewalk Crossing:</b> All non-residential structures are required to provide parking areas where automobiles will not back across a sidewalk to gain access onto a public or private street.	<b>Complies.</b>	
<b>Cross Access:</b> Adjacent non-residential development shall stub for cross-access. Developers must provide the City with documentation of cross-access easements with adjacent development.	<b>Complies.</b>	

<b>Lighting:</b> Parking areas shall have adequate lighting to ensure the safe circulation of automobiles and pedestrians. Lighting shall be shielded and directed downward.	<b>Complies.</b>	
<b>Location of Parking Areas:</b> Required off-street parking areas for non-residential uses shall be placed within 600 feet of the main entrance to the building. Unenclosed parking for residential areas shall not be provided in rear yards, unless said yard abuts an alley-type access or is fenced with privacy fencing	<b>Complies.</b>	
<b>Curb Cuts and Shared Parking:</b> In most cases, shared parking areas shall share ingress and egress. This requirement may be waived when the City Engineer believes that shared accesses are not feasible. In reviewing the site plans for the shared parking areas, the City Engineer shall evaluate the need for limited access, appropriate number of curb cuts, shared driveways, or other facilities that will result in a safer, more efficient parking and circulation pattern.	<b>Complies.</b>	
<b>Parking Requirements and Shared Parking</b>		
Available on-street parking shall not be counted towards meeting the required parking stalls.	<b>Complies.</b>	
When a parking requirement is based upon square footage, the assessed parking shall be based upon gross square footage of the building or use unless otherwise specified in the requirement.	<b>N/A.</b>	<i>LUA determines parking</i>
When parking requirements are based upon the number of employees, parking calculations shall use the largest number of employees who work at any one shift. Where shift changes may cause substantial overcrowding of parking facilities, additional stalls may be required.	<b>N/A.</b>	
When a development contains multiple uses, more than one parking requirement may be applied.	<b>N/A.</b>	
Tandem parking spaces will not be counted as parking spaces for non-residential uses except for stacking spaces where identified.	<b>N/A.</b>	
Any fraction obtained when calculating the parking requirement shall be rounded up to the next whole number to determine the required number of parking stalls.	<b>Can Comply.</b>	
Any information provided by the developer relative to trip generation, hours of operation, shared parking, peak demands, or other information relative to parking shall be considered when evaluating parking needs.	<b>Can Comply.</b>	<i>TBD at site plan stage</i>
Parking requirements may deviate from the standards contained in Section 19.09.10, Required Minimum Parking, when the Planning Commission determines that the deviation meets the intent of this Chapter. Reductions may not exceed 25% of the parking requirements and shall be based on the following criteria: a. the intensity of the proposed use; b. times of operation and use; c. whether the hours or days of operation are staggered thereby reducing the need for the full amount of required parking; d. whether there is shared parking agreement in accordance with Section 19.09.05.10 below; e. trip generation; and f. peak demands.	<b>Can Comply.</b>	<i>TBD at site plan stage</i>
Up to twenty-five percent of the required parking may be shared with an adjacent use upon approval by the City Council. The developer must provide: a. an agreement granting shared parking or mutual access to the entire parking lot; and b. peak demand data by a professional traffic engineer showing that shared parking will accommodate the uses.	<b>N/A.</b>	

<p>Parking lots larger than 75,000 square feet shall provide raised or delineated pedestrian walkways. Walkways shall be a minimum of ten feet wide and shall be placed through the center of the parking area and extend to the entrance of the building. Landscaped islands along the center walkway shall be placed at a minimum interval of every thirty feet. Landscaped islands are encouraged to be offset from one another to create a feeling of greater coverage. Pedestrian covered walkways may be substituted for tree-lined walkways. Where the developer desires to have a driveway access at the center of the parking area, a pedestrian access shall be placed on either side of the driveway.</p>	<p>N/A.</p>	
<b>Landscaping in Parking Areas</b>		
<p>All parking areas (not including a driveway for an individual dwelling) for non-residential or multi-family residential uses that are adjacent to public streets shall have landscaped strips of not less than ten feet in width placed between the sidewalk and the parking areas, containing a berm, hedge, or screen wall with a minimum height of three feet to minimize intrusion of lighting from headlights and other lighting on surrounding property. Trees, both deciduous and evergreen, shall be placed in the strip with spacing of no more than thirty feet between trees except in the clear sight triangle, and except where located beneath powerlines. The standards of section 19.06.06, Planting Standards and Design Requirements, shall apply for the minimum size of vegetation. Within regional parks this requirement may be met through the use of intermittent planter beds rather than a berm, hedge, or screen wall; trees or shrubs may be clustered in the planter beds where necessary to shield light spillage.</p>	<p><b>Complies.</b></p>	
<p>All landscaped areas abutting any paved surface shall be curbed (not including a driveway for an individual dwelling). Boundary landscaping around the perimeter of the parking areas shall be separated by a concrete curb six inches higher than the parking surface.</p>	<p><b>Complies.</b></p>	<p><i>Not regulated as per State Code</i></p>
<p>Clear Sight Triangles must be followed.</p>	<p><b>Complies.</b></p>	<p><i>Not regulated as per State Code</i></p>
<p>All landscaped parking areas shall consist of trees, shrubs, and groundcover. Areas not occupied by structures, hard surfaces, vehicular driveways, or pedestrian walkways shall be landscaped and maintained. All landscaped areas shall have an irrigation system.</p>	<p><b>Complies.</b></p>	<p><i>Not regulated as per State Code</i></p>
<p>On doubled rows of parking stalls, there shall be one 36-foot by 9-foot landscaped island on each end of the parking rows, plus one 36-foot by 9-foot landscaped island to be placed at a minimum of every twenty parking stalls. Each island on doubled parking rows shall include a minimum of two trees per planter.</p>	<p><b>Complies.</b></p>	<p><i>Not regulated as per State Code</i></p>
<p>On single rows of parking or where parking abuts a sidewalk, there shall be one 18-foot by 9-foot landscaped island a minimum of every ten stalls. Islands on a single parking row shall have a minimum of one tree per island.</p> <ul style="list-style-type: none"> <li>Exception: Landscaped islands are not required in single rows of parking that abut or are no farther than 6 feet from a landscaped area containing an equal or greater number of trees as would have been provided in islands, in addition to trees required for the landscaped area. Such trees shall be located within 9 feet of the edge of parking area, and shall have a canopy width that, at maturity, will extend into the parking area.</li> </ul>	<p><b>Complies.</b></p>	
<p>Landscaped islands at the ends of parking rows shall be placed and shaped in such a manner as to help direct traffic through the parking area.</p>	<p><b>Complies.</b></p>	

## Required Minimum Parking

### Dimensions for Parking Stalls & Aisle

	Stall Width	Stall Length	Aisle Width (one-way traffic)	Aisle Width (two-way traffic)
<b>90° Parking</b>				
Required	9'	18'	24'	24'
Provided				
<b>60° Parking</b>				
Required	9'	18'	25'	18'
Provided				
<b>45° Parking</b>				
Required	9'	18'	25'	14'
Provided				
<b>Parallel</b>				
Required	9'	20'	N/A	12'
Provided				

## 19.11 Lighting

### General Standards

Regulation	Compliance	Findings
<b>Material:</b> All Lighting Fixtures and assemblies shall be metal.	<b>Complies.</b>	<i>Not regulated as per state code</i>
<b>Base:</b> All lighting poles shall have a 16" decorative base.	<b>Complies.</b>	
<b>Type:</b> All lighting fixtures shall be of the full cutoff variety. Shoebox fixtures are prohibited.	<b>Complies.</b>	
<b>Angle:</b> Shall be directed downward.	<b>Complies.</b>	
<b>Lamp:</b> Bulbs may not exceed 4000K	<b>Complies.</b>	
<b>Drawings:</b> Design and location of fixtures shall be specified on the plans	<b>Complies.</b>	
<b>Flags:</b> The United States flag and the state flag shall be permitted to be illuminated from dusk till dawn. All other flags shall not be illuminated past 11:00 p.m. Flag lighting sources shall not exceed 10,000 lumens per flagpole. The light source shall have a beam spread no greater than necessary to illuminate the flag.	<b>Can Comply.</b>	
<b>Prohibited Lighting:</b> Searchlights, strobe lights and any laser source light or any similar high intensity light.	<b>Complies.</b>	
<b>Descriptions:</b> Descriptions of the illuminating devices, fixtures, lamp supports, and other devices. This description may include, but is not limited to, manufacturers' specifications, drawings, and sections.	<b>Complies.</b>	

### Nonresidential Lighting

All wall-mounted fixtures shall not be mounted above 16'. The exception shall be those instances where there is a second story access directly from the outdoors, and under-eave lighting. Wall-mounted lighting shall be only for the illumination of vertical surfaces such as building facades and signs, and shall not cast illumination beyond the surface being illuminated.	<b>Complies.</b>	
Intermittent lighting must be of the "motion sensor" type that stays on for a period of time not to exceed ten (10) minutes and has a sensitivity	<b>Complies.</b>	

setting that allows the lighting fixture to be activated only when motion is detected on the site.		
All trespass lighting shall not exceed 1.0 foot-candles measured at the property line, except that trespass lighting into residential development shall not exceed 0.1 foot-candles measured at the property line.	<b>Complies.</b>	
All freestanding lighting fixtures and assemblies shall be black. Regional Parks may include theme lighting fixtures in colors other than black. The color shall enhance the theme of the park and shall be approved during the site plan review process.	<b>Complies.</b>	
Pole design shall include an arm and bell shade. Regional Parks may include theme lighting fixtures that do not include an arm and bell shade. The design shall enhance the theme of the park and shall be approved during the site plan review process.	<b>Complies.</b>	
Parking lot poles shall be limited to a height of 16' when in or within 200' of a residential zone; all other locations shall have a height limit of 20'.	<b>Complies.</b>	
One hour after closing or by 11:00pm, whichever is earlier, businesses must turn off at least fifty percent (50%) of building lighting and lighting fixtures in surface parking lots and on top decks of parking structures; however, those lighting fixtures turned off may be set to function utilizing a motion detector system. Lights may be turned back on one half hour prior to the first employee shift.	<b>Complies.</b>	
Business open for 24 hours must turn off 50% of their outdoor and parking lot lighting by 11:00pm and must keep them off until one half hour before sunrise, however, those lighting fixtures turned off may be set to function utilizing a motion detector system.	<b>N/A.</b>	

### Walkway Lighting

Lighting of all pedestrian pathways is recommended.	<b>Complies.</b>	
All pathway, walkway, and sidewalk lighting fixtures shall be mounted at a height not to exceed 10 feet. i. Themed walkway lighting within Regional Parks shall not exceed a height of 25 feet. Such lighting within 200 feet of residential development shall not exceed 16 feet.	<b>Complies.</b>	
Bollard lighting shall be limited to a height of 4 feet.	<b>Complies.</b>	

### Lighting Plan

Plans indicating the location and types of illuminating devices on the premises.	<b>Complies.</b>	
Descriptions of the illuminating devices, fixtures, lamp supports, and other devices. This description may include, but is not limited to, manufacturers' specifications, drawings, and sections.	<b>Complies.</b>	
Photometric sheet showing measurement of light intensity across the site and onto adjacent property in terms of candela, lumens, and foot-candles.	<b>Complies.</b>	
Plans providing information required in the Technical Standards and Specifications Manual.	<b>Complies.</b>	

## 19.12 Subdivision

### Preliminary Plat Requirements

Regulation	Compliance	Findings
Standard Plat Format followed.	<b>Complies.</b>	
Name and address of property owner and developer.	<b>Complies.</b>	
Name of land surveyor.	<b>Complies.</b>	
The location of proposed subdivision with respect to surrounding property and street.	<b>Complies.</b>	

The name of all adjoining property owners of record, or names of adjoining developments.	<b>Complies.</b>	
The names and location of ROW widths of adjoining streets and all facilities within 100 feet of the platted property.	<b>Complies.</b>	
Street and road layout with centerline bearing and distance labels, dimensions, and names of existing and future streets and roads, (with all new names cleared through the City GIS Department).	<b>Complies.</b>	
Subdivision name cleared with Utah County	<b>Complies</b>	
North arrow.	<b>Complies.</b>	
A tie to a permanent survey monument at a section corner.	<b>Complies.</b>	
The boundary lines of the project with bearings and distances and a legal description.	<b>Complies.</b>	
Layout and dimensions of proposed lots with lot area in square feet.	<b>Complies.</b>	
Location, dimensions, and labeling of roads, structures, irrigation features, drainage, parks, open space, trails, and recreational amenities.	<b>Complies.</b>	
Location of prominent natural features such as rock outcroppings, woodlands, steep slopes, etc.	<b>Complies.</b>	
Proposed road cross sections	<b>Complies.</b>	
Proposed fencing.	<b>Complies.</b>	<i>City cannot regulate</i>
Vicinity map	<b>Complies.</b>	
All required signature blocks are on the plat.	<b>Complies.</b>	
Prepared by a professional engineer licensed in Utah.	<b>Complies.</b>	
Proposed methods for the protection or preservation of sensitive lands.	<b>N/A.</b>	
Location of any flood plains, wetlands, and other sensitive lands.	<b>N/A.</b>	
Location of 100-year high water marks of all lakes, rivers, and streams.	<b>N/A.</b>	
Projected Established Grade of all building lots.	<b>Complies.</b>	
A data table. 1. total project area; 2. total number of lots, dwellings, and buildings; 3. where buildings are included, square footage of proposed building footprints and, if multiple stories, square footage by floor; 4. for multi-family developments, the number of proposed garage parking spaces and number of proposed total parking spaces; 5. percentage of buildable land; 6. acreage of sensitive lands and percentage sensitive lands comprise of total project area and open space area; 7. area and percentage of open space or landscaping; 8. area to be dedicated as right-of-way (public and private); 9. net density of dwellings by acre (sensitive lands must be subtracted from base acreage).	<b>Complies.</b>	
<b>Phasing Plan:</b> Including a data table with the following Information for each phase: i. Subtotal area in square feet and acres; ii. number of lots or dwelling units; iii. open space area and percentage; iv. utility phasing plan; v. number of parking spaces; vi. recreational facilities to be provided; vii. overall plan showing existing, proposed, and remaining phases.	<b>N/A.</b>	
<b>Final Plat Requirements</b>		
Subdivision name and location.	<b>Complies.</b>	
Standard Plat Format followed.	<b>Complies.</b>	
Name and address of property owner and developer.	<b>Complies.</b>	
Name of land surveyor.	<b>Complies.</b>	

The location of proposed subdivision with respect to surrounding property and street.	<b>Complies.</b>	
The name of all adjoining property owners of record, or names of adjoining developments.	<b>Complies.</b>	
The names and location of ROW widths of adjoining streets and all facilities within 100 feet of the platted property.	<b>Complies.</b>	
North arrow.	<b>Complies.</b>	
A tie to a permanent survey monument at a section corner.	<b>Complies.</b>	
The boundary lines of the project with bearings and distances and a legal description with total project area in SF and acres.	<b>Complies.</b>	
Layout and dimensions of proposed lots with lot area in square feet and acres. Lot boundaries shall include dimensions and bearings.	<b>Complies.</b>	
Lot Numbers.	<b>Complies.</b>	
Location, dimensions, and labeling of roads, structures, irrigation features, drainage, parks, open space, trails, and recreational amenities.	<b>Complies.</b>	
Location of prominent natural features such as rock outcroppings, woodlands, steep slopes, etc.	<b>Complies.</b>	
Proposed road ROW widths.	<b>Complies.</b>	
Vicinity map.	<b>Complies.</b>	
All required signature blocks are on the plat.	<b>Complies.</b>	
Prepared by a professional engineer licensed in Utah.	<b>Complies.</b>	
Proposed methods for the protection or preservation of sensitive lands.	<b>N/A.</b>	
Fencing plans.	<b>N/A.</b>	
Location of any flood plains, wetlands, and other sensitive lands.	<b>N/A.</b>	
Flood plain boundaries as indicated by the Federal Emergency Management Agency as well as the location of 100-year high water marks of all lakes, rivers, and streams.	<b>Complies.</b>	
Existing and Proposed easements.	<b>Complies.</b>	
Street monument locations.	<b>Complies.</b>	
Lot and road addresses and addresses for each intersection. Road names shall be approved by the City GIS department before being added to the subdivision plat.	<b>Complies.</b>	
A data table. <ol style="list-style-type: none"> <li>1. total project area;</li> <li>2. total number of lots, dwellings, and buildings;</li> <li>3. where buildings are included, square footage of proposed building footprints and, if multiple stories, square footage by floor;</li> <li>4. for multi-family developments, the number of proposed garage parking spaces and number of proposed total parking spaces;</li> <li>5. percentage of buildable land;</li> <li>6. acreage of sensitive lands and percentage sensitive lands comprise of total project area and open space area;</li> <li>7. area and percentage of open space or landscaping;</li> <li>8. area to be dedicated as right-of-way (public and private);</li> <li>9. net density of dwellings by acre (sensitive lands must be subtracted from base acreage).</li> </ol>	<b>Complies.</b>	
<b>Phasing Plan:</b> Including a data table with the following Information for each phase: <ol style="list-style-type: none"> <li>i. Subtotal area in square feet and acres;</li> <li>ii. number of lots or dwelling units;</li> <li>iii. open space area and percentage;</li> <li>iv. utility phasing plan;</li> <li>v. number of parking spaces;</li> <li>vi. recreational facilities to be provided;</li> </ol>	<b>N/A.</b>	

vii. overall plan showing existing, proposed, and remaining phases.		
<b>Subdivision Layout</b>		
<b>Layout:</b> The subdivision layout should be generally consistent with the City's adopted Land Use Element of the General Plan, and shall conform to any land use ordinance, any capital facilities plan, any impact fee facilities plan, and the transportation master plan.	<b>Complies.</b>	
<b>Block Length:</b> The maximum length of blocks shall be 1,000 feet. In blocks over 800 feet in length, a dedicated public walkway through the block at approximately the center of the block will be required.	<b>Complies.</b>	
Such a walkway shall not be less than fifteen feet in width unless otherwise approved by the City in accordance with other applicable standards approved by the City Council.	<b>Complies.</b>	
<b>Connectivity:</b> The City shall require the use of connecting streets, pedestrian walkways, trails, and other methods for providing logical connections and linkages between neighborhoods.	<b>Complies.</b>	
<b>Mailboxes:</b> Group mailboxes shall be accessed only from a local street, and shall not be placed on a collector or arterial street, unless a bulbout is provided with space for a minimum of three vehicles to park outside the lane of travel and shoulder.	<b>N/A.</b>	
<b>Private Roads:</b> Private roads may be constructed as approved as part of the Preliminary Plat approval and so long as such roads meet the same standards identified in the Saratoga Springs Standard Street Improvement Details.	<b>N/A.</b>	
<b>Access:</b> Where the vehicular access into a subdivision intersects an arterial road as defined in the Transportation Master Plan, driveways shall not be placed on the intersecting road within 100' of the arterial connection.	<b>Complies.</b>	
Two separate means of vehicular access onto a collector or arterial road shall be required when the total number of equivalent residential units (including adjacent developments and neighborhoods) served by a single means of access will exceed fifty. <b>Access Exception:</b> Where no point of second access is available within five hundred feet (500'), and where all units are provided with an approved sprinkler system, a second access shall not be required until the number of units reaches double the above limits.	<b>N/A.</b>	
Where two means of access are required, the points of access shall be placed a minimum of 500 feet apart, measured along the center of the driving lane from center of right-of-way to center of right-of-way.	<b>N/A.</b>	
<b>Shared Driveways:</b> Shared driveways shall be a minimum of twenty-six feet in width and shall direct all runoff to a public or private drainage system. All dwellings on shared driveways shall provide enclosed garages or other covered parking. Shared driveways accessing more than four dwellings shall also provide a minimum of twenty feet of parking space between the garage and shared driveway. Shared driveways with four or fewer dwellings, if not providing a minimum of twenty feet of parking space, shall install a remote garage door opener prior to issuance of Certificate of Occupancy. All requirements of the Fire Code shall also be met.	<b>N/A.</b>	
<b>Lot Design</b>		
All subdivisions shall result in the creation of lots that are developable and capable of being built upon.	<b>Complies.</b>	
All lots or parcels created by the subdivision shall have frontage on a street or road that meets the City's ordinances, regulations, and standards for public roads.	<b>Complies.</b>	

Flag lots may be approved with less frontage when the Planning Commission determines that the creation of such a lot would result in an improved design or better physical layout for the lot based on the following criteria: i. For subdivisions with 20 or less lots: no more than 10% (rounding down) of the total lots are allowed to be flag lots; ii. For subdivisions with 50 or less lots: no more than 7.5% (rounding down) of the total lots are allowed to be flag lots; and iii. For subdivision with more than 50 lots: no more than 5% (rounding down) of the total lots are allowed to be flag lots.	N/A.	
Land dedicated as public roads and rights-of-way shall be separate and distinct from land included in lots adjacent to public roads and rights-of-way.	Complies.	
Side property lines shall be at approximately right angles to the street line or radial to the street line.	Complies.	
Corner lots for residential use shall be ten percent larger than the required minimum lot.	N/A.	
No lot shall be created that is divided by a municipal or county boundary line.	Complies.	
Remnants of property shall not be left in the subdivision that do not conform to lot requirements or are not required or suitable for common open space, private utilities, public purposes, or other purpose approved by the City Council.	Complies.	
Double access lots are not permitted with the exception of corner lots.	N/A.	
Driveways for residential lots or parcels shall not be allowed to have access on major arterials. <b>Exception:</b> Exceptions may be made for large lots (at least 1 acre in size) or for lots where the home is set back over 150 feet from the arterial roadway. Approval by UDOT may be required.	N/A.	
All subdivisions along arterial roadways shall conform to the City's requirements and adopted street cross-section including pedestrian walkways, park strips, landscaping, and fencing.	Complies.	

<b>19.13 Process</b>	
<b>Regulation</b>	<b>Findings</b>
Neighborhood Meeting.	N/A
Notice/Land Use Authority.	<i>Site plan – Planning Commission, preliminary plat – Planning Director</i>
Master Development Agreement.	N/A
Phasing Improvements.	N/A
Payment of Lieu of Open Space.	N/A

<b>19.16 Site and Architectural Design Standards</b>		
<b>General Site Design Standards</b>		
<b>Regulation</b>	<b>Compliance</b>	<b>Findings</b>
<b>Pedestrian Connectivity:</b> All buildings and sites shall be designed to be pedestrian friendly by the use of connecting walkways.	Complies.	
Safe pedestrian connections shall be made between buildings within a development, to any streets adjacent to the property, to any pedestrian facilities that connect with the property, when feasible between developments, and from buildings to the public sidewalk to minimize the need to walk within the parking lot among cars.	Complies.	
All pedestrian connections shall be shown on the related site plan or plat.	Complies.	

<p><b>Parking Areas:</b> On-site parking shall be located primarily to the sides or rear of the building. Variations may be approved by the Land Use Authority, subject to the following criteria:</p> <ul style="list-style-type: none"> <li>i. The use is a big box with outparcels helping to screen parking, or</li> <li>ii. At least 50% of the parking is located to the side or rear of the building, or</li> <li>iii. A safety issue is created by locating parking to the side or rear as verified and documented by the Saratoga Springs Police Department. For example, the parking will be entirely concealed from view by existing walls or buildings.</li> </ul>	<b>Complies.</b>	<i>Parking to side of building</i>
<p>Parking lots shall be designed with a hierarchy of circulation: major access drives with no parking; major circulation drives with little or no parking; and then parking aisles for direct access to parking spaces.</p>	<b>Complies.</b>	
<p>Parking lots adjacent to, and visible from, public streets shall be screened from view through the use of earth berms, screen walls, landscape hedges or combinations thereof with a minimum height of three feet as measured from the parking surface. Within regional parks this requirement may be met through the use of intermittent planter beds rather than a berm, hedge, or screen wall; trees and shrubs may be clustered in the planter beds where necessary to avoid light spillage.</p>	<b>Complies.</b>	
<p><b>Acceleration and Deceleration Lanes:</b> Acceleration and deceleration lanes shall be required on major arterials when deemed necessary by the City Engineer.</p>	<b>Complies.</b>	
<p><b>Trash Enclosures, Storage Areas, and External Structures:</b> Landscaping, fencing, berms, or other devices integral to overall site and building design shall screen trash enclosures, storage areas, and other external structures.</p>	<b>Complies.</b>	
<p>Service yards, refuse and waste-removal areas, loading docks, truck parking areas and other utility areas shall be screened from view by the use of a combination of walls, fences, and dense planting. Screening shall block views to these areas from on-site as well as from public rights of way and adjacent properties.</p>	<b>Complies.</b>	
<p>All trash dumpsters shall be provided with solid enclosures. Enclosures shall be composed of 6-foot-high solid masonry or decorative precast concrete walls, with opaque gates and self-latching mechanisms to keep gates closed when not in use. Bollards are required at the front of the masonry walls to protect the enclosure from trash collection vehicles. Gates shall be made of opaque metal for durability. Chain link gates with or without opaque slats are not acceptable. Colors and materials shall be consistent with the main building or use.</p>	<b>Complies.</b>	
<p>Where trash enclosures, storage areas, or other external structures are adjacent to parking areas, a three foot landscaped buffer shall be provided that does not impede access into and out of vehicles.</p>	<b>Complies.</b>	
<p>These areas shall be well maintained and oriented away from public view. The consolidation of trash areas between buildings is encouraged.</p>	<b>Complies.</b>	
<p><b>Utility Boxes:</b> Dense vegetative buffers which include an evergreen variety of plant materials shall be placed where appropriate to screen all utility boxes and pedestals in order to remain attractive during the winter months.</p>	<b>Complies.</b>	
<b>Site Design Standards: Non-Residential Development</b>		
<p><b>Parking Lot Buffers:</b> There shall be a minimum of 10 feet of landscaping between parking areas and side and rear property lines adjacent to agricultural and residential land uses.</p>	<b>Complies.</b>	

<b>Building Buffer:</b> No building shall be closer than five feet from any private road, driveway, or parking space. The intent of this requirement is to provide for building foundation landscaping and to provide protection to the building. Exceptions may be made for any part of the building that may contain an approved drive-up window.	<b>Complies.</b>	
<b>Interconnection:</b> All parking and other vehicular use areas shall be interconnected with adjacent non-residential properties in order to allow maximum off-street vehicular circulation.	<b>Complies.</b>	<i>Adjacent to County land</i>
<b>General Architectural Design Standards</b>		
<p><b>Building Articulation:</b> Building elevations exceeding 40 feet in length shall incorporate a minimum of one horizontal elevation shift or combination of vertical and horizontal elevation shifts, stepping portions of the elevation to create shadow lines and changes in volumetric spaces of at least five feet, and a minimum of two of the following, all spaced at intervals of 20 to 50 feet of horizontal width:</p> <ul style="list-style-type: none"> <li>i. A combination of vertical and horizontal elevation shifts that together equal at least five feet.</li> <li>ii. Addition of horizontal and vertical divisions by use of textures or materials.</li> <li>iii. Primary material change.</li> <li>iv. Addition of projections such as balconies, cornices, covered entrances, porte-cocheres, trellis', pergolas, arcades, and colonnades. Such trellis' and awnings extend outward from the underlying wall surface at least 36-inches.</li> <li>v. Variation in the rooflines by use of dormer windows, overhangs, arches, stepped roofs, gables or other similar devices.</li> </ul>	<b>Complies.</b>	<i>Not regulated as per State Code</i>
<b>Roof Treatment:</b> Flat roofs shall be screened with parapets on all sides of the building. If no roof top equipment exists or is proposed, the parapet shall be a minimum of 12 inches in height above the roof	<b>Complies.</b>	
Roof mounted equipment shall not be visible from adjacent public and private streets as well as from adjacent properties, unless grade differences make visibility unavoidable.	<b>Complies.</b>	
Screening shall be solid and shall be consistent with the material and color of exterior finishes of the building through the use of at least two out of three of the exterior finishes of the building.	<b>Complies.</b>	
<b>Windows:</b> Windows, other than rectangular windows, may be used as accents and trim. Untreated aluminum or metal window frames are prohibited.	<b>Complies.</b>	
<b>Awnings, Canopies, Trellises, Pergolas, and Similar Features:</b> All such features must be attached to a vertical wall.	<b>Complies.</b>	
All such features shall project at least 4 feet from the building when located over a pedestrian traffic area and no less than 2 feet otherwise.	<b>Complies.</b>	
All such features shall maintain a minimum clearance above sidewalk grade of 8 feet to the bottom of the framework when located over a pedestrian traffic area.	<b>Complies.</b>	
Backlighting is not permitted.	<b>Complies.</b>	
<b>Mechanical Equipment:</b> All mechanical equipment shall be located or screened and other measures shall be taken so as to shield visibility of such equipment from any public or private streets.	<b>Complies.</b>	
Wing walls, screens, or other enclosures shall be shall be integrated into the building and landscaping of the site, whether located on the ground or roof.	<b>Complies.</b>	
Rooftops of buildings shall be free of any mechanical equipment unless completely screened from all horizontal points of view.	<b>Complies.</b>	

Screening materials shall conform to the color scheme and materials of the primary building.	<b>Complies.</b>	
<b>Non-Residential Architectural Design Standards</b>		
<b>Four Sided Architecture:</b> All sides of a building that are open to public view (including views from adjacent residential dwellings or probable location of residential dwellings) shall receive equal architectural design consideration as the building front.	<b>Complies.</b>	<i>Not regulated as per State Code</i>
<b>Color and Materials:</b> Exterior Building Materials shall be considered any materials that make up the exterior envelope of the building and shall be limited to no more than four and no less than two types of materials per building, window and door openings excluded.	<b>Complies.</b>	<i>CMU, EIFS, fiberboard siding, metal/copper</i>
Color of exterior building materials (excluding accent colors) shall be limited to no more than four and no less than two major colors per development.	<b>Complies.</b>	
Bright colors, such as neon or fluorescent colors, bright orange or yellow, and primary colors, are only permitted as accent colors.	<b>Complies.</b>	
No more than 75% of any building elevation shall consist of any one material or color. No more than 50% of any front or street side building elevation shall consist of CMU, except in the Office Warehouse and Industrial zones.	<b>Complies.</b>	
<b>Prohibited Materials:</b> Tiles. Full veneer brick and tiles exceeding ½ inch in thickness is permitted, however veneer tile is prohibited. Stucco stone patterns and stucco brick patterns. Wood as a primary exterior finish material. Plain, grey, unfinished CMU block except as an accent material.	<b>Complies.</b>	
<b>Stairways:</b> All stairways to upper levels shall be located within the building unless otherwise approved by the Land Use Authority for secondary access to outdoor patio decks or other usable outdoor area.	<b>Complies.</b>	
<b>Roof Drains:</b> All roof drains, conduit and piping, maintenance stairs and ladders, and other related services shall be located on the interior of the building.	<b>Complies.</b>	
<b>Electrical Panels:</b> To the extent possible, all electric panels and communication equipment should be located in an interior equipment room.	<b>Complies.</b>	
<b>Street Orientation:</b> All Retail or Commercial buildings shall have expansive windows, balconies, terraces, or other design features oriented to the street or adjacent public spaces.	<b>Complies.</b>	
At least 50 percent of the first floor elevation(s) of multi-story buildings that are viewed from public streets shall include transparent windows, display windows, and/or doors to minimize the expanse of blank walls and encourage a pedestrian friendly atmosphere.	<b>Complies.</b>	
<b>Fiscal Impact</b>		
<b>Regulation</b>	<b>Findings</b>	
Is there any City maintained open space?	<i>No</i>	
What is the anticipated cost to the City?	<i>\$0</i>	
When will City maintenance begin?	<i>N/A</i>	

revisions:

num.	description	date
1	PLAN REVIEW COMMENTS	11-08-2019
2	CITY REVIEW	11-27-2019
3	ASH #003	12-12-2019
4	CITY REVIEW	01-03-2020
5	CITY REVIEW	01-28-2020
6	CITY REVIEW	02-24-2020

date: 03 JANUARY 2020  
 project number:  
 project status:

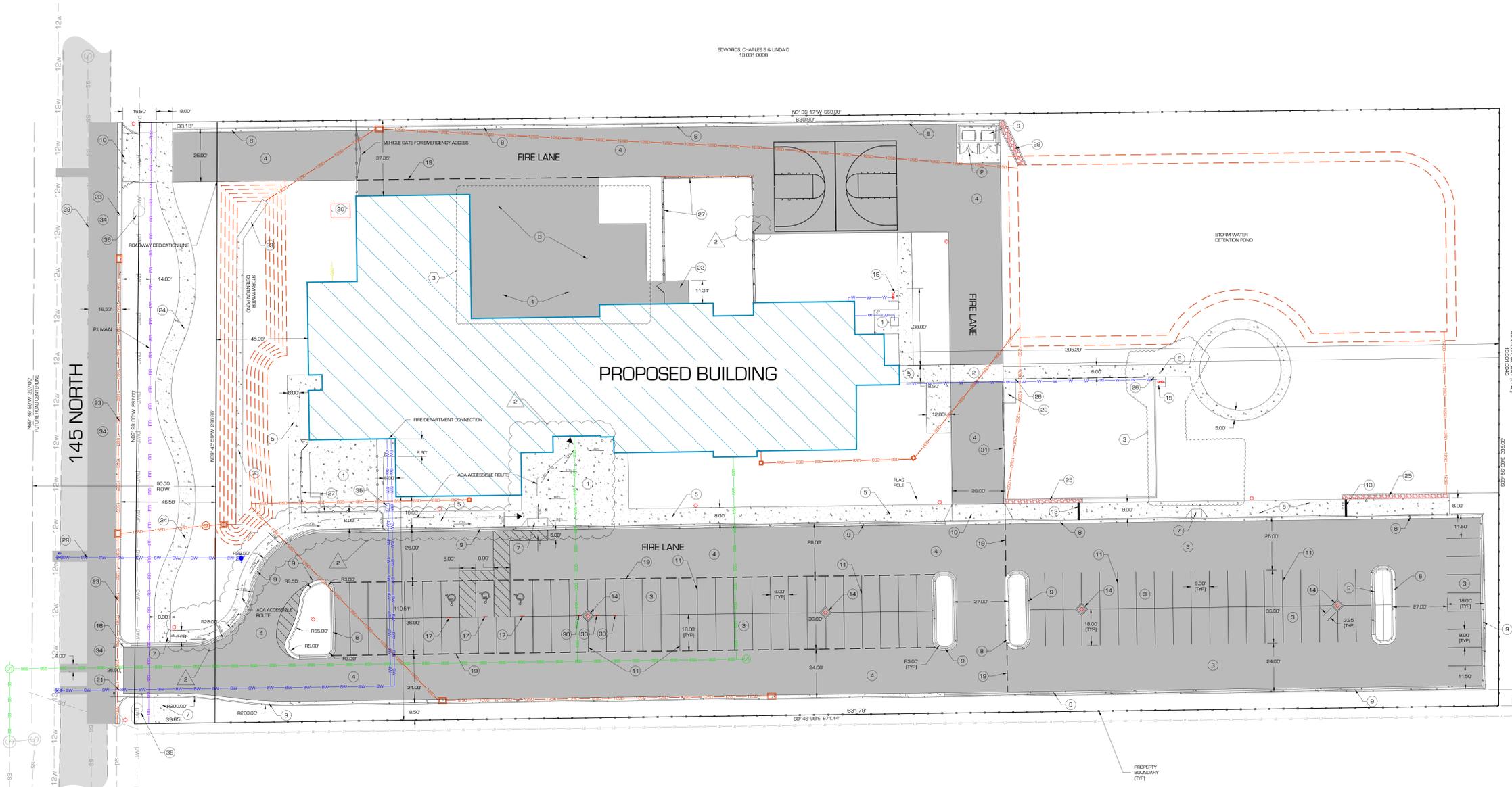
original drawing by: "A"  
 current as of: 01/25/2020 2:02:09 PM  
 PREPARED FOR THE PROJECT OWNER AND FOR THE PROJECT OF BABCOCK DESIGN. THE USER ASSUMES ALL RESPONSIBILITY FOR THE ACCURACY OF THE INFORMATION PROVIDED HEREIN. THE USER ASSUMES ALL RESPONSIBILITY FOR THE ACCURACY OF THE INFORMATION PROVIDED HEREIN. THE USER ASSUMES ALL RESPONSIBILITY FOR THE ACCURACY OF THE INFORMATION PROVIDED HEREIN.



MOUNTAIN SUNRISE ACADEMY  
 THE BOYER COMPANY

EDWARDS, CHARLES S & LINDA O  
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BROADHEAD LANE C & HOLLY C (ET AL)  
 1303110029



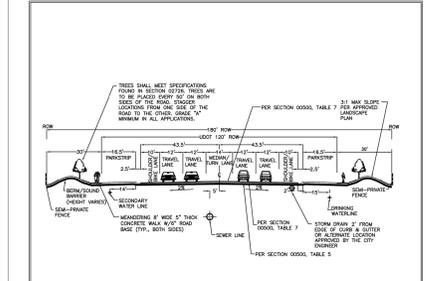
**1 SHEET KEY NOTES**

1. STAIRWELL DUTY CONCRETE (D1/CS01)
2. HEAVY DUTY CONCRETE (D2/CS01)
3. STAIRWELL DUTY ASPHALT (D3/CS01)
4. HEAVY DUTY ASPHALT (D4/CS01)
5. CLASHEE SIDEWALK (D5/CS01)
6. TRASH ENCLOSURE (SEE ARCHITECTURAL DETAILS)
7. ADA RAMP (D6/CS01)
8. 24" CLUMP AND GUTTER (E1/CS03)
9. 24" RELEASE PAW CLUMP AND GUTTER (E2/CS03)
10. DRIVE APPROACH (G4/CS03)
11. 3" TYP. TYPICAL STRIPES (TYPICAL ALL PARKING PAINT)
12. NOT USED
13. REFER TO PLAN (SEE STORM WATER SHEET)
14. TYP. P CURB (D3/CS03)
15. 5/8" CLASHEE (E1/CS01) W/ DRINKING FOUNTAIN (SEE UTILITY PLAN)
16. STOP SIGN (E2/CS04)
17. ADA SIGNAGE (E3/CS01)
18. PROPOSED STORM DRAIN (SEE SHEET C202)
19. MAINLINE OF HEAVY DUTY ASPHALT
20. ELECTRICAL TRANSFORMER (SEE ELECTRICAL PLANS FOR DETAILS)
21. WATERWALL (E4/CS01)
22. PLAYGROUND ACCESS ADA RAMP (D8/CS04)
23. 24" DRIVE IN GUTTER (E2/CS03) (SEE PLAN)
24. IF MANHOLES SIDEWALK PER SARATOGA SPRINGS (S/CS04)
25. DRIVEWAY SMALL (E1/CS01)
26. 1/4" CLASHEE EDGE STRIP (E1/CS01)
27. NOT USED
28. NEWS/SPRINKLER (S/CS01)
29. SIGNAL LIGHT
30. RESERVED PARKING SIGN
31. 24" DRIVE IN GUTTER (E2/CS03) (SEE PLAN)
32. PROPOSED FENCING (SEE LANDSCAPE PLAN)
33. NOT USED
34. 24" DRIVE IN GUTTER (E2/CS03)
35. 24" DRIVE IN GUTTER (E2/CS03)
36. EXISTING POWER POLE TO REMAIN (SEE ELECTRICAL PLANS)

**GENERAL NOTES**

1. SEE GRADING PLAN (G01) FOR ELEVATION INFORMATION
2. SEE UTILITY PLAN (U01) FOR WATER AND SEWER
3. SEE STORM DRAIN PLAN (S01) FOR STORM DRAIN
4. ALL WORK TO COMPLY WITH THE GOVERNING ADOPTED STANDARDS & SPECIFICATIONS
5. ALL IMPROVEMENTS MUST COMPLY WITH ADA STANDARDS
6. ALL PAVEMENT MARKINGS SHALL CONFORM TO THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD)
7. ALL SURFACE IMPROVEMENTS INSTALLED BY CONSTRUCTION AND NOT CALLED OUT FOR REMOVAL ON THESE PLANS SHALL BE DESTROYED OR REPAIRED. POLLICING TREES, ORNAMENTAL SHRUBS, SOIL FENCES, WALLS, & STRUCTURES, UNLESS NOTED OTHERWISE, SHALL BE REMOVED OR RECONSTRUCTED TO MEET CONTRACT DOCUMENTS
8. SEE LANDSCAPE PLANS FOR FENCING & WALK STRIPS
9. MAX SLOPE OF ACCESSIBLE PARKING SPACES ACCESSIBLE IS 2% IN ANY DIRECTION
10. A RIGHT-OF-WAY ENCROACHMENT PERMIT MUST BE OBTAINED FROM THE CITY OF SARATOGA SPRINGS PRIOR TO DOING ANY WORK IN THE EXISTING RIGHT-OF-WAY. CONTACT MARK EDWARDS AT 801-758-7768, EXT. 118
11. VERTICAL DATA (SLOPE, ELEVATIONS) OR SKETCH SURVEYING, ETC. (SHOW) HEREON IS BASED ON THE MONUMENT ELEVATION (E01) AS BURNED BY THE UTAH COUNTY SURVEYOR ON THE 2016 UTAH COUNTY MONUMENT MARKING THE

**145 NORTH CROSS-SECTION**



MAJOR ARTERIAL ROADWAY 180' RIGHT-OF-WAY

DESIGNED BY: SARATOGA SPRINGS CITY

PROJECT NUMBER: ST-11

**SITE DATA TABLE**

TOTAL ACREAGE	4.55
TOTAL # OF LOTS, DWELLINGS, AND BUILDINGS	1,011
BUILDING SQUARE FOOTAGE	5314
1ST FLOOR SQ. FT.	26,127
2ND FLOOR SQ. FT.	13,999
TOTAL PARKING STALLS	101
ADA PARKING STALLS PROVIDED ON SITE	3
OPEN SPACE, LANDSCAPE AREA (1.69 ACRES)	42%
AREA TO BE DEDICATED AS RIGHT-OF-WAY (ADRS)	0.27
PERCENTAGE OF BUILDABLE LAND	100%

**CITY ROW DATA TABLE**

PAVEMENT (SQ. FT.)	4274
UNTREATED BASE COURSE (SQ. FT.)	5314
GRANULAR BEDROCK (SQ. FT.)	5314
CLUBS & GUTTER (FT.)	297
SIDEWALK (FT.)	276.5
DRIVE APPROACH (EACH)	2
ADA RAMP (EACH)	2
MONUMENTS (EACH)	0





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num.	description	date
1	PLAN REVIEW COMMENTS	11-06-2019
2	CITY REVIEW	11-27-2019
3	AS1 #003	12-18-2019

date: 12 DECEMBER 2019

project number:

project status:

original drawings: 10/1/19

revision: 12/18/19

comment: 12/18/19

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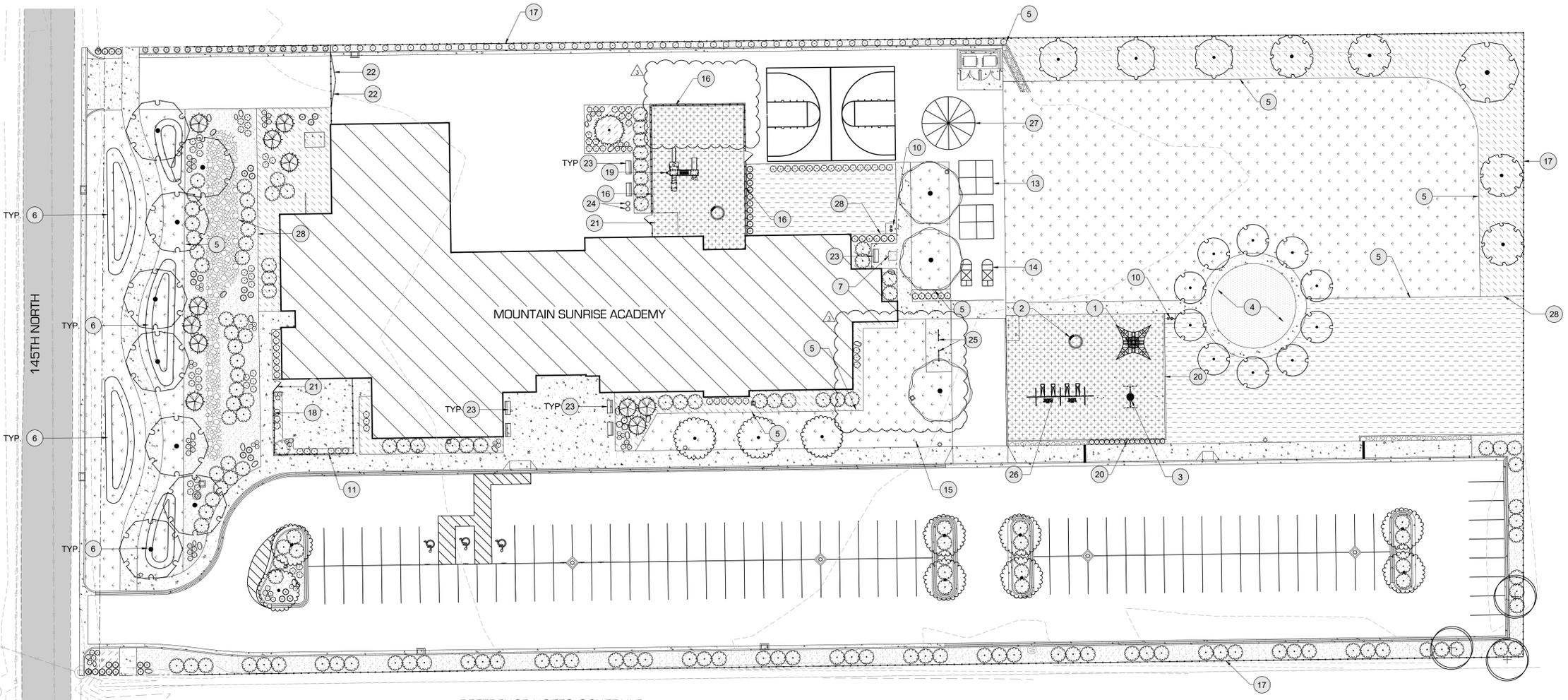
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**MOUNTAIN SUNRISE ACADEMY**  
THE BOYER COMPANY

LANDSCAPE PLAN

L101



PLANT SCHEDULE

TREES	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	GAL
AC	10		ACER PLATANOIDES 'CRIMSON SENTRY' / CRIMSON SENTRY MAPLE	20 GAL	
AJ2	3		EXISTING TREE TO REMAIN		
GI	9		GLEDITSIA TRIACANTHOS 'IMPERIAL' / IMPERIAL HONEYLOCUST	8&8	2' GAL
MG	3		MALUS X 'MCINTOSH' / MCINTOSH APPLE	20 GAL SEMI-DWARF	
PC	11		PICEA ABIES 'CUPRESSINA' / NORWAY SPRUCE	6' HT	
PP	1		PICEA GLAUCA PENDULA / WEEPING WHITE SPRUCE	6' HT	
PF	1		PINUS FLEXILIS 'VANDERWOLF'S PYRAMID' / VANDERWOLF'S PYRAMID PINE	6' HT	
PE2	4		PRUNUS PERSICA 'EARLY ELBERTA' / EARLY ELBERTA PEACH	20 GAL	
SI	11		SYRINGA RETICULATA 'IVORY SILK' / IVORY SILK JAPANESE TREE LILAC	20 GAL	
SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	CONT	HEIGHT
CD	16		CARYOPTERIS X CLANDONENSIS 'DARK KNIGHT' / BLUE MIST SHRUB	3 GAL	
CA	83		CORNUS SERICEA 'ARTIC FIRE' / ARTIC FIRE DOGWOOD	3 GAL	
PL	9		PHYSCARPUS OPULEFOLIUS 'LITTLE DEVIL' TM / DWARF NINEBARK	3 GAL	
PS	42		PINUS MUGO 'SLOWMOUND' / MUGO PINE	3 GAL	
RR	35		RHAMNUS FRANGULA 'FINE LINE' / FINE LINE BUCKTHORN	3 GAL	
RG	152		RHUS AROMATICA 'GRO-LOW' / GRO-LOW FRAGRANT SUMAC	3 GAL	
ANNUALS/PERENNIALS	CODE	QTY	BOTANICAL / COMMON NAME	CONT	HEIGHT
LH	58		LAVANDULA ANGUSTIFOLIA 'HIDCOTE BLUE' / HIDCOTE BLUE LAVENDER	1 GAL	
PB	27		PENSTEMON BARBATUS 'ELFIN PINK' / ELFIN PINK BEARD TONGUE	1 GAL	
GRASSES	CODE	QTY	BOTANICAL / COMMON NAME	CONT	HEIGHT
CK	20		CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER' / FEATHER REED GRASS	1 GAL	
BOULDERS	QTY				
	23		BOULDERS: 2'-2" MIN. DIAMETER BROWNS CANYON BOULDERS OR APPROVED EQUAL. BOULDERS ARE TO BE INSTALLED WITH 1/4-1/3 OF THE BOULDER BEING BELOW GRADE.		

REFERENCE NOTES SCHEDULE

SYMBOL	DESCRIPTION	QTY
1	PLAYGROUND EQUIPMENT: SMALL SPACENET COR3028 FROM 'KOMPAN' OR OTHER (BY OWNER)	
2	PLAYGROUND EQUIPMENT: SUPERNOVA GXV050 FROM 'KOMPAN' OR OTHER (BY OWNER)	
3	PLAYGROUND EQUIPMENT: SWING KSW92008 FROM 'KOMPAN' OR OTHER (BY OWNER)	
4	FUTURE MOVEABLE FIRE PIT AND SEATING BY OWNER - NOT PART OF CONTRACT	
5	SHOVEL CUT EDGE - SEE DETAIL 1L301	
6	3:1 BERM (2.5-3' HIGH) - SEE CIVIL PLANS FOR ROUGH GRADING BEFORE INSTALLATION OF BERMS. LINES IN THIS PLAN DO NOT REPRESENT ACTUAL CONTOURS BUT RATHER GENERAL SHAPE AND EXTENT.	
7	LOCATION FOR FUTURE RECIRCULATING WATER FEATURE BY OTHERS	
8	NOT USED	
9	NOT USED	
10	DRINKING FOUNTAIN AND HOSE BIB - SEE CIVIL AND MECHANICAL PLANS	
11	FENCE - SEE CIVIL PLANS AND PLANTING NOTE 1	
12	NOT USED	
13	FOUR SQUARE (PAINTED) - BY OWNER	
14	HOPSCOTCH (PAINTED) - BY OWNER	
15	FLAG POLE - SEE ARCHITECTURE PLANS	
16	BLACK CHAINLINK FENCE - 4' TALL WITHOUT SLATS - SEE DETAIL 1L301 WHERE CONCRETE ABUTS ENGINEERED WOOD FIBERS.	
17	BLACK CHAINLINK FENCE - 6' TALL WITHOUT SLATS	
18	BLACK CHAINLINK FENCE - 6' TALL WITH BLACK SLATS (NO MOWSTRIP)	
19	PLAYGROUND EQUIPMENT: DOUBLE TOWER: ULTIMATE ADA STAIRS: PLASTIC SLIDE WITH LIME COLOR SCHEME. PRODUCT NUMBER PCM200310-CUSTOM OR OTHER (BY OWNER)	
20	6' X 12' MOWSTRIP AT PLAYGROUND EDGE	
21	BLACK CHAINLINK GATE TO MATCH FENCE HEIGHT (6' WIDE). CONTRACTOR TO SIZE FENCE POST FOOTING FOR HANGING GATE PER MANUFACTURER'S RECOMMENDATIONS.	
22	VEHICULAR GATE - VERIFY WITH OWNER. CONTRACTOR TO SIZE FENCE POST FOOTINGS PER MANUFACTURER'S RECOMMENDATIONS.	
23	BENCH (BY OWNER) SCARBOROUGH BENCH 72" FROM LANDSCAPE FORMS OR OTHER.	
24	LITTER AND RECYCLING RECEPTACLE (BY OWNER) SCARBOROUGH FROM LANDSCAPE FORMS OR OTHER TO MATCH STYLE OF OTHER SITE FURNISHINGS.	
25	BICYCLE RACK - SURFACE MOUNT 'BRCS-105' FROM VICTOR STANLEY OR APPROVED EQUAL WITH BLACK POWDER COAT FINISH - INSTALLED PER MANUFACTURER'S RECOMMENDATIONS.	
26	5000 SERIES SWINGS FROM PLAYSPACE DESIGN OR OTHER BY OWNER	
27	25' DIAMETER CIRCLE DIVIDED IN 12 PARTS (PAINTED) - BY OWNER	
28	TWO MULCH TYPES ARE TO BE INSTALLED NEXT TO EACH OTHER AS SHOWN WITH NO LANDSCAPE EDGING.	

REFERENCE NOTES SCHEDULE

SYMBOL	DESCRIPTION	QTY
•••	TURF GRASS: SOD (IMPERIAL BLUE FROM CHANSHARE SOD OR APPROVED EQUAL) INSTALLED OVER 4" TOPSOIL LAYER. SEE DETAIL 1L301	35,815 SF
□	COBBLE: 2-4" ('WEBER RIVER ROCK') 2"-6" FROM STAKER PARSONS OR APPROVED EQUAL, INSTALLED 5' DEEP OVER DEWITT PRO 5 BARRIER FABRIC. SEE DETAIL 1L301	1,844 SF
■	BARK MULCH (SMALL BARK MULCH FROM MILLER COMPANIES LC OR APPROVED EQUAL) INSTALLED AT DEPTH OF 3" WITHOUT WEED BARRIER FABRIC. PLANTINGS WITHIN THIS AREA WILL INCLUDE TREES, SHRUBS, GRASSES AND PERENNIALS. SEE DETAIL 1L301	13,741 SF
■	PERMACULTURE GARDEN: 4" OF WOODCHIPS FROM 'SEVEN TREES TREE EXPERTS' OR APPROVED EQUAL OVER 4" TOPSOIL LAYER. NO WEED BARRIER FABRIC TO BE INSTALLED IN THIS AREA. AREA TO BE TREATED WITH GLYPHOSATE OR APPROVED HERBICIDE BEFORE INSTALLATION OF WOOD CHIPS. SEE DETAIL 1L301	12,381 SF
■	ENGINEERED WOOD FIBERS 12" DEPTH (OR AS REQUIRED). SEE CIVIL PLANS FOR 18" CURB DETAIL AND THICKENED EDGE CONCRETE. ALL CONCRETE EDGES AND MOWSTRIPS NEXT TO WOOD FIBERS ARE TO BE 18".	7,301 SF
■	DECOMPOSED GRANITE: 'WASATCH GRAY' FROM STAKER PARSONS (3/8" MINUS) OR APPROVED EQUAL. INSTALLED 3" DEEP OVER WEED BARRIER FABRIC. SIMILAR TO DETAIL 1L301. TOP OF DECOMPOSED GRANITE SHALL BE 1/2" DOWN FROM TOP OF CONCRETE.	1,257 SF
■	ROCK MULCH: 1" ('WASATCH TAN CRUSHED ROCK FROM STAKER PARSONS OR APPROVED EQUAL) INSTALLED AT DEPTH OF 3" INSTALLED OVER DEWITT PRO 5 BARRIER FABRIC.	14,024 SF

- GENERAL NOTES:**
- HAND DIGS NEEDED TO MINIMIZE IMPACT ON ROOT ZONES OF TREES TO REMAIN ON OR OFF PROPERTY. COORDINATE WITH NEIGHBORING PROPERTY OWNER TO PRUNE UP TREE CANOPY OF NEIGHBORING TREES TO A HEIGHT OF 10' ON MOUNTAIN SUNRISE ACADEMY SIDE.
  - IF TREES TO BE REMOVED HAVE TRUNKS THAT ARE ON OR IMMEDIATELY ADJACENT TO THE PROPERTY LINE, CONTRACTOR IS TO COORDINATE REMOVAL WITH NEIGHBORING PROPERTY OWNER PRIOR.
  - SEE CIVIL PLANS FOR THICKENED CONCRETE EDGE DETAIL AT PLAYGROUND.
  - SEE US11 FOR LANDSCAPE DETAILS.
  - CONTRACTORS TO VERIFY ALL QUANTITIES.





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Sheet Information:		
num.	description	date

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project number:	1925
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original drawing:	RESIDENTIAL BIDDING
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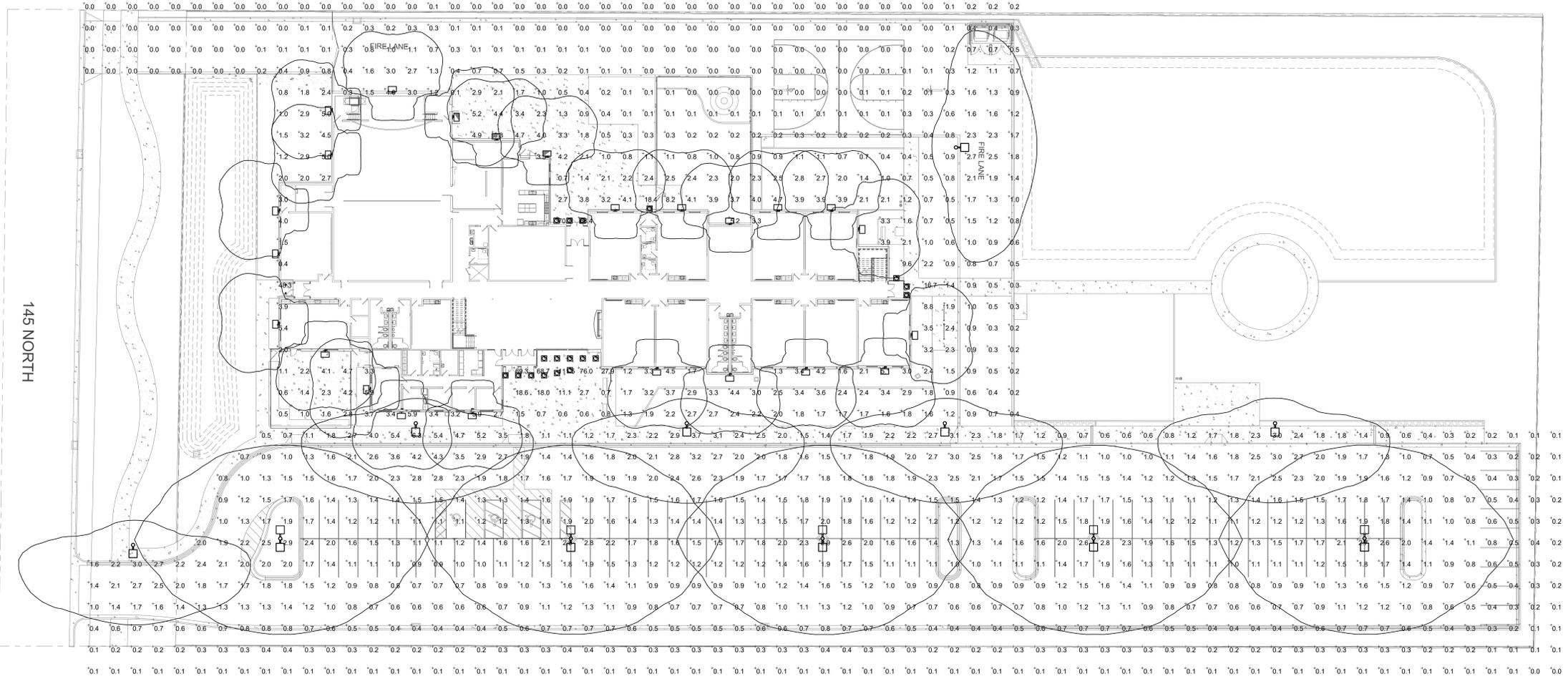
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Project Information:

**MOUNTAIN SUNRISE ACADEMY**  
for  
**THE BOYER COMPANY**



145 NORTH

**1 ELECTRICAL SITE ILLUMINATION PLAN**



Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Parking Lot	+	1.2fc	3.0fc	0.1fc	30:1	12:1
Residential	+	0.2fc	0.3fc	0.0fc	N/A	N/A



Project Name: **ELECTRICAL SITE ILLUMINATION PLAN**

Sheet Number: **ES201**



# D-Series Size 1 LED Wall Luminaire



Catalog  
Number

Notes

Type

Hit the Tab key or mouse over the page to see all interactive elements.

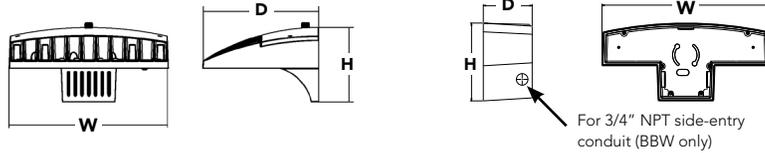
d#series

## Specifications Luminaire

<b>Width:</b>	13-3/4" (34.9 cm)	<b>Weight:</b>	12 lbs (5.4 kg)
<b>Depth:</b>	10" (25.4 cm)		
<b>Height:</b>	6-3/8" (16.2 cm)		

## Back Box (BBW, ELCW)

<b>Width:</b>	13-3/4" (34.9 cm)	<b>BBW Weight:</b>	5 lbs (2.3 kg)
<b>Depth:</b>	4" (10.2 cm)	<b>ELCW Weight:</b>	10 lbs (4.5 kg)
<b>Height:</b>	6-3/8" (16.2 cm)		



## Introduction

The D-Series Wall luminaire is a stylish, fully integrated LED solution for building-mount applications. It features a sleek, modern design and is carefully engineered to provide long-lasting, energy-efficient lighting with a variety of optical and control options for customized performance.

With an expected service life of over 20 years of nighttime use and up to 74% in energy savings over comparable 250W metal halide luminaires, the D-Series Wall is a reliable, low-maintenance lighting solution that produces sites that are exceptionally illuminated.

## Ordering Information

**EXAMPLE: DSXW1 LED 20C 1000 40K T3M MVOLT DBBTD**

Series	LEDs	Drive Current	Color temperature	Distribution	Voltage	Mounting	Control Options
DSXW1 LED	10C 10 LEDs (one engine) 20C 20 LEDs (two engines) <sup>1</sup>	350 350 mA 530 530 mA 700 700 mA 1000 1000 mA (1 A) <sup>1</sup>	30K 3000 K 40K 4000 K 50K 5000 K AMBPC Amber phosphor converted	T2S Type II Short T2M Type II Medium T3S Type III Short T3M Type III Medium T4M Type IV Medium TFTM Forward Throw Medium	MVOLT <sup>2</sup> 120 <sup>3</sup> 208 <sup>3</sup> 240 <sup>3</sup> 277 <sup>3</sup> 347 <sup>3,4</sup> 480 <sup>3,4</sup>	<b>Shipped included</b> (blank) Surface mounting bracket <b>BBW</b> Surface-mounted back box (for conduit entry) <sup>5</sup>	<b>Shipped installed</b> PE Photoelectric cell, button type <sup>6</sup> DMG 0-10v dimming wires pulled outside fixture (for use with an external control, ordered separately) PIR 180° motion/ambient light sensor, <15' mtg ht <sup>1,7</sup> PIRH 180° motion/ambient light sensor, 15-30' mtg ht <sup>1,7</sup> PIR1FC3V Motion/ambient sensor, 8-15' mounting height, ambient sensor enabled at 1fc <sup>1,7</sup> PIRH1FC3V Motion/ambient sensor, 15-30' mounting height, ambient sensor enabled at 1fc <sup>1,7</sup> ELCW Emergency battery backup (includes external component enclosure), CA Title 20 Noncompliant <sup>8,9</sup>

Other Options	Finish (required)
<b>Shipped installed</b> SF Single fuse (120, 277 or 347V) <sup>3,10</sup> DF Double fuse (208, 240 or 480V) <sup>3,10</sup> HS House-side shield <sup>11</sup> SPD Separate surge protection <sup>12</sup> <b>Shipped separately<sup>11</sup></b> BSW Bird-deterrent spikes WG Wire guard VG Vandal guard DDL Diffused drop lens DDBXD Dark bronze DBLXD Black DNAXD Natural aluminum DWHXD White DSSXD Sandstone DBBTD Textured dark bronze DBLBXD Textured black DNATXD Textured natural aluminum DWHGXD Textured white DSSTXD Textured sandstone	

## Accessories

Ordered and shipped separately.

DSXWHS U	House-side shield (one per light engine)
DSXWBSW U	Bird-deterrent spikes
DSXW1WG U	Wire guard accessory
DSXW1VG U	Vandal guard accessory

## NOTES

- 20C 1000 is not available with PIR, PIRH, PIR1FC3V or PIRH1FC3V.
- MVOLT driver operates on any line voltage from 120-277V (50/60 Hz).
- Single fuse (SF) requires 120, 277 or 347 voltage option. Double fuse (DF) requires 208, 240 or 480 voltage option.
- Only available with 20C, 700mA or 1000mA. Not available with PIR or PIRH.
- Back box ships installed on fixture. Cannot be field installed. Cannot be ordered as an accessory.
- Photocontrol (PE) requires 120, 208, 240, 277 or 347 voltage option. Not available with motion/ambient light sensors (PIR or PIRH).
- Reference Motion Sensor table on page 3.
- Cold weather (-20C) rated. Not compatible with conduit entry applications. Not available with BBW mounting option. Not available with fusing. Not available with 347 or 480 voltage options. Emergency components located in back box housing. Emergency mode IES files located on product page at [www.lithonia.com](http://www.lithonia.com)
- Not available with SPD.
- Not available with ELCW.
- Also available as a separate accessory; see Accessories information.
- Not available with ELCW.





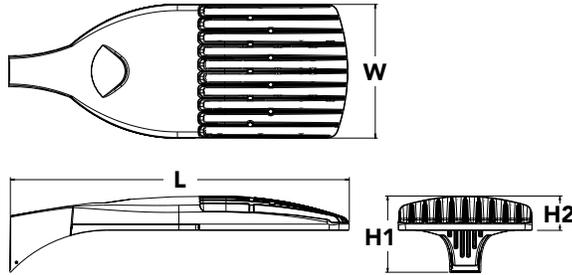
# D-Series Size 1 LED Area Luminaire

d#series



## Specifications

<b>EPA:</b>	1.01 ft <sup>2</sup> (0.09 m <sup>2</sup> )
<b>Length:</b>	33" (83.8 cm)
<b>Width:</b>	13" (33.0 cm)
<b>Height H1:</b>	7-1/2" (19.0 cm)
<b>Height H2:</b>	3-1/2"
<b>Weight (max):</b>	27 lbs (12.2 kg)



Catalog  
Number

Notes

Type

Hit the Tab key or mouse over the page to see all interactive elements.

## Introduction

The modern styling of the D-Series is striking yet unobtrusive - making a bold, progressive statement even as it blends seamlessly with its environment. The D-Series distills the benefits of the latest in LED technology into a high performance, high efficacy, long-life luminaire.

The outstanding photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. It is ideal for replacing up to 750W metal halide in pedestrian and area lighting applications with typical energy savings of 65% and expected service life of over 100,000 hours.

A+ Capable options indicated by this color background.

## Ordering Information

**EXAMPLE:** DSX1 LED P7 40K T3M MVOLT SPA NLTAIR2 PIRHN DDBXD

DSX1 LED		Color temperature		Distribution		Voltage	Mounting		
Series	LEDs	Color temperature		Distribution		Voltage	Mounting		
DSX1 LED	<b>Forward optics</b>	30K	3000 K	T1S	Type I short	T5VS	Type V very short	MVOLT <sup>3</sup>	<b>Shipped included</b> SPA Square pole mounting RPA Round pole mounting WBA Wall bracket SPUMBA Square pole universal mounting adaptor <sup>5</sup> RPUMBA Round pole universal mounting adaptor <sup>5</sup> <b>Shipped separately</b> KMA8 DDBXD U Mast arm mounting bracket adaptor (specify finish) <sup>6</sup>
	P1 P4 P7	40K	4000 K	T2S	Type II short	T5S	Type V short	120 <sup>4</sup>	
	P2 P5 P8	50K	5000 K	T2M	Type II medium	T5M	Type V medium	208 <sup>4</sup>	
	P3 P6 P9			T3S	Type III short	T5W	Type V wide	240 <sup>4</sup>	
	<b>Rotated optics</b>			T3M	Type III medium	BLC	Backlight control <sup>2</sup>	277 <sup>4</sup>	
	P10 <sup>1</sup> P12 <sup>1</sup>			T4M	Type IV medium	LCCO	Left corner cutoff <sup>2</sup>	347 <sup>4</sup>	
	P11 <sup>1</sup> P13 <sup>1</sup>			TFTM	Forward throw medium	RCCO	Right corner cutoff <sup>2</sup>	480 <sup>4</sup>	

Control options	Other options	Finish (required)
<b>Shipped installed</b> NLTAIR2 nLight AIR generation 2 enabled <sup>7</sup> PIRHN Network, high/low motion/ambient sensor <sup>8</sup> PER NEMA twist-lock receptacle only (controls ordered separate) <sup>9</sup> PER5 Five-pin receptacle only (controls ordered separate) <sup>9,10</sup> PER7 Seven-pin receptacle only (controls ordered separate) <sup>9,10</sup> DMG 0-10v dimming wires pulled outside fixture (for use with an external control, ordered separately) <sup>11</sup> DS Dual switching <sup>12,13,14</sup>	PIR High/low, motion/ambient sensor, 8-15' mounting height, ambient sensor enabled at 5fc <sup>15,16</sup> PIRH High/low, motion/ambient sensor, 15-30' mounting height, ambient sensor enabled at 5fc <sup>15,16</sup> PIR1FC3V High/low, motion/ambient sensor, 8-15' mounting height, ambient sensor enabled at 1fc <sup>15,16</sup> PIRH1FC3V Bi-level, motion/ambient sensor, 15-30' mounting height, ambient sensor enabled at 1fc <sup>15,16</sup> FAO Field adjustable output <sup>14</sup>	<b>Shipped installed</b> HS House-side shield <sup>17</sup> SF Single fuse (120, 277, 347V) <sup>4</sup> DF Double fuse (208, 240, 480V) <sup>4</sup> L90 Left rotated optics <sup>1</sup> R90 Right rotated optics <sup>1</sup> <b>Shipped separately</b> BS Bird spikes <sup>18</sup> EGS External glare shield <sup>18</sup>
		DDBXD Dark bronze DBLXD Black DNAXD Natural aluminum DWHXD White DDBTXD Textured dark bronze DBLBXD Textured black DNATXD Textured natural aluminum DWHGXD Textured white





1 | ENTRY PERSPECTIVE



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# MOUNTAIN SUNRISE ACADEMY

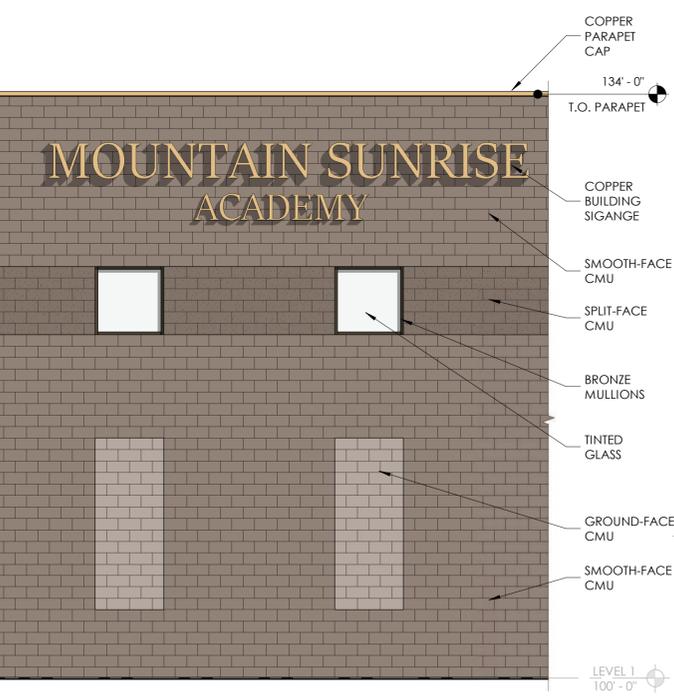
DESIGN DEVELOPMENT - 3D RENDERING

Salt Lake City 52 Exchange Place Salt Lake City, UT 84111 801.531.1144 | Boise 800 W. Main Street Suite 940 Boise, ID 83702 208.424.7675 | babcockdesign.com

23 SEPTEMBER 2019



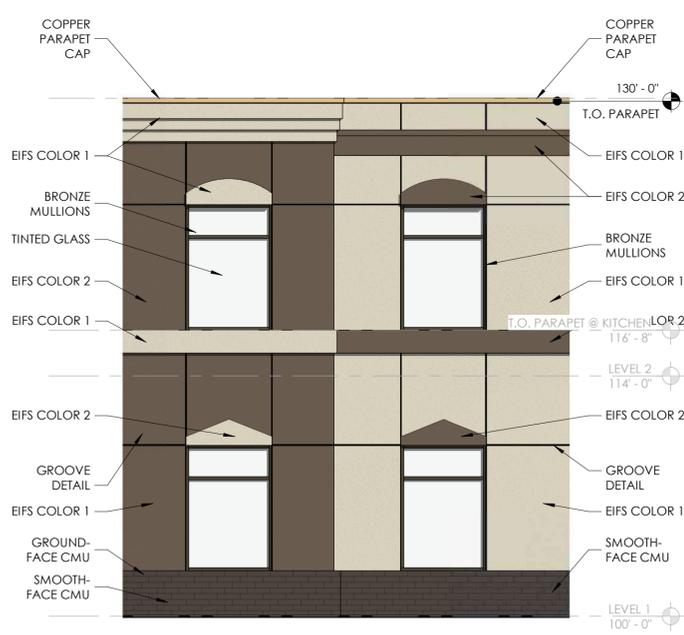
1 | EAST ELEVATION  
3/32" = 1'-0"



4 | DD SOUTH ELEVATION - ENLARGED ELEVATION  
3/16" = 1'-0"



2 | SOUTH ELEVATION  
3/32" = 1'-0"



3 | WINDOW HEAD EIFS OPTIONS  
3/16" = 1'-0"



**MOUNTAIN SUNRISE ACADEMY**  
DESIGN DEVELOPMENT - EXTERIOR ELEVATIONS



1 WEST ELEVATION  
3/32" = 1'-0"



2 NORTH ELEVATION  
3/32" = 1'-0"



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# MOUNTAIN SUNRISE ACADEMY

DESIGN DEVELOPMENT - EXTERIOR ELEVATIONS

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1 | VIEW FROM SOUTHEAST



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# MOUNTAIN SUNRISE ACADEMY

DESIGN DEVELOPMENT - 3D VIEWS AND RENDERINGS

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1 | STREET VIEW FROM WEST



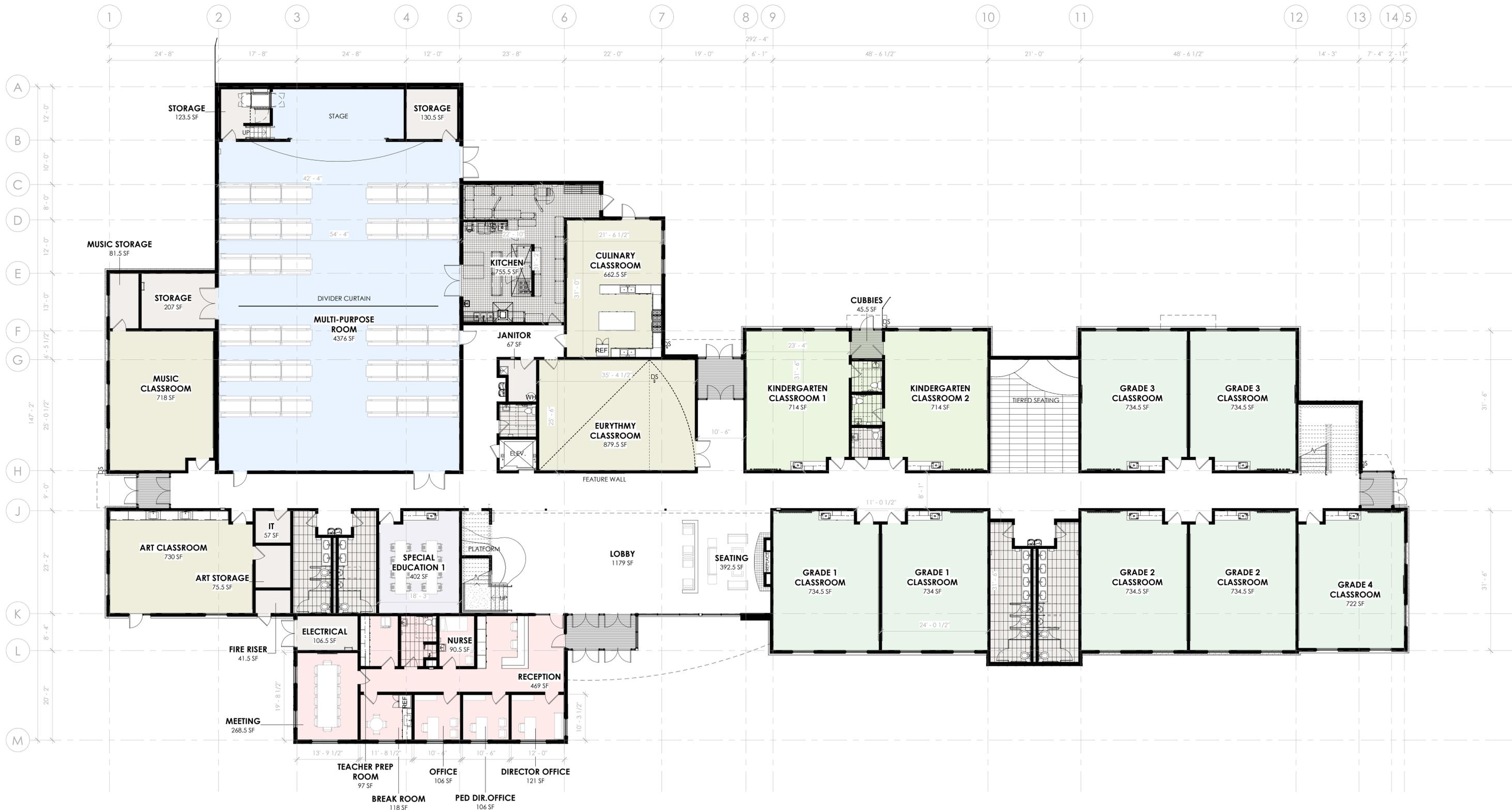
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# MOUNTAIN SUNRISE ACADEMY

DESIGN DEVELOPMENT - 3D VIEWS AND RENDERINGS

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1 | DD FLOOR PLAN - LEVEL 1  
3/32" = 1'-0"

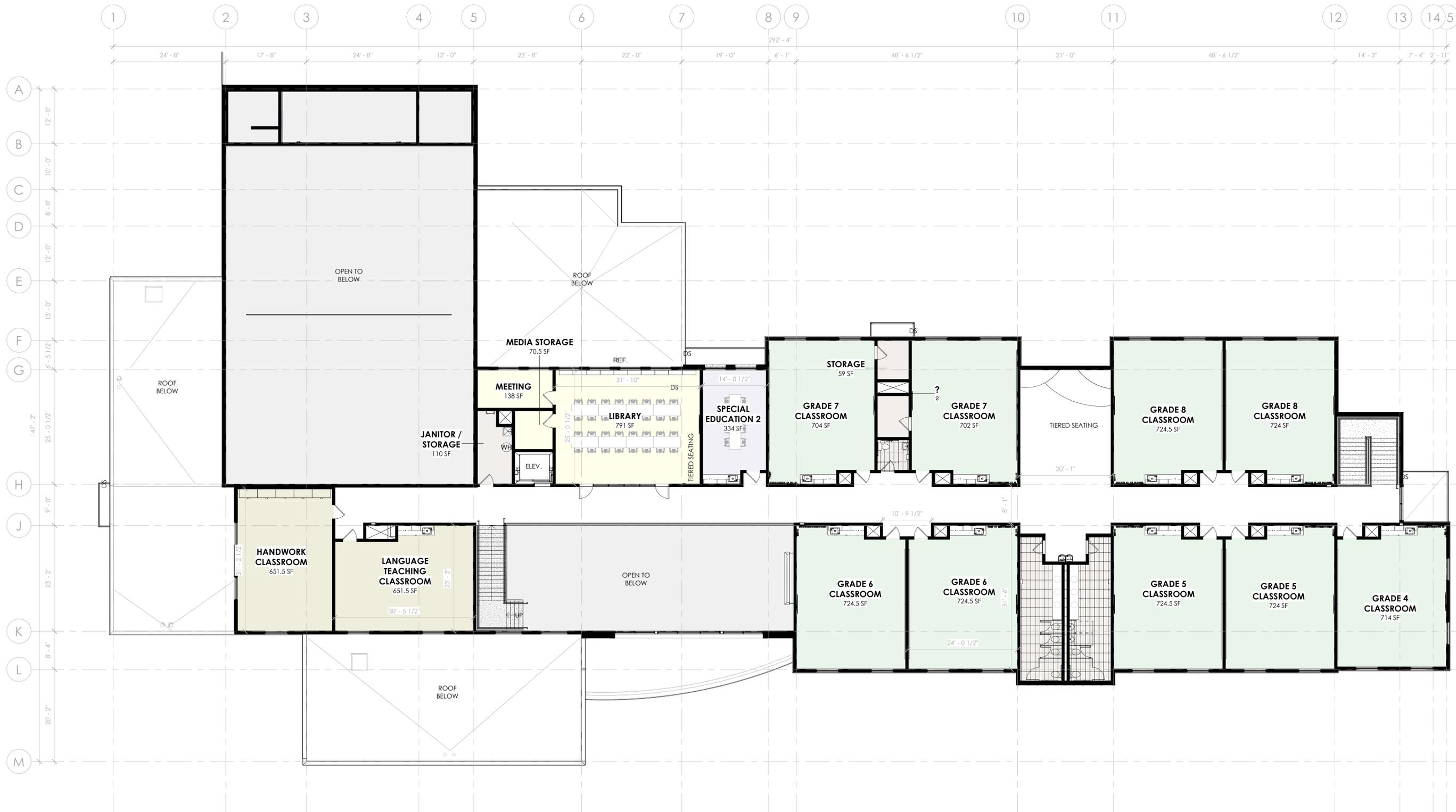


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**MOUNTAIN SUNRISE ACADEMY**  
DESIGN DEVELOPMENT - FLOOR PLAN LEVEL 1

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23 SEPTEMBER 2019



1 DD FLOOR PLAN - LEVEL 2  
3/32" = 1'-0"



**MOUNTAIN SUNRISE ACADEMY**  
DESIGN DEVELOPMENT - FLOOR PLAN LEVEL 2



**Site Plan  
Saratoga Town Center  
March 26, 2020  
Public Meeting**

Report Date: March 19, 2020  
Applicant: Ashley Hadfield  
Owner: JDH Town Center, LLC  
Location: 1509 North Commerce Drive  
Major Street Access: Commerce, Crossroads, Redwood  
Parcel Number(s) & size: 66:387:0001, 9.79 acres & 66:387:0002, 6.0 acres  
Land Use Designation: Regional Commercial  
Parcel Zoning: Regional Commercial  
Adjacent Zoning: Regional Commercial, MF-18  
Current Use of Parcel: Undeveloped  
Adjacent Uses: Vacant; Regional Commercial, Residential  
Previous Approvals:  
Type of Action: Administrative  
Land Use Authority: Planning Commission  
Planner: Gina Grandpre, Planner II

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**A. Executive Summary:**

This is a request for site plan approval of a retail building at 1509 N Commerce Drive in the Regional Commercial (RC) zone. The site plan includes one single level building with 6,161 square-feet between three units, with mechanical equipment will be on the roof, behind parapets. The site for this building will be 1.12 acres of the recorded Lot 2 of the Saratoga Town Center No. 2 Subdivision. The remaining 5.33 acres of Lot 2 will be further developed in the future. Associated parking and landscaping complies with the minimum requirements of the zone. Retail uses within this building will be subject to the allowed uses in the RC zone.

**Staff recommends the Planning Commission conduct a public meeting on the proposed site plan, review and discuss the proposal, and select from the motions in Section H of this report.** The actions available to the Planning Commission include approval with conditions, continuation, or denial. The Planning Commission is the Land Use Authority of this site plan.

**B. Background:**

The lot on which the proposed site plan is located, was created when the Saratoga Town Center No. 2 Subdivision was recorded in 2013. The Master Plan Development Agreement for this subdivision, expired in 2014, therefore requiring the undeveloped lots to conform to the Regional Commercial Zoning standards found in Section 19.04 of the City's Land Use Development Code. The subject lot is 6 acres or 261,328 square feet, with 1.12 acres or 48,787 square feet, dedicated to this site plan. Considering this, in regards to the minimum lot size requirement in the RC zone of 20,000, the subject lot is legal conforming as to lot size.

**C. Specific Request:**

The applicant requests review and approval of the proposed site plan to locate a retail building with three attached units at 1509 North Commerce Drive in the RC zone.

**D. Process:**

Section 19.13 summarizes the process of site plan approval. The Planning Commission is the Land Use Authority of new site plans. This item is scheduled to be discussed in a public meeting and a public hearing is not required.

**E. Community Review:**

Public notices are not required for this type of application. However, the proposed site plan is noticed on the City website and the state public notice website. As of the date of this report no public input has been received.

**F. General Plan:**

The site is designated as Regional Commercial on the Land Use Map of the General Plan. The General Plan describes the general characteristics of the Regional Commercial land use designation as follows:

These areas generally should include a variety of retail uses including big box retail configured in developments that provide excellent vehicular access to and from major transportation facilities. They should include special urban improvements to make rich and enjoyable public spaces. To promote foot traffic, these areas should be compact and include a safe pedestrian environment and access to a multi-modal transportation network.

*Staff conclusion: Consistent. A retail building allows a variety of permitted uses in the Regional Commercial zone. Adjacent properties are zoned RC where retail, restaurant, and office uses occur. Other adjacent properties will remain vacant until future development happens. Nearby commercial uses and high density housing exist. Sidewalks and pathways are provided for pedestrian access in and around the parcel.*

**G. Code Criteria:**

For full analysis please see the attached Planning Review Checklist.

- 19.04, Land Use Zones: **Complies.**

- 19.05, Supplemental Regulations: **Complies.**
- 19.06, Landscaping and Fencing: **Complies.**
- 19.09, Off Street Parking: **Complies.**
- 19.11, Lighting: **Complies.**
- 19.13, Process: **Complies** and scheduled for PC.
- 19.14, Site Plans: **Complies.**
- 19.16, Site and Architectural Design Standards: **Complies.**

**H. Recommendation and Alternatives:**

Staff recommends that the Planning Commission discuss this request in a public meeting and choose from the options below.

**Staff Recommended Motion – approval and positive recommendation**

“I move to **approve** the proposed site plan of the Saratoga Town Center Retail Building at 1509 North Commerce Drive in the RC zone with the findings and conditions below:”

**Findings**

1. The application is consistent with the General Plan, as articulated in Section “F” of the staff report, which section is incorporated by reference herein.
2. The application complies with the Land Development Code as articulated in Section “G” of the staff report, which section is incorporated by reference herein.

**Conditions:**

1. All conditions of the City Engineer shall be met, including but not limited to those in the attached staff report.
  2. All requirements of the Fire Chief shall be met.
  3. All other Code requirements shall be met.
  4. A separate sign permit is required for any exterior signs.
  5. Any other conditions or changes as articulated by the Planning Commission:
- 

**Alternative 1 – Continuance**

The Planning Commission may also choose to continue the item. “I move to **continue** the Saratoga Town Center Retail Building site plan to another meeting on [DATE], with direction to the applicant and Staff on information and/or changes needed to render a decision, as follows:

1. \_\_\_\_\_
2. \_\_\_\_\_

**Alternative 2 – Denial**

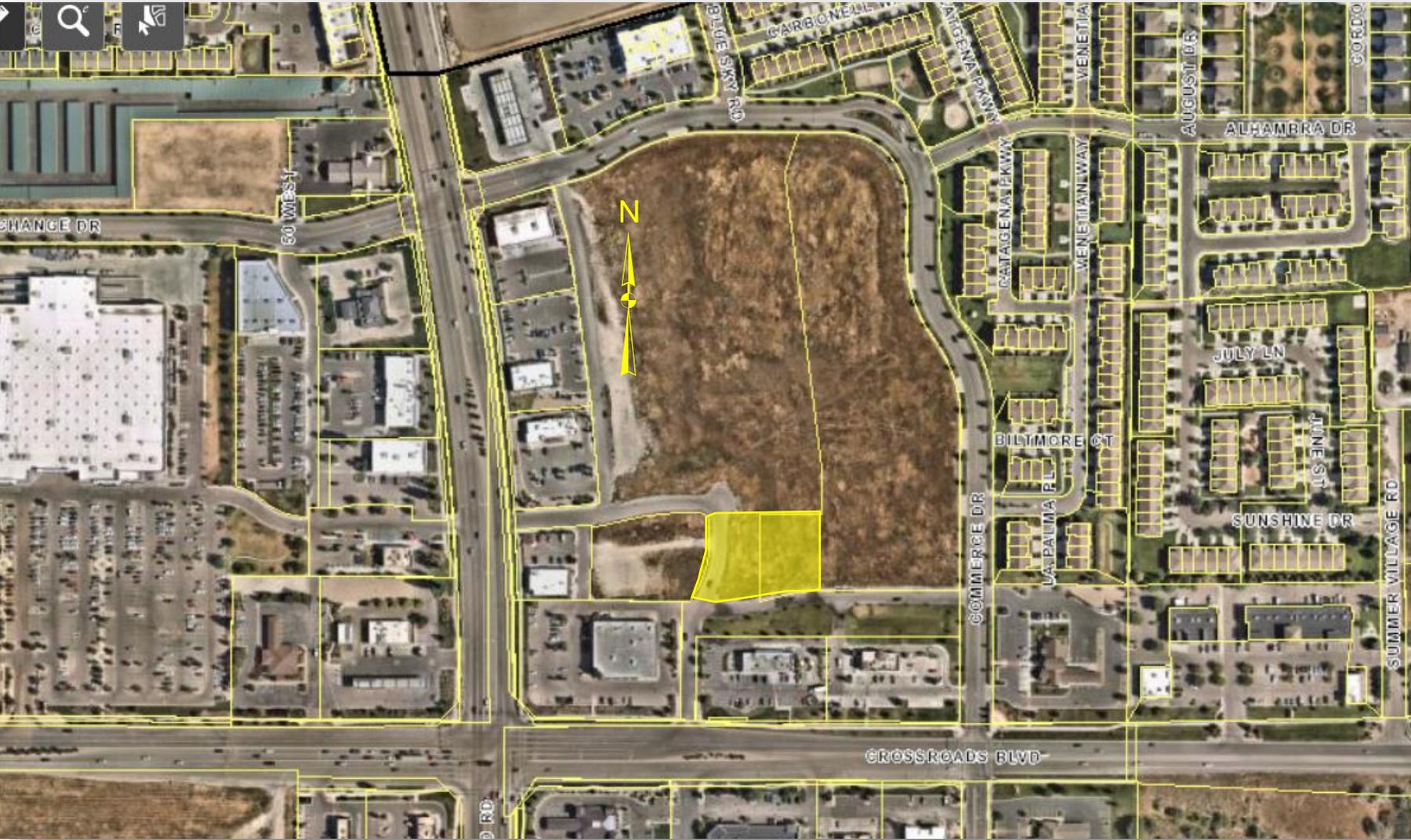
The Planning Commission may also choose to deny the site plan. “I move to **deny** the proposed site plan of Saratoga Town Center Retail Building at 1509 North Commerce Drive in the RC zone, based on the following findings:”

1. The site plan is not consistent with the General Plan, as articulated by the Planning Commission: \_\_\_\_\_, and/or, \_\_\_\_\_,
2. The Site Plan is not consistent with Section [19.04, 19.05, 19.06, 19.09, 19.11, 19.13, 19.14, 19.16, 19.18] of the Code, as articulated by the Planning Commission: \_\_\_\_\_.

**I. Exhibits:**

1. Location Map
2. Planning Review Checklist
3. Site Plan
4. Landscape Plan
5. Elevations
6. Photo of Colors and Materials Board
7. Photometric Plan
8. Light Fixture Details

Exhibit 1: Location Map



# Exhibit 2: Planning Review Checklist



SARATOGA  
SPRINGS  
PLANNING

## APPLICATION REVIEW CHECKLIST

### Application Information

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<b>Date Received:</b>	3/5/2020
<b>Date of Review:</b>	<b>3/19/2020</b>
<b>Project Name:</b>	Saratoga Town Center
<b>Project Request / Type:</b>	Site Plan
<b>Applicant:</b>	Ashley Hadfield
<b>Owner:</b>	JDH Town Center LLC
<b>Location:</b>	1509 North Commerce Drive
<b>Major Street Access:</b>	Commerce, Crossroads, Redwood
<b>Parcel Number(s) and size:</b>	66:387:0001, 9.79 acres & 66:387:0002, 6.0 acres
<b>Land Use Designation:</b>	Regional Commercial
<b>Parcel Zoning:</b>	Regional Commercial
<b>Adjacent Zoning:</b>	Regional Commercial, MF-18
<b>Current Use:</b>	Undeveloped
<b>Adjacent Uses:</b>	Commercial, Undeveloped, Residential
<b>Previous Meetings:</b>	N/A
<b>Previous Approvals:</b>	Concept
<b>Land Use Authority:</b>	Planning Commission
<b>Future Routing:</b>	Planning Commission
<b>Planner:</b>	Gina Grandpre

### Section 19.13 – Application Submittal

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- Application Complete: **No.**
- Rezone Required: **No.**
- General Plan Amendment required: **No.**
- Additional Related Application(s) required: **No.**

### Section 19.13.04 – Process

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- DRC: 12/23/19
- Neighborhood Meeting: N/A
- PC: TBD,
- CC: N/A

### General Review

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## Building Department

- Setback detail
- Lot numbering – per phase (i.e. Phase 1: 100, 101, 102. Phase 2: 200, 201, 202, etc.)
- True buildable space on lots (provide footprint layout for odd shaped lots)
- Lot slope and need for cuts and fills

## Fire Department

- Commercial:
  - Fire flows shall meet existing needs as well as future development in the area.
  - Hydrant spacing shall not exceed 300’.
  - Buildings shall be fire sprinkled and meet NFPA 13 requirements and all applicable IFC 2015 edition requirements and appendices.
  - Alarm system and notification systems shall all be tied together with the fire sprinkler system and monitored 24/7, 365 by a third party monitoring company.
  - This same system and / or monitoring company shall also be able to notify UVSSD 911 dispatch center 24/7 365.
  - All sprinkler plans and alarm plans shall be third party reviewed by PCI in Centerville, Utah, Attn: Bob Goodloe.

## GIS / Addressing

- comments

## Additional Recommendations:

- Plans indicating how this site plan fits with the overall plans for the development. **Complies**
- A sample board needs to be submitted, showing proposed materials and color schemes. **Complies**
- Lighting plan requires corrections and resubmittal, please see the changes below. **Complies**
- Notes should be added to the site plan indicating when lights should be turned on and off. **Complies**
- Landscaping plan requires corrections and resubmittal, please see the changes below.
- The Saratoga Towne Center MDA expired in 2014. All applications shall follow the current code.
- Trash enclosure requires further detail on the plans and resubmittal. **Complies**
- The proposed location of the trash enclosure shall be reviewed by the Public Works Department and service provider. **Complies**
- Notes should to be added on the site plan indicating the responsibility of maintenance for the detention basin. **Complies**
- Is the path around the detention basin gravel or concrete? The landscaping plan indicates gravel. This path should be concrete. **Complies**
- Elevations shall indicate the percentage of materials and measurements of awnings, both heights and widths. **Complies**
- The intention of land uses for the proposed building should be indicated on the site plan. If a fitness center is to be one of the uses, a CUP would be required. **Office space is indicated. Complies**
- Parapet measurements need to be indicated on the site plan elevations. **Complies**
- **Please check the Engineer’s checklist and make sure all items have been addressed.**
- **The Architectural plans is missing the “enlarged roof” drawings. The page is blank. Complies**

---

## Code Review

- 19.04, Land Use Zones
  - Zone: Regional Commercial
  - Use: Commercial

19.04.01 Requirements		Regional Commercial	
Category To Be Reviewed	Regulation	Determination	How
Development Size (Minimum)	-		
Lot Size (Minimum)	30,000 sq. ft.	<b>Complies</b>	34,547 sq. ft.
Front/Corner Side Setback (Minimum)	10'	<b>Complies</b>	Site plan indicates the front setback is 21'4"
Interior Side Setback (Minimum)	10'	<b>Complies</b>	Site plan indicates the side setback 50'5"
Rear Setback (Minimum)	30'	<b>Complies</b>	Site plan indicates the rear setback 103'8"
Building Separation (Minimum)		N/A	
Lot Width (Minimum)			
Lot Frontage (Minimum)	10'	<b>Complies</b>	Site plan indicates the frontage is 190'4"
Building Height (Maximum)	50'	<b>Complies</b>	Site plan indicates the maximum height will be 29'6" of her building
Lot coverage (Maximum)	50%	<b>Complies</b>	
Building Size (Minimum)	1,000 sq. ft.	<b>Complies</b>	Site plan indicates the building size is 6,210 sf.
Building Size (Maximum)			

**Don't Forget to check the exceptions and \*\*\* at the bottom of the table**

- Lot Size Reductions:
- Footprint Development:
- Open Space and Landscaping Requirements:

19.05 Supplemental Regulations		
Regulation	Compliance	Findings
<b>Flood Plain:</b> Buildings intended for human occupancy shall be constructed at least one foot above the base flood elevation.	<b>Complies.</b>	The proposed plan lays within the X Flood Zone.
<b>Water &amp; Sewage:</b> Each lot shall be connected to City water and sewer.	<b>Complies.</b>	Proposed project includes water & sewer connections, approvals for services shall be applied/received through the Public Works Department
<b>Transportation Master Plan:</b> Lots shall not interfere with the Transportation Master Plan.	<b>Complies.</b>	Proposed site plan does not interfere with the TMP.
<b>Property Access -</b> All lots shall abut a dedicated public or private road.	<b>Complies.</b>	Access to proposed site plan is obtained through existing private roads.

## 19.06 Landscaping and Fencing

### Landscape Plans

Regulation	Compliance	Findings
<b>Landscape Architect:</b> Landscaped plans shall be prepared by a licensed landscape architect.	<b>Complies.</b>	<i>The proposed landscape plan has been prepared by a licensed landscape architect.</i>
<b>Existing Conditions:</b> Show the location and dimension of all existing and proposed structures, property lines, easements, parking lots, power lines, rights-of-way, ground signs, refuse areas, and lighting.	<b>Complies.</b>	<i>The proposed landscape plan shows existing conditions.</i>
<b>Planting Plan:</b> Show location and planting details for all proposed vegetation and materials. Indicate the size of the plant material at maturation. All existing vegetation that will be removed or remain must be identified.	<b>Complies.</b>	<i>The proposed landscape plan shows a planting plan.</i>
<b>Plants:</b> The name (both botanical and common name), quantity, and size of all proposed plants.	<b>Complies.</b>	<i>The proposed landscape plan plants name, quantity and size.</i>
<b>Topography:</b> Existing and proposed grading of the site indicating contours at two-foot intervals.	<b>Complies.</b>	<i>The proposed landscape plan topography.</i>
<b>Irrigation:</b> Irrigation plans showing the system layout and details.	<b>Complies.</b>	<i>The proposed landscape plan includes irrigation plans.</i>
<b>Fencing:</b> Location, style, and details for proposed and existing fences and identification of the fencing materials.	<b>N/A.</b>	
<b>Data Table:</b> Table including the total number of each plant type, and total square footage and percentage of landscaped areas, domestic turf grasses, decorative rock, mulch, bark, and drought tolerant plant species.	<b>Complies.</b>	<i>The proposed landscape plan includes irrigation plans.</i>
<b>Completion of Landscape Improvements:</b> All required landscaping improvements shall be completed in accordance with the approved landscape plans.	<b>Can Comply.</b>	<i>The developer shall complete all required landscaping.</i>
Planting Standards		
<b>Deciduous Trees:</b> 2" in caliper.	<b>Complies.</b>	<i>The proposed site plan includes deciduous trees.</i>
<b>Evergreen Trees:</b> 6' in height.	<b>Complies.</b>	<i>The proposed site plan includes Evergreen trees.</i>
<b>Tree Base Clearance:</b> 3' diameter around every tree must be kept clear of turf and rock mulch.	<b>Complies.</b>	<i>The proposed site plan includes a 3' diameter of stem mulch.</i>
<b>Shrubs:</b> 25% of required shrubs must be a minimum of 5 gallons in size.	<b>Complies.</b>	<i>The proposed site plan includes shrubs.</i>
<b>Turf:</b> No landscaping shall be comprised of more than seventy percent turf, except within landscaped parks.	<b>Complies.</b>	<i>The proposed site plan does not include more than 75% turf.</i>
<b>Artificial Turf :</b> Not allowed.	<b>Complies.</b>	<i>The proposed site plan does not include artificial turf.</i>
<b>Drought Tolerant Plants:</b> 50% of all plants shall be drought tolerant.	<b>Complies.</b>	<i>The proposed site plan includes more than 50% drought tolerant plants.</i>
<b>Rock Mulch:</b> Rock mulch shall be two separate colors and separate sizes and must be contrasting in color from the pavement and other hard surfaces. All colors used must be earth tones.	<b>Complies.</b>	<i>The proposed site plan Rock mulch in earth tones.</i>

<b>Design Requirements</b>		
<b>Evergreens:</b> Evergreens shall be incorporated into landscaped treatment of sites where screening and buffering are required.	<b>Complies.</b>	<i>The proposed landscaping plan includes evergreens.</i>
<b>Softening of Walls and Fences:</b> Plants shall be placed intermittently against long expanses of building walls, fences, and barriers to create a softening effect.	<b>Complies.</b>	<i>The proposed landscaping plan includes plants that are placed to soften the walls.</i>
<b>Planting and Shrub Beds:</b> Planting and shrub beds are encouraged to be used in order to conserve water.	<b>Complies.</b>	<i>The proposed landscaping plan includes planting and shrub beds.</i>
<b>Water Conservation:</b> Water-conserving sprinkler heads and rain sensors are required. Drip lines should be used for shrubs and trees.	<b>Complies.</b>	<i>The proposed landscaping plan includes water conservation irrigation features</i>
<b>Energy Conservation:</b> Placement of plants shall be designed to reduce energy consumption. Deciduous trees are encouraged to be planted on the south and west sides of structures. Evergreens are encouraged to be planted on the north side of structures.	<b>Complies.</b>	<i>The proposed landscaping plan includes energy conservation plants and placement.</i>
<b>Placement:</b> Whenever possible, landscaping shall be placed immediately adjacent to structures, particularly where proposed structures have large empty walls.	<b>Complies.</b>	<i>The proposed site plan includes landscaping immediately adjacent to the proposed structure.</i>
<b>Trees and Power Poles:</b> No trees shall be planted directly under or within 10' of power lines, poles, or utility structures unless: <ul style="list-style-type: none"> <li>a. The City Council gives its approval.</li> <li>b. The Power Company or owner of the power line gives written consent.</li> <li>c. The maximum height or width at maturity of the tree species planted is less than 5' to any pole, line, or structure.</li> </ul>	<b>Complies.</b>	<i>The proposed site plan does not include trees near power poles.</i>
<b>Preservation of Existing Vegetation</b>		
Where possible and appropriate, existing native vegetation must be incorporated into the landscape treatment of the proposed site.	<b>N/A.</b>	<i>The site does not include native vegetation.</i>
<b>Tree Preservation:</b> Existing mature evergreen trees of 16' in height or greater, and existing mature deciduous or decorative trees of more than 4" in caliper, shall be identified on the landscape plan and preserved if possible. If a mature tree is preserved, an area around the roots as wide as the existing canopy shall not be disturbed.	<b>N/A.</b>	
If preservation is not possible, the required number of trees shall be increased by double the number of such trees removed.	<b>N/A.</b>	
The replacement trees for evergreen trees shall be evergreens, and for deciduous shall be deciduous.	<b>N/A.</b>	
Deciduous trees smaller than four inches in caliper, or mature ornamental trees, that are removed shall be replaced on a one to one ratio.	<b>N/A.</b>	
Replacement trees shall be in addition to the minimum tree requirements of this Chapter, and shall comply with minimum sizes as outlined in the Chapter.	<b>N/A.</b>	
<b>Planter Beds</b>		
<b>Weed Barrier:</b> A high quality weed barrier or pre-emergent shall be used.	<b>Complies.</b>	<i>The proposed landscaping plan now includes the weed barrier will be used.</i>

<b>Materials:</b> High quality materials such as wood chips, wood mulch, ground cover, decorative rock, landscaping rocks, or similar materials shall be used, and materials must be heavy enough to not blow away in the wind.	<b>Complies.</b>	<i>The proposed landscaping plan shows mulch and gravel.</i>
<b>Edging:</b> Concrete edging must be used to separate planter and turf areas in all non-residential zones.	<b>Complies.</b>	<i>The proposed landscaping plan includes concrete edging.</i>
<b>Drip Lines:</b> Drip lines must be used in planter beds.	<b>Complies.</b>	<i>The proposed irrigation plan includes drip lines.</i>
<b>Fencing and Screening</b>		
<b>Front Yards:</b> Fences exceeding 3' in height shall not be erected in any front yard space of any residential lot.	<b>N/A.</b>	
<b>Clear Sight Triangle:</b> All landscaping and fencing shall be limited to a height of not more than 3' and the grade at such intersections shall not be bermed or raised. Clear sight is located at all intersections of streets, driveways, or sidewalks, for a distance of 20' back from the point of curvature of curved ROWs and property lines or 30' back from the intersection of straight ROWs and property lines, whichever is greater landscaping shall not exceed 3' in height and the area shall not be bermed or raised within clear sight triangles.	<b>Complies.</b>	<i>The proposed site plan includes clear sight triangles at all three intersections.</i>

<b>Amount of Required Landscaping</b>		
Portions of the property that are not developed with structures, rights of ways, or parking areas shall be landscaped.	<b>Complies.</b>	<i>The proposed site plan includes a building pad and detention basin of approximately 47,683 sf. Only 28,978 sf is on parcel 66:387:0002 or lot 2 of the Saratoga Town Center No. 2 Sub.</i>
Multi-family, common space not including parks, and nonresidential development in all zones shall be required to adhere to the minimum landscaped standards in 19.06.07 of the Land Development Code.	<b>Complies.</b>	<i>The proposed site plan meets the 20% requirement of landscaping long as it includes the detention basin.</i>
At least 50% of the landscaped area shall be covered with live vegetation at maturity. The percentage may be reduced to 40% in areas where bark mulch, wood or plant fiber mulch, or rubber mulch is used instead of rock mulch.	<b>Complies.</b>	<i>The proposed site plan includes more than 50% of mature vegetation.</i>

<b>Landscape Amount</b>			
<b>Category To Be Reviewed</b>	<b>Regulation</b>	<b>Compliance</b>	<b>Findings</b>
Total Square Footage	47,683		
Required Landscaping	9,537	<b>Complies</b>	<i>The proposed site plan indicates the landscaping is approx. 14,630 sf.</i>
Required Deciduous Trees	6	<b>Complies</b>	<i>The proposed site plan includes 22 deciduous trees</i>

Required Evergreen Trees	4	<b>Complies</b>	<i>The proposed site plan includes 6 deciduous trees</i>
Required Shrubs	19	<b>Complies</b>	<i>The proposed site plan includes 177 shrubs</i>
Drought Tolerant Plants	15	<b>Complies</b>	<i>The proposed site plan includes all drought tolerant plants.</i>

## 19.09 Off Street Parking

### General Provisions

Regulation	Compliance	Findings
<b>Materials:</b> Parking areas shall consist of concrete, asphalt, or other impervious materials approved in the City's adopted construction standards	<b>Complies.</b>	<i>The proposed site plan includes parking area design consistent with the Land Development Code.</i>
<b>Parking Area Access:</b> Common Access: Parking areas for one or more structures may have a common access so long as the requirements of all City ordinances, regulations, and standards are met. The determination of the locations for a common access shall be based upon the geometry, road alignment, and traffic volumes of the accessed road per the Standard Technical Specifications and Drawings.	<b>Complies.</b>	<i>The proposed site plan includes common access points for additional parking for future phases on this lot.</i>
<b>Sidewalk Crossing:</b> All non-residential structures are required to provide parking areas where automobiles will not back across a sidewalk to gain access onto a public or private street.	<b>Complies.</b>	<i>The proposed site plan includes parking that does not allow automobiles to back across a sidewalk.</i>
<b>Cross Access:</b> Adjacent non-residential development shall stub for cross-access. Developers must provide the City with documentation of cross-access easements with adjacent development.	<b>Complies.</b>	<i>The proposed site plan includes stubs for future development.</i>
<b>Lighting:</b> Parking areas shall have adequate lighting to ensure the safe circulation of automobiles and pedestrians. Lighting shall be shielded and directed downward.	<b>Complies.</b>	<i>The proposed lighting plan is incomplete. <b>Please provide cut sheets that include the lighting fixtures, design, materials and colors being used for the fixtures, etc.</b></i>
<b>Location of Parking Areas:</b> Required off-street parking areas for non-residential uses shall be placed within 600' of the main entrance to the building. Unenclosed parking for residential areas shall not be provided in rear yards, unless said yard abuts an alley-type access or is fenced with privacy fencing	<b>Complies.</b>	<i>The proposed site plan includes parking within 600' of the main entrance to the building.</i>
<b>Curb Cuts and Shared Parking:</b> In most cases, shared parking areas shall share ingress and egress. This requirement may be waived when the City Engineer believes that shared accesses are not feasible. In reviewing the site plans for the shared parking areas, the City Engineer shall evaluate the need for limited access, appropriate number of curb cuts, shared driveways, or other facilities that will result in a safer, more efficient parking and circulation pattern.	<b>Can Comply.</b>	<i>Engineer to review. See Engineer's Redlines</i>

<b>Parking Requirements and Shared Parking</b>		
Available on-street parking shall not be counted towards meeting the required parking stalls.	<b>Complies.</b>	<i>The proposed site plan does not include on-street parking</i>
When a parking requirement is based upon square footage, the assessed parking shall be based upon gross square footage of the building or use unless otherwise specified in the requirement.	<b>Complies.</b>	<i>The proposed site plan includes a building size of 6,210 sf. Requiring 31 parking stalls.</i>
When parking requirements are based upon the number of employees, parking calculations shall use the largest number of employees who work at any one shift. Where shift changes may cause substantial overcrowding of parking facilities, additional stalls may be required.	<b>N/A.</b>	
When a development contains multiple uses, more than one parking requirement may be applied.	<b>N/A.</b>	
Tandem parking spaces will not be counted as parking spaces for non-residential uses except for stacking spaces where identified.	<b>Complies.</b>	<i>The proposed site plan does not include tandem parking spaces.</i>
Any fraction obtained when calculating the parking requirement shall be rounded up to the next whole number to determine the required number of parking stalls.	<b>Complies.</b>	
Any information provided by the developer relative to trip generation, hours of operation, shared parking, peak demands, or other information relative to parking shall be considered when evaluating parking needs.	<b>N/A.</b>	<i>No information has been submitted.</i>
Parking requirements may deviate from the standards contained in Section 19.09.10, Required Minimum Parking, when the City Council determines that the deviation meets the intent of this Chapter. Reductions may not exceed 25% of the parking requirements and shall be based on the following criteria: <ul style="list-style-type: none"> <li>a. the intensity of the proposed use;</li> <li>b. times of operation and use;</li> <li>c. whether the hours or days of operation are staggered thereby reducing the need for the full amount of required parking;</li> <li>d. whether there is shared parking agreement in accordance with Section 19.09.05.10 below;</li> <li>e. trip generation; and</li> <li>f. peak demands.</li> </ul>	<b>N/A.</b>	
Up to 25% of required parking may be shared with an adjacent use upon approval by the City Council. The developer must provide: <ul style="list-style-type: none"> <li>a. an agreement granting shared parking or mutual access to the entire parking lot; and</li> <li>b. peak demand data by a professional traffic engineer showing that shared parking will accommodate the uses.</li> </ul>	<b>Complies.</b>	
Parking lots larger than 75,000 square feet shall provide raised or delineated pedestrian walkways. Walkways shall be a minimum of 10' wide and shall be placed through the center of the parking area and extend to the entrance of the building. Landscaped islands along the center walkway shall be placed at a minimum interval of every 30'. Landscaped islands are encouraged to be offset from one another to create a feeling of greater coverage. Pedestrian covered walkways may be substituted for tree-lined walkways. Where the developer desires to have a driveway access at the center of the parking area, a pedestrian access shall be placed on either side of the driveway.	<b>N/A.</b>	

## Landscaping in Parking Areas

<p>All parking areas (not including a driveway for an individual dwelling) for non-residential or multi-family residential uses that are adjacent to public streets shall have landscaped strips of not less than 10' in width placed between the sidewalk and the parking areas, containing a berm, hedge, or screen wall with a minimum height of 3' to minimize intrusion of lighting from headlights and other lighting on surrounding property. Trees, both deciduous and evergreen, shall be placed in the strip with spacing of no more than 30' between trees except in the clear sight triangle, and except where located beneath powerlines. The standards of section 19.06.06, Planting Standards and Design Requirements, shall apply for the minimum size of vegetation. Within regional parks this requirement may be met through the use of intermittent planter beds rather than a berm, hedge, or screen wall; trees or shrubs may be clustered in the planter beds where necessary to shield light spillage.</p>	<p><b>Complies.</b></p>	<p><i>The proposed site plan is not adjacent to public streets.</i></p>
<p>All landscaped areas abutting any paved surface shall be curbed (not including a driveway for an individual dwelling). Boundary landscaping around the perimeter of the parking areas shall be separated by a concrete curb 6" higher than the parking surface.</p>	<p><b>Complies.</b></p>	<p><i>The proposed site plan includes curbing where landscaping abuts paved surfaces.</i></p>
<p>Clear Sight Triangles must be followed.</p>	<p><b>Complies.</b></p>	<p><i>The proposed site plan follows the clear sight triangles as outlined in the Land Development Code.</i></p>
<p>All landscaped parking areas shall consist of trees, shrubs, and groundcover. Areas not occupied by structures, hard surfaces, vehicular driveways, or pedestrian walkways shall be landscaped and maintained. All landscaped areas shall have an irrigation system.</p>	<p><b>Complies.</b></p>	<p><i>The proposed site plan includes landscaping on all parking area islands and areas not occupied by structures or hard surfaces and vehicular driveways/pedestrian walkways.</i></p>
<p>On doubled rows of parking stalls, there shall be one 36' x 9' landscaped island on each end of the parking rows, plus one 36' x 9' landscaped island to be placed at a minimum of every twenty parking stalls. Each island on doubled parking rows shall include a minimum of two trees per planter.</p>	<p><b>Complies.</b></p>	<p><i>The proposed site plan includes two 36' x 9' landscaped islands.</i></p>
<p>On single rows of parking or where parking abuts a sidewalk, there shall be one 18' x 9' foot landscaped island a minimum of every ten stalls. Islands on a single parking row shall have a minimum of one tree per island.</p> <p>i. Exception: Landscaped islands are not required in single rows of parking that abut or are no farther than 6' from a landscaped area containing an equal or greater number of trees as would have been provided in islands, in addition to trees required for the landscaped area. Such trees shall be located within 9' of the edge of parking area, and shall have a canopy width that, at maturity, will extend into the parking area.</p>	<p><b>Complies.</b></p>	<p><i>The proposed site plan includes single rows of parking abutted to sidewalks and includes landscaped islands every ten stalls.</i></p>
<p>Landscaped islands at the ends of parking rows shall be placed and shaped in such a manner as to help direct traffic through the parking area.</p>	<p><b>Complies.</b></p>	<p><i>The proposed site plan includes landscaped islands that help direct traffic.</i></p>

### Required Minimum Parking

	<b>Complies.</b>	<i>The proposed site plan shows a total of 31 parking stalls</i>
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### Dimensions for Parking Stalls & Aisle

	Stall Width	Stall Length	Aisle Width (one-way traffic)	Aisle Width (two-way traffic)
<b>90° Parking</b>				
Required	9'	18'	24'	24'
Provided	9'	18'	24'	24'

### 19.11 Lighting

#### General Standards

Regulation	Compliance	Findings
<b>Material:</b> All Lighting Fixtures and assemblies shall be metal.	<b>Complies.</b>	<i>Shown</i>
<b>Base:</b> All lighting poles shall have a 16" decorative base.	<b>Complies.</b>	<i>Shown</i>
<b>Type:</b> All lighting fixtures shall be of the full cutoff variety. Shoebox fixtures are prohibited.	<b>Complies.</b>	<i>Shown</i>
<b>Angle:</b> Shall be directed downward.	<b>Complies.</b>	<i>Shown</i>
<b>Lamp:</b> Bulbs may not exceed 4000k.	<b>Complies.</b>	<i>The proposed site plan includes lamps that do not exceed 4000k.</i>
<b>Drawings:</b> Design and location of fixtures shall be specified on the plans.	<b>Complies.</b>	<i>Shown</i>
<b>Flags:</b> The United States flag and the state flag shall be permitted to be illuminated from dusk till dawn. All other flags shall not be illuminated past 11:00 p.m. Flag lighting sources shall not exceed 10,000 lumens per flagpole. The light source shall have a beam spread no greater than necessary to illuminate the flag.	N/A.	<i>The proposed plan does not include a flag pole.</i>
<b>Prohibited Lighting:</b> Searchlights, strobe lights and any laser source light or any similar high intensity light.	<b>Complies.</b>	
<b>Descriptions:</b> Descriptions of the illuminating devices, fixtures, lamp supports, and other devices. This description may include, but is not limited to, manufacturers' specifications, drawings, and sections.	<b>Complies.</b>	<i>The proposed lighting plan has included additional detail.</i>

### Nonresidential Lighting

All wall-mounted fixtures shall not be mounted above 16'. The exception shall be those instances where there is a second story access directly from the outdoors, and under-eave lighting. Wall-mounted lighting shall be only for the illumination of vertical surfaces such as building facades and signs, and shall not cast illumination beyond the surface being illuminated.	<b>Complies.</b>	<i>Proposed Lighting plans shows the height of wall-mounted fixtures.</i>
Intermittent lighting must be of the "motion sensor" type that stays on for a period of time not to exceed 10 minutes and has a sensitivity setting that allows the lighting fixture to be activated only when motion is detected on the site.	<b>Complies.</b>	<i>Shown</i>

All trespass lighting shall not exceed 1.0 foot-candles measured at the property line, except that trespass lighting into residential development shall not exceed 0.1 foot-candles measured at the property line.	<b>Complies.</b>	<i>Along the western property line, the foot candle shall not be higher than +1.0 along all property lines.</i>
All freestanding lighting fixtures and assemblies shall be black. Regional Parks may include theme lighting fixtures in colors other than black. The color shall enhance the theme of the park and shall be approved during the site plan review process.	<b>Complies.</b>	<i>Shown</i>
Pole design shall include an arm and bell shade. Regional Parks may include theme lighting fixtures that do not include an arm and bell shade. The design shall enhance the theme of the park and shall be approved during the site plan review process.	<b>Complies.</b>	<i>Shown</i>
Parking lot poles shall be limited to a height of 16' when in or within 200' of a residential zone; all other locations shall have a height limit of 20'.	<b>Complies.</b>	<i>Shown</i>
All lighting fixtures in surface parking lots and on the top decks of parking structures shall be fitted to render them full cutoff.	<b>Complies.</b>	<i>The proposed plan indicates this in the manufacturer details.</i>
One hour after closing or by 11:00 pm, whichever is earlier, businesses must turn off at least 50% of building lighting and lighting fixtures in surface parking lots and on top decks of parking structures; however, those lighting fixtures turned off may be set to function utilizing a motion detector system. Lights may be turned back on one half hour prior to the first employee shift.	<b>Complies.</b>	<i>A note needs to be added to the plans indicating this requirement.</i>
Business open for 24 hours must turn off 50% of their outdoor and parking lot lighting by 11:00 pm and must keep them off until one half hour before sunrise, however, those lighting fixtures turned off may be set to function utilizing a motion detector system.	<b>Complies.</b>	<i>A note needs to be added to the plans indicating this requirement.</i>

### Walkway Lighting

Lighting of all pedestrian pathways is recommended.	<b>Complies.</b>	<i>Are there street lights along the private road?</i>
All pathway, walkway, and sidewalk lighting fixtures shall be mounted at a height not to exceed 10'. i. Themed walkway lighting within Regional Parks shall not exceed a height of 25'. Such lighting within 200' of residential development shall not exceed 16'.	<b>N/A.</b>	<i>The proposed plan does not include pathway, walkway or sidewalk lighting fixtures.</i>
Bollard lighting shall be limited to a height of 4'.	<b>N/A.</b>	

### Lighting Plan

Plans indicating the location and types of illuminating devices on the premises.	<b>Complies.</b>	<i>The proposed lighting plan includes the type of illuminating devices and their location.</i>
Descriptions of the illuminating devices, fixtures, lamp supports, and other devices. This description may include, but is not limited to, manufacturers' specifications, drawings, and sections.	<b>Complies.</b>	<i>Shown</i>
Photometric sheet showing measurement of light intensity across the site and onto adjacent property in terms of candela, lumens, and foot-candles.	<b>Complies.</b>	<i>Along the western property line, the foot candles shall not be higher than +1.0</i>

Plans providing information required in the Technical Standards and Specifications Manual.	<b>Complies.</b>	<i>Shown</i>
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### 19.13 Process

Regulation	Findings
Neighborhood Meeting.	<i>N/A</i>
Notice/Land Use Authority.	<i>TBD</i>
Master Development Agreement.	<i>The MDA expired in 2014; site plan shall meet all current Land Development Code requirements.</i>
<b>Phasing Improvements.</b>	<i>How does this concept fit in with the rest of the property? We would like a plan for the entire area to make sure that it fits together, from parking to vehicular circulation. Proposed plan submitted. Complies</i>
Payment of Lieu of Open Space.	<i>N/A</i>

### 19.16 Site and Architectural Design Standards

#### General Site Design Standards

Regulation	Compliance	Findings
<b>Pedestrian Connectivity:</b> All buildings and sites shall be designed to be pedestrian friendly by the use of connecting walkways.	<b>Complies.</b>	<i>The proposed site plan includes pedestrian connectivity.</i>
Safe pedestrian connections shall be made between buildings within a development, to any streets adjacent to the property, to any pedestrian facilities that connect with the property, when feasible between developments, and from buildings to the public sidewalk to minimize the need to walk within the parking lot among cars.	<b>Complies.</b>	<i>The proposed site plan includes pedestrian connection.</i>
All pedestrian connections shall be shown on the related site plan or plat.	<b>Complies.</b>	<i>The proposed site plan shows pedestrian connections.</i>
<b>Parking Areas:</b> On-site parking shall be located primarily to the sides or rear of the building. Variations may be approved by the Land Use Authority, subject to the following criteria: <ul style="list-style-type: none"> <li>i. The use is a big box with outparcels helping to screen parking, or</li> <li>ii. At least 50% of the parking is located to the side or rear of the building, or</li> <li>iii. A safety issue is created by locating parking to the side or rear as verified and documented by the Saratoga Springs Police Department. For example, the parking will be entirely concealed from view by existing walls or buildings, or</li> <li>iv. That portion of development that lies within the Waterfront Buffer Overlay, or</li> <li>v. The development is Office, Warehouse/Flex space and when loading docks are not adjacent to a public right-of-way.</li> </ul>	<b>Complies.</b>	<i>The proposed site plan shows on-site parking on the east side and north side (or rear) of the building.</i>
Parking lots shall be designed with a hierarchy of circulation: major access drives with no parking; major circulation drives with little or no parking; and then parking aisles for direct access to parking spaces.	<b>Complies.</b>	<i>The proposed site plan includes the correct hierarchy of circulation design as required.</i>
Parking lots adjacent to, and visible from, public streets shall be screened from view through the use of earth berms, screen walls, landscape hedges or combinations thereof with a minimum height of 3' as measured from the parking surface. Within regional parks this requirement may be met through the use of intermittent planter beds	<b>Complies.</b>	<i>The proposed site plan has parking lots adjacent to private streets. No berms or screen walls are required.</i>

rather than a berm, hedge, or screen wall; trees and shrubs may be clustered in the planter beds where necessary to avoid light spillage.		
<b>Acceleration and Deceleration Lanes:</b> Acceleration and deceleration lanes shall be required on major arterials when deemed necessary by the City Engineer.	N/A.	
<b>Parking Structures:</b> Parking structures shall be architecturally consistent with the project buildings, including the use of the same primary finish materials as the exterior of the adjacent or adjoining buildings.	N/A.	
When placement of parking structures along site frontages is necessary, visual mitigation such as landscape buffers, upper-level setbacks, or additional architectural treatment shall be used.	N/A.	
The view of a parking structure from a public street shall be minimized by placing its shortest dimension along the street edge.	N/A.	
The top deck of parking structures shall include screen walls, periphery landscape islands, or similar features where visible from public view in order to soften the appearance of the top of the parking structure and screen the view of cars on the top deck of the structure.	N/A.	
All top deck lighting shall be screened and directed downward to avoid light spill onto the street below and shall consist of only bollards or building lighting. Light poles are prohibited.	N/A.	
<b>Trash Enclosures, Storage Areas, and External Structures:</b> Landscaping, fencing, berms, or other devices integral to overall site and building design shall screen trash enclosures, storage areas, and other external structures.	<b>Complies.</b>	<i>The proposed site plan includes a design diagram of the trash receptacle.</i>
Service yards, refuse and waste-removal areas, loading docks, truck parking areas and other utility areas shall be screened from view by the use of a combination of walls, fences, and dense planting. Screening shall block views to these areas from on-site as well as from public rights of way and adjacent properties.	<b>Complies.</b>	<i>The proposed site plan includes screening of waste-removal, design details of this screen need to be submitted.</i>
All trash dumpsters shall be provided with solid enclosures. Enclosures shall be composed of 6' high solid masonry or decorative precast concrete walls, with opaque gates and self-latching mechanisms to keep gates closed when not in use. Bollards are required at the front of the masonry walls to protect the enclosure from trash collection vehicles. Gates shall be made of opaque metal for durability. Chain-link gates with or without opaque slats are not acceptable. Colors and materials shall be consistent with the main building or use.	<b>Complies.</b>	<i>The architectural renderings give the detail of the trash dumpster screens.</i>
Where trash enclosures, storage areas, or other external structures are adjacent to parking areas, a 3' landscaped buffer shall be provided that does not impede access into and out of vehicles.	<b>Complies.</b>	<i>The proposed site/landscaping plan includes a 3' landscaped buffer.</i>
These areas shall be well maintained and oriented away from public view. The consolidation of trash areas between buildings is encouraged.	<b>Complies.</b>	<i>Shown</i>
<b>Utility Boxes:</b> Dense vegetative buffers which include an evergreen variety of plant materials shall be placed where appropriate to screen all utility boxes and pedestals in order to remain attractive during the winter months.	<b>Complies.</b>	<i>The proposed site plan does not appear to have exposed utility boxes.</i>

## Site Design Standards: Non-Residential Development

<p><b>Uses Within Buildings:</b> All uses established in any commercial, office warehouse, business park, or industrial zone shall be conducted entirely within a fully enclosed approved building except those uses deemed by the City Council to be customarily and appropriately conducted in the open. Uses which qualify for this exception include vegetation nurseries, home improvement centers with lumber, outdoor cafes, outdoor retail display, car wash vacuums, auto dealerships, and similar uses.</p>	<p><b>Complies.</b></p>	
<p><b>Outdoor Display:</b> All retail product displays shall be located under the buildings' permanent roof structure or on designated display pads within front landscape areas.</p>	<p><b>Complies.</b></p>	
<p>All display areas shall be clearly defined on the approved Site Plan and designated on the site with a contrasting colored, painted, or striped surface.</p>	<p><b>Complies.</b></p>	
<p>Display areas shall not block building entries or exits, pedestrian walks, or parking spaces in front of the building. Outdoor display areas shall not spill into walkways or any drive aisle adjacent to a building.</p>	<p><b>Complies.</b></p>	
<p><b>Access Requirements:</b></p> <ol style="list-style-type: none"> <li>a. Each roadway shall not be more than 40' in width, measured at right angles to the center line of the driveway except as increased by permissible curb return radii; and</li> <li>b. the entire flare of any return radii shall fall within the right-of-way.</li> </ol>	<p><b>Complies.</b></p>	<p><i>The proposed site plan indicates two accesses into the site. Neither access is greater than 40'.</i></p>
<p><b>Off-Street Truck Loading Space:</b> Every structure involving the receipt or distribution by vehicles of materials or merchandise shall provide and maintain on the building's lot adequate space for standing, loading, and unloading of the vehicles in order to avoid undue interference with public use of streets, alleys, required parking stalls, or accessible stalls.</p>	<p><b>N/A.</b></p>	<p><i>The proposed site plan does not indicate there to be off-street truck loading space.</i></p>
<p><b>Screening of Storage &amp; Loading Areas:</b> To alleviate the unsightly appearance of loading facilities, these areas shall not be located on the side(s) of the building facing the public street(s). Such facilities shall be located interior to the site.</p>	<p><b>N/A.</b></p>	<p><i>The proposed site plan does not include loading or storage space.</i></p>
<p>Screening for storage and loading areas shall be composed of 6' high solid masonry or architectural precast concrete walls with opaque gates and self-latching mechanisms, to keep gates closed when not in use. Bollards are required at the front of the masonry walls to protect the enclosure from trash collection vehicles.</p>	<p><b>N/A.</b></p>	<p><i>The proposed site plan does not include loading or storage space.</i></p>
<p>Gates shall be made of opaque metal for durability. Chain-link gates with opaque slats are prohibited.</p>	<p><b>Complies.</b></p>	<p><i>The proposed site plan includes gates on the trash enclosure, gate design detail has been submitted.</i></p>
<p>The method of screening shall be architecturally integrated with the adjacent building in terms of materials and colors.</p>	<p><b>Complies.</b></p>	<p><i>The proposed site plan includes screening for trash enclosures. detail has been submitted</i></p>
<p>Trash areas shall be designed to include the screening of large items (e.g. skids and pallets) as well as the trash bin(s) that are needed for the business (unless storage is otherwise accommodated behind required screened storage areas).</p>	<p><b>Complies.</b></p>	<p><i>The proposed site plan includes the design of the trash areas.</i></p>
<p><b>Buffers:</b> A wall and landscaping, fencing, or landscaping of acceptable design shall effectively screen the borders of any</p>	<p><b>N/A.</b></p>	<p><i>The proposed site plan is not adjacent to agricultural uses.</i></p>

commercial or industrial lot which abuts an existing agricultural or platted residential use. Such a wall, fence, or landscaping shall be at least 6' in height, unless a wall or fence of a different height is required by the Land Use Authority as part of a site Plan review.		
No chain-link or wood fences are permitted as buffering or screening between commercial and residential. Masonry and solid vinyl are suggested types of fences, and as circumstances require, one or the other may be required.	<b>Complies.</b>	<i>The proposed site plan includes 8" CMU wall for enclosure.</i>
Unless otherwise required by this Title, walls or fences used as a buffer or screen shall not be less than 6' in height.	<b>Complies.</b>	<i>The proposed site plan screen for the trash receptacles are not higher than 6'</i>
<b>Parking Lot Buffers:</b> There shall be a minimum of 10' of landscaping between parking areas and side and rear property lines adjacent to agricultural and residential land uses.	<b>N/A.</b>	<i>The proposed site plan is not adjacent to agricultural or residential land uses.</i>
<b>Building Buffer:</b> No building shall be closer than 5' from any private road, driveway, or parking space. The intent of this requirement is to provide for building foundation landscaping and to provide protection to the building. Exceptions may be made for any part of the building that may contain an approved drive-up window.	<b>Complies.</b>	<i>The proposed site plan does not include buildings closer than 5'.</i>
<b>Interconnection:</b> All parking and other vehicular use areas shall be interconnected with adjacent non-residential properties in order to allow maximum off-street vehicular circulation.	<b>Complies.</b>	<i>The proposed site plan shows interconnection for parking and other vehicular uses for maximum vehicular circulation.</i>

### General Architectural Design Standards

<b>Building Articulation:</b> Building elevations exceeding 40' in length shall incorporate a minimum of one horizontal elevation shift or combination of vertical and horizontal elevation shifts, stepping portions of the elevation to create shadow lines and changes in volumetric spaces of at least five feet, and a minimum of two of the following, all spaced at intervals of 20' to 50' of horizontal width: <ul style="list-style-type: none"> <li>i. A combination of vertical and horizontal elevation shifts that together equal at least 5'.</li> <li>ii. Addition of horizontal and vertical divisions by use of textures or materials.</li> <li>iii. Primary material change.</li> <li>iv. Addition of projections such as balconies, cornices, covered entrances, porte-cocheres, trellis', pergolas, arcades, and colonnades. Such trellis' and awnings extend outward from the underlying wall surface at least 36".</li> <li>v. Variation in the rooflines by use of dormer windows, overhangs, arches, stepped roofs, gables or other similar devices.</li> </ul>	<b>Complies.</b>	<i>The proposed building design includes both vertical and horizontal elevation shifts.</i>
<b>Roof Treatment:</b> Sloped roofs shall provide articulation and variations in order to break up the massiveness of the roof. Sloped roofs shall include eaves which are proportional to the roofs slope and scale of the building.	<b>Complies.</b>	<i>The proposed site plan includes sloped roofs and eaves.</i>
Flat roofs shall be screened with parapets on all sides of the building. If no roof top equipment exists or is proposed, the parapet shall be a minimum of 12" in height above the roof.	<b>Complies.</b>	<i>The roof indicates a 6' parapet wall.</i>

Roof mounted equipment shall not be visible from adjacent public and private streets as well as from adjacent properties, unless grade differences make visibility unavoidable.	<b>Complies.</b>	<i>See roof plan</i>
Screening shall be solid and shall be consistent with the material and color of exterior finishes of the building through the use of at least two out of three of the exterior finishes of the building.	<b>Complies.</b>	<i>The proposed elevations shall indicate exterior finishes and materials on the site plan. Including % of each material.</i>
<b>Windows:</b> Windows, other than rectangular windows, may be used as accents and trim. Untreated aluminum or metal window frames are prohibited.	<b>Complies.</b>	<i>The proposed building elevations include windows that are other than rectangular.</i>
<b>Awnings, Canopies, Trellises, Pergolas, and Similar Features:</b> All such features must be attached to a vertical wall.	<b>Complies.</b>	<i>The proposed elevations indicates awnings that are attached to vertical walls.</i>
All such features shall project at least 4' from the building when located over a pedestrian traffic area and no less than 2' otherwise.	<b>Complies.</b>	<i>Shown</i>
All such features shall maintain a minimum clearance above sidewalk grade of 8' to the bottom of the framework when located over a pedestrian traffic area.	<b>Complies.</b>	<i>Shown</i>
Backlighting is not permitted.	<b>Complies.</b>	<i>Non shown</i>
<b>Mechanical Equipment:</b> All mechanical equipment shall be located or screened and other measures shall be taken so as to shield visibility of such equipment from any public or private streets.	<b>Complies.</b>	<i>See roof plan.</i>
Wing walls, screens, or other enclosures shall be shall be integrated into the building and landscaping of the site, whether located on the ground or roof.	<b>Complies.</b>	<i>The proposed site plan appears to incorporate wing walls, screens and other enclosures into the building and landscaping design.</i>
Rooftops of buildings shall be free of any mechanical equipment unless completely screened from all horizontal points of view.	<b>Complies.</b>	<i>See roof plan</i>
Screening materials shall conform to the color scheme and materials of the primary building.	<b>Complies.</b>	<i>The screening detail for the trash enclosure indicates the materials and color scheme are same as the building.</i>

### Non-Residential Architectural Design Standards

<b>Four Sided Architecture:</b> All sides of a building that are open to public view (including views from adjacent residential dwellings or probable location of residential dwellings) shall receive equal architectural design consideration as the building front.	<b>Complies.</b>	
<b>Color and Materials:</b> Exterior Building Materials shall be considered any materials that make up the exterior envelope of the building and shall be limited to no more than four and no less than two types of materials per building, window and door openings excluded.	<b>Complies.</b>	<i>A sample board has been submitted.</i>
Color of exterior building materials (excluding accent colors) shall be limited to no more than four and no less than two major colors per development.	<b>Complies.</b>	<i>A sample board has been submitted with the proposed materials. Materials meet this requirement.</i>
Bright colors, such as neon or fluorescent colors, bright orange or yellow, and primary colors, are only permitted as accent colors.	<b>Complies.</b>	<i>A sample board has been submitted with the proposed materials. Materials meet this requirement.</i>
No more than 75% of any building elevation shall consist of any one material or color.	<b>Complies.</b>	<i>The proposed plan indicates this.</i>

<p>i. No more than 50% of any building elevation shall consist of CMU, except in the Office Warehouse and Industrial zones, or</p> <p>ii. Office, Warehouse, Flex buildings in approved zones that utilize concrete tilt up construction are exempt from the maximum 75% of one material per elevation requirement but must follow all other architectural standards.</p>		
<p><b>Prohibited Materials:</b> Tiles. Full veneer brick and tiles exceeding ½” in thickness is permitted, however veneer tile is prohibited. Stucco stone patterns and stucco brick patterns. Wood as a primary exterior finish material. Plain, grey, unfinished CMU block except as an accent material.</p>	<p><b>Complies.</b></p>	<p><i>A sample board has been submitted with the proposed materials. Materials meet this requirement.</i></p>
<p><b>Stairways:</b> All stairways to upper levels shall be located within the building unless otherwise approved by the Land Use Authority for secondary access to outdoor patio decks or other usable outdoor area.</p>	<p><b>N/A.</b></p>	
<p><b>Roof Drains:</b> All roof drains, conduit and piping, maintenance stairs and ladders, and other related services shall be located on the interior of the building.</p>	<p><b>Complies.</b></p>	<p><i>The proposed site plan does not indicate roof drains located on the exterior of the building.</i></p>
<p><b>Electrical Panels:</b> To the extent possible, all electric panels and communication equipment should be located in an interior equipment room.</p>	<p><b>Complies.</b></p>	<p><i>The proposed site plan does not indicate any electrical panels to be located on the exterior of the building.</i></p>
<p><b>Street Orientation:</b> All Retail or Commercial buildings shall have expansive windows, balconies, terraces, or other design features oriented to the street or adjacent public spaces.</p>	<p><b>Complies.</b></p>	<p><i>The proposed site elevations indicate that the windows of the proposed retail space faces the private street.</i></p>
<p>At least 50% of the first floor elevation(s) of a building that is viewed from a public street shall include windows and/or glass doors to minimize the expanse of blank walls and encourage a pedestrian friendly atmosphere. This percentage may be reduced to 35% for buildings without a retail component or with medical uses on the first floor.</p>	<p><b>Complies.</b></p>	<p><i>The proposed structure faces a private street.</i></p>
<p><b>Metal Buildings:</b> Metal buildings are only permitted in the Agricultural, Residential Agricultural, Rural Residential, Office Warehouse and Industrial Zones.</p>	<p><b>N/A.</b></p>	<p><i>The proposed structure does not indicate that it will be a metal building.</i></p>
<p>All metal buildings shall be designed to have an exterior appearance of conventionally built structures. Stock, “off the shelf” metal buildings are prohibited.</p>	<p><b>N/A.</b></p>	
<p>Metal buildings in the Agricultural, Residential Agricultural, and Rural Residential zones shall only be used for agriculture as defined in Section 19.02.02 of the City Code.</p>	<p><b>N/A.</b></p>	

## 19.18 Signs

### General Standards

Regulation	Compliance	Findings
<p>Separate permit required for signs.</p>	<p><b>Can Comply.</b></p>	<p><i>Applicant shall apply for a sign permit.</i></p>

## Fiscal Impact

Regulation	Findings
Is there any City maintained open space?	<i>None – Roads are private</i>
What is the anticipated cost to the City?	<i>None</i>
When will City maintenance begin?	<i>N/A</i>

**POND NOTE:** DETENTION BASINS SHALL BE MAINTAINED BY OWNER OF LOT 1 OF THE SARATOGA TOWNE CENTRE NO. 2.

**Legal Description:**  
LOT 2 OF THE SARATOGA TOWN CENTER NO. 2 SUBDIVISION.

**COMPLIANCE NOTE:** THIS PROJECT COMPLIES WITH THE CITY'S ADOPTED LAND USE ELEMENT OF THE GENERAL PLAN

**ADA NOTE:** ALL APPLICABLE ELEMENTS OF SARATOGA SPRINGS CODE 19.09.07 WITH RESPECT TO ACCESSIBLE PARKING WILL BE ADHERED TO.

**LOT AREAS:**

LOT	SQ. FT. / ACRES
BUILDING FOOTPRINT	261,321 SQ. FT. / 6.00 ACRES
ASPHALT	6,210 SQ. FT. / 0.14 ACRES
TOTAL LANDSCAPING	11,786 SQ. FT. / 0.27 ACRES
PARKING LANDSCAPING	5,094 SQ. FT. / 0.12 ACRES
REMAINING LANDSCAPING	1,842 SQ. FT. / 0.04 ACRES
CONCRETE	3,253 SQ. FT. / 0.07 ACRES
FUTURE PHASE	6,119 SQ. FT. / 0.14 ACRES
	232,111 SQ. FT. / 5.33 ACRES

**NOTE:**  
1. ALL AREA CALCULATIONS ARE APPROXIMATE AND CAN CHANGE DUE TO CONSTRUCTION TOLERANCES.

**OFFSITE IMPROVEMENT AREAS:**

TOTAL AREA	SQ. FT. / ACRES
ASPHALT	19,562 SQ. FT. / 0.45 ACRES
LANDSCAPING	5,345 SQ. FT. / 0.12 ACRES
CONCRETE	9,943 SQ. FT. / 0.23 ACRES
	4,274 SQ. FT. / 0.10 ACRES

**NOTE:**  
1. ALL AREA CALCULATIONS ARE APPROXIMATE AND CAN CHANGE DUE TO CONSTRUCTION TOLERANCES.

**LOT LANDSCAPING AREAS:**

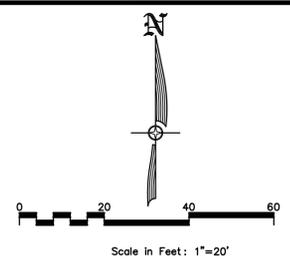
AREA	SQ. FT.	CITY REQ'T
PARKING AREA	13,670 SQ. FT.	
PARKING AREA LANDSCAPING	1,842 SQ. FT.	(5% OF PARKING AREA: 684 SQ. FT. REQ'D)

**NOTE:**  
1. PARKING AREA DOES NOT INCLUDE TRUCK MANUEVERING AREA OR LANDSCAPED BUFFER AS DIMENSIONED.  
2. LANDSCAPED AREAS DO NOT INCLUDE HARD SURFACE AREAS(WALKWAYS, BIKE RACKS, CURB & GUTTERS).  
3. ALL AREA CALCULATIONS ARE APPROXIMATE AND CAN CHANGE DUE TO CONSTRUCTION TOLERANCES.

**LOT PARKING REQUIREMENTS:**

AREA	SQ. FT.	CITY REQMT
OFFICE	6,210 SQ. FT.	24.84 (4/1,000)
TOTAL REQUIRED:		25 (24.84)
TOTAL PROVIDED:		32
ACCESSIBLE SPACES		2 (2 REQ'D 26 TO 50)

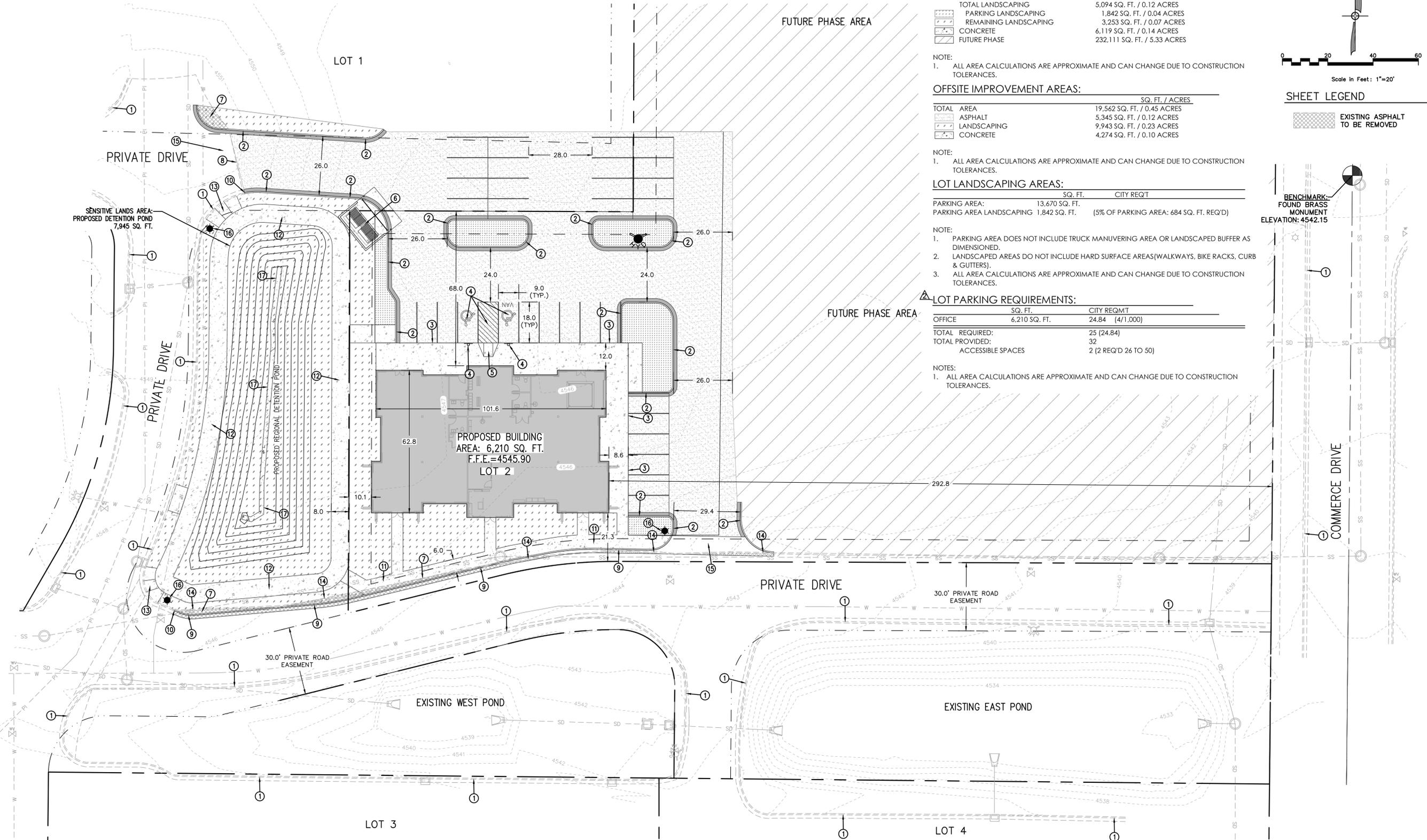
**NOTE:**  
1. ALL AREA CALCULATIONS ARE APPROXIMATE AND CAN CHANGE DUE TO CONSTRUCTION TOLERANCES.



**SHEET LEGEND**



**BENCHMARK:**  
FOUND BRASS MONUMENT  
ELEVATION: 4542.15



- SITE PLAN NOTES:**
- EXISTING CURB & GUTTER
  - PROPOSED 24" REV PAN CURB & GUTTER. SEE DETAIL 1/C4.0.
  - PROPOSED OPEN FACE SIDEWALK. SEE DETAIL 4/C4.0.
  - ALL HANDICAP STALLS SHALL HAVE SLOPES OF LESS THAN 2% IN ALL DIRECTIONS. SEE DETAIL 8/C4.0 AND SEE DETAIL 9/C4.0 FOR ADA SIGN DETAILS AND PLACEMENT.
  - ADA RAMP ARE TO BE INSTALLED PER CITY AND ADA STANDARDS AND SPECIFICATIONS. SEE DETAIL 5/C4.0.
  - PROPOSED TRASH ENCLOSURE. SEE ARCHITECTURAL DRAWINGS FOR DETAILS. TRASH ENCLOSURE MAY NEED TO BE RELOCATED WHEN FUTURE DEVELOPMENTS ARE COMPLETED.
  - EXISTING ASPHALT TO BE REMOVED.
  - SAWCUT EXISTING ASPHALT TO PROVIDE A SMOOTH EDGE FOR PROPOSED ASPHALT TO MATCH INTO.

- INSTALL 24" CURB & GUTTER PER SARATOGA SPRINGS STD. ST-2B. SEE DETAIL SHEET C5.0.
- MATCH PROPOSED CURB & GUTTER TO EXISTING CURB & GUTTER.
- PROPOSED 6" SIDEWALK PER SARATOGA SPRINGS STD. ST-1. SEE DETAIL SHEET C5.0.
- PROPOSED 8" SIDEWALK PER SARATOGA SPRINGS STD. ST-1. SEE DETAIL SHEET C5.0.
- PROPOSED ADA ACCESSIBLE RAMP PER SARATOGA SPRINGS STD. ST-5E. SEE DETAIL SHEET C5.0.
- EXISTING 6" ASPHALT CURBING TO BE REMOVED.
- INSTALL DRIVE APPROACH PER SARATOGA SPRINGS STANDARD ST-4B. SEE DETAIL SHEET C5.0.
- INSTALL STREETLIGHT PER SARATOGA SPRINGS STANDARD LP-1A, LP-1B, AND LP-1C. SEE DETAIL SHEET C5.0.
- PROPOSED 2" WIDE ROLL GUTTER. SEE DETAIL 11/C4.0 FOR DETAILS AND SEE SHEET C2.0 FOR FLOW LINE ELEVATIONS.

**OUTDOOR DISPLAY NOTE:**

- ALL RETAIL PRODUCT DISPLAYS SHALL BE LOCATED UNDER THE BUILDING'S PERMANENT ROOF STRUCTURE OR ON DESIGNATED DISPLAY PADS WITHIN FRONT LANDSCAPE AREAS.
- ALL DISPLAY AREAS SHALL BE CLEARLY DEFINED ON THE APPROVED SITE PLAN AND DESIGNATED ON THE SITE WITH A CONTRASTING COLORED, PAINTED, OR STRIPED SURFACE.
- DISPLAY AREAS SHALL NOT BLOCK BUILDING ENTRIES OR EXITS, PEDESTRIAN WALKS, OR PARKING SPACES IN FRONT OF THE BUILDING. OUTDOOR DISPLAY AREAS SHALL NOT SPILL INTO WALKWAYS OR ANY DRIVE AISLE ADJACENT TO A BUILDING.

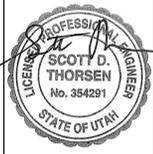
**LIGHT NOTE:** ONE HOUR AFTER CLOSING OR BY 11:00 PM, WHICHEVER IS EARLIER, BUSINESSES MUST TURN OFF AT LEAST 50% OF BUILDING LIGHTING AND LIGHTING FIXTURES IN SURFACE PARKING LOTS AND ON TOP DECKS OF PARKING STRUCTURES; HOWEVER, THOSE LIGHTING FIXTURES TURNED OFF MAY BE SET TO FUNCTION UTILIZING A MOTION DETECTOR SYSTEM. LIGHTS MAY BE TURNED BACK ON ONE HALF HOUR PRIOR TO THE FIRST EMPLOYEE SHIFT.

**NOTE:** A RIGHT-OF-WAY ENCROACHMENT PERMIT MUST BE OBTAINED FROM THE CITY OF SARATOGA SPRINGS PRIOR TO DOING ANY WORK IN THE EXISTING RIGHT-OF-WAY. CONTACT MARK EDWARDS AT 801-766-9793, EXT. 118.

NO.	DATE	BY	REVISIONS
1	02/05/20		
2	02/03/20		

**CIR ENGINEERING, L.L.C.**  
3032 SOUTH 1030 WEST, SUITE 202  
S.L.C. Utah 84119 - 801-949-6296

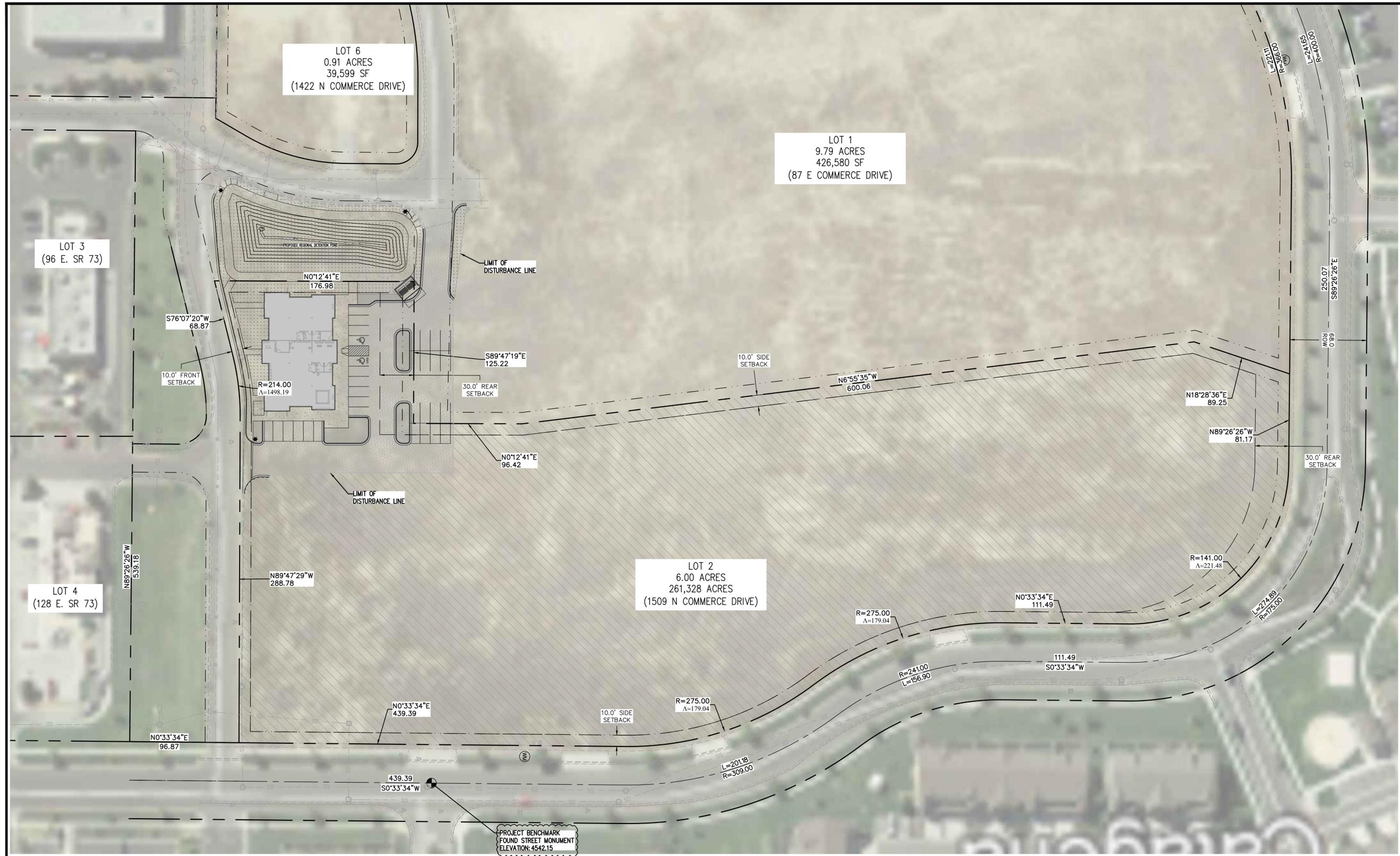
SARATOGA TOWN CENTER - RETAIL A  
87 EAST COMMERCE DRIVE, SARATOGA SPRINGS, UTAH  
SITE PLAN



SHEET NO. C1.1

PROJECT ID: A-1000	DATE: 12/16/19
FILE NAME: PRJ-SLB	SCALE: 1"=20'





LOT 6  
0.91 ACRES  
39,599 SF  
(1422 N COMMERCE DRIVE)

LOT 1  
9.79 ACRES  
426,580 SF  
(87 E COMMERCE DRIVE)

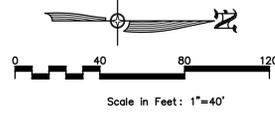
LOT 3  
(96 E. SR 73)

LOT 4  
(128 E. SR 73)

LOT 2  
6.00 ACRES  
261,328 SF  
(1509 N COMMERCE DRIVE)

PROJECT BENCHMARK  
FOUND STREET MONUMENT  
ELEVATION: 4542.15

SITE BENCHMARK:  
NORTH QUARTER CORNER OF  
SEC. 14, T.5S., R.1W., S.L.B.&M.,  
NAVD88=4559.16  
NGVD29=4555.87



**Legal Description:**  
LOT 2 OF THE SARATOGA TOWN CENTER NO. 2 SUBDIVISION.

**COMPLIANCE NOTE:** THIS PROJECT COMPLIES WITH THE CITY'S ADOPTED LAND USE ELEMENT OF THE GENERAL PLAN

**ADA NOTE:** ALL APPLICABLE ELEMENTS OF SARATOGA SPRINGS CODE 19.09.07 WITH RESPECT TO ACCESSIBLE PARKING WILL BE ADHERED TO.

**NOTE:** A RIGHT-OF-WAY ENCROACHMENT PERMIT MUST BE OBTAINED FROM THE CITY OF SARATOGA SPRINGS PRIOR TO DOING ANY WORK IN THE EXISTING RIGHT-OF-WAY. CONTACT MARK EDWARDS AT 801-766-9793, EXT. 118.



NO.	REVISIONS	BY	DATE
1	CITY COMMENTS		02/05/20
2	CITY COMMENTS		02/03/20

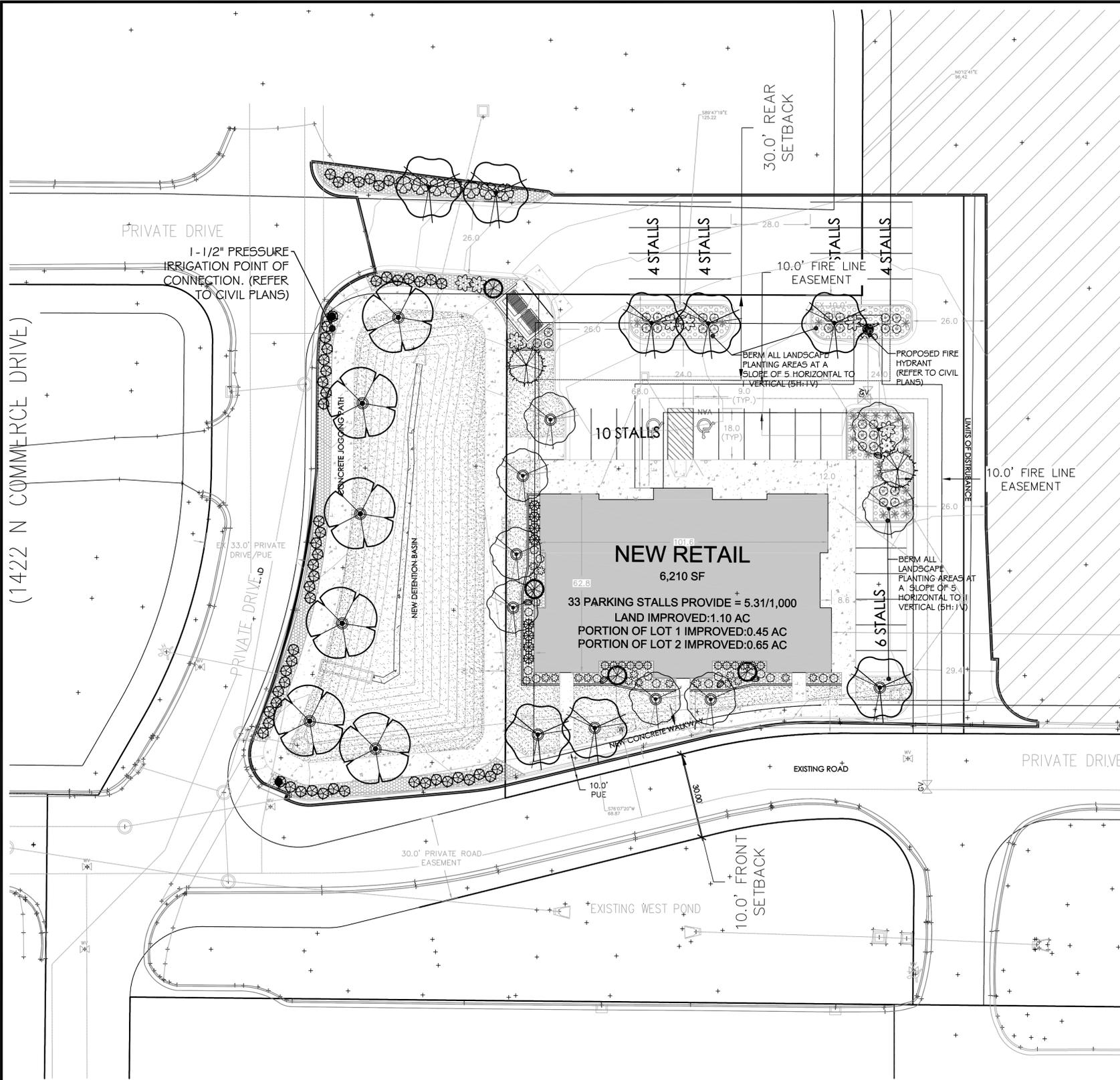
**CIR**  
**ENGINEERING, L.L.C.**  
3032 SOUTH 1030 WEST, SUITE 202  
S.L.C. Utah 84119 - 801-949-6296

SARATOGA TOWN CENTER - RETAIL A  
87 EAST COMMERCE DRIVE, SARATOGA SPRINGS, UTAH  
OVERALL SITE PLAN



SHEET NO.	C1.0
PROJECT ID	A-1000
DATE	12/16/19
FILE NAME	PRJ-SLB
SCALE	1"=40'

This document, together with the concepts and designs presented herein, as an instrument of service, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Foresite Design Group, L.C. shall be without liability to Foresite Design Group, L.C.



**LANDSCAPE CALCULATIONS SUMMARY**

TOTAL PROJECT AREA (REFER TO SITE PLAN)  
261,321 SF

TOTAL ON-SITE LANDSCAPING PROVIDED (REFER TO SITE PLAN)  
5,094 SF (17.44% OF PROJECT SITE)

TOTAL OF LANDSCAPE AREA IN ON-SITE TURF GRASS  
2,569 SF (50.43% OF LANDSCAPE)

TOTAL AREA IN ON-SITE PLANTING & SHRUB BEDS OR NON TURF GRASS AREA (NO MORE THAN 50% ALLOWED)  
2,525 SF (49.57% OF TOTAL)

REQUIRED DECIDUOUS TREES  
6

PROVIDED DECIDUOUS TREES  
14 (INCLUDES 5 PARKING ISLAND TREES & 4 STREET TREES)

REQUIRED EVERGREEN TREES  
4

PROVIDED EVERGREEN TREES  
5

**REQUIRED SHRUBS**  
19

**PROVIDED SHRUBS**  
112 (INCLUDING ORNAMENTAL GRASSES & PERENNIALS)

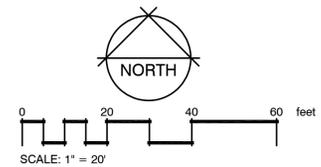
**ADDITIONAL REQUIRED FRONTAGE TREES ALONG PRIVATE STREET ALONG WEST SIDE OF PROJECT (OFF-SITE)**  
5.6 TREES (2&2 LINEAR FT / 50)

**ADDITIONAL PROVIDED FRONTAGE TREES ALONG PRIVATE STREET ALONG WEST SIDE OF PROJECT (OFF-SITE)**  
6 TREES

**PLANT SCHEDULE**

TREES	BOTANICAL / COMMON NAME	CONT	CAL	SIZE	QTY	OFF-SITE	ON-SITE	DROUGHT TOLERANT
	Acer campestre / Hedge Maple Hydro Zone Td3	B # B	2"	Cal	8	2	6	YES
	Acer grandidentatum / Bigtooth Maple Hydro Zone Td3	B # B	2"	Cal	8		8	YES
	Pinus flexilis 'Vanderwolf's Pyramid' / Vanderwolf's Pyramid Pine	B # B		6'	2		2	YES
	Pinus nigra 'Arnold Sentinel' / Arnold Sentinel Austrian Black Pine Hydro Zone Tc3 - Evergreen	B # B		6'	4	1	3	YES
	Tilia tomentosa / Silver Linden Hydro Zone Td4	B # B	2"	Cal	6	6		YES
SHRUBS	BOTANICAL / COMMON NAME	CONT	QTY	OFF-SITE	ON-SITE	DROUGHT TOLERANT		
	Berberis thunbergii 'Crimson Pygmy' / Crimson Pygmy Barberry Hydro Zone Sd3	5 gal	13		13	YES		
	Calamagrostis x acutiflora 'Karl Foerster' / Feather Reed Grass Hydro Zone Tw2	5 gal	29		29	YES		
	Hemerocallis x 'Stella de Oro' / Stella de Oro Daylily Hydro Zone F3	1 gal	17		17	YES		
	Mahonia aquifolium 'Compacta' / Compact Oregon Grape Hydro Zone Se3 - Evergreen	5 gal	8		8	YES		
	Miscanthus sinensis 'Gracillimus' / Maiden Grass Hydro Zone Tw2	5 gal	8	2	6	YES		
	Pennisetum alopecuroides 'Little Bunny' / Little Bunny Fountain Grass Hydro Zone Tw2	2 gal	23		23	YES		
	Rhus aromatica 'Autumn Amber' / Autumn Amber Sumac Hydro Zone GV1	5 gal	56	56		YES		
	Rhus aromatica 'Gro-Low' / Gro-Low Fragrant Sumac Hydro Zone GV1	5 gal	7	7		YES		
	Spiraea x bumalda / Bumald Spiraea Hydro Zone Sd3	5 gal	16		16	YES		
GROUND COVERS	BOTANICAL / COMMON NAME	CONT	QTY	OFF-SITE	ON-SITE	DROUGHT TOLERANT		
	Chanshare Farms Impenal Blue Turf Grass Blend A "Water-Wise" turf grass	sod	10,514 sf	7,945 sf	2,569 sf	YES		
MULCHES / ROCK								
	8-12 CF LANDSCAPE BOULDER (BROWNS, REDS & GRAYS) PLACED NO CLOSER THAN 18" TO ANY TREE TRUNK		5 BOULDERS					
	4" DEPTH OF 1" TO 1-1/2" OF COLORED CRUSHED ROCK (BROWNS, REDS & GRAYS) OVER DEWITT PRO 5 WEED BARRIER		3,056 S.F.					
	4" DEPTH OF 3/4" TO 1" OF COLORED CRUSHED ROCK (GRAYS) OVER DEWITT PRO 5 WEED BARRIER		1,434 S.F.					
	CONCRETE MOW STRIP - REFER TO NOTES AND DETAILS SHEET							
	CONCRETE TREE RINGS TO MATCH MOW STRIP - 3 FOOT MINIMUM DIAMETER							

- NOTES:**
- SEE SHEET L-2 FOR LANDSCAPE NOTES AND DETAILS.
  - LANDSCAPE MATERIAL SQUARE FOOTAGES ALSO INCLUDE ANY IMPROVEMENTS WITHIN PUBLIC ROAD RIGHT-OF-WAYS AND SHOULD BE VERIFIED BY THE CONTRACTOR. CONTRACTOR TO SUBMIT ROCK MATERIAL SAMPLES TO OWNER'S REPRESENTATIVE FOR APPROVAL PRIOR TO DELIVERY. ROCK MATERIAL COLORS TO BLEND AND COMPLIMENT BUILDING MATERIALS.
  - ALL WORK DONE WITHIN THE PUBLIC WAY SHALL BE DONE BY A LICENSED, BONDED AND INSURED CONTRACTOR WHO SHALL FIRST OBTAIN A PUBLIC WAY PERMIT.
  - IRRIGATION SYSTEM IS EQUIPPED WITH A SMART ET BASED CONTROLLER AND RAIN SENSOR AS PART OF THE SPRINKLER SYSTEM.
  - PLANS ARE DIAGRAMMATIC DUE TO SCALE, THEREFORE, IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY QUANTITIES.
  - PLANT MATERIALS ARE GROUPED ON INDIVIDUAL IRRIGATION VALVE CIRCUITS BASED ON THEIR HYDRO ZONE CLASSIFICATION.
  - IF PLANTS OF DIFFERENT HYDRO ZONE CLASSIFICATIONS ARE PLACED ON THE SAME IRRIGATION VALVE, ONLY PLANTS OF TWO HYDRO ZONE CLASSIFICATIONS CAN BE GROUPED TOGETHER, I.E. HYDRO ZONE 1 WITH HYDRO ZONE 2 OR HYDRO ZONE 2 WITH HYDRO ZONE 3 PLANT MATERIAL. THEN, EACH PLANT MATERIAL WITH THE HIGHER HYDRO ZONE VALUE IS TO RECEIVE ONE ADDITIONAL DRIP EMITTER THAN THE LOWER HYDRO ZONE PLANT MATERIAL.
  - ALL DECIDUOUS TREES SHALL BE 2 INCHES IN CALIPER MEASURED 12 INCHES ABOVE THE ROOT BALL.
  - DECIDUOUS TREE CANOPIES LOCATED WITHIN A CLEAR SIGHT TRIANGLE SHALL BE MAINTAINED NO LESS THAN EIGHT FEET FROM THE GROUND TO THE BASE OF THE CANOPY AT MATURITY.
  - TREE BASE CLEARANCE SHALL BE A MINIMUM OF 3 FEET IN DIAMETER THAT IS KEPT FREE OF ROCK AND TURF GRASS. THIS CLEARANCE MAY BE REDUCED TO 2 FEET IN AREAS THAT ARE TWO FEET OR LESS IN WIDTH.
  - CONTRACTOR TO REFER TO CIVIL PLANS FOR GRADING DESIGN. IF SITE GRADING & CONSTRUCTION GENERATE SLOPES STEEPER THAN 2 FT. HORIZONTAL TO 1 FT VERTICAL (2H:1V) NOTIFY LANDSCAPE ARCHITECT.
  - ANY TREES IN WHICH THEIR CANOPY EXTENDS OVER ANY SIDEWALK SHALL BE PRUNED UP TO EIGHT FEET IN HEIGHT.



**SARATOGA TOWN CENTER - RETAIL A**  
**LANDSCAPE PLAN**  
 19 WEST SERGEANT CT. DR. SARATOGA SPRINGS, UT  
 PROJECT PROFESSIONAL: DCM  
 DESIGNER: DCM  
 DATE: 2/5/20  
 REVISIONS: 1 CHANGES PER CITY REVIEW OF 12/29/19  
 NO. 1  
 PLANNING, LANDSCAPE ARCHITECTURE & SITE DESIGN SERVICES  
 FORESITE DESIGN GROUP, L.C.  
 19 WEST SERGEANT CT. DR. SARATOGA SPRINGS, UT 84580  
 PHONE: 801.841.7484  
 WWW.FORESITEDESIGNGROUP.COM

**FORESITE**  
 Design Group, L.C.

SHEET:  
**L-1**  
 FILE NAME: SCALE:  
 FDG-224 1"=20'

This document, together with the concepts and designs presented herein, as an instrument of service, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and approval by Foresite Design Group, L.C. shall be without liability to Foresite Design Group, L.C.

**PLANTING NOTES:**

1. LANDSCAPE BIDS MUST BE IN A DETAILED UNIT PRICE FORMAT SHOWING COST BREAKDOWN OF ALL LANDSCAPE ELEMENTS. ANY ELEMENT MAY BE ADDED OR DELETED BY THE LANDSCAPE ARCHITECT OR OWNER. CONTRACTOR COMPENSATION WILL BE ADJUSTED ACCORDING TO THE UNIT PRICE BIDS. ANY SUBSTITUTION MUST BE BY LANDSCAPE ARCHITECT APPROVAL. LANDSCAPE ARCHITECT OR OWNER WITHOUT JUSTIFICATION MAY DISALLOW BIDS AND SELECT CONTRACTOR REGARDLESS OF BID FIGURES. THE SELECTED CONTRACTOR MUST CONTACT THE OWNER'S CONSTRUCTION REPRESENTATIVE BEFORE BEGINNING CONSTRUCTION TO SCHEDULE A PRE CONSTRUCTION MEETING. CONTRACTOR OR SUBCONTRACTORS PARTICIPATION IN CONSTRUCTION OF THIS PLAN MUST BE LICENSED BY THE STATE OF UTAH FOR THE TYPE OF WORK BEING PERFORMED.

2. CODES, LAWS, REGULATIONS, AND PERMITS BY FEDERAL, STATE, COUNTY AND CITY AGENCIES FOR DESIGN CONCEPT, MATERIALS AND WORKMANSHIP MUST BE RESEARCHED AND SATISFIED BY THE CONTRACTOR. REPORT ANY PROBLEMS OR REQUIREMENTS TO THE LANDSCAPE ARCHITECT. THE CONTRACTOR MUST VERIFY THE REGULATIONS FOR AND SECURE ANY PERMITS BEFORE BEGINNING CONSTRUCTION. THE COST FOR THE PERMIT FEES MAY BE SUBMITTED TO THE OWNER FOR REIMBURSEMENT. CALL BLUE STAKES AND REFER TO DRAINAGE AND CIVIL PLANS BEFORE ANY TRENCHING OR EXCAVATION.

3. CONSTRUCTION SAFETY AND CLEANUP MUST MEET OSHA STANDARDS AT ALL TIMES. ALL CONTRACTORS MUST HAVE ADEQUATE LIABILITY, PERSONNEL INJURY AND PROPERTY DAMAGE INSURANCE. CLEAN UP MUST BE PERFORMED DAILY. AND ALL HARDCAPE ELEMENTS MUST BE WASHED FREE OF DIRT AND MUD ON FINAL CLEAN UP. CONSTRUCTION MUST OCCUR IN A TIMELY MANNER.

4. LANDSCAPE PLANS AND DETAIL DRAWINGS ARE SCHEMATIC ONLY. DISCREPANCIES MAY EXIST, INCLUDING BUT NOT LIMITED TO BUILDING LOCATION, PROPERTY LINES, ANY DIMENSIONS SPECIFIED OR IMPLIED. THE CONTRACTOR WILL BE REQUIRED TO ADJUST PLANS AS NECESSARY TO RETAIN CONCEPT INTEGRITY. CONTACT LANDSCAPE ARCHITECT IF DISCREPANCIES EXIST. ANY CHANGES ARE SUBJECT TO CITY APPROVAL.

5. PLANT MATERIAL EXCAVATION. CALL BLUE STAKE AND MAKE REFERENCE TO DRAINAGE AND CIVIL PLANS BEFORE EXCAVATION FOR PLANT MATERIAL. ALL HOLES MUST ALLOW FOR A MINIMUM OF TWELVE (12) INCHES OF SPECIFIED PLANTING MIX BACKFILL MATERIAL ON ALL SIDES OF ROOT BALL FOR SHRUBS, AND 3X BALL DIAMETER FOR TREES.

6. EXCEPT FOR TREES, PLANT MATERIAL BACKFILL MUST BE A WELL MIXED COMBINATION OF 1/3 NATIVE SOIL TAKEN FROM EXCAVATED PLANT PIT, 1/3 TOPSOIL, AND 1/3 ORGANIC COMPOSTED MATERIAL. DEEP WATER ALL PLANT MATERIAL IMMEDIATELY AFTER PLANTING. ADD BACKFILL MATERIAL TO DEPRESSIONS AS NECESSARY.

7. SOIL AMENDING SHALL INCLUDE COMPOSTED ORGANIC MATERIAL TO BE ADDED AT A RATE OF THREE CUBIC YARDS PER 1,000 SQUARE FEET. TILL INTO THE SUBGRADE SOIL PRIOR TO PLACING TOPSOIL. TILL AMENDMENTS IN TO A DEPTH OF 6". ALL SOD AREAS SHALL HAVE THE SOIL AMENDED.

8. TOP SOIL MUST BE A PREMIUM QUALITY DARK SANDY LOAM, FREE OF ROCKS, CLODS, ROOTS, AND PLANT MATTER. THE TOPSOIL SHALL BE EVENLY SPREAD AND SMOOTH GRADED ON A CAREFULLY PREPARED AMENDED SUBGRADE. TOPSOIL SHALL BE SPREAD TO A DEPTH OF FIVE INCHES (5") IN ALL SOD AND SHRUB AREAS.

9. SOD MUST BE PREMIUM QUALITY, ULTRA GREEN, EVENLY CUT, ESTABLISHED, HEALTHY, WEED AND DISEASE FREE, AND FROM AN APPROVED SOURCE. SOD MUST BE DELIVERED AND LAID IMMEDIATELY AFTER CUTTING. SOD MUST BE LAID WITH NO GAPS BETWEEN PIECES ON A CAREFULLY PREPARED TOPSOIL LAYER. THE LAID SOD MUST BE IMMEDIATELY WATERED AFTER INSTALLATION. ANY BURNED AREAS WILL REQUIRE REPLACEMENT. ADJUST SPRINKLER SYSTEM TO ASSURE HEALTHY GREEN SURVIVAL OF THE SOD WITHOUT WATER WASTE. TURF GRASS TO BE "CHANSHARE FARMS IMPERIAL BLUE" (OR EQUIVALENT) WHICH IS A "WATER-WISE TURF". INSTALL AND MAINTAIN PER GROWER'S SPECIFICATIONS.

10. MULCH OVER DEWITT PRO 5 WEED BARRIER WILL BE REQUIRED IN ALL LANDSCAPE BEDS FOR SHRUBS, PERENNIALS, AND ANNUALS. SEE PLANS FOR MULCH TYPES. MULCH SHALL BE EVENLY SPREAD ON A CAREFULLY PREPARED GRADE TO THE MINIMUM NOTED DEPTH. THE TOP OF ALL AREAS OF MULCH SHALL BE AT THE GRADE OF THE ADJACENT CURB, WALK, OR EDGE OF PAVEMENT.

11. FERTILIZER FOR SOD AREAS SHALL BE PELLETIZED, N-P-K AS APPROVED BY LANDSCAPE ARCHITECT FOR SEASONAL ADJUSTMENT. USE 20 LBS PER 5,000 SQUARE FEET OR AS PER MANUFACTURER'S SPECIFICATIONS. SPREAD EVENLY ON A CAREFULLY PREPARED TOPSOIL LAYER JUST PRIOR TO LAYING SOD.

12. TREE STAKING AND GUYING SHALL BE ON AN AS NEEDED BASIS AND ONLY IF THE ROOT BALL IS UNSTABLE. THE CONTRACTOR SHALL DETERMINE STAKING NEEDS DEPENDENT ON THE SITE CONDITIONS. IT IS THE CONTRACTORS RESPONSIBILITY TO REMOVE GUYING AND STAKING IN A TIMELY MANNER ONCE STAKED TREES HAVE TAKEN ROOT. NO STAKING SHALL REMAIN BEYOND A REASONABLE TIME FOR ROOT PENETRATION AND STABILIZATION.

13. TREE WRAPPING MAY BE USED TO PROTECT YOUNG TREES FROM WINTER DAMAGE. TREE WRAPS SHALL ONLY BE INSTALLED IN THE FALL. IF THE CONTRACTOR INSTALLS WRAPS FOR TREE PROTECTION IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO PROMPTLY REMOVE WRAPS THE FOLLOWING SPRING.

14. LANDSCAPE MAINTENANCE MUST BE PERFORMED BY THE LANDSCAPE CONTRACTOR DURING ESTABLISHMENT (30 DAYS AFTER FINAL ACCEPTANCE OF ENTIRE PROJECT). RESPONSIBILITIES INCLUDE WEED CONTROL AND MOWING. NOTIFY OWNER AND CONSTRUCTION REPRESENTATIVE WHEN ESTABLISHMENT PERIOD HAS ENDED TO INSURE ONGOING MAINTENANCE. THE OWNER IS RESPONSIBLE FOR LANDSCAPE MAINTENANCE AND UPKEEP ONCE ESTABLISHMENT PERIOD HAS EXPIRED.

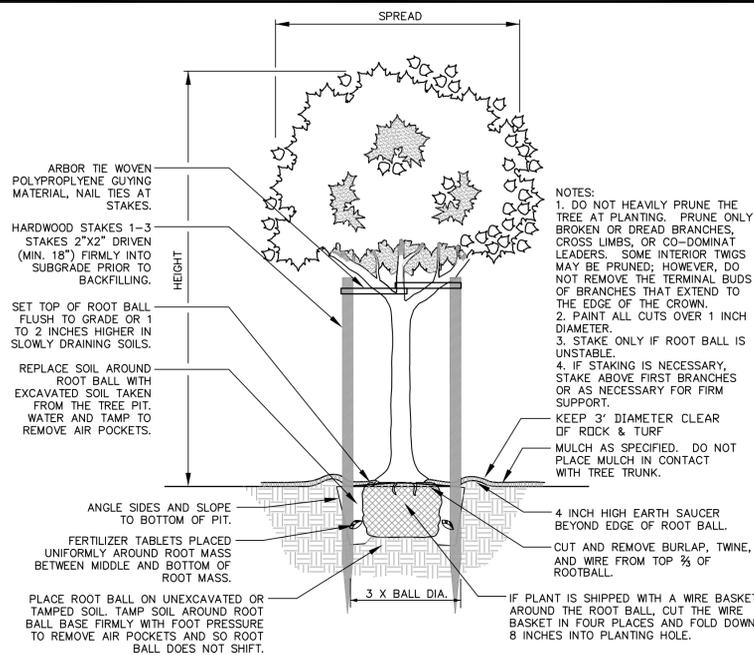
15. ALL PLANT MATERIAL AND LANDSCAPE ELEMENTS WILL BE GUARANTEED FOR ONE YEAR AFTER FINAL ACCEPTANCE. ANY ITEMS THAT ARE NOT FIRST CLASS PREMIUM QUALITY WILL BE REPLACED BY THE CONTRACTOR AT NO COST TO THE OWNER. ANY PLANT MATERIAL THAT IS NOT PREMIUM QUALITY OR APPEARS STRESSED IN ANY WAY DURING THE GUARANTEE PERIOD MAY REQUIRE REPLACEMENT. THE CONTRACTOR MUST SCHEDULE A PRE AND POST GUARANTEE MEETING WITH THE OWNER'S REPRESENTATIVE FOR INSPECTION. FAILURE TO DO SO WILL MEAN THE OFFICIAL GUARANTEE PERIOD HAS NOT BEEN ACTIVATED OR DE-ACTIVATED.

16. SUBMITTALS OF ALL LANDSCAPE MATERIALS SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO COMMENCING WORK. PROVIDER INFORMATION AND SAMPLES SHALL BE SUBMITTED OF ANY GRAVEL OR WOOD MULCHES. NURSERY STOCK SUBMITTAL SHALL INCLUDE PROVIDER INFORMATION WITH A LIST OF PLANT MATERIALS BEING PROVIDED BY THE NURSERY.

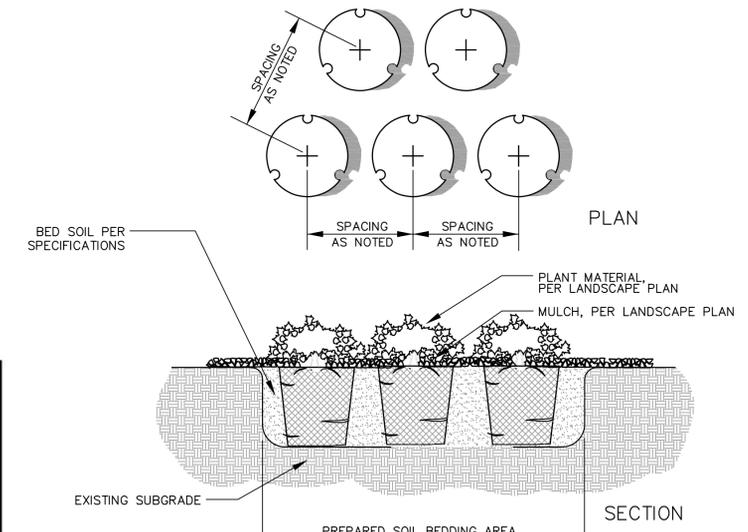
17. IT IS THE CONTRACTORS RESPONSIBILITY TO VERIFY ALL QUANTITIES LISTED ON THE PLANS AND THE AVAILABILITY OF ALL PLANT MATERIALS IN THEIR SPECIFIC SIZES PRIOR TO SUBMITTING A BID. THE CONTRACTOR MUST NOTIFY THE LANDSCAPE ARCHITECT PRIOR TO SUBMITTING A BID IF THE CONTRACTOR DETERMINES A QUANTITY DEFICIENCY OR AVAILABILITY PROBLEM WITH SPECIFIED MATERIAL.

18. SPECIFICATIONS FOR LANDSCAPE AND IRRIGATION CONSTRUCTION SHALL BE THE 2007 APWA "MANUAL OF STANDARD SPECIFICATIONS".

19. ALL LANDSCAPE MATERIAL SHALL BE FULLY IRRIGATED BY AN AUTOMATIC IRRIGATION SYSTEM (DESIGN BUILD). IRRIGATION DESIGN SHALL BE APPROVED BY THE OWNER AND LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.

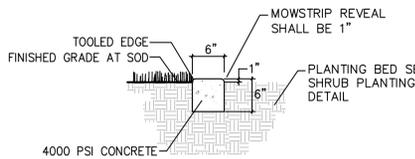


**1 TREE PLANTING AND STAKING**  
N.T.S.

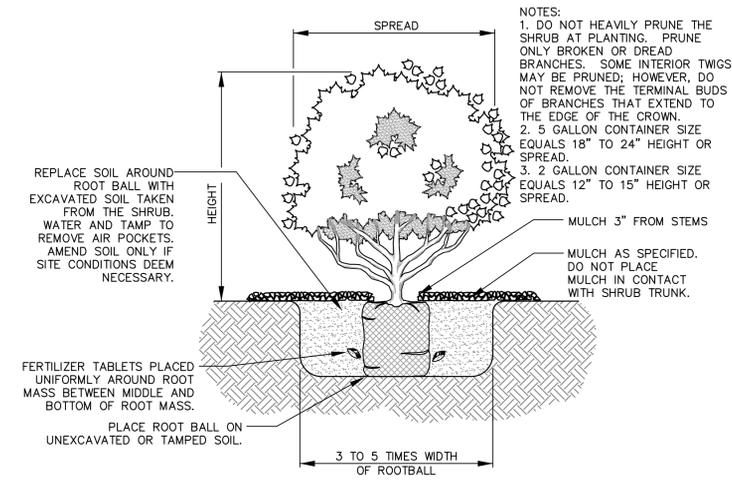


**3 GROUNDCOVER, ANNUAL, AND/OR PERENNIAL PLANTINGS**  
N.T.S.

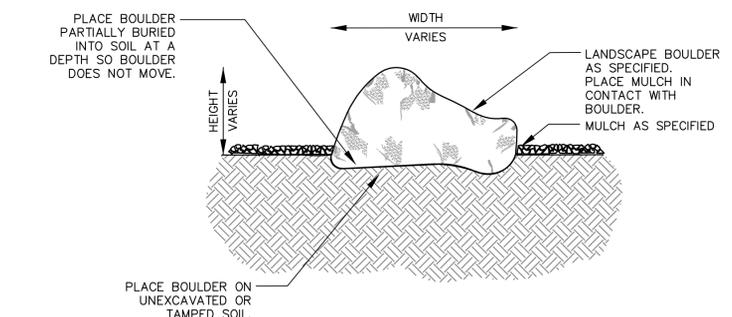
**NOTES:**  
1. CONTROL JOINTS SHALL BE PLACED AT 5' ON CENTER.  
2. EXPANSION JOINTS SHALL BE PLACED AT 20' ON CENTER, AND AT ALL HARD SURFACE ABUTMENTS.  
3. MOWSTRIP SHALL BE INSTALLED TO SEPARATE ALL DIFFERING MULCH TYPES AND ALL SOD FROM MULCH AREAS.



**5 CONCRETE MOWSTRIP**  
N.T.S.



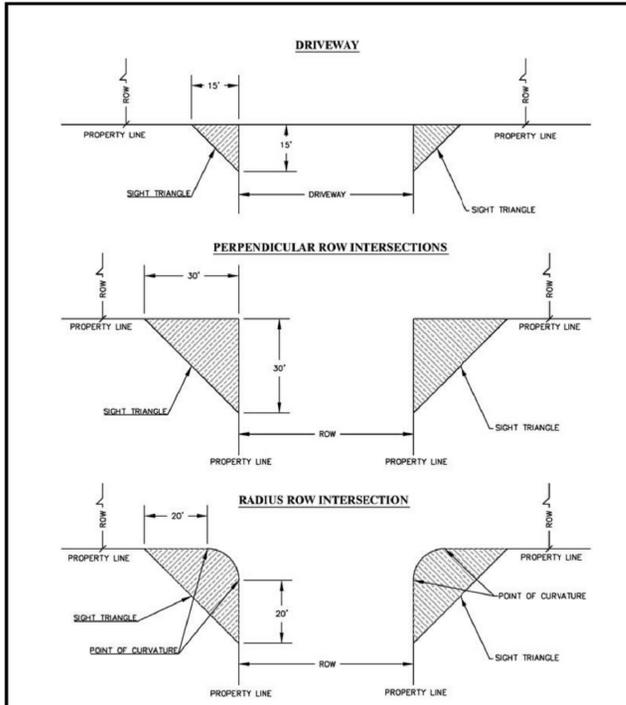
**2 SHRUB AND ORNAMENTAL GRASS PLANTING**  
N.T.S.



**4 BOULDER PLACEMENT**  
N.T.S.

**DETAIL NOTE:**

THROUGHOUT PLANS, NO SHRUBS OVER 3 FEET IN HEIGHT SHALL BE ALLOWED AND TREES NEED TO BE PRUNED TO 8 FEET IN HEIGHT. ALSO, NOT STRUCTURES OR FENCES ARE ALLOWED WITHIN THE SIGHT TRIANGLES.



<b>SIGHT TRIANGLE</b>	DATE: JUL 13 2014	REVISION:	STANDARD DETAILS
	DRAWING NAME:	REVISION #:	SIGHT TRIANGLE
DRAWN BY: FLL	SARATOGA SPRINGS CITY		
CHECKED: UNCHECKED			

**TOPSOIL QUALITY GUIDELINES**

Category	Soluble salts (dS/m or mmho/cm)	pH	Sand (%)	Silt (%)	Clay (%)	Texture class*	Organic Matter (%)	% Coarse fragments (> 2 mm in diameter)**	Sodium Adsorption Ratio (SAR)*
Ideal	< 2	5.5 to 7.5	< 70	< 70	< 30	L, SL	≥ 2.0	≤ 2	< 3 for any texture
Acceptable	< 4	5.0 to 8.2	< 70	< 70	< 30	SCL, SL, CL, SCL	≥ 1.0	2.1 to 5.0	3 to 7 (SL, SCL, CL) 3 to 10 (SCL, SL, L)
Unacceptable	> 4	< 5.0 or > 8.2	> 70	> 70	> 30	L5, SC, S, C, S, C	< 1.0	> 5.0	> 10 for any texture

\*L = loam; SL = Silt loam; SCL = sandy clay loam; SL = sandy loam; CL = clay loam; SCL = silty clay loam; L5 = loamy sand; SC = sandy clay; S = silty clay; S = sand; Si = silt; C = clay.  
\*\*This guideline also includes no fragments larger than 1 1/2 inch in diameter.

Category	Nitrate-nitrogen (ppm or N/kg soil)	Phosphorus (ppm or mg P/kg soil)	Potassium (ppm or mg K/kg soil)	Iron (ppm or mg Fe/kg soil)
Acceptable	> 20	> 15	> 150	> 10

Source: Utah State University, "Topsoil Quality Guidelines for Landscaping", December 2010.

NO.	REVISIONS	BY	DATE
1	CHANGES PER CITY REVIEW OF 12/29/13	DCM	2/5/20

PLANNING, LANDSCAPE ARCHITECTURE & SITE DESIGN SERVICES DRAPER, UTAH 84020  
PHONE: 801.841.7464  
www.foresitedesigngroup.com



**SARATOGA TOWN CENTER - RETAIL A**  
**LANDSCAPE NOTES AND DETAILS**  
19 WEST SERGEANT CT. DR. SARATOGA SPRINGS, UT



SHEET: **L-2**  
FILE NAME: SCALE: FDG-224 N.A.



3/5/2020 4:26:53 PM



**3 REAR ELEVATION**  
1/4" = 1'-0"



**4 LEFT ELEVATION**  
1/4" = 1'-0"

- GENERAL EXTERIOR FINISH NOTES:**
1. ALL EXTERIOR CONCRETE WALLS THAT REQUIRE PAINTING SHALL BE SACK AND PATCHED PRIOR TO PAINTING.
  2. REFER TO ELECTRICAL SHEETS FOR ALL EXTERIOR LIGHTING AND COORDINATE ALL NECESSARY POWER LOCATIONS APPROPRIATELY.
  3. SEE DETAILS ON A502 FOR TYPICAL CONCRETE REVEALS AND PANEL JOINTS.
  4. CAULK AND SEAL ALL EXTERIOR JOINTS WITH APPROVED POLYURETHANE SEALANT.
  5. REFER TO MECHANICAL COM-CHECK FOR GLAZING STANDARDS.

Keystone Legend	
03/019	STUCCO WALL REVEAL, TYP.
04/001	BRICK VENEER, SEE WALL SECTIONS, MANUFACTURERS
04/002	STONE VENEER, SEE WALL SECTIONS, MANUFACTURERS
04/003	STUCCO WALL, SEE WALL SECTIONS, MANUFACTURERS
05/023	METAL PARAPET WALL CAP - TYPICAL ON ALL WALLS
05/027	METAL CANOPY, SEE OWNER FOR APPROVAL
06/011	WOODEN TRELLIS CUSTOM MADE SIGNAGE HOLDER / DESIGN
07/016	45 MIL TPO ROOF OVER RIGID POLYISO INSULATION OVER WOOD SHEATHING, 20 YEAR WARRANTY W/ RHINO BOND AND 90 MPH WARRANTY, PROVIDE BID ALTERNATE FOR 60 MIL TPO.
07/025	EXTENDED ROOF OVERHANG WITH SHEATHING, ROOF MEMBRANE, AND SHINGLES OR METAL
08/001	CLEAR ANODIZED STOREFRONT WINDOW/DOOR SYSTEM - PROVIDE SUBMITTAL FOR APPROVAL
08/002	HOLLOW METAL FRAME AND DOOR, SEE SCHEDULE
08/013	SPANDREL GLAZING IN STOREFRONT/CURTAIN WALL - PROVIDE SUBMITTAL FOR APPROVAL
09/001	EIFS CORNICE OVER FOAM BLOCK, SEE DETAIL
12/007	SIGNAGES, PROVIDED & SUBMITTAL WITH OWNER

MATERIALS LEGEND	
	HARRISTONE MANUFACTURED STIRLING DRY STONE DIVINO LEDGE, OR APPROVED EQUAL COLOR: DARK/MED./LIGHT MIXED GRAY STONES
	PAREX EIFS SYSTEM, ACRYLIC FINISH 428-E-LASTIC FLEX SWIRL FINE LIGHT BASE COLOR: SNOWBALL 10400L
	BRICK VENEER SYSTEM TERRACOTTA BRICK
	24 GA. DARK BRONZE

REVISION	DESCRIPTION	DATE

**AE2019.096**  
**REAR & LEFT ELEVATIONS**

DATE: 01/27/20

SHEET #:

**A202**

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PROJECT STATUS  
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1  
A201  
FRONT ELEVATION  
1/4" = 1'-0"



3  
A201  
RIGHT ELEVATION  
1/4" = 1'-0"

GENERAL EXTERIOR FINISH NOTES:  
 1. ALL EXTERIOR CONCRETE WALLS THAT REQUIRE PAINTING SHALL BE SACK AND PATCHED PRIOR TO PAINTING.  
 2. REFER TO ELECTRICAL SHEETS FOR ALL EXTERIOR LIGHTING AND COORDINATE ALL NECESSARY POWER LOCATIONS APPROPRIATELY.  
 3. SEE DETAILS ON A502 FOR TYPICAL CONCRETE REVEALS AND PANEL JOINTS.  
 4. CAULK AND SEAL ALL EXTERIOR JOINTS WITH APPROVED POLYURETHANE SEALANT.  
 5. REFER TO MECHANICAL COM-CHECK FOR GLAZING STANDARDS.

Keynote Legend	
03/019	STUCCO WALL REVEAL, TYP.
04/001	BRICK VENEER, SEE WALL SECTIONS, MANUFACTURERS
04/002	STONE VENEER, SEE WALL SECTIONS, MANUFACTURERS
04/003	STUCCO WALL, SEE WALL SECTIONS, MANUFACTURERS
05/023	METAL PARAPET WALL CAP - TYPICAL ON ALL WALLS
05/024	METAL ENTRANCE CANOPY, SEE OWNER FOR APPROVAL
05/027	METAL CANOPY, SEE OWNER FOR APPROVAL
06/011	WOODEN TRELLIS CUSTOM MADE SIGNAGE HOLDER / DESIGN
07/016	45 MIL TPO ROOF OVER RIDGID POLYISO INSULATION OVER WOOD SHEATHING, 20 YEAR WARRANTY W/ RHINO BOND AND 90 MPH WARRANTY. PROVIDE BID ALTERNATE FOR 60 MIL TPO.
07/025	EXTENDED ROOF OVERHANG WITH SHEATHING, ROOF MEMBRANE, AND SHINGLES OR METAL
08/001	CLEAR ANODIZED STOREFRONT WINDOW/DOOR SYSTEM - PROVIDE SUBMITTAL FOR APPROVAL
08/007	METAL FRAME WITH GLAZED GLASS WALL SYSTEM, SEE WINDOW ELEVATIONS
08/013	SPANDREL GLAZING IN STOREFRONT/CURTAIN WALL - PROVIDE SUBMITTAL FOR APPROVAL
09/001	EFS CORNICE OVER FOAM BLOCK, SEE DETAIL
12/007	SIGNAGES, PROVIDED & SUBMITTAL WITH OWNER

MATERIALS LEGEND	
	HARRISTONE MANUFACTURED STERLING DRY STONE DIVINO LEDGE, OR APPROVED EQUAL COLOR: DARK/MED./LIGHT MIXED GRAY STONES
	PAREX BFS SYSTEM, ACRYLIC FINISH 428-E-LASTIC FLEX SWIRL FINE LIGHT BASE COLOR: SNOWBALL 10400L
	BRICK VENEER SYSTEM TERRACOTTA BRICK
	24 GA. DARK BRONZE

REVISION	DESCRIPTION	REVISION DATE

PROJECT STATUS  
 AE2019.096  
**FRONT & RIGHT ELEVATIONS**  
 DATE: 01/27/20  
 SHEET #:  
**A201**  
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# Exhibit 6: Materials Board



HARRISTONE MANUFACTURED STIRLING DRY STONE  
DIVINO LEDGE, OR APPROVED EQUAL  
COLOR: MIXED GRAY COLOR STONES



PARAX EIFS SYSTEM, ACRYLIC FINISH  
428-E-LASTIC FLEX SWIRL FINE LIGHT BASE  
COLOR: SNOWBALL 10400L



BRICK VENEER SYSTEM  
TERRACOTTA BRICK



24 GA. DARK BRONZE



ae urbia  
architects and engineers

SARATOGA TOWN CENTER  
BUILDING MATERIALS

RECEIVED FEB 13 2011

Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Filename	Lumens Per Lamp	Light Loss Factor	Wattage
⏏	F1	6	EATON - McGRAW-EDISON (FORMER COOPER LIGHTING)	GWC-AF-01-LED-E1-T4W	GALLEON WALL LUMINAIRE (1) 70 CRI, 4000K, 1050mA LIGHTSQUARE WITH 16 LEDS EACH AND TYPE IV WIDE OPTICS Industrial, Landscape, Library, Office, Parking, Parks, Pathway, Pedestrian, Prison, Recreation, Residential Retail, Roadway, Sidewalk, Site, Street, Substation, Security, Corrosion Resistant, Vandal Resistant, Wet Location ABSOLUTE PHOTOMETRY IS BASED ON CALIBRATION FACTORS CREATED USING LAB LUMEN STANDARDS IN GONIOPHOTOMETER WITH TEST DISTANCE OF 28.75 FEET		16	GWC-AF-01-LED-E1-T4W (2).ies	403.8284	0.98	59
⏏	F2	1	EATON - McGRAW-EDISON (FORMER COOPER LIGHTING)	GLEON-AF-02-LED-E1-T3	GALLEON AREA AND ROADWAY LUMINAIRE (2) 70 CRI, 4000K, 1050mA LIGHTSQUARES WITH 16 LEDS EACH AND TYPE III OPTICS Retail, Roadway, Sidewalk, Site, Street, Substation, Security, Corrosion Resistant, Vandal Resistant, Wet Location ABSOLUTE PHOTOMETRY IS BASED ON CALIBRATION FACTORS CREATED USING LAB LUMEN STANDARDS IN GONIOPHOTOMETER WITH TEST DISTANCE OF 28.75 FEET		32	GLEON-AF-02-LED-E1-T3.ies	390	0.98	226
⏏	F3	3	EATON - LUMARK (FORMER COOPER LIGHTING)	XTOR3B-W	CROSSTOUR 26W WALL MOUNT LED	EATON LED 4000K	1	XTOR3B-W.ies	2709	1	25.5

H.P.E. INC. ELECTRICAL ENGINEERS  
 POWER SYSTEMS, CONTROL & INSTRUMENTATION SYSTEMS  
 HEGERHORST POWER ENGINEERING INCORPORATED (801) 642-2051  
 708 EAST 50 SOUTH AMERICAN FORK, UT 84003 FAX (801) 642-2154  
 HPE PROJECT: 19111 ©2019  
 FOR INFORMATION ABOUT THIS JOB, PLEASE CONTACT: BEN SORENSON

**ae urbia**  
 architects and engineers  
 909 W South Jordan Parkway Utah 84095  
 Phone: 801.746.0456 Web Page: aeurbia.com

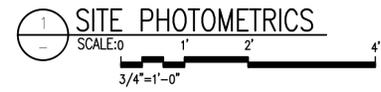
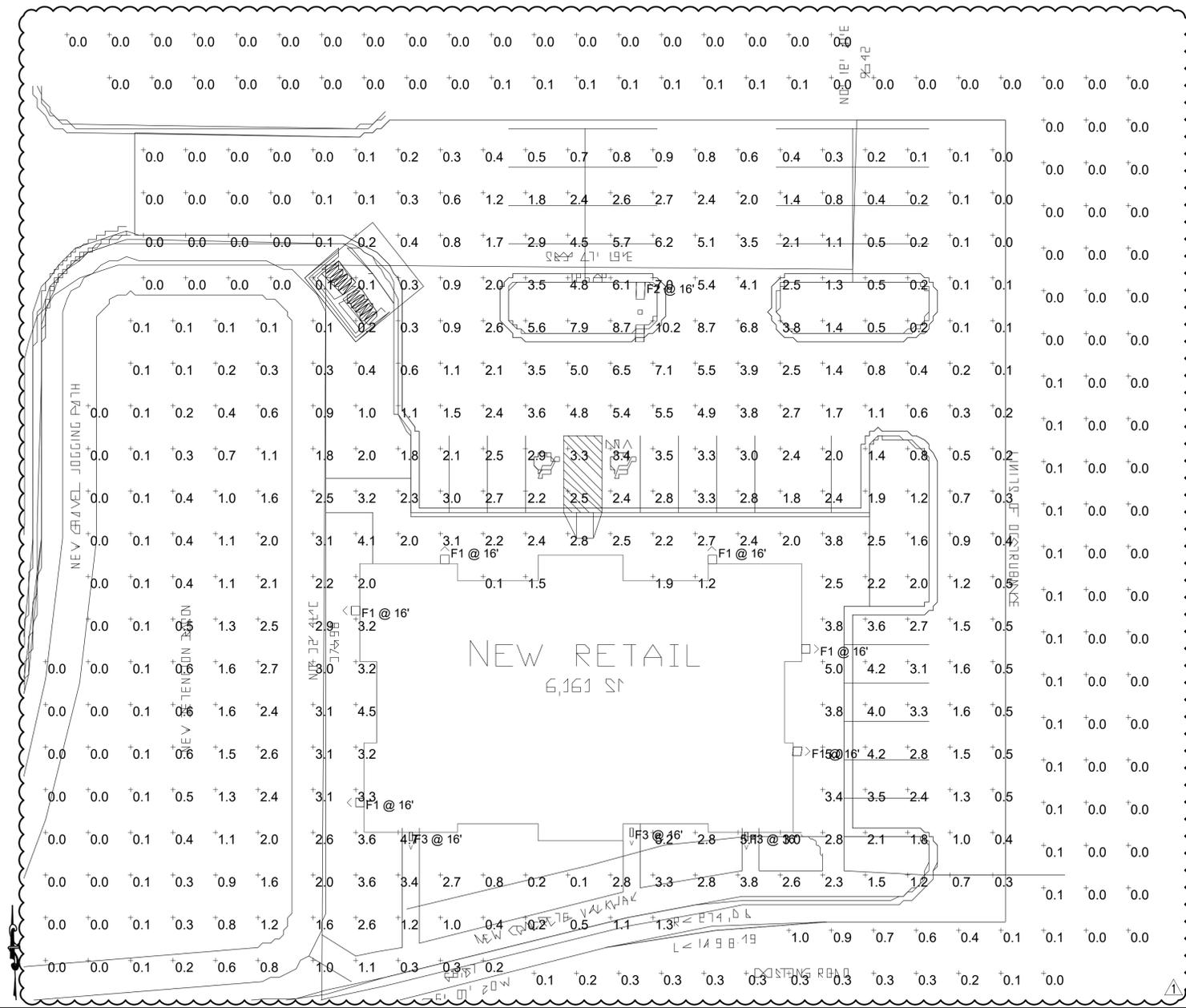


**Statistics**

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Detention	+	0.5 fc	2.7 fc	0.0 fc	N/A	N/A
Parking Lot past the property line	+	2.0 fc	10.2 fc	0.0 fc	N/A	N/A
	+	0.1 fc	1.0 fc	0.0 fc	N/A	N/A

**Luminaire Locations**

No.	Label	Location						Aim		
		X	Y	Z	MH	Orientation	Tilt	X	Y	Z
1	F1	1519018.00	7281261.00	16.00	16.00	88.94	0.00	1519018.00	7281261.00	0.00
2	F1	1519016.00	7281237.00	16.00	16.00	93.81	0.00	1519016.00	7281237.00	0.00
3	F1	1518933.00	7281282.00	16.00	16.00	359.13	0.00	1518933.00	7281282.00	0.00
4	F1	1518912.00	7281270.00	16.00	16.00	270.00	0.00	1518912.00	7281270.00	0.00
5	F1	1518913.00	7281225.00	16.00	16.00	270.00	0.00	1518913.00	7281225.00	0.00
6	F1	1518996.00	7281282.00	16.00	16.00	356.82	0.00	1518996.00	7281282.00	0.00
1	F2	1518979.00	7281340.00	16.00	16.00	0.57	0.00			
1	F3	1518925.00	7281217.00	16.00	16.00	180.00	0.00	1518925.00	7281217.00	0.00
2	F3	1518977.00	7281218.00	16.00	16.00	180.00	0.00	1518977.00	7281218.00	0.00
3	F3	1519004.00	7281217.00	16.00	16.00	180.00	0.00	1519004.00	7281217.00	0.00



SARATOGA SPRINGS TOWN CENTER  
 SARATOGA SPRINGS, UT. 84045

AE2019.  
 SITE PHOTOMETRICS

REVISIONS:  
 2/10/20 CITY REVIEW

DATE: DEC. 6. 2019  
 SHEET NO.

**E3.0**

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# Exhibit 8: Light Fixtures

## DESCRIPTION

The Galleon™ LED luminaire delivers exceptional performance in a highly scalable, low-profile design. Patented, high-efficiency AccuLED Optics™ system provides uniform and energy conscious illumination to walkways, parking lots, roadways, building areas and security lighting applications. IP66 rated and UL/cUL Listed for wet locations.

<b>Catalog #</b>		<b>Type</b>
<b>Project</b>		
<b>Comments</b>		<b>Date</b>
<b>Prepared by</b>		

## SPECIFICATION FEATURES

### Construction

Extruded aluminum driver enclosure thermally isolated from Light Squares for optimal thermal performance. Heavy-wall, die-cast aluminum end caps enclose housing and die-cast aluminum heat sinks. A unique, patent pending interlocking housing and heat sink provides scalability with superior structural rigidity. 3G vibration tested and rated. Optional tool-less hardware available for ease of entry into electrical chamber. Housing is IP66 rated.

### Optics

Patented, high-efficiency injection-molded AccuLED Optics technology. Optics are precisely designed to shape the distribution maximizing efficiency and application spacing. AccuLED Optics create consistent distributions with the scalability to meet customized application requirements. Offered standard in 4000K (+/- 275K) CCT 70 CRI. Optional 3000K, 5000K and 6000K CCT.

### Electrical

LED drivers are mounted to removable tray assembly for ease of maintenance. 120-277V 50/60Hz, 347V 60Hz or 480V 60Hz operation. 480V is compatible for use with 480V Wye systems only. Standard with 0-10V dimming. Shipped standard with Eaton proprietary circuit module designed to withstand 10kV of transient line surge. The Galleon LED luminaire is suitable for operation in -40°C to 40°C ambient environments. For applications with ambient temperatures exceeding 40°C, specify the HA (High Ambient) option. Light Squares are IP66 rated. Greater than 90% lumen maintenance expected at 60,000 hours. Available in standard 1A drive current and optional 600mA, 800mA and 1200mA drive currents (nominal).

### Mounting

**STANDARD ARM MOUNT:** Extruded aluminum arm includes internal bolt guides allowing for easy positioning of fixture during mounting. When mounting two or more luminaires at 90° and 120° apart, the EA extended arm may be required. Refer to the

arm mounting requirement table. Round pole adapter included. For wall mounting, specify wall mount bracket option. **QUICK MOUNT ARM:** Adapter is bolted directly to the pole. Quick mount arm slide into place on the adapter and is secured via two screws, facilitating quick and easy installation. The versatile, patent pending, quick mount arm accommodates multiple drill patterns ranging from 1-1/2" to 4-7/8". Removal of the door on the quick mount arm enables wiring of the fixture without having to access the driver compartment. A knock-out enables round pole mounting.

### Finish

Housing finished in super durable TGIC polyester powder coat paint, 2.5 mil nominal thickness for superior protection against fade and wear. Heat sink is powder coated black. Standard housing colors include black, bronze, grey, white, dark platinum and graphite metallic. RAL and custom color matches available.

### Warranty

Five-year warranty.

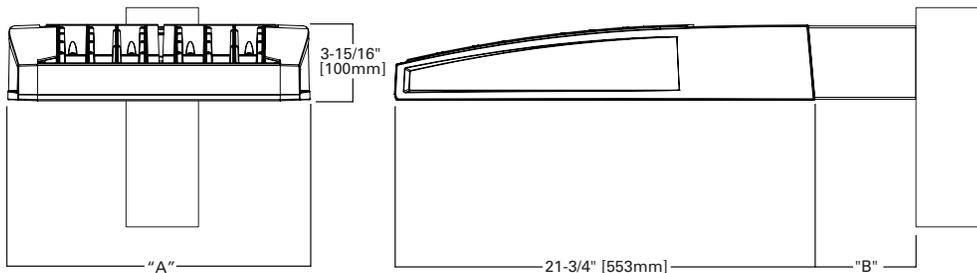


## GLEON GALLEON LED

1-10 Light Squares  
Solid State LED

AREA/SITE LUMINAIRE

## DIMENSIONS

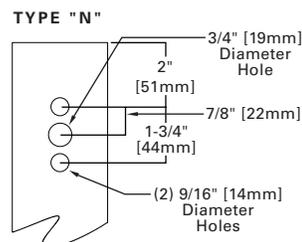


## DIMENSION DATA

Number of Light Squares	"A" Width	"B" Standard Arm Length	"B" Optional Arm Length <sup>1</sup>	Weight with Arm (lbs.)	EPA with Arm <sup>2</sup> (Sq. Ft.)
1-4	15-1/2" (394mm)	7" (178mm)	10" (254mm)	33 (15.0 kgs.)	0.96
5-6	21-5/8" (549mm)	7" (178mm)	10" (254mm)	44 (20.0 kgs.)	1.00
7-8	27-5/8" (702mm)	7" (178mm)	13" (330mm)	54 (24.5 kgs.)	1.07
9-10	33-3/4" (857mm)	7" (178mm)	16" (406mm)	63 (28.6 kgs.)	1.12

NOTES: 1. Optional arm length to be used when mounting two fixtures at 90° on a single pole. 2. EPA calculated with optional arm length.

## DRILLING PATTERN



## CERTIFICATION DATA

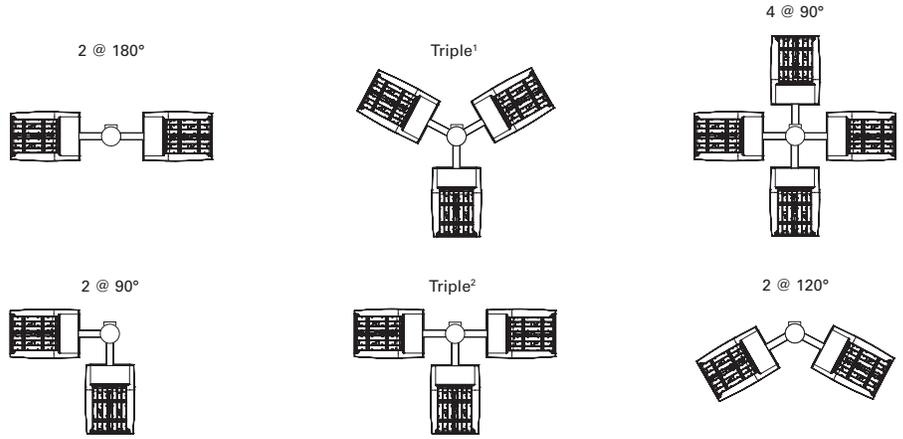
UL/cUL Wet Location Listed  
ISO 9001  
LM79 / LM80 Compliant  
3G Vibration Rated  
IP66 Rated  
DesignLights Consortium® Qualified\*

## ENERGY DATA

**Electronic LED Driver**  
>0.9 Power Factor  
<20% Total Harmonic Distortion  
120V-277V 50/60Hz  
347V & 480V 60Hz  
-40°C Min. Temperature  
40°C Max. Temperature  
50°C Max. Temperature (HA Option)

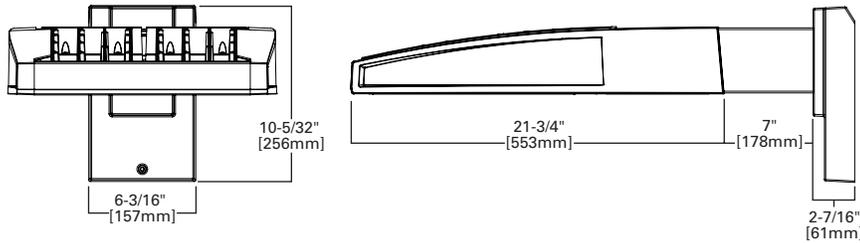
**ARM MOUNTING REQUIREMENTS**

Configuration	90° Apart	120° Apart
GLEON-AF-01	7" Arm (Standard)	7" Arm (Standard)
GLEON-AF-02	7" Arm (Standard)	7" Arm (Standard)
GLEON-AF-03	7" Arm (Standard)	7" Arm (Standard)
GLEON-AF-04	7" Arm (Standard)	7" Arm (Standard)
GLEON-AF-05	10" Extended Arm (Required)	7" Arm (Standard)
GLEON-AF-06	10" Extended Arm (Required)	7" Arm (Standard)
GLEON-AF-07	13" Extended Arm (Required)	13" Extended Arm (Required)
GLEON-AF-08	13" Extended Arm (Required)	13" Extended Arm (Required)
GLEON-AF-09	16" Extended Arm (Required)	16" Extended Arm (Required)
GLEON-AF-10	16" Extended Arm (Required)	16" Extended Arm (Required)

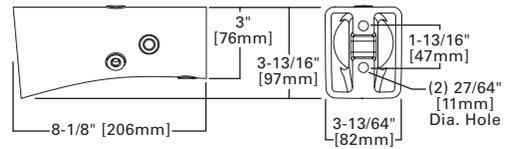


NOTES: 1 Round poles are 3 @ 120°. Square poles are 3 @ 90°. 2 Round poles are 3 @ 90°.

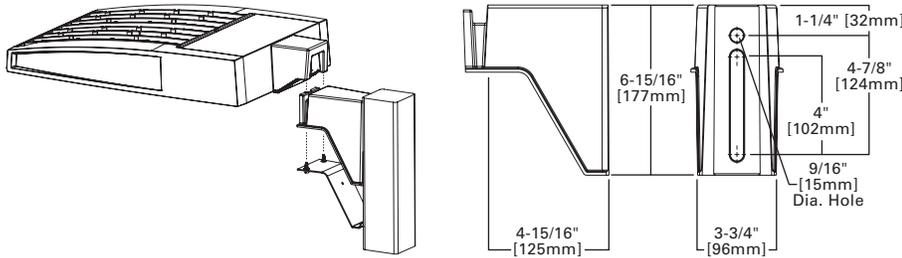
**STANDARD WALL MOUNT**



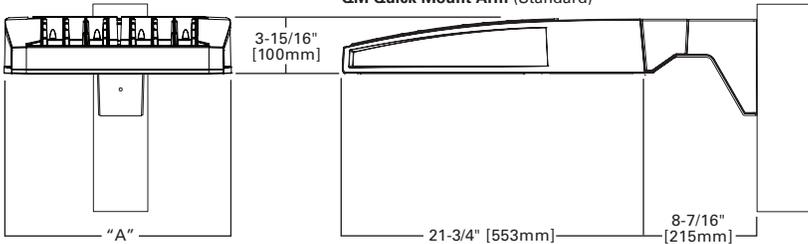
**MAST ARM MOUNT**



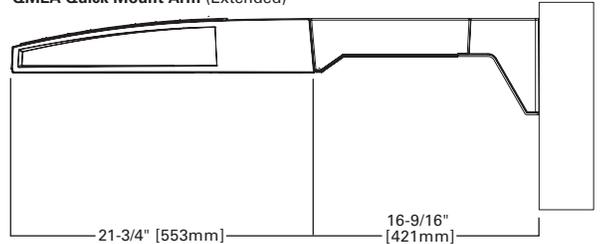
**QUICK MOUNT ARM (INCLUDES FIXTURE ADAPTER)**



QM Quick Mount Arm (Standard)



QMEA Quick Mount Arm (Extended)

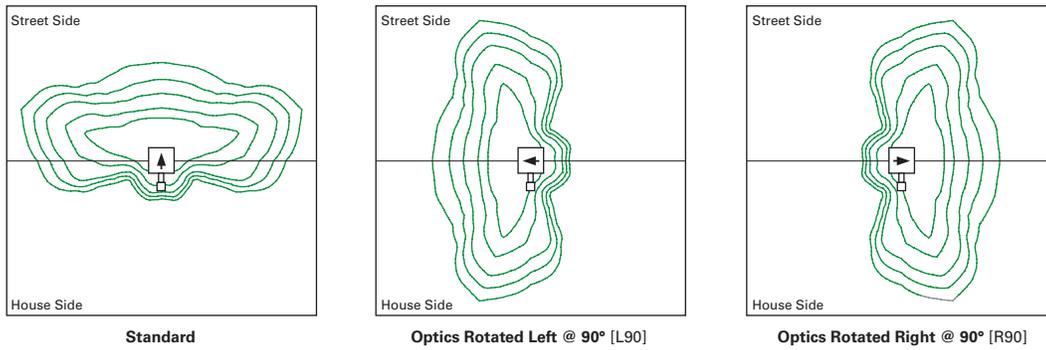


**QUICK MOUNT ARM DATA**

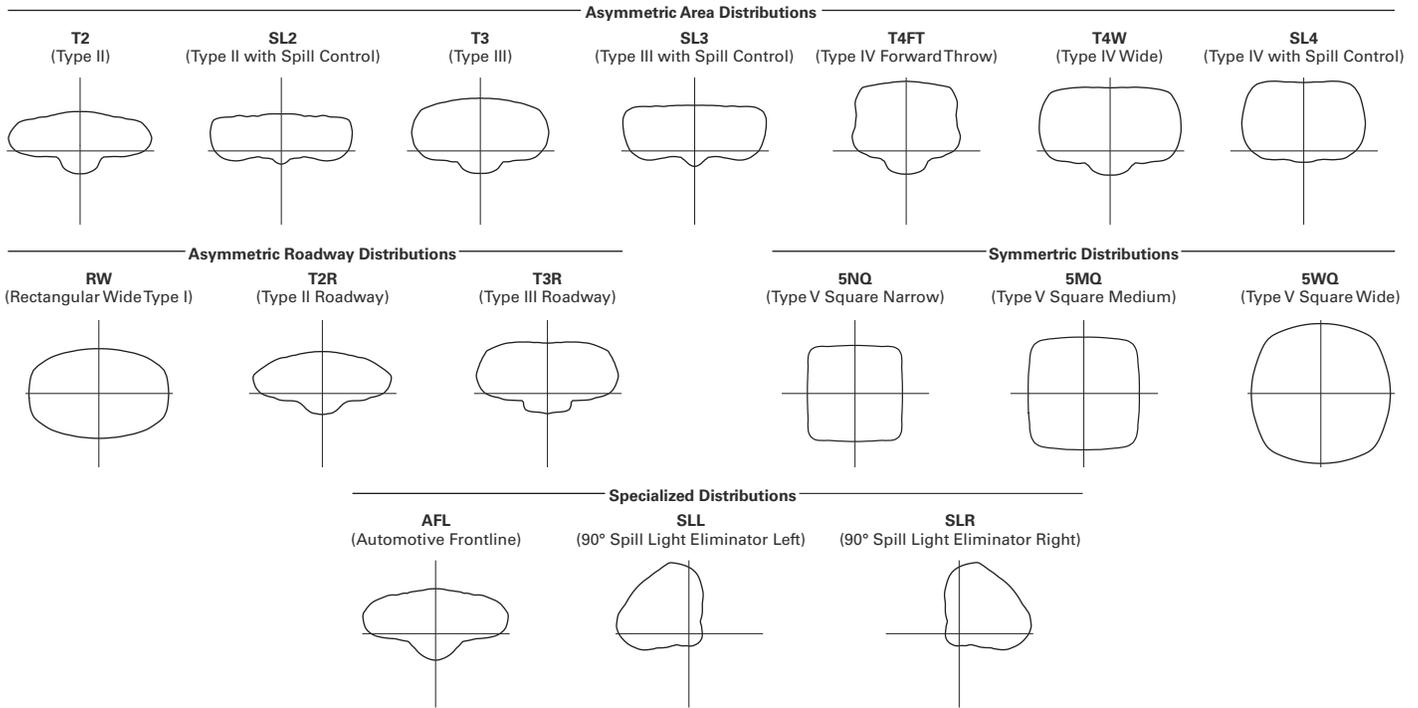
Number of Light Squares <sup>1,2</sup>	"A" Width	Weight with QM Arm (lbs.)	Weight with QMEA Arm (lbs.)	EPA (Sq. Ft.)
1-4	15-1/2" (394mm)	35 (15.91 kgs.)	38 (17.27 kgs.)	1.11
5-6 <sup>3</sup>	21-5/8" (549mm)	46 (20.91 kgs.)	49 (22.27 kgs.)	
7-8	27-5/8" (702mm)	56 (25.45 kgs.)	59 (26.82 kgs.)	

NOTES: 1 QM option available with 1-8 light square configurations. 2 QMEA option available with 1-6 light square configurations. 3 QMEA arm to be used when mounting two fixtures at 90° on a single pole.

**OPTIC ORIENTATION**



**OPTICAL DISTRIBUTIONS**

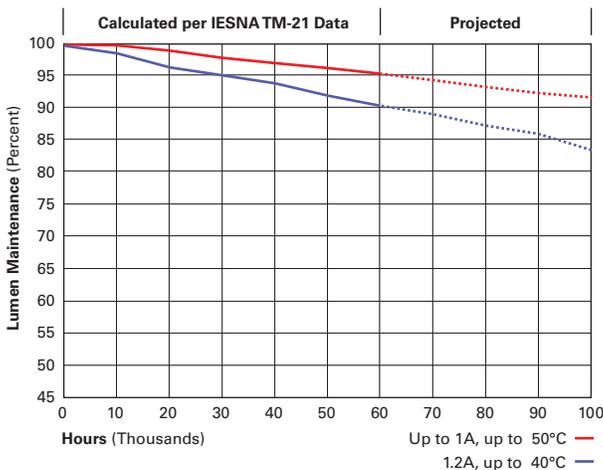


**LUMEN MAINTENANCE**

Drive Current	Ambient Temperature	TM-21 Lumen Maintenance (60,000 Hours)	Projected L70 (Hours)
Up to 1A	Up to 50°C	> 95%	416,000
1.2A	Up to 40°C	> 90%	205,000

**LUMEN MULTIPLIER**

Ambient Temperature	Lumen Multiplier
0°C	1.02
10°C	1.01
25°C	1.00
40°C	0.99
50°C	0.97



**NOMINAL POWER LUMENS (1.2A)**

Number of Light Squares	1	2	3	4	5	6	7	8	9	10	
<b>Nominal Power (Watts)</b>	67	129	191	258	320	382	448	511	575	640	
<b>Input Current @ 120V (A)</b>	0.58	1.16	1.78	2.31	2.94	3.56	4.09	4.71	5.34	5.87	
<b>Input Current @ 208V (A)</b>	0.33	0.63	0.93	1.27	1.57	1.87	2.22	2.52	2.8	3.14	
<b>Input Current @ 240V (A)</b>	0.29	0.55	0.80	1.10	1.35	1.61	1.93	2.18	2.41	2.71	
<b>Input Current @ 277V (A)</b>	0.25	0.48	0.70	0.96	1.18	1.39	1.69	1.90	2.09	2.36	
<b>Input Current @ 347V (A)</b>	0.20	0.39	0.57	0.78	0.96	1.15	1.36	1.54	1.72	1.92	
<b>Input Current @ 480V (A)</b>	0.15	0.30	0.43	0.60	0.73	0.85	1.03	1.16	1.28	1.45	
<b>Optics</b>											
<b>T2</b>	4000K/5000K Lumens	6,709	13,111	19,562	25,848	32,026	38,325	45,324	51,355	57,286	63,424
	3000K Lumens	5,939	11,606	17,316	22,881	28,349	33,925	40,121	45,459	50,710	56,143
	BUG Rating	B1-U0-G2	B2-U0-G2	B3-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5
<b>T2R</b>	4000K/5000K Lumens	7,122	13,919	20,769	27,442	34,000	40,687	48,117	54,519	60,816	67,333
	3000K Lumens	5,939	11,606	17,316	22,881	28,349	33,925	40,121	45,459	50,710	56,143
	BUG Rating	B1-U0-G1	B2-U0-G2	B2-U0-G3	B3-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5	B4-U0-G5	B4-U0-G5
<b>T3</b>	4000K/5000K Lumens	6,838	13,363	19,939	26,346	32,642	39,062	46,196	52,343	58,388	64,646
	3000K Lumens	6,053	11,829	17,650	23,321	28,895	34,578	40,893	46,334	51,685	57,225
	BUG Rating	B1-U0-G2	B2-U0-G2	B3-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5
<b>T3R</b>	4000K/5000K Lumens	6,990	13,660	20,382	26,931	33,368	39,930	47,223	53,506	59,686	66,081
	3000K Lumens	6,188	12,092	18,042	23,839	29,537	35,346	41,802	47,364	52,834	58,495
	BUG Rating	B1-U0-G2	B2-U0-G3	B2-U0-G3	B3-U0-G4	B3-U0-G5	B3-U0-G5	B3-U0-G5	B3-U0-G5	B4-U0-G5	B4-U0-G5
<b>T4FT</b>	4000K/5000K Lumens	6,878	13,440	20,055	26,499	32,832	39,289	46,464	52,646	58,726	65,020
	3000K Lumens	6,088	11,897	17,753	23,457	29,063	34,779	41,130	46,602	51,984	57,556
	BUG Rating	B1-U0-G2	B2-U0-G3	B2-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5	B3-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5
<b>T4W</b>	4000K/5000K Lumens	6,789	13,267	19,795	26,156	32,408	38,781	45,864	51,967	57,968	64,180
	3000K Lumens	6,010	11,744	17,523	23,153	28,688	34,329	40,599	46,001	51,313	56,812
	BUG Rating	B1-U0-G2	B2-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5
<b>SL2</b>	4000K/5000K Lumens	6,697	13,088	19,529	25,804	31,970	38,259	45,245	51,267	57,186	63,315
	3000K Lumens	5,928	11,585	17,287	22,842	28,300	33,867	40,051	45,382	50,621	56,046
	BUG Rating	B1-U0-G2	B2-U0-G3	B3-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5
<b>SL3</b>	4000K/5000K Lumens	6,837	13,361	19,936	26,342	32,639	39,057	46,189	52,336	58,380	64,636
	3000K Lumens	6,052	11,827	17,647	23,318	28,892	34,573	40,887	46,328	51,678	57,216
	BUG Rating	B1-U0-G2	B2-U0-G3	B2-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5	B3-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5
<b>SL4</b>	4000K/5000K Lumens	6,496	12,695	18,943	25,029	31,011	37,110	43,886	49,727	55,470	61,414
	3000K Lumens	5,750	11,238	16,768	22,156	27,451	32,850	38,848	44,018	49,102	54,364
	BUG Rating	B1-U0-G2	B1-U0-G3	B2-U0-G4	B2-U0-G4	B2-U0-G5	B3-U0-G5	B3-U0-G5	B3-U0-G5	B3-U0-G5	B3-U0-G5
<b>5NQ</b>	4000K/5000K Lumens	7,052	13,781	20,564	27,171	33,664	40,285	47,641	53,981	60,215	66,669
	3000K Lumens	6,242	12,199	18,203	24,052	29,799	35,660	42,172	47,784	53,302	59,015
	BUG Rating	B3-U0-G1	B3-U0-G2	B4-U0-G2	B4-U0-G2	B5-U0-G2	B5-U0-G3	B5-U0-G3	B5-U0-G4	B5-U0-G4	B5-U0-G4
<b>5MQ</b>	4000K/5000K Lumens	7,182	14,034	20,942	27,671	34,284	41,027	48,518	54,975	61,323	67,896
	3000K Lumens	6,358	12,423	18,538	24,494	30,348	36,317	42,948	48,664	54,283	60,102
	BUG Rating	B3-U0-G1	B4-U0-G2	B4-U0-G2	B5-U0-G3	B5-U0-G4	B5-U0-G4	B5-U0-G4	B5-U0-G5	B5-U0-G5	B5-U0-G5
<b>5WQ</b>	4000K/5000K Lumens	7,201	14,073	20,998	27,744	34,375	41,136	48,648	55,121	61,487	68,077
	3000K Lumens	6,374	12,457	18,587	24,559	30,429	36,414	43,063	48,793	54,428	60,262
	BUG Rating	B3-U0-G2	B4-U0-G2	B5-U0-G3	B5-U0-G4	B5-U0-G4	B5-U0-G4	B5-U0-G5	B5-U0-G5	B5-U0-G5	B5-U0-G5
<b>SLL/SLR</b>	4000K/5000K Lumens	6,009	11,741	17,519	23,148	28,681	34,321	40,589	45,990	51,301	56,798
	3000K Lumens	5,319	10,393	15,508	20,491	25,388	30,381	35,929	40,710	45,412	50,278
	BUG Rating	B1-U0-G2	B2-U0-G3	B2-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5	B3-U0-G5	B3-U0-G5	B4-U0-G5
<b>RW</b>	4000K/5000K Lumens	6,989	13,657	20,378	26,925	33,360	39,921	47,211	53,494	59,672	66,066
	3000K Lumens	6,187	12,089	18,039	23,834	29,530	35,338	41,791	47,353	52,822	58,482
	BUG Rating	B3-U0-G1	B3-U0-G2	B4-U0-G2	B4-U0-G2	B5-U0-G3	B5-U0-G3	B5-U0-G4	B5-U0-G4	B5-U0-G4	B5-U0-G4
<b>AFL</b>	4000K/5000K Lumens	7,014	13,706	20,452	27,023	33,481	40,066	47,383	53,688	59,888	66,306
	3000K Lumens	6,209	12,133	18,104	23,921	29,637	35,466	41,943	47,525	53,013	58,694
	BUG Rating	B1-U0-G1	B2-U0-G2	B2-U0-G2	B3-U0-G3	B3-U0-G3	B3-U0-G3	B3-U0-G3	B3-U0-G4	B4-U0-G4	B4-U0-G4

\* Nominal data for 70 CRI.

**NOMINAL POWER LUMENS (1A)**

Number of Light Squares	1	2	3	4	5	6	7	8	9	10	
<b>Nominal Power (Watts)</b>	59	113	166	225	279	333	391	445	501	558	
<b>Input Current @ 120V (A)</b>	0.51	1.02	1.53	2.03	2.55	3.06	3.56	4.08	4.6	5.07	
<b>Input Current @ 208V (A)</b>	0.29	0.56	0.82	1.11	1.37	1.64	1.93	2.19	2.46	2.75	
<b>Input Current @ 240V (A)</b>	0.26	0.48	0.71	0.96	1.19	1.41	1.67	1.89	2.12	2.39	
<b>Input Current @ 277V (A)</b>	0.23	0.42	0.61	0.83	1.03	1.23	1.45	1.65	1.84	2.09	
<b>Input Current @ 347V (A)</b>	0.17	0.32	0.50	0.64	0.82	1.00	1.14	1.32	1.50	1.68	
<b>Input Current @ 480V (A)</b>	0.14	0.24	0.37	0.48	0.61	0.75	0.91	0.99	1.12	1.28	
<b>Optics</b>											
<b>T2</b>	4000K/5000K Lumens	6,116	11,951	17,833	23,563	29,195	34,937	41,317	46,814	52,221	57,817
	3000K Lumens	5,414	10,579	15,786	20,858	25,843	30,926	36,574	41,440	46,226	51,180
	BUG Rating	B1-U0-G2	B2-U0-G2	B3-U0-G3	B3-U0-G3	B3-U0-G4	B3-U0-G4	B4-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5
<b>T2R</b>	4000K/5000K Lumens	6,493	12,688	18,932	25,015	30,994	37,090	43,863	49,699	55,439	61,380
	3000K Lumens	5,748	11,231	16,759	22,143	27,436	32,832	38,828	43,994	49,075	54,334
	BUG Rating	B1-U0-G1	B2-U0-G2	B2-U0-G2	B3-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G4	B3-U0-G5	B4-U0-G5	B4-U0-G5
<b>T3</b>	4000K/5000K Lumens	6,234	12,181	18,176	24,017	29,756	35,609	42,111	47,715	53,225	58,930
	3000K Lumens	5,518	10,783	16,089	21,260	26,340	31,521	37,277	42,237	47,115	52,165
	BUG Rating	B1-U0-G2	B2-U0-G2	B3-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5
<b>T3R</b>	4000K/5000K Lumens	6,372	12,453	18,580	24,550	30,418	36,400	43,048	48,776	54,409	60,239
	3000K Lumens	5,640	11,023	16,447	21,732	26,926	32,221	38,106	43,177	48,163	53,324
	BUG Rating	B1-U0-G2	B2-U0-G2	B2-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5	B3-U0-G5	B3-U0-G5	B4-U0-G5
<b>T4FT</b>	4000K/5000K Lumens	6,270	12,252	18,282	24,156	29,929	35,815	42,356	47,992	53,534	59,271
	3000K Lumens	5,550	10,845	16,183	21,383	26,493	31,703	37,494	42,483	47,388	52,467
	BUG Rating	B1-U0-G2	B2-U0-G2	B2-U0-G3	B3-U0-G4	B3-U0-G5	B3-U0-G5	B3-U0-G5	B3-U0-G5	B4-U0-G5	B4-U0-G5
<b>T4W</b>	4000K/5000K Lumens	6,189	12,094	18,045	23,844	29,543	35,352	41,809	47,372	52,843	58,506
	3000K Lumens	5,479	10,706	15,973	21,107	26,151	31,294	37,009	41,934	46,777	51,790
	BUG Rating	B1-U0-G2	B2-U0-G2	B3-U0-G3	B3-U0-G4	B3-U0-G5	B3-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5
<b>SL2</b>	4000K/5000K Lumens	6,105	11,931	17,803	23,522	29,144	34,877	41,245	46,734	52,130	57,717
	3000K Lumens	5,404	10,561	15,759	20,822	25,798	30,873	36,510	41,369	46,145	51,091
	BUG Rating	B1-U0-G2	B2-U0-G3	B3-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5
<b>SL3</b>	4000K/5000K Lumens	6,233	12,180	18,174	24,013	29,753	35,604	42,106	47,708	53,218	58,921
	3000K Lumens	5,517	10,782	16,088	21,256	26,337	31,517	37,272	42,231	47,109	52,157
	BUG Rating	B1-U0-G2	B2-U0-G3	B2-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5	B3-U0-G5	B4-U0-G5	B4-U0-G5
<b>SL4</b>	4000K/5000K Lumens	5,922	11,572	17,268	22,816	28,269	33,829	40,006	45,330	50,566	55,984
	3000K Lumens	5,242	10,244	15,286	20,197	25,024	29,945	35,413	40,126	44,761	49,557
	BUG Rating	B1-U0-G2	B1-U0-G3	B2-U0-G3	B2-U0-G4	B2-U0-G5	B3-U0-G5	B3-U0-G5	B3-U0-G5	B3-U0-G5	B3-U0-G5
<b>5NQ</b>	4000K/5000K Lumens	6,429	12,563	18,746	24,768	30,688	36,723	43,429	49,208	54,891	60,775
	3000K Lumens	5,691	11,121	16,594	21,925	27,165	32,507	38,443	43,559	48,590	53,798
	BUG Rating	B2-U0-G1	B3-U0-G2	B4-U0-G2	B4-U0-G2	B5-U0-G2	B5-U0-G3	B5-U0-G3	B5-U0-G3	B5-U0-G4	B5-U0-G4
<b>5MQ</b>	4000K/5000K Lumens	6,547	12,794	19,090	25,224	31,253	37,400	44,228	50,114	55,902	61,893
	3000K Lumens	5,795	11,325	16,898	22,328	27,665	33,106	39,151	44,361	49,484	54,788
	BUG Rating	B3-U0-G1	B4-U0-G2	B4-U0-G2	B5-U0-G3	B5-U0-G3	B5-U0-G4	B5-U0-G4	B5-U0-G4	B5-U0-G5	B5-U0-G5
<b>5WQ</b>	4000K/5000K Lumens	6,564	12,828	19,141	25,291	31,336	37,499	44,347	50,248	56,051	62,058
	3000K Lumens	5,810	11,355	16,944	22,388	27,739	33,194	39,256	44,480	49,616	54,934
	BUG Rating	B3-U0-G2	B4-U0-G2	B5-U0-G3	B5-U0-G3	B5-U0-G4	B5-U0-G4	B5-U0-G5	B5-U0-G5	B5-U0-G5	B5-U0-G5
<b>SLL/SLR</b>	4000K/5000K Lumens	5,478	10,703	15,970	21,102	26,145	31,286	37,001	41,924	46,765	51,777
	3000K Lumens	4,849	9,474	14,137	18,679	23,144	27,694	32,753	37,111	41,396	45,833
	BUG Rating	B1-U0-G2	B1-U0-G3	B2-U0-G3	B2-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5	B3-U0-G5	B3-U0-G5	B3-U0-G5
<b>RW</b>	4000K/5000K Lumens	6,371	12,449	18,576	24,544	30,411	36,392	43,037	48,764	54,396	60,225
	3000K Lumens	5,640	11,020	16,443	21,726	26,920	32,214	38,096	43,166	48,151	53,311
	BUG Rating	B3-U0-G1	B3-U0-G2	B4-U0-G2	B4-U0-G2	B5-U0-G3	B5-U0-G3	B5-U0-G3	B5-U0-G4	B5-U0-G4	B5-U0-G4
<b>AFL</b>	4000K/5000K Lumens	6,394	12,494	18,644	24,634	30,521	36,524	43,194	48,942	54,593	60,444
	3000K Lumens	5,660	11,060	16,504	21,806	27,017	32,331	38,235	43,323	48,326	53,505
	BUG Rating	B1-U0-G1	B2-U0-G2	B2-U0-G2	B3-U0-G2	B3-U0-G3	B3-U0-G3	B3-U0-G3	B3-U0-G3	B4-U0-G4	B4-U0-G4

\* Nominal data for 70 CRI.

**NOMINAL POWER LUMENS (800MA)**

Number of Light Squares	1	2	3	4	5	6	7	8	9	10	
<b>Nominal Power (Watts)</b>	44	85	124	171	210	249	295	334	374	419	
<b>Input Current @ 120V (A)</b>	0.39	0.77	1.13	1.54	1.90	2.26	2.67	3.03	3.39	3.80	
<b>Input Current @ 208V (A)</b>	0.22	0.44	0.62	0.88	1.06	1.24	1.50	1.68	1.87	2.12	
<b>Input Current @ 240V (A)</b>	0.19	0.38	0.54	0.76	0.92	1.08	1.30	1.46	1.62	1.84	
<b>Input Current @ 277V (A)</b>	0.17	0.36	0.47	0.72	0.83	0.95	1.19	1.31	1.42	1.67	
<b>Input Current @ 347V (A)</b>	0.15	0.24	0.38	0.49	0.63	0.77	0.87	1.01	1.15	1.52	
<b>Input Current @ 480V (A)</b>	0.11	0.18	0.29	0.37	0.48	0.59	0.66	0.77	0.88	0.96	
<b>Optics</b>											
<b>T2</b>	4000K/5000K Lumens	4,941	9,656	14,408	19,038	23,588	28,227	33,382	37,823	42,191	46,713
	3000K Lumens	4,374	8,547	12,754	16,852	20,880	24,987	29,550	33,481	37,347	41,350
	BUG Rating	B1-U0-G1	B2-U0-G2	B2-U0-G2	B3-U0-G3	B3-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G4	B4-U0-G5	B4-U0-G5
<b>T2R</b>	4000K/5000K Lumens	5,246	10,251	15,296	20,211	25,041	29,966	35,439	40,154	44,791	49,592
	3000K Lumens	4,644	9,074	13,540	17,891	22,166	26,526	31,371	35,544	39,649	43,899
	BUG Rating	B1-U0-G1	B1-U0-G2	B2-U0-G2	B2-U0-G3	B3-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G4	B3-U0-G4	B3-U0-G5
<b>T3</b>	4000K/5000K Lumens	5,037	9,842	14,685	19,404	24,041	28,770	34,024	38,551	43,003	47,612
	3000K Lumens	4,459	8,712	12,999	17,176	21,281	25,467	30,118	34,125	38,066	42,146
	BUG Rating	B1-U0-G1	B2-U0-G2	B2-U0-G3	B3-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G4	B3-U0-G5	B4-U0-G5	B4-U0-G5
<b>T3R</b>	4000K/5000K Lumens	5,148	10,061	15,011	19,835	24,576	29,409	34,780	39,408	43,959	48,669
	3000K Lumens	4,557	8,906	13,288	17,558	21,755	26,033	30,787	34,884	38,913	43,082
	BUG Rating	B1-U0-G2	B1-U0-G2	B2-U0-G3	B2-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5	B3-U0-G5	B3-U0-G5
<b>T4FT</b>	4000K/5000K Lumens	5,066	9,899	14,770	19,516	24,181	28,936	34,221	38,774	43,252	47,888
	3000K Lumens	4,484	8,763	13,074	17,276	21,405	25,614	30,292	34,323	38,287	42,390
	BUG Rating	B1-U0-G2	B1-U0-G2	B2-U0-G3	B2-U0-G4	B3-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5	B3-U0-G5	B3-U0-G5
<b>T4W</b>	4000K/5000K Lumens	5,000	9,771	14,579	19,264	23,869	28,562	33,779	38,274	42,694	47,269
	3000K Lumens	4,426	8,649	12,905	17,052	21,129	25,283	29,901	33,880	37,793	41,843
	BUG Rating	B1-U0-G2	B2-U0-G2	B2-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5	B4-U0-G5	B4-U0-G5
<b>SL2</b>	4000K/5000K Lumens	4,933	9,639	14,383	19,005	23,547	28,178	33,324	37,758	42,118	46,632
	3000K Lumens	4,367	8,532	12,732	16,823	20,844	24,943	29,498	33,423	37,283	41,279
	BUG Rating	B1-U0-G2	B2-U0-G2	B2-U0-G3	B3-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G4	B3-U0-G5	B4-U0-G5	B4-U0-G5
<b>SL3</b>	4000K/5000K Lumens	5,036	9,841	14,683	19,401	24,039	28,766	34,019	38,546	42,997	47,605
	3000K Lumens	4,458	8,711	12,997	17,174	21,279	25,464	30,114	34,121	38,061	42,140
	BUG Rating	B1-U0-G2	B1-U0-G2	B2-U0-G3	B2-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5	B3-U0-G5	B3-U0-G5
<b>SL4</b>	4000K/5000K Lumens	4,784	9,350	13,951	18,434	22,840	27,332	32,323	36,624	40,854	45,232
	3000K Lumens	4,235	8,277	12,349	16,318	20,218	24,194	28,612	32,420	36,164	40,039
	BUG Rating	B1-U0-G2	B1-U0-G3	B1-U0-G3	B2-U0-G4	B2-U0-G4	B2-U0-G5	B2-U0-G5	B3-U0-G5	B3-U0-G5	B3-U0-G5
<b>5NQ</b>	4000K/5000K Lumens	5,194	10,150	15,145	20,011	24,794	29,670	35,088	39,757	44,349	49,102
	3000K Lumens	4,598	8,985	13,406	17,714	21,948	26,264	31,060	35,193	39,258	43,465
	BUG Rating	B2-U0-G1	B3-U0-G1	B3-U0-G2	B4-U0-G2	B4-U0-G2	B5-U0-G2	B5-U0-G3	B5-U0-G3	B5-U0-G3	B5-U0-G3
<b>5MQ</b>	4000K/5000K Lumens	5,290	10,337	15,424	20,380	25,250	30,217	35,734	40,489	45,165	50,006
	3000K Lumens	4,683	9,150	13,653	18,040	22,351	26,748	31,632	35,841	39,980	44,265
	BUG Rating	B3-U0-G1	B3-U0-G2	B4-U0-G2	B4-U0-G2	B5-U0-G3	B5-U0-G3	B5-U0-G4	B5-U0-G4	B5-U0-G4	B5-U0-G4
<b>5WQ</b>	4000K/5000K Lumens	5,304	10,365	15,465	20,434	25,318	30,297	35,830	40,597	45,286	50,139
	3000K Lumens	4,695	9,175	13,690	18,088	22,411	26,819	31,717	35,936	40,087	44,383
	BUG Rating	B3-U0-G1	B4-U0-G2	B4-U0-G2	B5-U0-G3	B5-U0-G3	B5-U0-G4	B5-U0-G4	B5-U0-G4	B5-U0-G5	B5-U0-G5
<b>SLL/SLR</b>	4000K/5000K Lumens	4,426	8,648	12,903	17,049	21,124	25,278	29,894	33,872	37,784	41,832
	3000K Lumens	3,918	7,655	11,422	15,092	18,699	22,376	26,462	29,983	33,446	37,030
	BUG Rating	B1-U0-G2	B1-U0-G2	B2-U0-G3	B2-U0-G3	B2-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5	B3-U0-G5	B3-U0-G5
<b>RW</b>	4000K/5000K Lumens	5,147	10,058	15,009	19,830	24,570	29,402	34,771	39,399	43,949	48,658
	3000K Lumens	4,556	8,903	13,286	17,554	21,749	26,027	30,779	34,876	38,904	43,072
	BUG Rating	B2-U0-G1	B3-U0-G1	B3-U0-G2	B4-U0-G2	B4-U0-G2	B4-U0-G2	B5-U0-G3	B5-U0-G3	B5-U0-G3	B5-U0-G4
<b>AFL</b>	4000K/5000K Lumens	5,166	10,095	15,063	19,903	24,659	29,509	34,898	39,542	44,108	48,835
	3000K Lumens	4,573	8,936	13,334	17,618	21,828	26,121	30,892	35,003	39,044	43,229
	BUG Rating	B1-U0-G1	B1-U0-G1	B2-U0-G2	B2-U0-G2	B3-U0-G2	B3-U0-G3	B3-U0-G3	B3-U0-G3	B3-U0-G3	B3-U0-G3

\* Nominal data for 70 CRI.

**NOMINAL POWER LUMENS (600MA)**

Number of Light Squares	1	2	3	4	5	6	7	8	9	10	
<b>Nominal Power (Watts)</b>	34	66	96	129	162	193	226	257	290	323	
<b>Input Current @ 120V (A)</b>	0.30	0.58	0.86	1.16	1.44	1.73	2.03	2.33	2.59	2.89	
<b>Input Current @ 208V (A)</b>	0.17	0.34	0.49	0.65	0.84	0.99	1.14	1.30	1.48	1.63	
<b>Input Current @ 240V (A)</b>	0.15	0.30	0.43	0.56	0.74	0.87	1.00	1.13	1.30	1.43	
<b>Input Current @ 277V (A)</b>	0.14	0.28	0.41	0.52	0.69	0.81	0.93	1.04	1.22	1.33	
<b>Input Current @ 347V (A)</b>	0.11	0.19	0.30	0.39	0.49	0.60	0.69	0.77	0.90	0.99	
<b>Input Current @ 480V (A)</b>	0.08	0.15	0.24	0.30	0.38	0.48	0.53	0.59	0.71	0.77	
<b>Optics</b>											
<b>T2</b>	4000K/5000K Lumens	4,029	7,874	11,749	15,525	19,235	23,019	27,222	30,844	34,406	38,093
	3000K Lumens	3,566	6,970	10,400	13,743	17,027	20,376	24,097	27,303	30,456	33,720
	BUG Rating	B1-U0-G1	B1-U0-G2	B2-U0-G2	B2-U0-G2	B3-U0-G3	B3-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G4	B3-U0-G4
<b>T2R</b>	4000K/5000K Lumens	4,278	8,360	12,474	16,482	20,421	24,437	28,900	32,745	36,527	40,441
	3000K Lumens	3,787	7,400	11,042	14,590	18,077	21,632	25,582	28,986	32,334	35,798
	BUG Rating	B1-U0-G1	B1-U0-G2	B2-U0-G2	B2-U0-G2	B2-U0-G3	B3-U0-G3	B3-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G4
<b>T3</b>	4000K/5000K Lumens	4,107	8,026	11,976	15,824	19,605	23,461	27,746	31,438	35,068	38,827
	3000K Lumens	3,636	7,105	10,601	14,007	17,354	20,768	24,561	27,829	31,042	34,370
	BUG Rating	B1-U0-G1	B1-U0-G2	B2-U0-G2	B2-U0-G3	B3-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5
<b>T3R</b>	4000K/5000K Lumens	4,198	8,205	12,242	16,175	20,041	23,982	28,363	32,137	35,848	39,689
	3000K Lumens	3,716	7,263	10,837	14,318	17,740	21,229	25,107	28,448	31,733	35,133
	BUG Rating	B1-U0-G1	B1-U0-G2	B2-U0-G2	B2-U0-G3	B2-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5
<b>T4FT</b>	4000K/5000K Lumens	4,131	8,072	12,045	15,915	19,719	23,597	27,907	31,620	35,272	39,052
	3000K Lumens	3,657	7,145	10,662	14,088	17,455	20,888	24,703	27,990	31,223	34,569
	BUG Rating	B1-U0-G1	B1-U0-G2	B2-U0-G2	B2-U0-G3	B2-U0-G4	B3-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5	B3-U0-G5
<b>T4W</b>	4000K/5000K Lumens	4,077	7,968	11,889	15,710	19,465	23,292	27,546	31,212	34,816	38,547
	3000K Lumens	3,609	7,053	10,524	13,906	17,230	20,618	24,384	27,629	30,819	34,122
	BUG Rating	B1-U0-G1	B1-U0-G2	B2-U0-G2	B2-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5	B3-U0-G5
<b>SL2</b>	4000K/5000K Lumens	4,022	7,861	11,729	15,498	19,202	22,979	27,175	30,791	34,347	38,028
	3000K Lumens	3,560	6,959	10,383	13,719	16,998	20,341	24,055	27,256	30,404	33,662
	BUG Rating	B1-U0-G1	B1-U0-G2	B2-U0-G3	B2-U0-G3	B3-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5
<b>SL3</b>	4000K/5000K Lumens	4,106	8,025	11,974	15,821	19,603	23,458	27,742	31,433	35,064	38,821
	3000K Lumens	3,635	7,104	10,599	14,005	17,353	20,765	24,557	27,824	31,039	34,364
	BUG Rating	B1-U0-G1	B1-U0-G2	B2-U0-G3	B2-U0-G3	B2-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5
<b>SL4</b>	4000K/5000K Lumens	3,902	7,624	11,377	15,033	18,626	22,289	26,359	29,867	33,316	36,886
	3000K Lumens	3,454	6,749	10,071	13,307	16,488	19,730	23,333	26,438	29,491	32,651
	BUG Rating	B1-U0-G2	B1-U0-G2	B1-U0-G3	B1-U0-G3	B2-U0-G4	B2-U0-G4	B2-U0-G4	B2-U0-G5	B3-U0-G5	B3-U0-G5
<b>5NQ</b>	4000K/5000K Lumens	4,236	8,277	12,351	16,319	20,219	24,196	28,614	32,422	36,166	40,042
	3000K Lumens	3,750	7,327	10,933	14,446	17,898	21,418	25,329	28,700	32,014	35,445
	BUG Rating	B2-U0-G1	B3-U0-G1	B3-U0-G2	B3-U0-G2	B4-U0-G2	B4-U0-G2	B4-U0-G2	B5-U0-G2	B5-U0-G3	B5-U0-G3
<b>5MQ</b>	4000K/5000K Lumens	4,314	8,429	12,578	16,619	20,591	24,641	29,141	33,019	36,832	40,779
	3000K Lumens	3,819	7,461	11,134	14,711	18,227	21,812	25,796	29,228	32,604	36,098
	BUG Rating	B3-U0-G1	B3-U0-G2	B4-U0-G2	B4-U0-G2	B4-U0-G2	B5-U0-G3	B5-U0-G3	B5-U0-G4	B5-U0-G4	B5-U0-G4
<b>5WQ</b>	4000K/5000K Lumens	4,325	8,452	12,611	16,664	20,646	24,707	29,219	33,106	36,930	40,888
	3000K Lumens	3,828	7,482	11,163	14,751	18,276	21,871	25,865	29,305	32,690	36,194
	BUG Rating	B3-U0-G1	B3-U0-G2	B4-U0-G2	B4-U0-G2	B5-U0-G3	B5-U0-G3	B5-U0-G4	B5-U0-G4	B5-U0-G4	B5-U0-G4
<b>SLL/SLR</b>	4000K/5000K Lumens	3,609	7,052	10,522	13,903	17,226	20,613	24,378	27,622	30,812	34,114
	3000K Lumens	3,195	6,242	9,314	12,307	15,248	18,247	21,579	24,451	27,275	30,198
	BUG Rating	B1-U0-G1	B1-U0-G2	B1-U0-G3	B2-U0-G3	B2-U0-G3	B2-U0-G4	B3-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5
<b>RW</b>	4000K/5000K Lumens	4,197	8,202	12,239	16,171	20,036	23,977	28,356	32,129	35,839	39,680
	3000K Lumens	3,715	7,260	10,834	14,315	17,736	21,224	25,101	28,441	31,725	35,125
	BUG Rating	B2-U0-G1	B3-U0-G1	B3-U0-G2	B4-U0-G2	B4-U0-G2	B4-U0-G2	B4-U0-G2	B5-U0-G3	B5-U0-G3	B5-U0-G3
<b>AFL</b>	4000K/5000K Lumens	4,213	8,232	12,284	16,230	20,109	24,064	28,459	32,246	35,969	39,824
	3000K Lumens	3,729	7,287	10,874	14,367	17,800	21,301	25,192	28,544	31,840	35,252
	BUG Rating	B1-U0-G1	B1-U0-G1	B2-U0-G2	B2-U0-G2	B2-U0-G2	B3-U0-G2	B3-U0-G3	B3-U0-G3	B3-U0-G3	B3-U0-G3

\* Nominal data for 70 CRI.

CONTROL OPTIONS

0-10V (DIM)

This fixture is offered standard with 0-10V dimming driver(s). The DIM option provides 0-10V dimming wire leads for use with a lighting control panel or other control method.

Photocontrol (P, R and PER7)

Optional button-type photocontrol (P) and photocontrol receptacles (R and PER7) provide a flexible solution to enable "dusk-to-dawn" lighting by sensing light levels. Advanced control systems compatible with NEMA 7-pin standards can be utilized with the PER7 receptacle.

After Hours Dim (AHD)

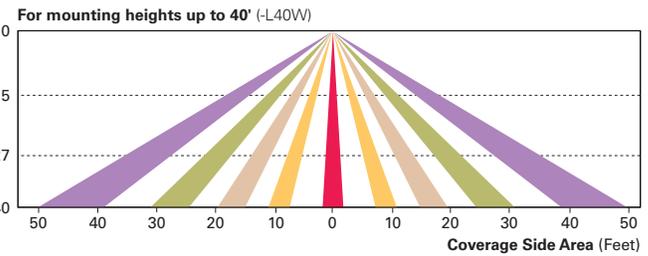
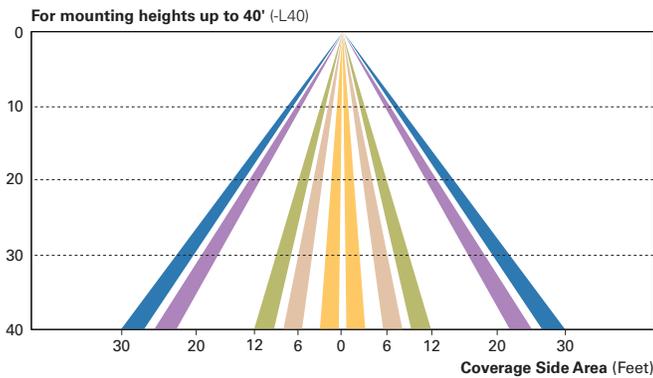
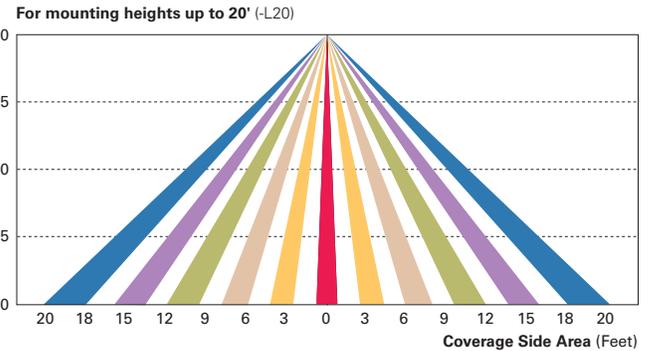
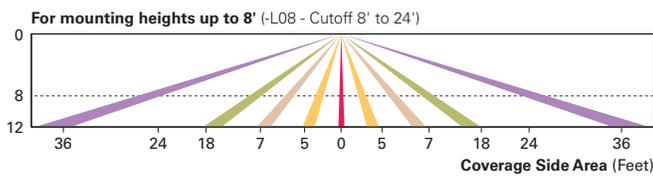
This feature allows photocontrol-enabled luminaires to achieve additional energy savings by dimming during scheduled portions of the night. The dimming profile will automatically take effect after a "dusk-to-dawn" period has been calculated from the photocontrol input. Specify the desired dimming profile for a simple, factory-shipped dimming solution requiring no external control wiring. Reference the After Hours Dim supplemental guide for additional information.

Dimming Occupancy Sensor (MS/DIM-LXX, MS/X-LXX and MS-LXX)

These sensors are factory installed in the luminaire housing. When the MS/DIM-LXX sensor option is selected, the occupancy sensor is connected to a dimming driver and the entire luminaire dims when there is no activity detected. When activity is detected, the luminaire returns to full light output. The MS/DIM sensor is factory preset to dim down to approximately 50 percent power with a time delay of five minutes. The MS-LXX sensor is factory preset to turn the luminaire off after five minutes of no activity. The MS/X-LXX is also preset for five minutes and only controls the specified number of light engines to maintain steady output from the remaining light engines.

These occupancy sensors includes an integral photocell that can be activated with the FSIR-100 accessory for "dusk-to-dawn" control or daylight harvesting - the factory preset is OFF. The FSIR-100 is a wireless tool utilized for changing the dimming level, time delay, sensitivity and other parameters.

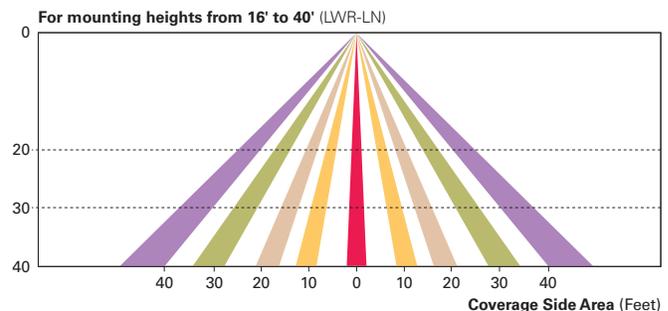
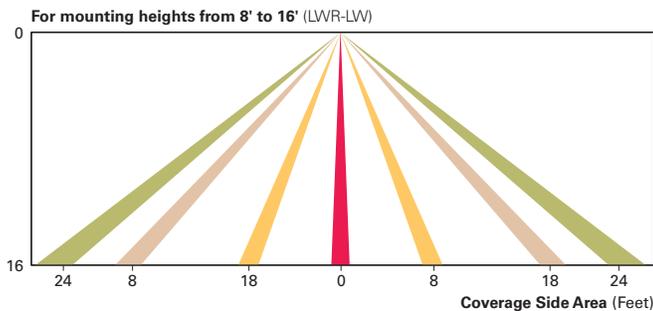
A variety of sensor lens are available to optimize the coverage pattern for mounting heights from 8'-40'.



LumaWatt Pro Wireless Control and Monitoring System (LWR-LW and LWR-LN)

The LumaWatt Pro system is a peer-to-peer wireless network of luminaire-integral sensors for any sized project. Each sensor is capable of motion and photo sensing, metering power consumption and wireless communication. The end-user can securely create and manage sensor profiles with browser-based management software. The software will automatically broadcast to the sensors via wireless gateways for zone-based and individual luminaire control. The LumaWatt Pro software provides smart building solutions by utilizing the sensor to provide easy-to-use dashboard and analytic capabilities such as improved energy savings, traffic flow analysis, building management software integration and more.

For additional details, refer to the LumaWatt Pro product guides.



**ORDERING INFORMATION**

Sample Number: GLEON-AF-04-LED-E1-T3-GM-QM

Product Family <sup>1,2</sup>	Light Engine	Number of Light Squares <sup>3</sup>	Lamp Type	Voltage	Distribution	Color	Mounting
GLEON=Galleon	AF=1A Drive Current	01=1 02=2 03=3 04=4 05=5 <sup>4</sup> 06=6 07=7 <sup>5</sup> 08=8 <sup>5</sup> 09=9 <sup>6</sup> 10=10 <sup>6</sup>	LED=Solid State Light Emitting Diodes	E1=120-277V 347=347V <sup>7</sup> 480=480V <sup>7,8</sup>	T2=Type II T2R=Type II Roadway T3=Type III T3R=Type III Roadway T4FT=Type IV Forward Throw T4W=Type IV Wide 5NQ=Type V Narrow 5MQ=Type V Square Medium 5WO=Type V Square Wide SL2=Type II w/Spill Control SL3=Type III w/Spill Control SL4=Type IV w/Spill Control SLL=90° Spill Light Eliminator Left SLR=90° Spill Light Eliminator Right RW=Rectangular Wide Type I AFL=Automotive Frontline	AP=Grey BZ=Bronze BK=Black DP=Dark Platinum GM=Graphite Metallic WH=White	[Blank]=Arm for Round or Square Pole EA=Extended Arm <sup>9</sup> MA=Mast Arm Adapter <sup>10</sup> WM=Wall Mount QM=Quick Mount Arm (Standard Length) <sup>11</sup> QMEA=Quick Mount Arm (Extended Length) <sup>12</sup>

Options (Add as Suffix)	Accessories (Order Separately)
<p>7030=70 CRI 3000K<sup>13</sup> 8030=80 CRI 3000K<sup>14</sup> 7050=70 CRI 5000K<sup>13</sup> 7060=70 CRI 6000K<sup>13</sup> 600=Drive Current Factory Set to Nominal 600mA<sup>15</sup> 800=Drive Current Factory Set to Nominal 800mA<sup>15</sup> 1200=Drive Current Factory Set to Nominal 1200mA<sup>15,16</sup> F=Single Fuse (120, 277 or 347V. Must Specify Voltage) FF=Double Fuse (208, 240 or 480V. Must Specify Voltage) 2L=Two Circuits<sup>17,18</sup> DIM=External 0-10V Dimming Leads<sup>19,20</sup> P=Button Type Photocontrol (120, 208, 240 or 277V. Must Specify Voltage)<sup>21</sup> PER7=NEMA 7-PIN Twistlock Photocontrol Receptacle<sup>21</sup> R=NEMA Twistlock Photocontrol Receptacle<sup>21</sup> AHD145=After Hours Dim, 5 Hours<sup>22</sup> AHD245=After Hours Dim, 6 Hours<sup>22</sup> AHD255=After Hours Dim, 7 Hours<sup>22</sup> AHD355=After Hours Dim, 8 Hours<sup>22</sup> HA=50°C High Ambient<sup>23</sup> MS/DIM-L08=Motion Sensor for Dimming Operation, Maximum 8' Mounting Height<sup>24,25</sup> MS/DIM-L20=Motion Sensor for Dimming Operation, 9' - 20' Mounting Height<sup>24,26</sup> MS/DIM-L40=Motion Sensor for Dimming Operation, 21' - 40' Mounting Height<sup>24,25</sup> MS/DIM-L40W=Motion Sensor for Dimming Operation, 21' - 40' Mounting Height (Wide Range)<sup>24,28</sup> MS/X-L08=Bi-Level Motion Sensor, Maximum 8' Mounting Height<sup>24,25,29</sup> MS/X-L20=Bi-Level Motion Sensor, 9' - 20' Mounting Height<sup>24,26,29</sup> MS/X-L40=Bi-Level Motion Sensor, 21' - 40' Mounting Height<sup>22,27,29</sup> MS/X-L40W=Bi-Level Motion Sensor, 21' - 40' Mounting Height (Wide Range)<sup>24,28,29</sup> MS-L08=Motion Sensor for ON/OFF Operation, Maximum 8' Mounting Height<sup>24,25</sup> MS-L20=Motion Sensor for ON/OFF Operation, 9' - 20' Mounting Height<sup>24,26</sup> MS-L40=Motion Sensor for ON/OFF Operation, 21' - 40' Mounting Height<sup>24,27</sup> MS-L40W=Motion Sensor for ON/OFF Operation, 21' - 40' Mounting Height (Wide Range)<sup>24,28</sup> LWR-LW=LumaWatt Pro Wireless Sensor, Wide Lens for 8' - 16' Mounting Height<sup>30</sup> LWR-LN=LumaWatt Pro Wireless Sensor, Narrow Lens for 16' - 40' Mounting Height<sup>30</sup> L90=Optics Rotated 90° Left R90=Optics Rotated 90° Right MT=Factory Installed Mesh Top TH=Tool-less Door Hardware LCF=Light Square Trim Plate Painted to Match Housing<sup>31</sup> HSS=Factory Installed House Side Shield<sup>32</sup> CE=CE Marking<sup>33</sup></p>	<p>OA/RA1016=NEMA Photocontrol Multi-Tap - 105-285V OA/RA1027=NEMA Photocontrol - 480V OA/RA1201=NEMA Photocontrol - 347V OA/RA1013=Photocontrol Shorting Cap OA/RA1014=120V Photocontrol MA1252=10kV Surge Module Replacement MA1036-XX=Single Tenon Adapter for 2-3/8" O.D. Tenon MA1037-XX=2 @ 180° Tenon Adapter for 2-3/8" O.D. Tenon MA1197-XX=3 @ 120° Tenon Adapter for 2-3/8" O.D. Tenon MA1188-XX=4 @ 90° Tenon Adapter for 2-3/8" O.D. Tenon MA1189-XX=2 @ 90° Tenon Adapter for 2-3/8" O.D. Tenon MA1190-XX=3 @ 90° Tenon Adapter for 2-3/8" O.D. Tenon MA1191-XX=2 @ 120° Tenon Adapter for 2-3/8" O.D. Tenon MA1038-XX=Single Tenon Adapter for 3-1/2" O.D. Tenon MA1039-XX=2 @ 180° Tenon Adapter for 3-1/2" O.D. Tenon MA1192-XX=3 @ 120° Tenon Adapter for 3-1/2" O.D. Tenon MA1193-XX=4 @ 90° Tenon Adapter for 3-1/2" O.D. Tenon MA1194-XX=2 @ 90° Tenon Adapter for 3-1/2" O.D. Tenon MA1195-XX=3 @ 90° Tenon Adapter for 3-1/2" O.D. Tenon FSIR-100=Wireless Configuration Tool for Occupancy Sensor<sup>24</sup> GLEON-MT1=Field Installed Mesh Top for 1-4 Light Squares GLEON-MT2=Field Installed Mesh Top for 5-6 Light Squares GLEON-MT3=Field Installed Mesh Top for 7-8 Light Squares GLEON-MT4=Field Installed Mesh Top for 9-10 Light Squares GLEON-QM=Quick Mount Arm Kit<sup>10</sup> GLEON-QMEA=Quick Mount Extended Arm Kit<sup>11</sup> LS/HSS=Field Installed House Side Shield<sup>32,34</sup></p>

- NOTES:**
- Customer is responsible for engineering analysis to confirm pole and fixture compatibility for all applications. Refer to our white paper WP513001EN for additional support information.
  - DesignLights Consortium® Qualified. Refer to [www.designlights.org](http://www.designlights.org) Qualified Products List under Family Models for details.
  - Standard 4000K CCT and minimum 70 CRI.
  - Not compatible with MS/4-LXX or MS/1-LXX sensors.
  - Not compatible with extended quick mount arm (QMEA).
  - Not compatible with standard quick mount arm (QM) or extended quick mount arm (QMEA).
  - Requires the use of an internal step down transformer when combined with sensor options. Not available with sensor at 1200mA. Not available in combination with the HA high ambient and sensor options at 1A.
  - Only for use with 480V Wye systems. Per NEC, not for use with ungrounded systems, impedance grounded systems or corner grounded systems (commonly known as Three Phase Three Wire Delta, Three Phase High Leg Delta and Three Phase Corner Grounded Delta systems).
  - May be required when two or more luminaires are oriented on a 90° or 120° drilling pattern. Refer to arm mounting requirement table.
  - Factory installed.
  - Maximum 8 light squares.
  - Maximum 6 light squares.
  - Extended lead times apply. Use dedicated IES files for 3000K, 5000K and 6000K when performing layouts. These files are published on the Galleon luminaire product page on the website.
  - Extended lead times apply. Use dedicated IES files for 3000K, 5000K and 6000K when performing layouts. These files are published on the Galleon luminaire product page on the website.
  - 1 Amp standard. Use dedicated IES files for 600mA, 800mA and 1200mA when performing layouts. These files are published on the Galleon luminaire product page on the website.
  - Not available with HA option.
  - 2L is not available with MS, MS/X or MS/DIM at 347V or 480V. 2L in AF-02 through AF-04 requires a larger housing, normally used for AF-05 or AF-06. Extended arm option may be required when mounting two or more fixtures per pole at 90° or 120°. Refer to arm mounting requirement table.
  - Not available with LumaWatt Pro wireless sensors.
  - Cannot be used with other control options.
  - Low voltage control lead brought out 18" outside fixture.
  - Not available if any "MS" sensor is selected. Motion sensor has an integral photocell.
  - Requires the use of P photocontrol or the PER7 or R photocontrol receptacle with photocontrol accessory. See After Hours Dim supplemental guide for additional information.
  - 50°C lumen maintenance data applies to 600mA, 800mA and 1A drive currents.
  - The FSIR-100 configuration tool is required to adjust parameters including high and low modes, sensitivity, time delay, cutoff and more. Consult your lighting representative at Eaton for more information.
  - Approximately 22' detection diameter at 8' mounting height.
  - Approximately 40' detection diameter at 20' mounting height.
  - Approximately 60' detection diameter at 40' mounting height.
  - Approximately 100' detection diameter at 40' mounting height.
  - Replace X with number of Light Squares operating in low output mode.
  - LumaWatt Pro wireless sensors are factory installed only requiring network components LWP-EM-1, LWP-GW-1 and LWP-PoE8 in appropriate quantities. See [www.eaton.com/lighting](http://www.eaton.com/lighting) for LumaWatt Pro application information.
  - Not available with house side shield (HSS).
  - Only for use with SL2, SL3, SL4 and AFL distributions. The Light Square trim plate is painted black when the HSS option is selected.
  - CE is not available with the LWR, MS, MS/X, MS/DIM, P, R or PER7 options. Available in 120-277V only.
  - One required for each Light Square.



Eaton  
1121 Highway 74 South  
Peachtree City, GA 30269  
P: 770-486-4800  
[www.eaton.com/lighting](http://www.eaton.com/lighting)

Specifications and dimensions subject to change without notice.

## DESCRIPTION

The Galleon™ Wall LED luminaire's appearance is complementary with the Galleon area and site luminaire bringing a modern architectural style to lighting applications. Flexible mounting options accommodate wall surfaces in both an upward and downward configuration. The Galleon family of LED products deliver exceptional performance with patented, high-efficiency AccuLED Optics™, providing uniform and energy conscious lighting for parking lots, building and security lighting applications.

## SPECIFICATION FEATURES

### Construction

Driver enclosure thermally isolated from optics for optimal thermal performance. Heavy wall aluminum housing die-cast with integral external heat sinks to provide superior structural rigidity and an IP66 rated housing. Overall construction passes a 1.5G vibration test to ensure mechanical integrity. UPLIGHTING: Specify with the UPL option for inverted mount upright housing with additional protections to maintain IP rating.

### Optics

Choice of thirteen patented, high-efficiency AccuLED Optics. The optics are precisely designed to shape the distribution maximizing efficiency and application spacing. AccuLED Optics create consistent distributions with the scalability to meet customized application requirements. Offered standard in 4000K (+/- 275K) CCT and minimum 70 CRI. Optional 3000K, 5000K

and 6000K CCT. Greater than 90% lumen maintenance expected at 60,000 hours. Available in standard 1A drive current and optional 1200mA, 800mA, and 600mA drive currents.

### Electrical

LED drivers are mounted for ease of maintenance. 120-277V 50/60Hz, 347V or 480V 60Hz operation. 480V is compatible for use with 480V Wye systems only. Drivers are provided standard with 0-10V dimming. An optional Eaton proprietary surge protection module is available and designed to withstand 10kV of transient line surge. The Galleon Wall LED luminaire is suitable for operation in -40°C to 40°C ambient environments. For applications with ambient temperatures exceeding 40°C, specify the HA (High Ambient) option. Emergency egress options for -20°C ambient environments and occupancy sensor available.

### Mounting

Gasketed and zinc plated rigid steel mounting attachment fits directly to 4" j-box or wall with the Galleon Wall "Hook-N-Lock" mechanism for quick installation. Secured with two captive corrosion resistant black oxide coated allen head set screws which are concealed but accessible from bottom of fixture.

### Finish

Housing finished in super durable TGIC polyester powder coat paint, 2.5 mil nominal thickness for superior protection against fade and wear. Standard colors include black, bronze, grey, white, dark platinum and graphite metallic. RAL and custom color matches available. Consult the McGraw-Edison Architectural Colors brochure for the complete selection.

### Warranty

Five-year warranty.



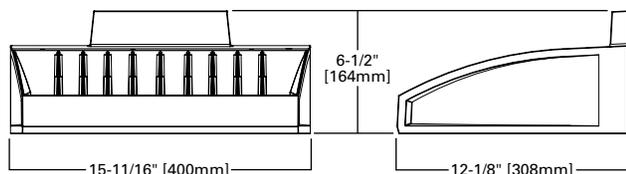
## GWC GALLEON WALL

1-2 Light Squares  
Solid State LED

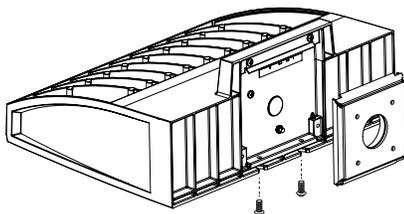
WALL MOUNT LUMINAIRE

WaveLinX

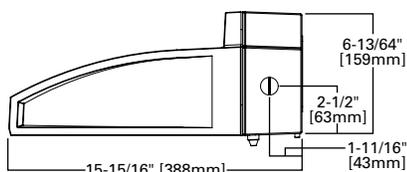
## DIMENSIONS



## HOOK-N-LOCK MOUNTING



## BATTERY BACKUP AND THRU-BRANCH BACK BOX



### CERTIFICATION DATA

UL/cUL Listed  
LM79 / LM80 Compliant  
IP66 Housing  
ISO 9001  
DesignLights Consortium® Qualified\*

### ENERGY DATA

Electronic LED Driver  
>0.9 Power Factor  
<20% Total Harmonic Distortion  
120-277V 50/60Hz  
347V, 480V 60Hz  
-40°C Min. Temperature  
40°C Max. Temperature  
50°C Max. Temperature (HA Option)

### SHIPPING DATA

Approximate Net Weight:  
27 lbs. (12.2 kgs.)

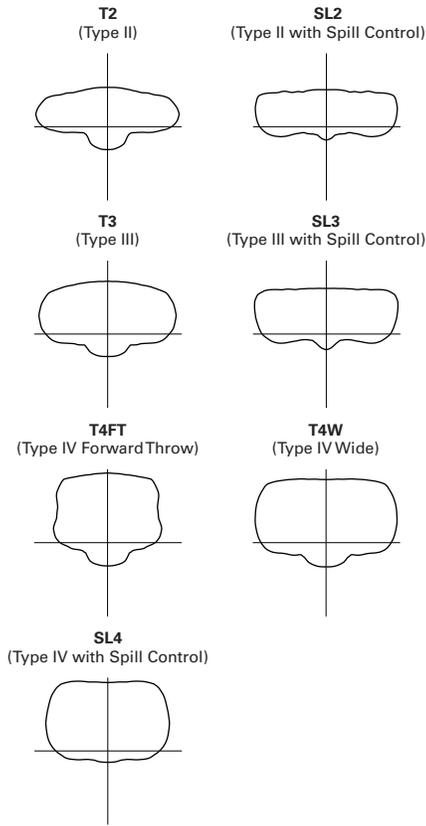
**POWER AND LUMENS**

Number of Light Squares		1				2			
Drive Current		600mA	800mA	1.0A	1.2A	600mA	800mA	1.0A	1.2A
<b>Nominal Power (Watts)</b>		34	44	59	67	66	86	113	129
<b>Input Current @ 120V (A)</b>		0.30	0.39	0.51	0.58	0.58	0.77	1.02	1.16
<b>Input Current @ 208V (A)</b>		0.17	0.22	0.29	0.33	0.34	0.44	0.56	0.63
<b>Input Current @ 240V (A)</b>		0.15	0.19	0.26	0.29	0.30	0.38	0.48	0.55
<b>Input Current @ 277V (A)</b>		0.14	0.17	0.23	0.25	0.28	0.36	0.42	0.48
<b>Input Current @ 347V (mA)</b>		0.11	0.15	0.17	0.20	0.19	0.24	0.32	0.39
<b>Input Current @ 480V (mA)</b>		0.08	0.11	0.14	0.15	0.15	0.18	0.24	0.30
<b>Optics</b>									
<b>T2</b>	4000K/5000K Lumens	4,204	5,156	6,381	7,000	8,215	10,075	12,470	13,680
	3000K Lumens	3,975	4,874	6,033	6,618	7,767	9,525	11,790	12,934
	BUG Rating	B1-U0-G1	B1-U0-G1	B1-U0-G2	B1-U0-G2	B1-U0-G2	B2-U0-G2	B2-U0-G2	B2-U0-G2
<b>T3</b>	4000K/5000K Lumens	4,285	5,256	6,505	7,135	8,375	10,269	12,710	13,943
	3000K Lumens	4,051	4,969	6,150	6,746	7,918	9,710	12,017	13,182
	BUG Rating	B1-U0-G1	B1-U0-G1	B1-U0-G2	B1-U0-G2	B1-U0-G2	B2-U0-G2	B2-U0-G2	B2-U0-G2
<b>T4FT</b>	4000K/5000K Lumens	4,311	5,286	6,542	7,177	8,422	10,329	12,784	14,024
	3000K Lumens	4,075	4,998	6,185	6,786	7,963	9,766	12,086	13,259
	BUG Rating	B1-U0-G1	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G2	B2-U0-G2	B2-U0-G3
<b>T4W</b>	4000K/5000K Lumens	4,254	5,217	6,458	7,084	8,313	10,195	12,619	13,843
	3000K Lumens	4,023	4,933	6,105	6,698	7,860	9,639	11,931	13,088
	BUG Rating	B1-U0-G1	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G2	B2-U0-G2	B2-U0-G2	B2-U0-G3
<b>SL2</b>	4000K/5000K Lumens	4,196	5,147	6,370	6,988	8,202	10,058	12,449	13,656
	3000K Lumens	3,967	4,866	6,022	6,607	7,755	9,509	11,771	12,911
	BUG Rating	B1-U0-G1	B1-U0-G1	B1-U0-G2	B1-U0-G2	B1-U0-G2	B2-U0-G2	B2-U0-G3	B2-U0-G3
<b>SL3</b>	4000K/5000K Lumens	4,284	5,255	6,504	7,134	8,374	10,268	12,709	13,941
	3000K Lumens	3,849	4,720	5,842	6,408	7,520	9,224	11,415	12,523
	BUG Rating	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G3	B1-U0-G3	B1-U0-G3
<b>SL4</b>	4000K/5000K Lumens	4,071	4,992	6,179	6,778	7,954	9,756	12,074	13,246
	3000K Lumens	3,849	4,720	5,842	6,408	7,520	9,224	11,415	12,523
	BUG Rating	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G3	B1-U0-G3	B1-U0-G3
<b>5NQ</b>	4000K/5000K Lumens	4,420	5,420	6,709	7,358	8,637	10,591	13,108	14,380
	3000K Lumens	4,179	5,124	6,343	6,957	8,166	10,013	12,393	13,595
	BUG Rating	B2-U0-G1	B2-U0-G1	B2-U0-G1	B3-U0-G1	B3-U0-G1	B3-U0-G1	B3-U0-G2	B3-U0-G2
<b>5MQ</b>	4000K/5000K Lumens	4,501	5,520	6,831	7,494	8,795	10,786	13,350	14,644
	3000K Lumens	4,256	5,219	6,458	7,085	8,316	10,198	12,622	13,845
	BUG Rating	B3-U0-G1	B3-U0-G1	B3-U0-G1	B3-U0-G1	B3-U0-G2	B3-U0-G2	B4-U0-G2	B4-U0-G2
<b>5WQ</b>	4000K/5000K Lumens	4,513	5,534	6,849	7,514	8,819	10,815	13,385	14,683
	3000K Lumens	4,268	5,232	6,475	7,104	8,338	10,224	12,656	13,882
	BUG Rating	B3-U0-G1	B3-U0-G1	B3-U0-G2	B3-U0-G2	B3-U0-G2	B4-U0-G2	B4-U0-G2	B4-U0-G2
<b>SLL/SLR</b>	4000K/5000K Lumens	3,765	4,619	5,716	6,270	7,358	9,023	11,167	12,251
	3000K Lumens	3,560	4,367	5,404	5,927	6,957	8,531	10,559	11,583
	BUG Rating	B1-U0-G1	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G3	B2-U0-G3
<b>RW</b>	4000K/5000K Lumens	4,379	5,370	6,647	7,293	8,558	10,494	12,989	14,250
	3000K Lumens	4,141	5,077	6,285	6,895	8,092	9,922	12,281	13,473
	BUG Rating	B2-U0-G1	B2-U0-G1	B3-U0-G1	B3-U0-G1	B3-U0-G1	B3-U0-G1	B3-U0-G2	B3-U0-G2

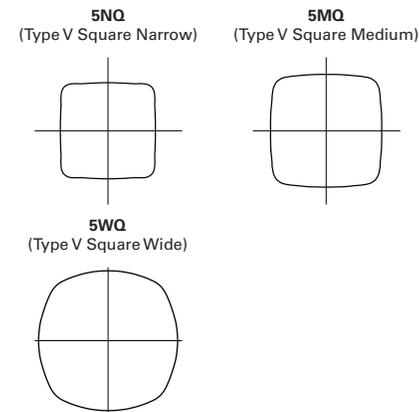
\* Nominal lumen data for 70 CRI. BUG rating for 4000K/5000K. Refer to IES files for 3000K BUG ratings.

**OPTICAL DISTRIBUTIONS**

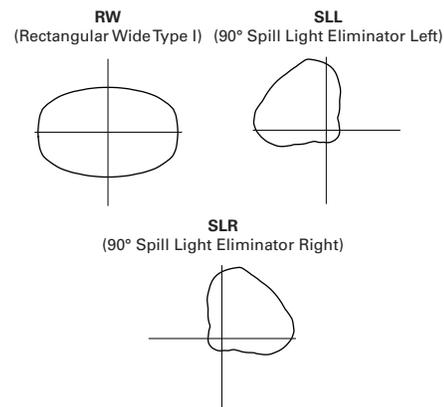
**Asymmetric Area Distributions**



**Symmertric Distributions**

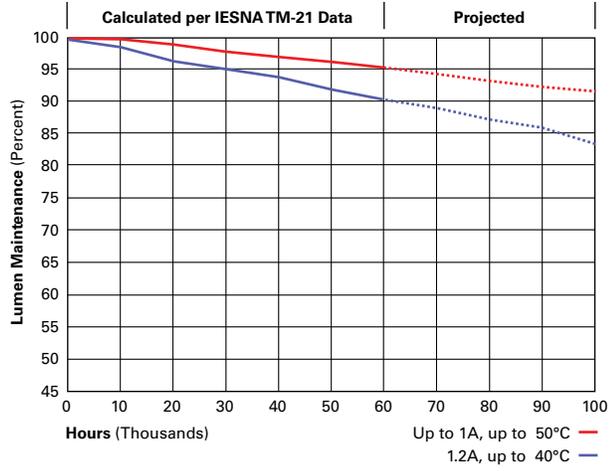


**Specialized Distributions**



**LUMEN MAINTENANCE**

Drive Current	Ambient Temperature	TM-21 Lumen Maintenance (60,000 Hours)	Projected L70 (Hours)
Up to 1A	Up to 50°C	> 95%	> 416,000
1.2A	Up to 40°C	> 90%	> 205,000



**LUMEN MULTIPLIER**

Ambient Temperature	Lumen Multiplier
0°C	1.02
10°C	1.01
25°C	1.00
40°C	0.99
50°C	0.97

CONTROL OPTIONS

0-10V

This fixture is offered standard with 0-10V dimming driver(s). The DIM option provides 0-10V dimming wire leads for use with a lighting control panel or other control method.

Photocontrol (P, R and PER7)

Optional button-type photocontrol (P) and photocontrol receptacles (R and PER7) provide a flexible solution to enable "dusk-to-dawn" lighting by sensing light levels. Advanced control systems compatible with NEMA 7-pin standards can be utilized with the PER7 receptacle.

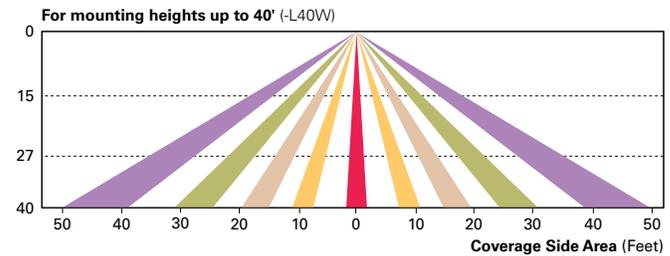
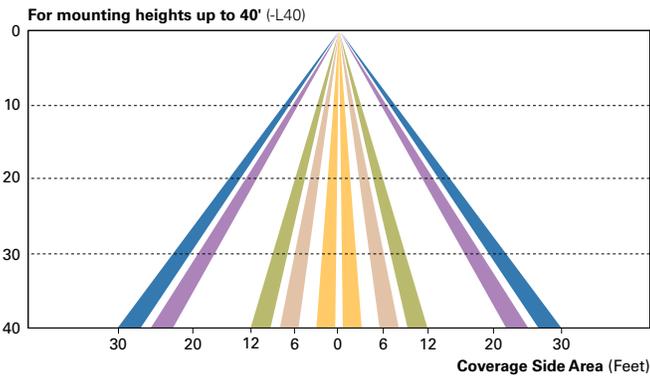
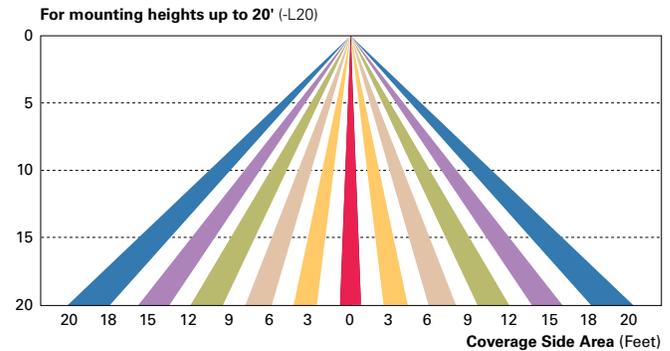
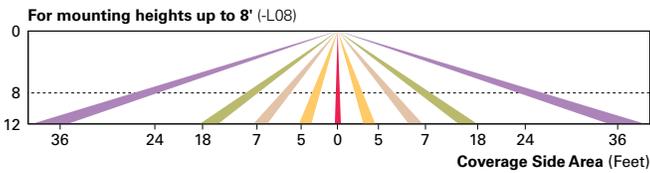
After Hours Dim (AHD)

This feature allows photocontrol-enabled luminaires to achieve additional energy savings by dimming during scheduled portions of the night. The dimming profile will automatically take effect after a "dusk-to-dawn" period has been calculated from the photocontrol input. Specify the desired dimming profile for a simple, factory-shipped dimming solution requiring no external control wiring. Reference the After Hours Dim supplemental guide for additional information.

Dimming Occupancy Sensor (MS/DIM-LXX and MS-LXX)

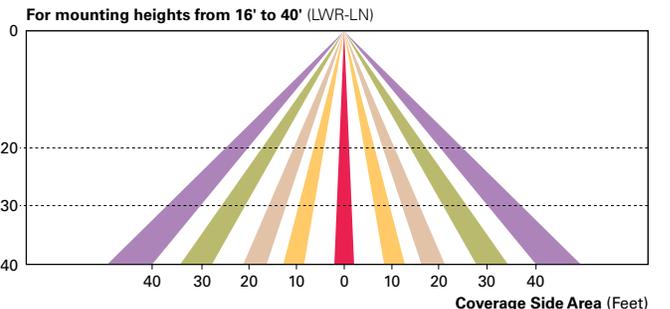
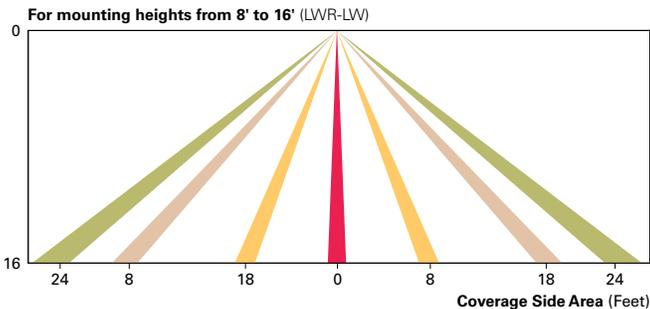
These sensors are factory installed in the luminaire housing. When the MS/DIM-LXX sensor option is selected, the occupancy sensor is connected to a dimming driver and the entire luminaire dims when there is no activity detected. When activity is detected, the luminaire returns to full light output. The MS/DIM sensor is factory preset to dim down to approximately 50 percent power with a time delay of five minutes. The MS-LXX sensor is factory preset to turn the luminaire off after five minutes of no activity. The MS/X-LXX is also preset for five minutes and only controls the specified number of light engines to maintain steady output from the remaining light engines.

These occupancy sensors includes an integral photocell that can be activated with the FSIR-100 accessory for "dusk-to-dawn" control or daylight harvesting - the factory preset is OFF. The FSIR-100 is a wireless tool utilized for changing the dimming level, time delay, sensitivity and other parameters. A variety of sensor lens are available to optimize the coverage pattern for mounting heights from 8'-40'.



LumaWatt Pro Wireless Control and Monitoring System (LWR-LW and LWR-LN)

The Eaton's LumaWatt Pro powered by Enlighted is a connected lighting solution that combines a broad selection of energy-efficient LED luminaires with a powerful integrated wireless sensor system. The sensor controls the lighting system in compliance with the latest energy codes and collects valuable data about building performance and use. Software applications turn the granular data into information through energy dashboards and specialized apps that make it simple and help optimize the use of building resources, beyond lighting.



WaveLinX Wireless Outdoor Lighting Control Module (WOLC-7P-10A)

The 7-pin wireless outdoor lighting control module enables WaveLinX to control outdoor area, site and flood lighting. WaveLinX controls outdoor lighting using schedules to provide ON, OFF and dimming controls based on astronomic or time schedules based on a 7 day week.

**ORDERING INFORMATION**

Sample Number: GWC-AF-02-LED-E1-T3-GM

Product Family <sup>1</sup>	Light Engine	Number of Light Squares <sup>2</sup>	Lamp Type	Voltage	Distribution	Color	Mounting Options
GWC=Galleon Wall	AF=1A Drive Current	01=1 02=2 <sup>3</sup>	LED=Solid State Light Emitting Diodes	E1=120-277V 347=347V <sup>4</sup> 480=480V <sup>4,5</sup>	T2=Type II T3=Type III T4FT=Type IV Forward Throw T4W=Type IV Wide SL2=Type II w/Spill Control SL3=Type III w/Spill Control SL4=Type IV w/Spill Control SLL=90° Spill Light Eliminator Left SLR=90° Spill Light Eliminator Right RW=Rectangular Wide Type I 5NQ=Type V Square Narrow 5MQ=Type V Square Medium 5WQ=Type V Square Wide	AP=Grey BZ=Bronze BK=Black DP=Dark Platinum GM=Graphite Metallic WH=White CC=Custom Color <sup>6</sup>	[BLANK]=Surface Mount
<b>Options (Add as Suffix)</b>					<b>Accessories (Order Separately)</b>		
7027=70 CRI / 2700K <sup>7</sup> 7030=70 CRI / 3000K <sup>7</sup> 8030=80 CRI / 3000K <sup>7</sup> 7050=70 CRI / 5000K <sup>7</sup> 7060=70 CRI / 6000K <sup>7</sup> 600=Drive Current Factory Set to 600mA 800=Drive Current Factory Set to 800mA 1200=Drive Current Factory Set to 1200mA <sup>8</sup> F=Single Fused (120, 277 or 347V. Must Specify Voltage) FF=Double Fused (208, 240 or 480V. Must Specify Voltage) 10K=10kV Surge Module DIM=0-10V Dimming Leads <sup>9,10</sup> DALI=DALI Driver <sup>11</sup> HA=50°C High Ambient <sup>12</sup> UPL=Uplight Housing <sup>13</sup> BBB=Battery Pack with Back Box <sup>3,8,14,27</sup> CWB=Cold Weather Battery Pack with Back Box <sup>3,8,14,27</sup> P=Button Type Photocontrol (120, 208, 240 or 277V. Must Specify Voltage) R=NEMA Twistlock Photocontrol Receptacle PER7=NEMA 7-PIN Twistlock Photocontrol Receptacle <sup>15</sup> AHD145=After Hours Dim, 5 Hours <sup>16</sup> AHD245=After Hours Dim, 6 Hours <sup>16</sup> AHD255=After Hours Dim, 7 Hours <sup>16</sup> AHD355=After Hours Dim, 8 Hours <sup>16</sup> MS-LXX=Motion Sensor for On/Off Operation <sup>17,18,19</sup> MS/DIM-LXX=Motion Sensor for Dimming Operation <sup>17,18,19</sup> LWR-LW=LumaWatt Wireless Sensor, Wide Lens for 8' - 16' Mounting Height <sup>19,20,21</sup> LWR-LN=LumaWatt Wireless Sensor, Narrow Lens for 16' - 40' Mounting Height <sup>19,20,21</sup> L90=Optics Rotated 90° Left R90=Optics Rotated 90° Right MT=Factory Installed Mesh Top LCF=Light Square Trim Plate Painted to Match Housing <sup>22</sup> HSS=Factory Installed House Side Shield <sup>23</sup> CE=CE Marking and Small Terminal Block <sup>24</sup> ZW=WaveLinX-enabled 4-PIN Twistlock Receptacle <sup>29,30</sup> ZW-SWPD4WH=Wavelinx Wireless Sensor, 7' - 15' Mounting Height, White <sup>29,30</sup> ZW-SWPD4BZ=Wavelinx Wireless Sensor, 7' - 15' Mounting Height, Bronze <sup>29,30</sup> ZW-SWPD5WH=Wavelinx Wireless Sensor, 15' - 40' Mounting Height, White <sup>29,30</sup> ZW-SWPD5BZ=Wavelinx Wireless Sensor, 15' - 40' Mounting Height, Bronze <sup>29,30</sup>					OA/RA1013=Photocontrol Shorting Cap OA/RA1016=NEMA Photocontrol - Multi-Tap 105-285V OA/RA1201=NEMA Photocontrol - 347V OA/RA1027=NEMA Photocontrol - 480V MA1252=10kV Circuit Module Replacement MA1059XX=Thru-branch Back Box (Must Specify Color) FSIR-100=Wireless Configuration Tool for Occupancy Sensor <sup>17</sup> LS/HSS=Field Installed House Side Shield <sup>23,25</sup> WOLC-7P-10A=WaveLinX Outdoor Control Module (7-pin) <sup>26,29</sup> SWPD4-WH=Wavelinx Wireless Sensor, 7' - 15' Mounting Height, White <sup>29,30,31</sup> SWPD4-BZ=Wavelinx Wireless Sensor, 7' - 15' Mounting Height, Bronze <sup>29,30,31</sup> SWPD5-WH=Wavelinx Wireless Sensor, 15' - 40' Mounting Height, White <sup>29,30,31</sup> SWPD5-BZ=Wavelinx Wireless Sensor, 15' - 40' Mounting Height, Bronze <sup>29,30,31</sup>		

- NOTES:**
- DesignLight Consortium® Qualified. Refer to www.designlights.org Qualified Products List under Family Models for details.
  - Standard 4000K CCT and minimum 70 CRI.
  - Two light squares with BBB or CWB options limited to 25°C, 120-277V only.
  - Requires the use of a step down transformer. Not available in combination with sensor options at 1200mA.
  - Only for use with 480V Wye systems. Per NEC, not for use with ungrounded systems, impedance grounded systems or corner grounded systems (commonly known as Three Phase Three Wire Delta, Three Phase High Leg Delta and Three Phase Corner Grounded Delta systems).
  - Custom colors are available. Setup charges apply. Paint chip samples required. Extended Lead times apply.
  - Extended lead times apply. Use dedicated IES files when performing layouts.
  - Not available with HA option.
  - Cannot be used with other control options.
  - Low voltage control lead brought out 18" outside fixture.
  - Only available with BBB or CWB in single light square. HA option available for single light square only. Limited to 1A and below.
  - Not available with 1200, UPL, BBB and CWB options. Available for single light square only.
  - Not available with SL2, SL3, SL4, HA, BBB, CWB, R, or PER7 options.
  - Operates a single light square only. Cold weather option operates -20°C to +40°C, standard 0°C to +40°C. Backbox is non-IP rated.
  - Compatible with standard 3-PIN photocontrols, 5-PIN or 7-PIN ANSI controls.
  - Requires the use of P photocontrol or the PER7 or R photocontrol receptacle with photocontrol accessory. See After Hours Dim supplemental guide for additional information.
  - The FSIR-100 configuration tool is required to adjust parameters including high and low modes, sensitivity, time delay, cutoff and more. Consult your lighting representative at Eaton for more information.
  - Replace LXX with the available mounting height options: L08, L20, L40 or L40W are the only choices.
  - Includes integral photosensor.
  - LumaWatt wireless sensors are factory installed requiring network components in appropriate quantities. See www.eaton.com/lighting for LumaWatt application information.
  - Bronze sensor is shipped with Bronze fixtures. White sensor shipped on all other housing color options.
  - Not available with HSS option.
  - Only for use with SL2, SL3 and SL4 distributions. The light square trim plate is painted black when the HSS option is selected.
  - CE is not available with the 1200, DALI, LWR, MS, MS/DIM, P, R or PER7 options. Available in 120-277V only.
  - One required for each light square.
  - Requires PER7.
  - Control option limited to P=Button Type Photocontrol (must specify voltage).
  - Reserved.
  - Cannot be used in conjunction with photocontrol or other controls systems (P, R, MS, LWR).
  - WAC Gateway required to enable field-configurability: Order WAC-PoE and WPOE-120 (10V to PoE injector) power supply if needed.
  - Requires ZW.

# Staff Report

**Author:** Gordon Miner, City Engineer  
**Subject:** Saratoga Town Center – Site Plan  
**Date:** March 26, 2020  
**Type of Item:** Site Plan Approval



SARATOGA  
SPRINGS

## Description:

**A. Topic:** The Applicant has submitted a Site Plan application. Staff has reviewed the submittal and provides the following recommendations.

**B. Background:**

*Applicant:* Ashley Hadfield – JDH Town Center, LLC  
*Request:* Site Plan Approval  
*Location:* 1509 North Commerce Drive  
*Acreege:* 1.12 Acres – 2 Lots

**C. Recommendation:** Staff recommends the approval of Site Plan subject to the following conditions:

1. All review comments and redlines provided by the City Engineer are to be complied with and implemented with the approved construction drawings.
2. Provide a Storm Water Pollution Prevention Plan (SWPPP) following the State template, prior to the pre-construction meeting.
3. Developer must secure water rights as required by the City Engineer, City Attorney, and development code.
4. Provide easements for all public utilities not located in the public right-of-way.
5. Developer is required to ensure that there are no adverse effects to adjacent properties due to the grading practices employed during construction of these plats.
6. Developer may be required by the Saratoga Springs Fire Chief to perform fire flow tests prior to the issuance of certificate of occupancy or prior to the commencement of the warranty period.
7. Submittal of as-built drawings in pdf format to the City Engineer is required prior to acceptance of site improvements and the commencement of the warranty period.
8. The following is a summary of key findings and recommendations of the Traffic

Study:

- a. All study intersections are currently operating at an acceptable LOS during the evening peak hour in existing (2020) background conditions. However, a westbound 95th percentile queue length of approximately 450 feet is anticipated at the Crossroads Boulevard / Redwood Road intersection.
- b. Recommendation: Adjust the signal timing at the Crossroads Boulevard/Redwood Road intersection. With the recent completion of the Mountain View Corridor frontage roads in Saratoga Springs, the need for north-south green time on Redwood Road has decreased slightly. Therefore, green time from the north and south legs could be distributed elsewhere. The development will consist of retail space, restaurants, flex space, and a boxing gym in three buildings. The project is anticipated to generate approximately 167 morning peak hour trips and 168 evening peak hour trips.
- c. Assuming the existing signal timing, the Crossroads Boulevard/Redwood Road intersection is anticipated to operate at a poor LOS during the evening peak hour with project traffic added.
- d. Queueing beyond the existing storage is anticipated at the southbound left-turn lane of the Commerce Drive/Crossroads Boulevard intersection and the westbound left-turn lane of the Commerce Drive/Redwood Road intersection.
- e. Recommendation: That the storage lengths of the southbound left-turn lane of the Commerce Drive/Crossroads Boulevard intersection and the westbound left-turn lane of the Commerce Drive/Redwood Road intersection be extended to 125 feet to fit the 95th percentile queue length. Commerce Drive could be striped as a three-lane roadway with a middle turn lane to accommodate left turns, if desired.
- f. Assuming adjusted signal timing at the Crossroads Boulevard/Redwood Road intersection, it is anticipated that the intersection will operate at LOS D.



# MINUTES – Planning Commission

Thursday, March 12, 2020

City of Saratoga Springs City Offices

1307 North Commerce Drive, Suite 200, Saratoga Springs, Utah 84045

## PLANNING COMMISSION MEETING MINUTES - DRAFT

Call to Order - 6:00 p.m. by Vice Chair Troy Cunningham

**Present:**

- 5 Commission Members: Bryce Anderson, Audrey Barton, Troy Cunningham, Ken Kilgore, Reed Ryan.  
Staff: Mark Christensen, City Manager; Dave Stroud, Planning Director; Conrad Hafen, Assistant City Attorney; Gordon Miner, City Engineer; Nicolette Fike, Deputy Recorder; Jeremy Lapin, Public Works Director.  
Others: Dustin Kuttler

10 1. **Pledge of Allegiance** - led by Troy Cunningham

2. **Roll Call** – A quorum was present

15 3. **Public Input**

**Public Input Open** by Vice Chair Troy Cunningham, receiving no public comments, the Public Input was Closed by Chairman Troy Cunningham.

20 4. **Election of Planning Commission Chair to fill vacancy.**

**Nomination made by Commissioner Kilgore that Commissioner Cunningham be elected as Chair. Seconded by Commissioner Ryan. Aye: Bryce Anderson, Audrey Barton Troy Cunningham, Ken Kilgore, Reed Ryan. Motion passed 5 - 0.**

25 **Nomination made by Commissioner Cunningham that Commissioner Kilgore be elected as Vice Chair. Seconded by Commissioner Barton. Aye: Bryce Anderson, Audrey Barton Troy Cunningham, Ken Kilgore, Reed Ryan. Motion passed 5 - 0.**

30 5. **Continued Item: Public Hearing – Code Amendment for Title 18.06 – Storm Water Regulations, City initiated.** - Item 5 was moved to later in the meeting.

35 6. **Public Hearing: General Plan Amendment and Rezone from Agriculture to Regional Commercial and Office Warehouse for the Farley Property located East of Redwood Rd. and Harvest Blvd. Dustin Kuttler, applicant.**

Planning Director Dave Stroud presented the item. The subject property is an un-platted, undeveloped. The applicant would like to develop the property into three lots, proposing office warehouse buildings on the rear lot, leaving the remaining two lots along Redwood Road available for future commercial development.

40 Dustin Kuttler was present as applicant. He noted that on the back of the warehouse area, they don't show anything now due to recent Code changes. They are working on new concept plans. They hope to open the area that fronts Redwood Road for increased visibility to the back parcel.

45 **Public Hearing Open** by Chairman Cunningham, receiving no public comments, the Public Hearing was Closed by Chairman Troy Cunningham.

Commissioner Kilgore

- 50 - Asked if they were aware of Lehi's plan adjacent to this property. Planning Director Dave Stroud responded that he believed it was going to Edge Homes for residential. Dustin Kuttler responded that the Slope behind was very steep and there would be little visibility from there to the other side of the canal.  
- Overall he likes the Site plan.

55 Motion made by Commissioner Ryan to forward to the City Council a positive recommendation regarding Farley Property General Plan land use map amendment and Rezone generally located on the Eastside of Redwood Road and Harvest Hills Blvd as outlined in Exhibit 1 with the findings and conditions in the staff report dated March 12, 2020. Seconded by Commissioner Barton. Aye: Bryce Anderson, Audrey Barton Troy Cunningham, Ken Kilgore, Reed Ryan. Motion passed 5 - 0.

60 **Item #5 - Continued Item: Public Hearing – Code Amendment for Title 18.06 – Storm Water Regulations, City initiated.**

Public Works Director Jeremy Lapin presented the item. The City is required to regulate on-site storm water management facilities to ensure best practices. This will be tied to the business license process. This is now part of the development process. They will also work with current businesses to get a plan in place.

65 **Public Hearing Open** by Chairman Cunningham, receiving no public comments, the Public Hearing was Closed by Chairman Troy Cunningham.

Commissioner Kilgore

- 70 - Received clarification on some points. Public Works Director Jeremy Lapin noted that this language is similar to most of the cities in Utah as standard language was provided from a template.  
- In response to question about corrective action, Public Works Director Jeremy Lapin explained that not everything is subject to a business license such as a club house, but they need a way to still have them comply with the standards. The City can be fined if places are found to be out of compliance.

Commissioner Anderson

- 75 - Asked about fees for City assisting program. Public Works Director Jeremy Lapin responded it would probably be a pass-through fee, they have reached out to a few companies that do this. Inspecting large business would be more time intensive than a small business. Staff is still working to finalize the plan. He is not aware of other cities offering to do this service. The law requires the City to audit a site every 5 years. It is optional for ta business to ask the City for help.

Commissioner Barton

- 80 - Asked if there had been concerns from businesses around here. Public Works Director Jeremy Lapin replied they sent out a letter previously to ask businesses to comply and there was some response, it was at that time the City realized they needed to make sure it was in the code. Typically they meet businesses onsite to answer questions and explain anything that needs addressed. They have templates than can be used. Most of the community understands the need to take care of the water system. It has been a little more difficult when an owner has several lessees.

Commissioner Ryan

- 90 - Noted it seemed a lot of wording was shifting from City Engineer to City Public Works. Public Works Director Jeremy Lapin advised that every city does it a little different. They tried to keep technical and administrative things more with City Engineer and physical work with Public Works.

95 Motion made by Commissioner Anderson to recommend Approval to the City Council for the updates to the Title 18.06 - Storm Water Regulations, to ensure compliance with all State (UPDES) and Federal (NPDES) regulations. Seconded by Commissioner Kilgore. Aye: Bryce Anderson, Audrey Barton Troy Cunningham, Ken Kilgore, Reed Ryan. Motion passed 5 - 0.

- 100 7. **Public Hearing: Public Hearing: Code amendment for Title 19.10, Hillside Development, City Initiated.** - Item asked to be continued to a future meeting.

105 Motion made by Commissioner Kilgore to continue the item: Code amendment for Title 19.10, Hillside Development, to a future meeting. Seconded by Commissioner Ryan. Aye: Bryce Anderson, Audrey Barton Troy Cunningham, Ken Kilgore, Reed Ryan. Motion passed 5 - 0.

8. **Approval of Minutes: February 27, 2020**

Motion made by Commissioner Barton to approve the minutes of February 27, 2020. Seconded by Commissioner Anderson. Aye: Bryce Anderson, Audrey Barton Troy Cunningham, Ken Kilgore, Reed Ryan. Motion passed 5 - 0.

110

9. **Reports of Action.** – No Reports were needed.

10. **Commission Comments.**

115 Commissioner Kilgore expressed thanks to past Commissioner Chapman for his service. All commissioners indicated their agreement.

11. **Director’s Report.** – Planning Director Dave Stroud advised of upcoming agenda items.

120 12. **Possible motion to enter into closed session** – No closed session was held.

13. **Meeting Adjourned Without Objection at 6:35 p.m. by Chairman Troy Cunningham.**

125

\_\_\_\_\_

Date of Approval

\_\_\_\_\_

Planning Commission Chair

130

\_\_\_\_\_

Deputy City Recorder

DRAFT



# MINUTES – Planning Commission

Thursday, March 26, 2020

City of Saratoga Springs City Offices

1307 North Commerce Drive, Suite 200, Saratoga Springs, Utah 84045

## PLANNING COMMISSION MEETING MINUTES

Call to Order - 6:00 p.m. by Chairman Troy Cunningham

**Present:** - Via video conferencing

5 Commission Members: Bryce Anderson, Audrey Barton, Troy Cunningham, Ken Kilgore, Reed Ryan, Josh Wagstaff.

Staff: Dave Stroud, Planning Director; Conrad Hafen, Assistant City Attorney; Gordon Miner, City Engineer; Nicolette Fike, Deputy Recorder; David Johnson, Economic Development Director.

Others: Jason Rickards, Ashley Hadfield, Jared Osmond, Mike Glauser

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1. **Pledge of Allegiance** - led by Troy Cunningham

2. **Roll Call** – A quorum was present

15

3. **Public Input** – No public input was received.

4. **Public Hearing: Rezone from Agriculture to Mixed Use for River View Plaza & Townhomes, located at 1080 N. Redwood Rd. Jared Osmond, applicant.**

20

Planning Director Dave Stroud presented the item. The applicant requests the City rezone 9+ acres of property from Agricultural to Mixed Use. The applicant also requests non-binding feedback on the proposed Riverview Plaza and townhomes concept development. Jared Osmond was present electronically to answer any questions. They are excited to do this and think the project will be good.

25

Public Hearing Opened by Chairman Troy Cunningham. Planning Director Dave Stroud noted that a Resident from Lehi called and asked for additional information from him, they had no public comment. The public hearing was closed by the Chair.

Commissioner Barton

30

- Thought it looked good. She asked the applicant about potential businesses to occupy the spaces. Jared Osmond replied that he does have several business interested in coming in. He noted the Townhomes/Condos near the river will have a cohesive feel to the retail.

- Asked if they would be building both condos and townhomes Jared responded that they are dealing with some issues such as wetlands. To make it work they are proposing stacking spacious townhouse/condo products. He noted they would be beautiful and luxurious.

35

Commissioner Anderson

- Inquired if there was an idea of what will go between here and Dalmore Meadows? Planning Director Dave Stroud responded that there are no plans at the moment. The zone currently is Mixed Waterfront.

40

Commissioners Kilgore, Ryan, Wagstaff, and Cunningham all thought the concept looked good and had no further comments.

**Motion made by Commissioner Kilgore to forward to the City Council a positive recommendation regarding the Riverview Plaza and Townhomes rezone generally at 1080 North Redwood Road as outlined in Exhibit 1 with the findings and conditions in the staff report dated March 19, 2020. Seconded by Commissioner Ryan. Aye: Bryce Anderson, Audrey Barton, Troy Cunningham, Ken Kilgore, Reed Ryan, Josh Wagstaff. Motion passed 7 - 0.**

45

50

5. **Public Hearing: Code Amendments for Title 19.16, Site Design Standards, City initiated.**

Planning Director Dave Stroud presented the item, the proposed changes will amend the existing standard that regulates when loading bay doors are prohibited or permitted when adjacent to a public right-of-way. He noted changes that had been made by staff after input had been received from developers and further discussion with staff; which is striking the phrase “and is not a corner lot,”

Public Hearing Opened by Chairman Troy Cunningham.

Jason Rickards of JDH Development LLC. Requested they remove the language referring to corner lots. He felt the original proposed language would exclude loading docks on warehouse buildings located on corner lots. The public hearing was closed by Chairman Troy Cunningham.

Commissioner Kilgore

- Received clarification from Staff that it was an exception only to that one subsection of code.
- He asked how staff felt about the suggested change from JDH. Planning Director Dave Stroud replied staff was ok with the change.

Commissioner Ryan

- Felt it was a good compromise on the change.

Commissioner Cunningham

- Wanted to make sure we weren't discouraging businesses with this. Staff advised it should be more accommodating.

**Motion made by Commissioner Barton that based upon the evidence and explanations received today, I move to forward a positive recommendation to the City Council for the proposed amendment to Title 19 with the findings and conditions in the staff report dated March 19, 2020, and as presented during the meeting. Seconded by Commissioner Anderson. Aye: Bryce Anderson, Audrey Barton, Troy Cunningham, Ken Kilgore, Reed Ryan, Josh Wagstaff. Motion passed 6 - 0.**

6. **Business Item: Site Plan for Mountain Sunrise Academy located at 1802 E. 145 N., Boyer MSA, L.C. as applicant.**

Planning Director Dave Stroud presented the plans. The request is for site plan approval for Mountain Sunrise Academy Charter School in the Intuitional/Civic zone. The site plan includes a building footprint of 26,127 square feet with outdoor play areas, 101 parking stalls, and associated landscaping. Mike Glauser was present electronically for applicant. They are excited for the school. It is already fully enrolled and the neighborhoods are happy to have it near them.

Commissioner Kilgore

- Received clarification from Planning Director Dave Stroud on items that would be safety issues that the City could regulate.
- Received confirmation from the applicant that they would comply with the conditions from City Staff.

Commissioner Anderson

- Asked if staff had any concerns with parking. He noted that Parking is often a challenge at schools. Planning Director Dave Stroud advised staff and public safety were ok with how it was configured.

Commissioner Barton

- Asked what grades would be included as older students may need additional parking. Mike Glauser responded that it would be K-8.

Commissioner Ryan

- Appreciates the proposal and work staff has done.

Commissioner Wagstaff

- Wanted to make sure they have looked at the road widening in the future. Mike responded they have planned for that in the future.

110 Commissioner Cunningham  
- Asked about lighting fixtures, it notes they should have an arm and bell shape but the light design does not match. Planning Director Dave Stroud advised that he had that concern also, but it is something we cannot regulate with the school.

115 Motion made by Commissioner Kilgore to approve the proposed site plan of the Mountain Sunrise Academy Charter School, located at approximately 1800 East 145 North, with the Findings and Conditions in the staff report. Seconded by Commissioner Anderson. Aye: Bryce Anderson, Audrey Barton, Troy Cunningham, Ken Kilgore, Reed Ryan, Josh Wagstaff. Motion passed 6 - 0.

120 7. **Business Item: Site Plan for Saratoga Towne Center located at 1509 N. Commerce Dr. JDH Town Center, LLC as applicant.**

Item presented by Planning Director Dave Stroud. The applicant requests review and approval of the proposed site plan to locate a retail building with three attached units in the RC zone. Ashley Hadfield was present electronically for applicant. She added they are excited to begin development.

125 Commissioner Kilgore  
- Received confirmation from the applicant that they would comply with the conditions from City Staff.  
- Noted a minor typo where deciduous should probably be evergreen.

130 Commissioner Ryan  
- Asked if it was concerning with City staff that walkway lighting was sufficient. Planning Director Dave Stroud responded that it was not a concern, he thought there were street lights on the south side already.

135 Commissioner Cunningham  
- Also had comments on lighting. Planning Director Dave Stroud noted the presentation was updated with the correct light, but the staff report in the packet had not been.

140 Motion made by Commissioner Anderson to approve the proposed site plan of the Saratoga Town Center Retail Building at 1509 North Commerce Drive in the RC zone with the findings and conditions in the staff report and as presented during the meeting. Seconded by Commissioner Wagstaff. Aye: Bryce Anderson, Audrey Barton, Troy Cunningham, Ken Kilgore, Reed Ryan, Josh Wagstaff. Motion passed 6 - 0.

145 8. **Approval of Minutes: March 12, 2020**

Motion made by Commissioner Ryan to approve the minutes of March 12, 2020. Seconded by Commissioner Barton Aye: Bryce Anderson, Audrey Barton, Troy Cunningham, Ken Kilgore, Reed Ryan, Josh Wagstaff. Motion passed 6 - 0.

150 9. **Reports of Action.** – No Reports were needed.

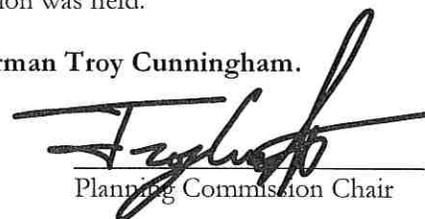
10. **Commission Comments.**

155 11. **Director's Report.** – Planning Director Dave Stroud advised of upcoming agenda items.

12. **Possible motion to enter into closed session** – No closed session was held.

13. **Meeting Adjourned Without Objection at 6:43 p.m. by Chairman Troy Cunningham.**

160 4/23/2020  
Date of Approval

  
Planning Commission Chair

165 Mutt Hill  
Deputy City Recorder

