



Planning Commission Meeting
Thursday, May 14, 2015
Meeting held at the Saratoga Springs City Offices
1307 North Commerce Drive, Suite 200, Saratoga Springs

AGENDA

One or more members of the Commission may participate electronically in this meeting.

Regular Session commencing at 6:30 P.M.

1. Pledge of Allegiance.
2. Roll Call.
3. Public Input – Time has been set aside for any person to express ideas, concerns, comments, questions or issues that are not listed on the agenda. Comments are limited to three minutes.
4. Public Hearing and Possible Recommendation: Site Plan for AutoZone located at 1536 North Redwood Road, Colby Anderson, applicant. Presented by Scott Langford.
5. Public Hearing and Possible Recommendation: Preliminary Plat for Crossroads Ranchettes located at 1547 North Redwood Road, Thomas Davis, applicant. Presented by Scott Langford.
6. Public Hearing and Possible Recommendation: Amendments to the Community Plan for Legacy Farms located at approximately 400 South and Redwood Road, DR Horton, applicant. Presented by Kimber Gabryszak.
7. Approval of Minutes:
 1. April 9, 2015.
8. Reports of Action.
9. Commission Comments.
10. Director's Report:
 - Council Actions
 - Applications and Approval
 - Upcoming Agendas
 - Other
11. Adjourn.

*Public comments are limited to three minutes. Please limit repetitive comments.

In compliance with the Americans with Disabilities Act, individuals needing special accommodations (including auxiliary communicative aids and services) during this meeting should notify the City Recorder at 766-9793 at least one day prior to the meeting.



Site Plan

Autozone

May 14, 2015

Public Hearing

Report Date:	May 7, 2015
Applicant/Owner:	Autozone Development Corp. (Michelle Williams / Colby Anderson)
Location:	1536 N. Redwood Road
Major Street Access:	Commerce Drive
Parcel Number(s) & Size:	66:387:0003 / 0.95 acres
Parcel Zoning:	RC, Regional Commercial
Adjacent Zoning:	RC
Current Use of Parcel:	Undeveloped
Adjacent Uses:	Closest developments: Kneaders and Greenwood Dental Offices
Previous Meetings:	Concept Master Plan with PC 6/19/2012, with CC 7/17/2012
Previous Approvals:	Concept Plan for master development 7/17/2012
Type of Action:	Administrative
Land Use Authority:	City Council
Future Routing:	City Council
Author:	Scott Langford, Senior Planner

A. Executive Summary:

This is a request for review of a Site Plan for Autozone, to be located at approximately 1536 North Redwood Road. The attached plans include the site plan, landscape plans and architecture or the proposed commercial business. Staff is currently reviewing a separate Lot Line Adjustment for the southern property line.

Recommendation:

Staff recommends that the Planning Commission conduct a public hearing, take public comment and discuss the proposed Site Plan and choose from the options in Section "H" of this report. Options include forwarding a positive recommendation with conditions to the City Council, continuing the application, or recommending denial to the City Council.

B. Background:

On July 17, 2012 the City Council approved a master concept plan (Saratoga Springs Towne Center) which included the subject site ([see attached](#)). The proposed site plan for Autozone substantially conforms to the overall master plan.

C. Specific Request:

The proposed Site Plan includes a 7,372 square foot Autozone store and associated parking and landscaping. This is a request for approval of the proposed Site Plan application.

Staff is also concurrently reviewing a Lot Line Adjustment that will be processed administratively. The Lot Line Adjustment application was submitted by the master developer of the commercial development, not Autozone. The master developer has requested the Lot Line Adjustment for two reasons; 1) Autozone does not need the full area of the existing lot, and 2) a larger lot between Autozone and Kneaders will be more commercially viable for future uses.

D. Process:

Section 19.13.04 and Section 19.15.03 of the Land Development Code states that Site Plans require City Council approval after the Planning Commission holds a public hearing and forwards a recommendation.

The Code also requires the applicant to hold a neighborhood meeting for any non-residential development proposal adjacent to developed property in a residential zone. *This project is not adjacent to a residential zone.*

E. Community Review:

Per 19.13.04 of the City Code, this item has been noticed in *The Daily Herald*, and each property owner within 300 feet of the subject property was sent a notice at least ten calendar days prior to this meeting. As of the completion of this report, no public comment has been received.

F. General Plan:

The Land Use Map of the General Plan designates this property for Regional Commercial uses. The Land Use Element of the General Plan states "Regional Commercial areas shall be characterized by a variety of retail users including big box retail configured in developments that provide excellent vehicular access to and from major transportation facilities. Developments located in Regional Commercial areas shall be designed so as to create efficient, functional conglomerations of commercial activities."

The proposed commercial retail use substantially complies with the purpose and intent of the Regional Commercial land use designation.

G. Code Criteria:

The requirements for the RC zone are outlined in Section 19.04.22. The parking requirements are in Chapter 19.09, and the Site Plan requirements are in Chapter 19.14. Pertinent sections of these Chapters and sections are reviewed below.

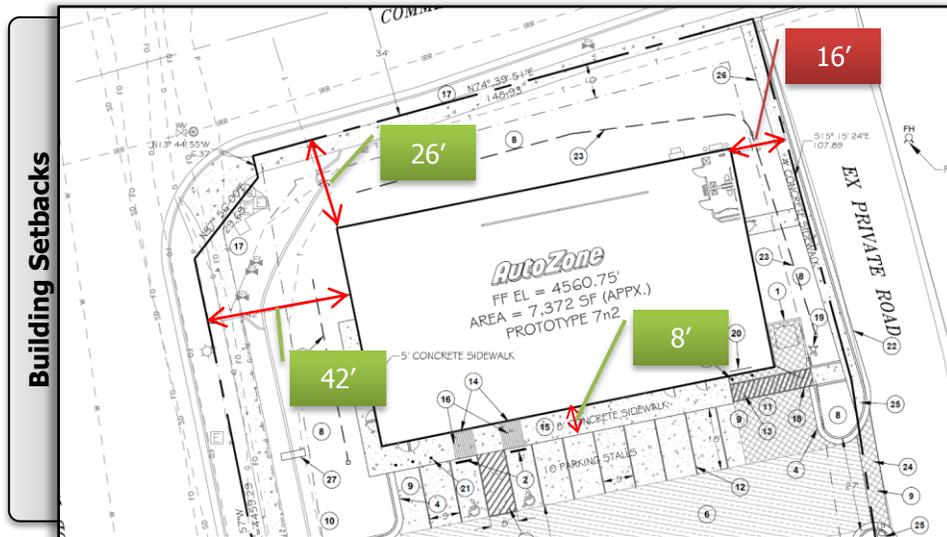
Urban Design Committee Review: complies. Section 19.14.04 requires the Urban Design Committee to review site plans prior to the first Planning Commission or City Council meeting. The Urban Design Committee reviewed the proposed site plan and elevations on April 2, 2015 and recommended approval with the following recommendations:

- Add trellis on the south building elevation; **change made**
- Enhance the building color by adding red accent to proposed band; **change made**
- Relocate the wall sign on the north building elevation to center of accent parapet like the other elevations; **change made**
- Provide bike parking near the building entrance; **change made**
- Paint the roll up door to match main building color; **change made**
- Place stone on the monument sign base and the dumpster enclosure to tie these features in with the building; **changes made**
- Provide colored concrete paths where all pedestrian crossings occur; **changes made**

Permitted or Conditional Uses: complies. Section 19.04.07 lists all of the permitted and conditional uses allowed in the RC zone. The proposed Autozone store is classified as "Retail, Specialty" and as such is a permitted use in the RC zone. The definition in Chapter 19.02 states "Retail, Specialty" means retail operations that specialize in one type or line of merchandise; and may include apparel stores, jewelry stores, bookstores, shoe stores, stationary stores, antique stores, and similar establishments.

Minimum Lot Sizes: complies. The minimum lot size in the RC zone is 20,000 square feet. The proposed project site is 34,740 square feet (after the lot line adjustment).

Setbacks and Yard Requirements: Section 19.04.22 outlines the setbacks required by the RC zone. The front of the building is facing West Commerce Drive. The setback requirements are reviewed below, with the actual proposed setbacks shown on the following exhibit.



Front: complies. Not less than twenty feet is required. *The front of the building (west) is facing Redwood Road and the plans indicate a front setback of 42 feet.*

Sides: complies. Twenty feet is required when adjacent to RC zones. The City Council may reduce one setback down to ten feet if in its judgment the reduction provides a more attractive and efficient use of the property (19.04.22.5). *The applicant is requesting a 16 foot side yard setback along the East property line. This request was discussed during the concept plan review and was supported by staff and the UDC because the West building elevation is adjacent to an internal private road that provides access to the commercial development.*

Rear: complies. The RC zone requires a 20 foot rear setback; *the plans indicate a rear setback of 310 feet.* If the property is adjacent to a residential or agricultural zone the setback shall be 30 feet. *However, the property is not adjacent to an agricultural or residential zone.* If the rear of the building faces a collector or arterial street, the setback shall be 40 feet. *The applicant has addressed the north elevation as the front elevation; therefore the rear elevation faces the parking lot and is not facing a collector or arterial street.*

Exceptions: complies. The City Council may reduce no more than one setback requirement by up to ten feet if in its judgment the reduction provides a more attractive and efficient use of the property. *The applicant has only made one request for a 4 foot setback reduction, from 20 feet down to 16 feet (East property line).*

Other General Requirements: complies. In addition to the specific setback requirements noted above, no building shall be closer than five feet from any private road, driveway, or parking space. The intent of this requirement is to provide for building foundation landscaping and to provide protection to the building. Exceptions may be made for any part of the building that may contain an approved drive-up window. *The plans indicate that the building is at least eight feet from private roads, driveways, and parking spaces.*

Structure Height: complies. No structure in this zone shall be taller than 50 feet. *Building elevations are attached and the main building is approximately 21 feet tall, with the decorative parapet walls at approximately 24 feet.*

Maximum Lot Coverage: complies. The maximum lot coverage in this zone is fifty percent. *The proposed site is 34,740 square feet. The proposed building footprint is 7,372 square feet, which is 21.2% of the site.*

Minimum Building Size: complies. Individual structures within this zone shall be a minimum of 1,000 square feet above grade. *The proposed building is 7,372 square feet.*

Development Standards: The following development standards shall apply to the Regional Commercial Zone:

- a. Architectural Review. The Planning Commission shall review the Site Plan and building elevations. The Planning Commission may offer recommendations for Architectural design of buildings and structures to assure compatibility with adjacent development and the vision of the Land Use Element of the General Plan.

Finding: complies. The proposed elevations are attached for review by the Planning Commission. Staff and the UDC have reviewed the proposed elevations and find that the proposed building architecture is compatible (both in design and materials) with the existing buildings in the area.

- b. Landscaping.
 - i. Required front yard areas, and other yard areas facing a public street, shall have a landscaped area of not less than twenty feet (or as reduced in Subsection 5.b. above) as approved through the Site Plan review process.
 - ii. There shall be a minimum of ten feet of landscaping between parking areas and side or rear property lines adjacent to agricultural and residential land uses.
 - iii. All landscaping shall be completed in accordance with the approved Site Plan and shall be installed prior to the issuance of a Certificate of Occupancy for the building.
 - iv. The Building Official may approve exceptions as seasonal conditions warrant.

Finding: complies. The proposed landscape plans are attached and indicate compliance with i. and ii. The landscaping will be inspected by the Planning Department for compliance with the approved landscape plans prior to issuance of a certificate of occupancy. The site is expected to be improved during the summer and/or early fall; thus, seasonal exceptions should not be necessary.

Uses Within Buildings: complies. This section requires all uses to be conducted entirely within an enclosed building except for those deemed by the City Council to be customarily and appropriately conducted outside such as automobile refueling stations and gas pumps. *No outdoor uses are proposed.*

Trash storage: can comply. Section 19.14.04 requires trash storage areas to be comparable with the proposed building and surrounding structures. *The trash enclosure is adjacent to the southeast corner of the building and will be faced with the same cultured stone veneer as used on the building to architecturally tie this element in with the main building.*

Buffering/Screening Requirements: complies. This section requires fencing or landscaping to buffer uses in the RC zone that abut Agricultural or residential uses. *There are not any abutting agricultural or residential uses.* This section also requires a minimum number of both deciduous and evergreen trees. *Landscape requirements are reviewed later in this report.*

Landscaping Requirements: complies. Twenty percent of the total project area is required to be landscaped and all sensitive lands shall be protected. *The plans indicate 28.2% (9,811 sqft.) of the site will be landscaped and there are not any sensitive lands in the project area.*

The following table is a comparison of required landscaping compared to what is shown on the landscape plan.

	Deciduous Trees (size)	Evergreen Trees (size)	Shrubs (size)	Minimum Turf Coverage (area)
Required	6 (2" caliper)	4 (6' tall)	19 (5 gallon)	35% (3,434 sqft.)
Provided	15 (2.5" caliper)	4 (6' tall)	39 (5 gallon)	47.3% (4,644 sqft.)

In addition to the onsite landscaping provided by this development, the parkstrip surrounding this site has already been installed and is actively maintained by the master developer of the commercial/office center.

Sensitive Lands: complies. Sensitive lands shall not be included in the base acreage when calculating the number of ERUs permitted in any development. Sensitive lands shall be included in protected landscaping. *This site does not have any sensitive lands as the detention basin needed to serve this property has been placed under the parking lot. The RC zone does not stipulate a permitted number of ERU's per acre.*

Parking: complies. Section 19.09.11 requires four stalls per 1,000 square feet for specialty retail resulting in a requirement of 30 stalls; *the plans indicate that 39 parking stalls will be provided.*

Landscaping in Parking Areas: complies. Section 19.09.08 regulates landscaping in parking areas and requires:

- When parking is adjacent to public streets a landscape berm that is 10 feet wide is required. *The parking in this project is adjacent to Redwood Road; however the existing retaining wall and associated landscaping provides 14 -15 feet of landscaping/screening between the parking lot and the sidewalk running along Redwood Road.*
- 6" high Curbs are required between paved surfaces and parking areas and have been provided. Please note that curb and gutter on the south end of the development is not provided in order to preserve the integrity of the overall master plan which was to continue the parking lot to support a future commercial building to the south (see the [Saratoga Towne Center Master Plan](#) attached to this report).
- At intersections of streets, driveways, and sidewalks all landscaping shall be limited to a height of three feet. The grade at intersections shall not be bermed for a distance of 30 feet at intersections and 15 feet and driveways. *The clear sight requirements have been addressed.*
- All landscape boundary strips shall be a minimum of eight feet in width. *The landscape boundary strips comply.*

- A landscaped screen, berm, or fence may be required by the City Council around the perimeter to mitigate light intrusion from headlights. *The surrounding uses are commercial uses and screening is not required; however the existing retaining wall along the west side of the site provides significant vehicle headlight screening from the site to Redwood Road.*
- Required landscape islands shall be equal to the size of a parking stall. *The plans comply with this requirement.*

Parking Lot Lighting: complies. Section 19.11.05 outlines design requirements for lighting. The lighting plans indicate the City’s commercial standard which complies with the design requirements.

Signage Review: The applicant is requesting 4 wall signs (one sign per elevation) and one monument sign.

Wall Sign Sizes: complies. The applicant has shown 4 identically sized wall signs, one for each of the four sides of the building. These signs are 54.25 square feet in size and have a total letter height of 3 feet, which for a 7,372 square foot building meets the requirements of the code.

Section 19.18.08(3e) states, “The maximum permitted area for any wall sign shall be one square foot for every lineal foot of width of the building face to which the sign is attached.” The North/South (115 lineal feet) and East/West (64 lineal feet) elevations allow the proposed 54.25 square foot signs.

Wall signs: Third and Fourth wall signs requested. A third and fourth wall sign are requested on the building. Section 19.18.08 states that for wall signs, “The total number of wall signs shall not exceed two unless otherwise approved through the site plan process for new projects.”

For third and fourth wall signs, these signs must be located on elevations which face a public or private street or a non-residential parking lot. These signs are not allowed on elevations which face undeveloped property, service alleys or driveways, or separate residential areas not included with a planned area. *The proposed signs comply with these requirements.*

Monument Sign: complies.

- i. **Number and Spacing.** One monument sign shall be allowed for each frontage in excess of fifty feet a site has on a public street. Monument signs must be separated by a minimum distance of 100 feet as measured diagonally across the property. In addition, monument signs shall be no closer than 100 feet to any other ground sign located on the same frontage. *The applicant is requesting one monument sign along the frontage of Redwood Road, which after the lot line adjustment will be approximately 185 feet. This sign is located approximately 344 feet from the closest other ground sign (Kneaders).*
- ii. **Size and Height.** Monument signs shall not exceed seven feet, six inches (7'-6") in height. The area of the sign face shall not exceed forty-five square feet. *The proposed total height of the sign is 7'6" and the size of the sign is 28.88 square feet.*
- iii. **Design.** Monument signs shall be constructed of materials and colors that match the building being advertised. The base of the sign shall be at least two feet in height and be finished with building materials to match the building. The base of the sign shall run the entire horizontal length of the sign and shall contain no

sign copy. Changeable copy may be incorporated into the area of the sign face; however, it may not exceed fifty percent of this area. A protective cover is required over the portion of a sign which includes changeable copy. *The proposed monument sign incorporates the same materials and colors as the main building.*

- iv. **Illumination.** Monument signs may be either internally or externally illuminated. These requirements are listed in the general sign standards within Subsection 19.18.06(5). *The sign will be internally lit.*
- v. **Landscaping.** The base of all permanent ground signs shall include appropriate landscaping. These requirements are listed in the general sign standards within Subsection 19.18.06.(3)(c). *The monument sign will be placed in an area with existing landscaping and retaining wall. This area will be restored to its existing condition upon completion of construction.*

H. Recommendation and Alternatives:

After evaluating the required standards for developments in the RC zone, staff recommends that the Planning Commission conduct a public hearing and make the following motion:

Recommended Motion:

"Based upon the evidence and explanations received today, I move that the Planning Commission forward a positive recommendation to the City Council for approval of the Autozone Site Plan on property located at 1536 N. Redwood Road, with the findings and conditions below:

Findings:

1. The proposed site plan is consistent with the General Plan as explained in the findings in Section "F" of this report, which findings are incorporated herein by this reference.
2. The proposed site plan meets or can conditionally meet all the requirements in the Land Development Code as explained in the findings in Section "G" of this report, which findings are incorporated herein by this reference.
3. The proposed wall signs face East Commerce Drive, the drive isles within the site, Redwood Road and current and future commercial uses shown on the Saratoga Towne Center development.

Conditions:

1. That all requirements of the City Engineer be met, including those listed in the attached staff report.
2. That all requirements of the Fire Chief be met.
3. Third and fourth wall signs are [approved as proposed / not approved.]
4. The east side yard setback may be reduced from 20 feet to 16 feet.
5. For parking lot lighting, the City standard is proposed. The City standard or equivalent is required.
6. Per Section 19.14.03, a Lot Line Adjustment matching the new lot line shown on the site plan shall be approved prior to building occupancy to ensure that the entire site is built upon.
7. Any other conditions as articulated by the Planning Commission:

Alternative Motions:

Alternative Motion A – Continuance

"I move to **continue** the item to another meeting, with direction to the applicant and Staff on information and/or changes needed to render a decision as to whether the application meets the requirements of City ordinances, as follows:

Alternative Motion B – Negative

“Based upon the evidence and explanations received today and the following findings, I move that the Planning Commission forward a negative recommendation to the City Council to deny the Autozone Site Plan on property located at 1536 N. Redwood Road. I find that the application does not meet the requirements of City ordinances as more specifically stated below.”

List Specific Code Standards and Requirements:

I. Exhibits:

1. [Engineering Staff Report](#)
2. [Zoning / Location Map](#)
3. [Aerial Photo](#)
4. [Site Plan](#)
5. [Landscape Plans](#)
6. [Elevations and Signage](#)
7. [Saratoga Towne Center Master Concept Plan \(2012\)](#)

City Council Staff Report

Author: Jeremy D. Lapin, City Engineer

Subject: AutoZone

Date: May 14, 2015

Type of Item: Site Plan Approval



Description:

A. Topic: The Applicant has submitted a Site Plan application. Staff has reviewed the submittal and provides the following recommendations.

B. Background:

Applicant: Autozone Development Corp. (Michelle Williams / Colby Anderson)
Request: Site Plan Approval
Location: 1536 N. Redwood Road
Acreage: 0.95 Acres

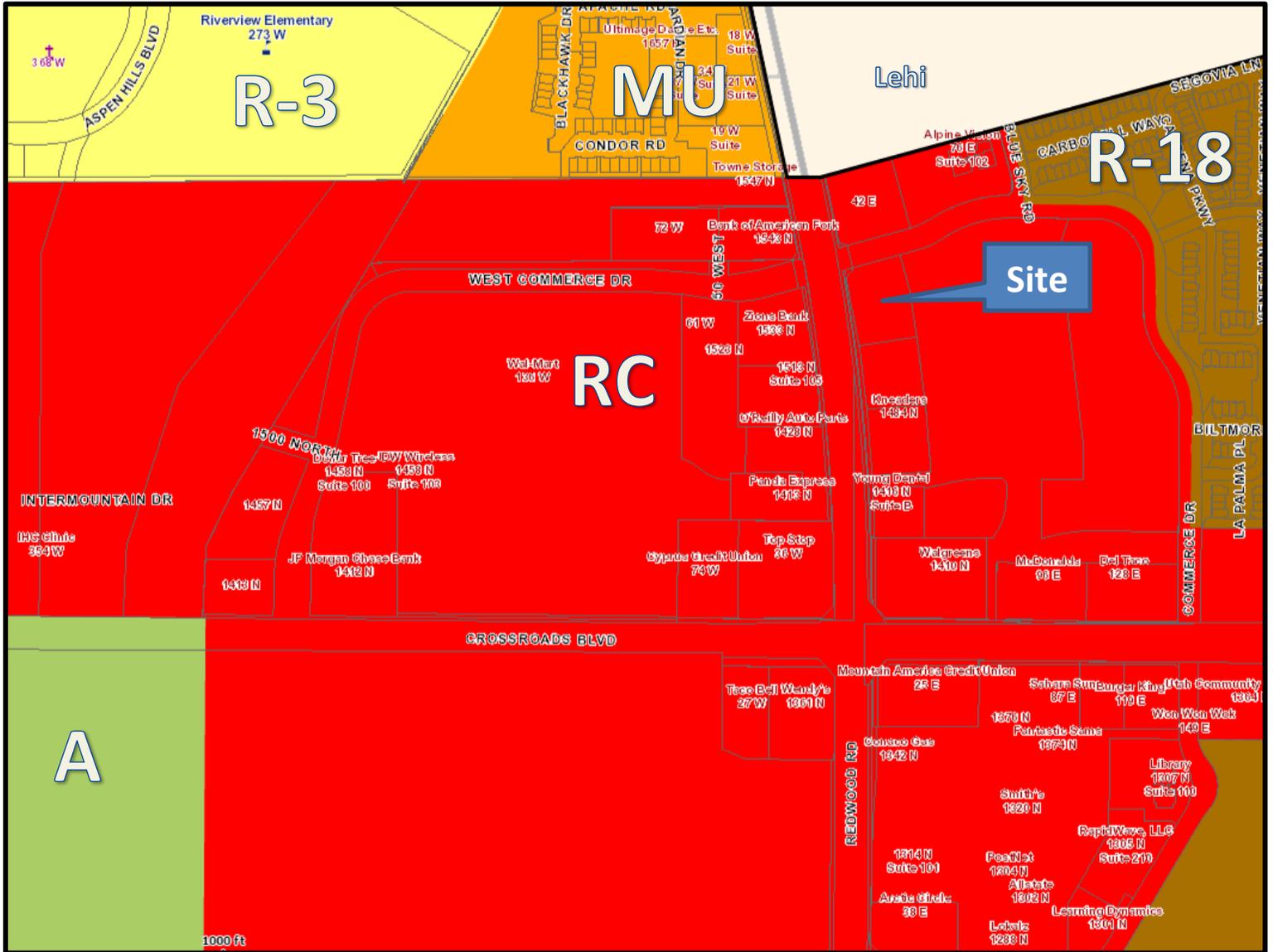
C. Recommendation: Staff recommends the approval of Site Plan subject to the following conditions:

D. Conditions:

- A. Meet all engineering conditions and requirements in the construction of the project. Review and inspection fees must be paid and a bond posted as per the City's Development Code prior to any construction being performed on the project. Impact and water fees are due when pulling the building permit.
- B. All review comments and redlines provided by the City Engineer are to be complied with and implemented with the approved construction drawings.
- C. Developer must secure water rights as required by the City Engineer, City Attorney, and development code.
- D. Submit easements for all public utilities not located in the public right-of-way.
- E. Developer is required to ensure that there are no adverse effects to adjacent properties due to the grading practices employed during construction of these plats.
- F. Project must meet the City Ordinance for Storm Water release (0.2 cfs/acre for all developed property) and all UPDES and NPDES project construction requirements.

- G. Final plans shall include an Erosion Control Plan that complies with all City, UPDES and NPDES storm water pollution prevention requirements.
- H. All work to conform to the City of Saratoga Springs Standard Technical Specifications, most recent edition.
- I. Developer may be required by the Saratoga Springs Fire Chief to perform fire flow tests prior to final plat approval and prior to the commencement of the warranty period.
- J. Submittal of a Mylar and electronic version of the as-built drawings in AutoCAD format to the City Engineer is required prior acceptance of site improvements and the commencement of the warranty period.
- K. Developer is to ensure that on-site lighting shall match City Standard Street lighting and shall comply with all requirements set for in the City's Engineering Standards and Specifications and Land Development Code. The Photometric plan is to comply with spill over restrictions.
- L. Developer shall prepare and record a cross access easement for adjacent lots prior to the City issuing the Certificate of Occupancy.

Zoning Map



Aerial Photo





AutoZone Store Development Site Plan Submission

for:

AutoZone Store No. 6276

1536 NORTH REDWOOD ROAD SARATOGA SPRINGS, UT 84045

SITE INFORMATION TABLE

TOTAL IMPERVIOUS AREA	24,929 SF	71.8%
BUILDING	7,372 SF	
PAVEMENT/WALKS	17,557 SF	
LANDSCAPING	9,811 SF	28.2%
TOTAL SITE AREA (1 LOT):	34,740 SF (0.797 ACRES)	100.0%

PROPERTY DESCRIPTION

LOT 3, SARATOGA TOWN CENTER NO. 2 SUBDIVISION
EXISTING ZONING - RC (REGIONAL COMMERCIAL)
LAND USE - COMMERCIAL SALES
SERIAL NO. 66:387:0003

CITY STANDARD NOTES

- CONTRACTOR SHALL FIELD VERIFY LOCATIONS AND INVERT ELEVATIONS OF EXISTING MANHOLES AND OTHER UTILITIES BEFORE STAKING OR CONSTRUCTING ANY NEW SEWER LINES.
- CONTRACTOR SHALL FIELD VERIFY LOCATIONS AND INVERT ELEVATIONS OF EXISTING STORM DRAIN STRUCTURES AND OTHER UTILITIES BEFORE STAKING OR CONSTRUCTION ANY NEW STORM DRAIN LINES.
- ALL CONSTRUCTION SHALL COMPLY TO THE STANDARD TECHNICAL SPECIFICATIONS AND DRAWINGS FOR THE CITY OF SARATOGA SPRINGS, UTAH.
- EXISTING UTILITIES HAVE BEEN NOTED TO THE BEST OF THE ENGINEERS KNOWLEDGE, IT IS THE OWNERS AND CONTRACTORS RESPONSIBILITY TO LOCATE UTILITIES IN THE FIELD AND NOTIFY ENGINEER AND CITY IF DISCREPANCIES EXIST.
- POST-APPROVAL ALTERATIONS TO LIGHTING PLANS OR INTENDED SUBSTITUTIONS FOR APPROVED LIGHTING EQUIPMENT SHALL BE SUBMITTED TO THE CITY FOR REVIEW AND APPROVAL.
- THE CITY RESERVES THE RIGHT TO CONDUCT POST-INSTALLATION INSPECTIONS TO VERIFY COMPLIANCE WITH THE CITY'S REQUIREMENTS AND APPROVED LIGHTING PLAN COMMITMENTS, AND IF DEEMED APPROPRIATE BY THE CITY, TO REQUIRE REMEDIAL ACTION AT NO EXPENSE TO THE CITY.
- ALL EXTERIOR LIGHTING SHALL MEET IESNA FULL-CUTOFF CRITERIA UNLESS OTHERWISE APPROVED BY THE CITY.

INDEX OF DRAWINGS	
	COVER SHEET
E1.0	EXISTING PLAN
C1.0	SITE PLAN
C1.A	SITE DETAILS
C1.1	GRADING & DRAINAGE PLAN
C1.2	UTILITY PLAN
C1.4	EROSION CONTROL PLAN
L1.0	LANDSCAPE PLAN
L2.0	IRRIGATION PLAN
PH1	LIGHTING PLAN
DT-1	CONSTRUCTION DETAILS
DT-2	CONSTRUCTION DETAILS
DT-3	CONSTRUCTION DETAILS
DT-4	UNDERGROUND DETENTION DETAILS
DT-5	CONSTRUCTION DETAILS
DT-6	LIGHTING DETAILS

Owner:
AutoZone, Inc.
123 S. Front Street, 3rd Floor
Memphis, Tennessee 38103
(901) 495-8717

Site Plans Prepared by:
Applicant / Developer / Lessee:
AutoZone, Inc.
c/o: PHILLIP PECORD
123 S. Front Street, 3rd Floor
Memphis, Tennessee 38103
(901) 495-8706

Architect:
AutoZone, Inc.
c/o: PHILLIP PECORD
123 S. Front Street, 3rd Floor
Memphis, Tennessee 38103
(901) 495-8706

Civil Engineering Plans Prepared by:
Civil Engineer:
Dominion Engineering
c/o: COLBY ANDERSON
5684 S. Green Street
Murray, UT 84123
(801) 713-3000

Plan Submittal Date:

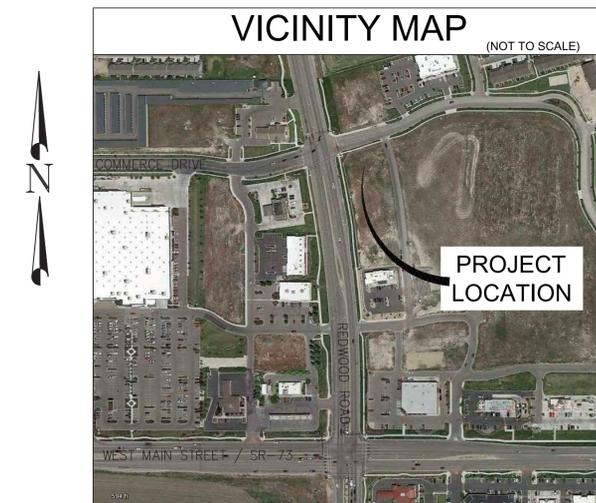
APRIL 29th, 2015

LEGEND

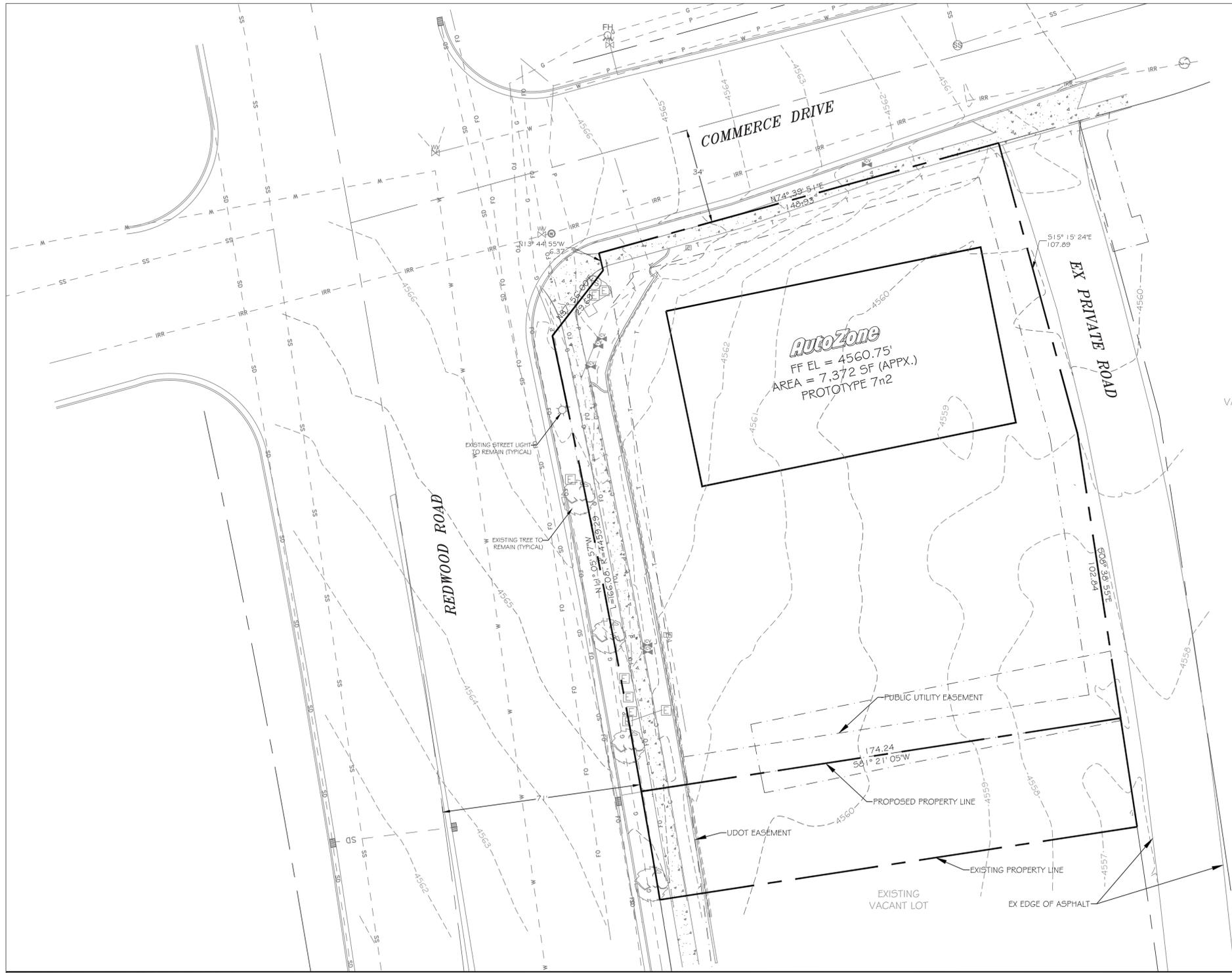
PROPOSED GAS	---	G	---
PROPOSED TELEPHONE	---	T	---
PROPOSED WATER	---	W	---
PROPOSED SEWER	---	SS	---
PROPOSED STORM DRAIN	---	SD	---
PROPOSED POWER	---	P	---
PROPOSED ROOF DRAIN	---	RD	---
PROPOSED RIDGELINE	---	R	---
EXISTING TELEPHONE	---	T	---
EXISTING CULINARY WATER	---	W	---
EXISTING SEWER	---	SS	---
EXISTING STORM DRAIN	---	SD	---
EXISTING POWER	---	P	---
EXISTING GAS	---	GAS	---
EXISTING IRRIGATION WATER	---	IRR	---
EASEMENT	---		---
PROPERTY LINE	---		---

ELEVATIONS KEY
EL 00.00' = EL 4500.00'
EXAMPLE: 51.30' = 4551.30'
(FOR CIVIL PLANS ONLY)

- | | | | |
|-----------------------|---|-----------------------|--|
| A. REGULATORY AGENCY: | SARATOGA SPRINGS CITY
1307 NORTH COMMERCE DRIVE #200
(801) 766-9794
CONTACT: KIMBER GABRYSZAK, (801) 766-9793
PLANNING DIRECTOR | E. IRRIGATION WATER: | SARATOGA SPRINGS CITY
(801) 766-9794 |
| B. CITY ENGINEER: | SARATOGA SPRINGS CITY
1307 NORTH COMMERCE DRIVE #200
(801) 766-9794
CONTACT: JEREMY LAPIN, (801) 766-6506
CITY ENGINEER | F. POWER COMPANY: | ROCKY MOUNTAIN POWER
(800) 469-3981 |
| C. SEWER DISTRICT: | SARATOGA SPRINGS CITY
(801) 766-9794 | G. GAS COMPANY: | QUESTAR GAS
(801) 324-3765 |
| D. WATER DISTRICT: | SARATOGA SPRINGS CITY
(801) 766-9794 | H. TELEPHONE COMPANY: | CENTURY LINK
1425 WEST 3100 SOUTH, SALT LAKE CITY, UT 84119
(800) 491-0118 |



NOTE: ALL CONSTRUCTION TO CONFORM TO APWA AND SARATOGA SPRINGS CITY STANDARDS AND SPECIFICATIONS.



UTILITY NOTE
 THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM ABOVE GROUND SURVEY TIES AND/OR EXISTING UTILITY DRAWINGS AND VERBAL EXPLANATIONS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT POSITION INDICATED, ALTHOUGH HE DOES STATE THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION MADE AVAILABLE TO HIM. BEFORE DIGGING, CONTACT EACH UTILITY ENTITY SO THAT THEY MAY MARK THEIR LOCATIONS ON THE GROUND. THE SURVEYOR OR ENGINEER IS IN NO WAY RESPONSIBLE FOR ANY DAMAGE THAT OCCURS TO UTILITIES SHOWN OR NOT SHOWN ON THESE PLANS.

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OWNER:
AutoZone, Inc.
 123 S. FRONT STREET, 3rd FLOOR
 MEMPHIS, TENNESSEE 38103



PREPARED FOR: **AutoZone STORE DEVELOPMENT**
 Store No.: 6276

1536 NORTH REDWOOD ROAD
 SARATOGA SPRINGS UT 84045

EXISTING PLAN

SCALE: 1" = 20'

REVISIONS

1.	
2.	
3.	
4.	
5.	
6.	
7.	

ARCHITECT:
 DRAFTSMAN:
 CHECKED BY:

DATE
 4-29-15
 PROTOTYPE SIZE
 7n2



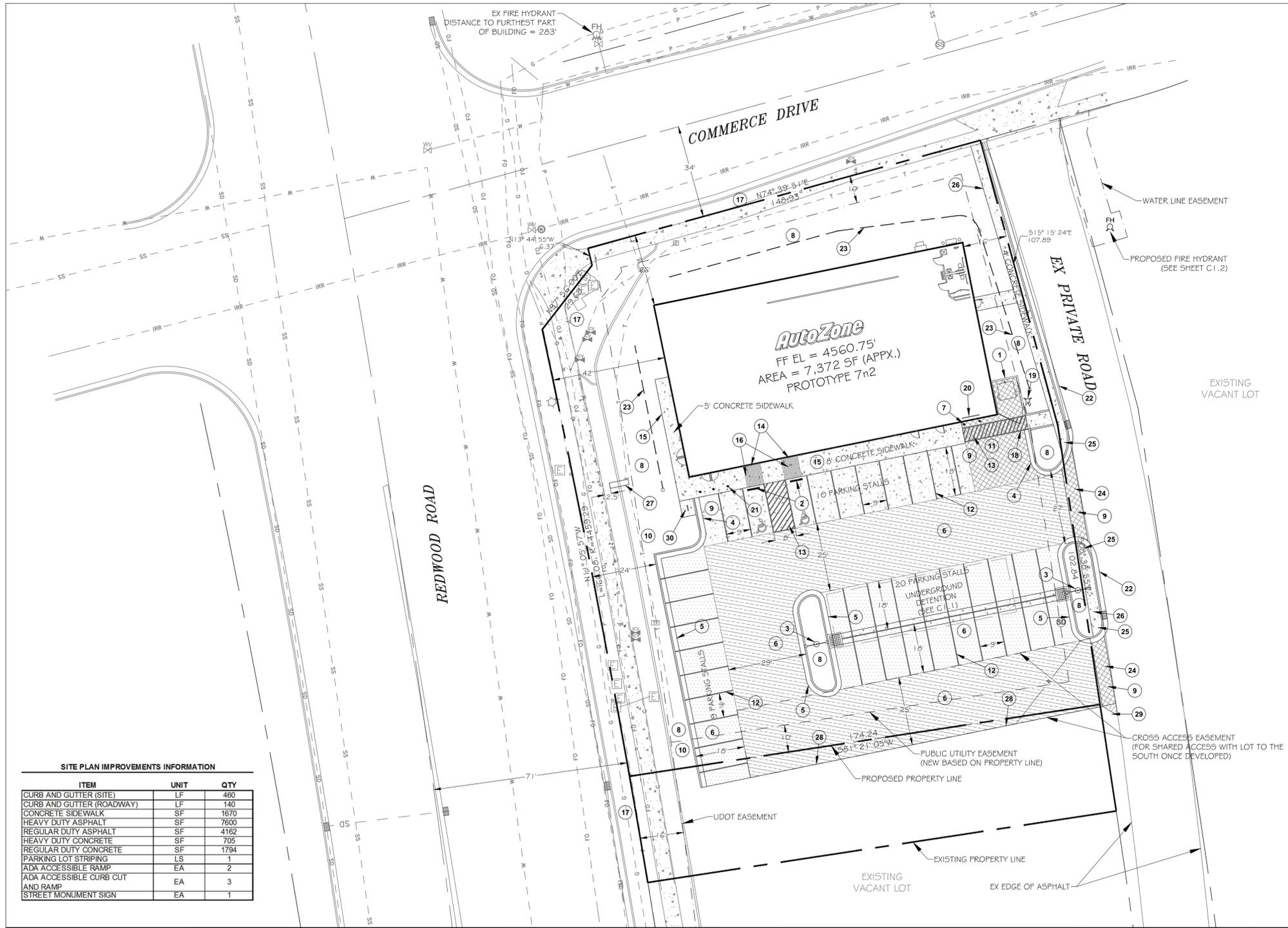
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**EXISTING PLAN
 AUTOZONE STORE
 SARATOGA SPRINGS CITY, UTAH**
 A PART OF SECTION 14
 T5S, R1W, SLB&M, U.S. SURVEY
 APRIL 2015

LEGEND

PROPOSED GAS	---	G
PROPOSED TELEPHONE	---	T
PROPOSED WATER	---	W
PROPOSED SEWER	---	SS
PROPOSED STORM DRAIN	---	SD
PROPOSED POWER	---	P
PROPOSED ROOF DRAIN	---	RD
PROPOSED RIDGELINE	---	R
EXISTING TELEPHONE	---	T
EXISTING CULINARY WATER	---	W
EXISTING SEWER	---	SS
EXISTING STORM DRAIN	---	SD
EXISTING POWER	---	P
EXISTING GAS	---	GAS
EXISTING IRRIGATION WATER	---	IRR
EASEMENT	---	
PROPERTY LINE	---	

NOTE: ALL CONSTRUCTION TO CONFORM TO APWA AND SARATOGA SPRINGS CITY STANDARDS AND SPECIFICATIONS.



UTILITY NOTE

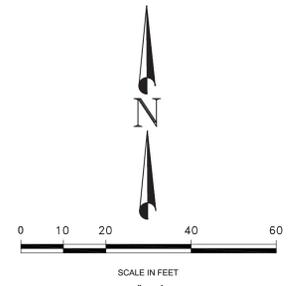
THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM ABOVE GROUND SURVEY TIES AND/OR EXISTING UTILITY DRAWINGS AND VERBAL EXPLANATIONS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT POSITION INDICATED, ALTHOUGH HE DOES STATE THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION MADE AVAILABLE TO HIM. BEFORE DIGGING, CONTACT EACH UTILITY ENTITY SO THAT THEY MAY MARK THEIR LOCATIONS ON THE GROUND. THE SURVEYOR OR ENGINEER IS IN NO WAY RESPONSIBLE FOR ANY DAMAGE THAT OCCURS TO UTILITIES SHOWN OR NOT SHOWN ON THESE PLANS.

GENERAL NOTES

- PROOF ROLL BUILDING AND ALL PARKING AREAS. NOTIFY THE ARCHITECT OF ANY UNACCEPTABLE AREAS.
- EDGE OF NEW PAVEMENT TO BE FLUSH WITH EXISTING PAVEMENT.
- ALL SIDEWALK CURB AND GUTTER, STREET PAVING, CURB CUTS, DRIVEWAY APPROACHES, HANDICAP RAMP, ETC. CONSTRUCTED OUTSIDE THE PROPERTY LINE IN THE RIGHT-OF-WAY SHALL CONFORM TO ALL MUNICIPAL AND/OR STATE SPECIFICATIONS AND REQUIREMENTS.
- FOR AREAS OUTSIDE THE PROPERTY LINES, REPAIR AND/OR REPLACE ALL DAMAGE DONE TO EXISTING ELEMENTS (SIDEWALKS, PAVING, LANDSCAPING, ETC.) AS REQUIRED BY OWNER AND/OR GOVERNING AUTHORITY.
- FOR PROPOSED UTILITY LOCATIONS, SEE THE UTILITY PLAN.
- THE OWNER IS RESPONSIBLE FOR COMPLIANCE WITH ALL REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT (ADA).
- DETAILED FIRE PROTECTION PLANS SHALL BE SUBMITTED WITH THE BUILDING PLANS. ADDITIONAL REQS MAY BE IDENTIFIED DURING THE PLAN REVIEW BY THE FIRE DEPARTMENT, WHICH MAY BE MANDATED BY THE INTERNATIONAL FIRE CODE. PLAN REVIEWS MUST BE COMPLETED PRIOR TO THE BUILDING PERMIT BEING ISSUED.
- ALL LANDSCAPED AREAS SHALL HAVE AUTOMATIC, UNDERGROUND SPRINKLING SYSTEM WITH A BACKFLOW PREVENTION DEVICE AND A BACKFLOW PREVENTION DEVICE TO THE BUILDING, UNLESS LANDSCAPING IS SERVED BY THE SECONDARY WATER SYSTEM.
- A SAMPLING MANHOLE AND HOLDING TANK (GREASE TRAP) SHALL BE INSTALLED IN ACCORDANCE WITH CITY STANDARDS AS REQUIRED BY THE CITY.
- WATER METERS ARE TO BE LOCATED BEHIND BACK OF WALK OR BACK OF CURB IN AN AREA THAT IS ACCESSIBLE, NOT LOCATED BEHIND FENCES OR UNDER COVERED PARKING.
- WARNING - HIGH GROUND WATER TABLE. PROPERTY OWNER SHALL VERIFY THE PRESENCE OF HIGH WATER TABLE PRIOR TO NEW CONSTRUCTION.

SITE PLAN IMPROVEMENTS INFORMATION

ITEM	UNIT	QTY
CURB AND GUTTER (SITE)	LF	460
CURB AND GUTTER (ROADWAY)	LF	140
CONCRETE SIDEWALK	SF	1670
HEAVY DUTY ASPHALT	SF	7600
REGULAR DUTY ASPHALT	SF	4162
HEAVY DUTY CONCRETE	SF	705
REGULAR DUTY CONCRETE	SF	1794
PARKING LOT STRIPING	LS	1
ADA ACCESSIBLE RAMP	EA	2
ADA ACCESSIBLE CURB CUT AND RAMP	EA	3
STREET MONUMENT SIGN	EA	1



SITE PLAN

AUTOZONE STORE

SARATOGA SPRINGS CITY, UTAH

A PART OF SECTION 14
T5S, R1W, SLB&M, U.S. SURVEY
APRIL 2015

SITE INFORMATION TABLE

BUILDING	7,372 SF	21.2%
PAVEMENT/WALKS	17,557 SF	50.6%
LANDSCAPING	9,811 SF	28.2%
TOTAL SITE AREA:	34,740 SF	100.0%
	(0.797 ACRES)	

PARKING STALLS PROVIDED: 39 SPACES
PARKING STALLS REQUIRED: 37 SPACES
(5 STALLS PER 1,000 SF OF BUILDING)

PROPERTY DESCRIPTION
LOT 3, SARATOGA TOWN CENTER NO. 2 SUBDIVISION
EXISTING ZONING - RC (REGIONAL COMMERCIAL)
LAND USE - COMMERCIAL SALES
SERIAL NO. 66:387:0003

- SITE CONSTRUCTION KEYNOTES**
- DUMPSTER LAYOUT - SEE DETAILS 8,9,10, & 11 / C1.A
 - CONCRETE WHEEL STOP - SEE DETAIL 26 / C1.A
 - LIGHT POLE - PER CITY DETAILS (SEE SHEET DT-6)
 - CURB & GUTTER @ CONCRETE PAVING - SEE DETAIL 1 / C1.A
 - CURB & GUTTER @ ASPHALT PAVING - SEE DETAIL 2 / C1.A
 - ASPHALT PAVING - SEE DTL. 2#3/ C1.A
 - PIPE BOLLARD - SEE DETAILS 15,16 / C1.A (TYP. ALL)
 - NEW LANDSCAPE AREA - SEE SHEET L1.0 FOR LANDSCAPE DESIGN INFORMATION
 - CONCRETE PAVING - SEE DTL. 144/ C1.A. EXPANSION AND CONTROL JOINTS - SEE DTLS. 23 & 24/ C1.A. MAXIMUM SPACING FOR CONTROL JOINTS IS 15' O.C. EACH WAY.
 - SLOPE GRADE FROM BACK OF CURB TO MATCH THE BOTTOM ELEVATION OF THE EX BLOCK WALL
 - LOADING/UNLOADING AREA
 - 4" WIDE PARKING STRIPE PAINTED WHITE (TYP. ALL)
 - 4" WIDE DIAGONAL STRIPES PAINTED WHITE AT 2 FT. O.C. - SEE DTL. 6/ C1.A
 - HANDICAP PARKING SIGN - SEE DETAIL 12/ C1.A PROVIDE ONE VAN ACCESSIBLE SIGN.
 - CONCRETE SIDEWALK - SEE DETAILS 19 & 22 & 27 & 28/ C1.A FOR SIDEWALKS AROUND BUILDING
 - ADA ACCESSIBLE RAMP - SEE DETAIL G, 19 / C1.A - MAX. SLOPE 1:12 (8.33%), MAX. CROSS SLOPE 1:50 (2.00%) TRUNCATED DOME TO BE A CONTRASTING COLOR.
 - EXISTING LANDSCAPING TO REMAIN IN PLACE. ANY DISTURBED AREAS SHALL BE RESTORED TO PREVIOUS CONDITIONS OR BETTER.
 - ADA ACCESSIBLE ROUTE - MAX. SLOPE 1:20 (5.00%), MAX. CROSS SLOPE 1:50 (2.00%) WITH REQUIRED LANDINGS. RAMP PER CITY DETAIL ST-5A
 - FREEZELESS YARD HYDRANT
 - SERVICE PLAN DOOR - SEE DETAIL 15 / C1.A
 - PIPE BOLLARD - SEE DETAILS 14,16/ C1.A (TYP. ALL)
 - 24" COMMERCIAL CURB AND GUTTER - PER CITY DETAIL ST-2 AND ST-26 (TO BE INSTALLED IN STREET ONLY, TRANSITION CURB TYPE AT ADA ACCESSIBLE CURB CUTS AT DRIVEWAY ACCESSSES)
 - DRAINAGE SWALE - SEE SHEET C1.1
 - 5' CONCRETE CROSSWALK - COLOR RED (MATCH KNEADERS COLOR)
 - ADA ACCESSIBLE CURB CUT AND RAMP - PER CITY DETAIL ST-5C. MAX. SLOPE 1:20 (5.00%), MAX. CROSS SLOPE 1:50 (2.00%) WITH REQUIRED LANDINGS.
 - CONCRETE SIDEWALK - PER CITY DETAIL ST-1
 - MONUMENT SIGN - SEE ARCHITECTURAL PLANS
 - THICKENED EDGE ASPHALT ALONG SOUTH SIDE OF PARKING LOT
 - INSTALL "END OF SIDEWALK" SIGNS - PER CITY REQUIREMENTS
 - INVERTED "U" BIKE RACK (2 BIKE CAPACITY), APPROVE WITH ENGINEER PRIOR TO INSTALLATION

LEGEND

PROPOSED GAS	G
PROPOSED TELEPHONE	T
PROPOSED WATER	W
PROPOSED SEWER	SS
PROPOSED STORM DRAIN	SD
PROPOSED POWER	P
PROPOSED ROOF DRAIN	RD
PROPOSED RIDGELINE	R
EXISTING TELEPHONE	T
EXISTING CULINARY WATER	W
EXISTING SEWER	SS
EXISTING STORM DRAIN	SD
EXISTING POWER	P
EXISTING GAS	GAS
EXISTING IRRIGATION WATER	IRR
EASEMENT	---
PROPERTY LINE	---

PAVING AREAS

	CONCRETE SIDEWALK
	REGULAR DUTY CONCRETE
	HEAVY DUTY CONCRETE
	REGULAR DUTY ASPHALT
	HEAVY DUTY ASPHALT
	CURB & GUTTER

ELEVATIONS KEY
EL 00.00' = EL 4500.00'
EXAMPLE: 51.30' = 4551.30'
(FOR CIVIL PLANS ONLY)

OWNER:
AutoZone, Inc.
123 S. FRONT STREET, 3rd FLOOR
MEMPHIS, TENNESSEE 38103



PREPARED FOR: **AutoZone STORE DEVELOPMENT**
Store No.: 6276
1536 NORTH REDWOOD ROAD
SARATOGA SPRINGS UT 84045
SITE PLAN

SCALE: 1" = 20'

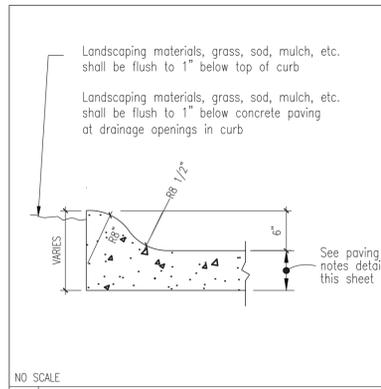
REVISIONS

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ARCHITECT:	
DRAFTSMAN:	
CHECKED BY:	
DATE	4-29-15
PROTOTYPE SIZE	7n2

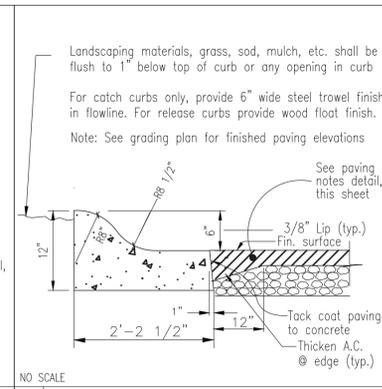


C1.0

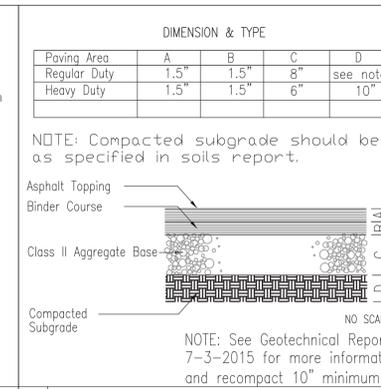
NOTE: ALL CONSTRUCTION TO CONFORM TO APWA AND SARATOGA SPRINGS CITY STANDARDS AND SPECIFICATIONS.



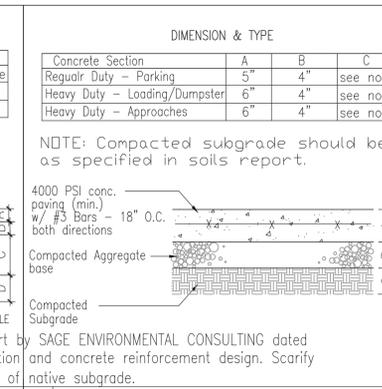
1 TYPICAL ROLL-OVER CURB



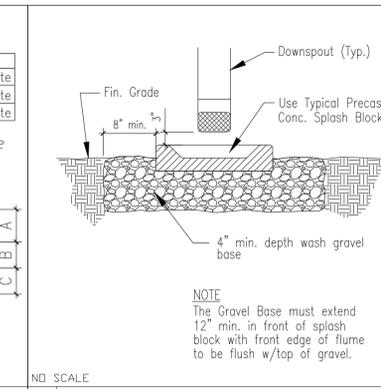
2 ROLL-OVER CURB at ASPHALT PAVING



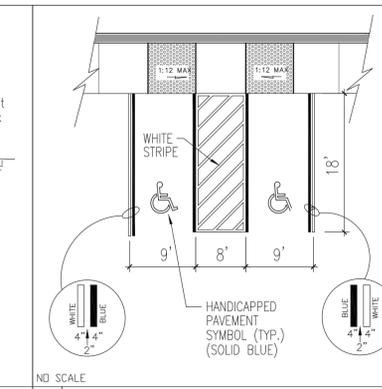
3 ASPHALT PAVING SECTION



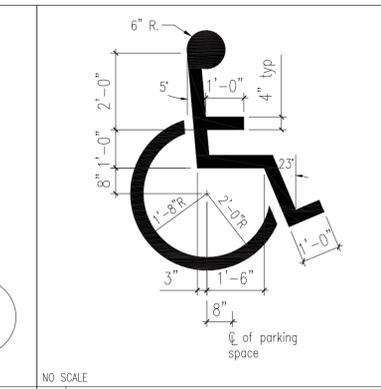
4 CONCRETE PAVING SECTION



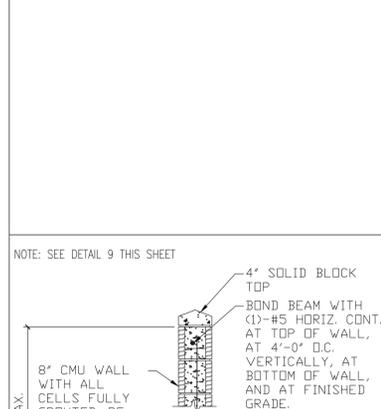
5 CONCRETE SPLASH BLOCK



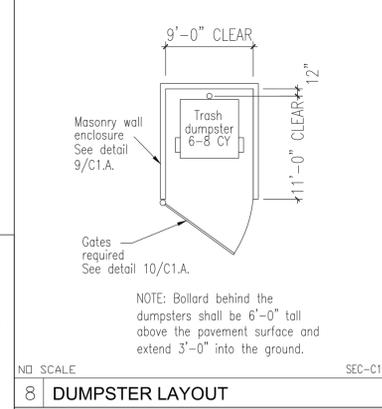
6 HANDICAP PARKING DETAIL



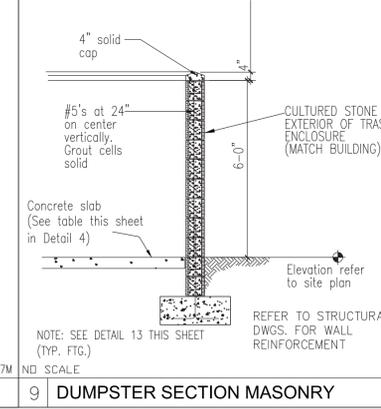
7 INT'L BARRIER FREE SYMBOL



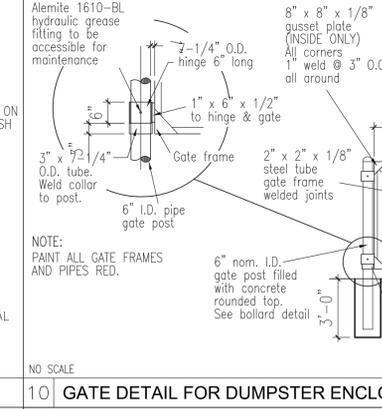
8 DUMPSTER LAYOUT



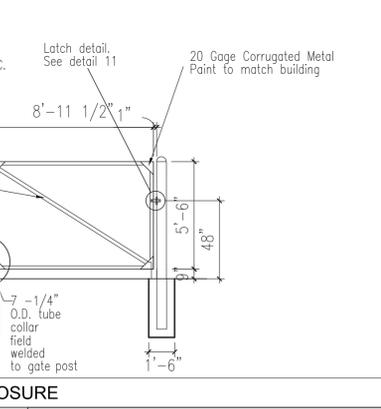
9 DUMPSTER SECTION MASONRY



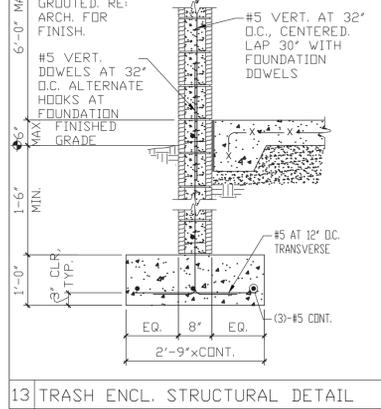
10 GATE DETAIL FOR DUMPSTER ENCLOSURE



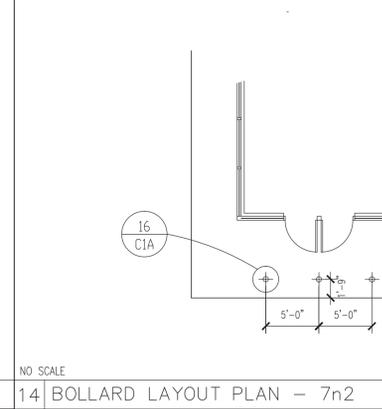
11 GATE LATCH / BOLT DETAILS



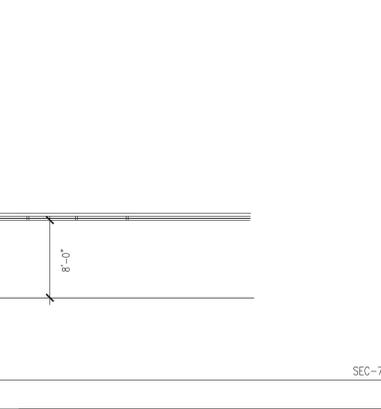
12 TYPICAL HANDICAP SIGN



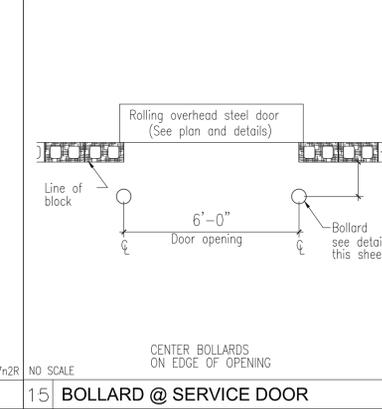
13 TRASH ENCL. STRUCTURAL DETAIL



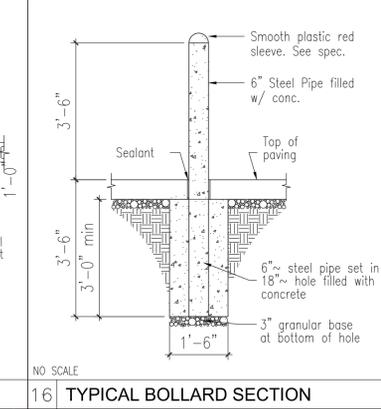
14 BOLLARD LAYOUT PLAN - 7n2



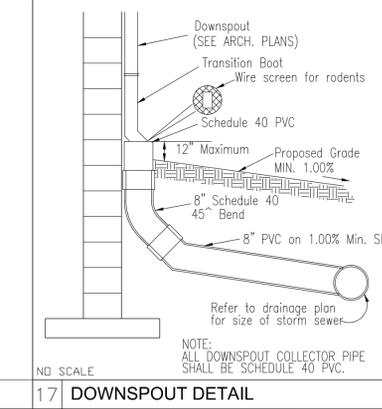
15 BOLLARD @ SERVICE DOOR



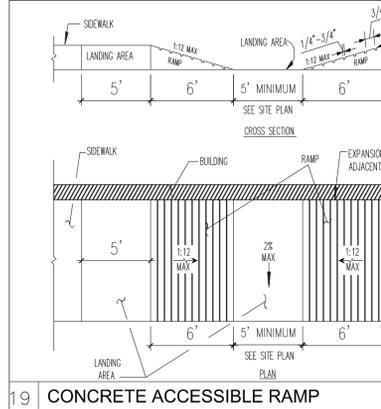
16 TYPICAL BOLLARD SECTION



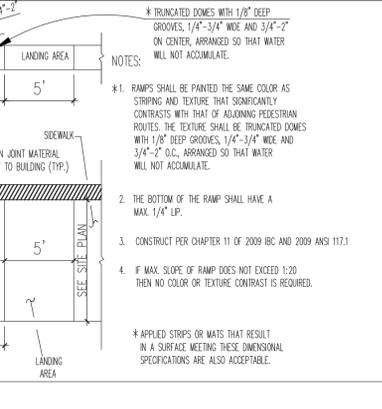
17 DOWNSPOUT DETAIL



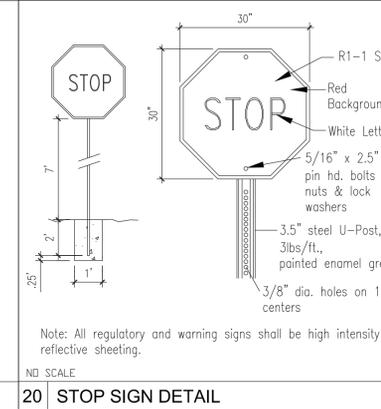
18 ORIFICE PLATE DETAIL



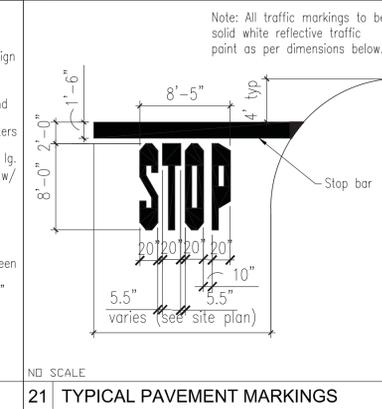
19 CONCRETE ACCESSIBLE RAMP



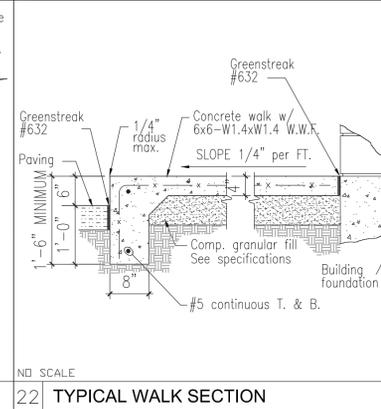
20 STOP SIGN DETAIL



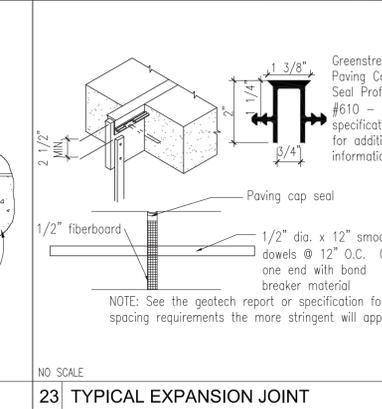
21 TYPICAL PAVEMENT MARKINGS



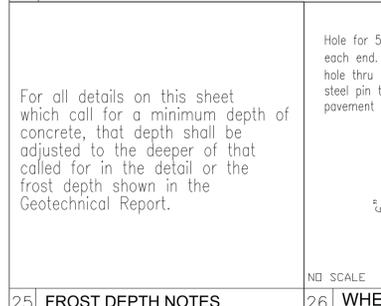
22 TYPICAL WALK SECTION



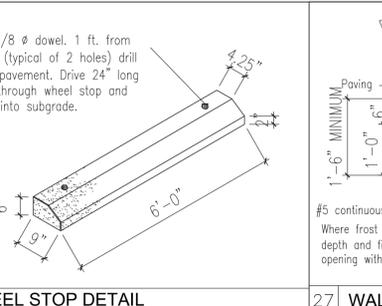
23 TYPICAL EXPANSION JOINT



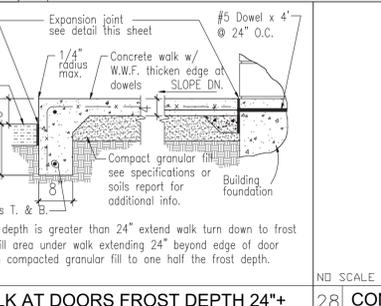
24 TYPICAL CONTROL JOINT



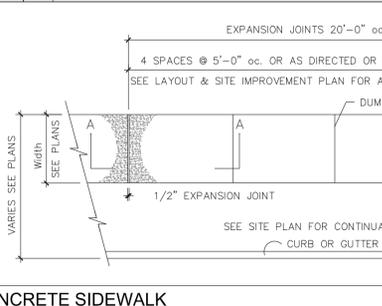
25 FROST DEPTH NOTES



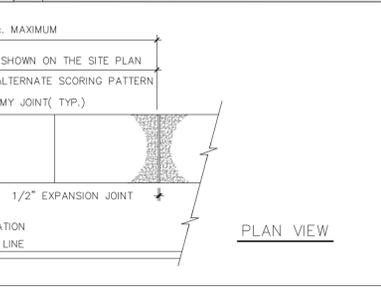
26 WHEEL STOP DETAIL



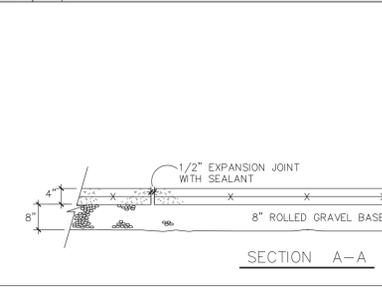
27 WALK AT DOORS FROST DEPTH 24\"/>



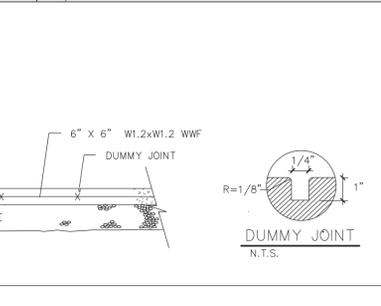
28 CONCRETE SIDEWALK



29 CONCRETE SIDEWALK SECTION

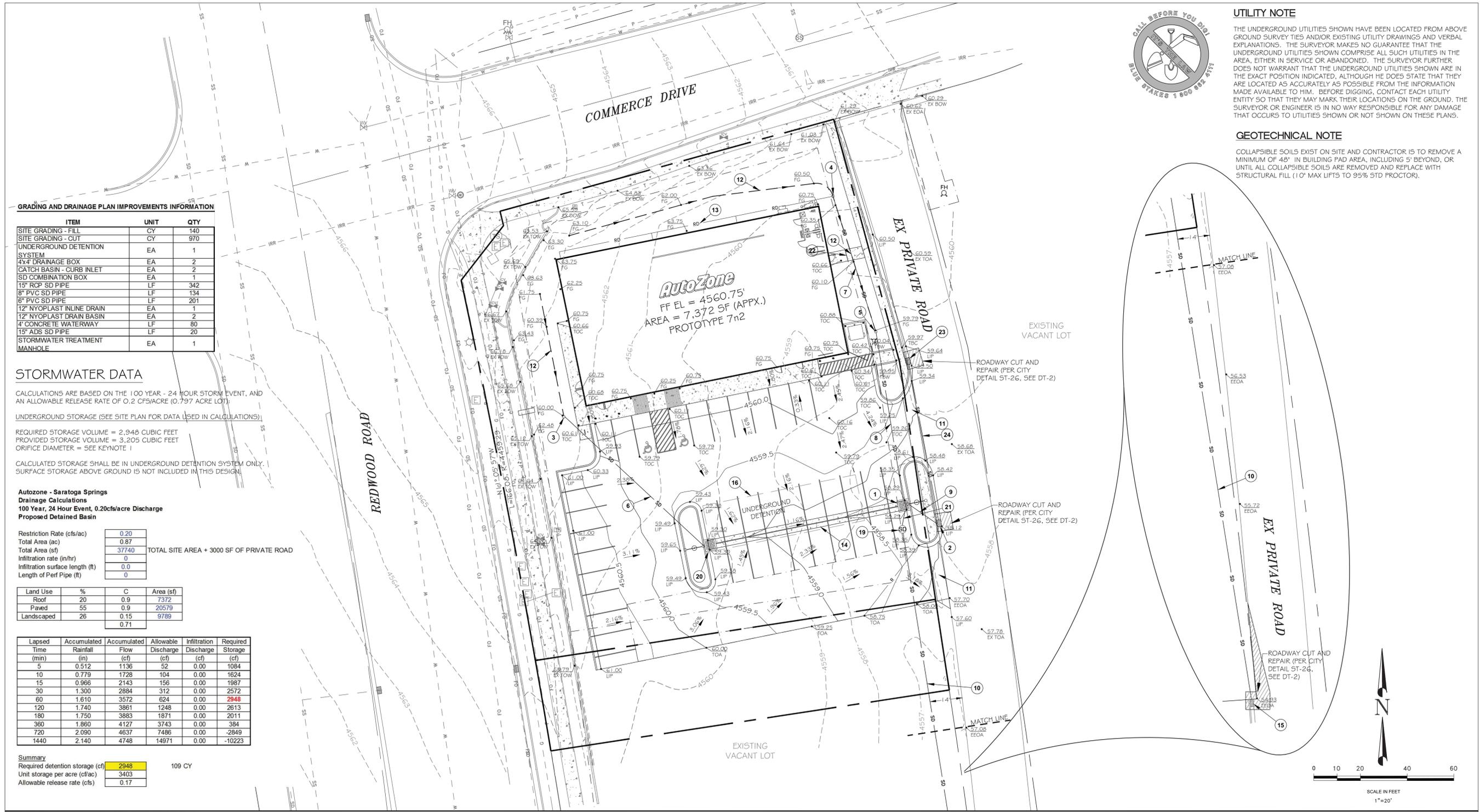


30 CONCRETE SIDEWALK SECTION



31 CONCRETE SIDEWALK SECTION

© COPYRIGHT 2009
 OWNER: **AutoZone, Inc.**
 123 S. FRONT STREET, 3RD FLOOR
 MEMPHIS, TENNESSEE 38103
 PREPARED FOR: **AutoZone STORE DEVELOPMENT**
 Store No.: 6276
 1536 NORTH REDWOOD ROAD
 SARATOGA SPRINGS UT 84045
 SCALE: 1" = 20'
 REVISIONS
 1.
 2.
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 ARCHITECT:
 DRAFTSMAN:
 CHECKED BY:
 DATE 4-29-15
 PROTOTYPE SIZE 7n2
 No. 8706815
 COLBY CRAIG ANDERSON
 STATE OF UTAH
C1.A



GRADING AND DRAINAGE PLAN IMPROVEMENTS INFORMATION

ITEM	UNIT	QTY
SITE GRADING - FILL	CY	140
SITE GRADING - CUT	CY	970
UNDERGROUND DETENTION SYSTEM	EA	1
4x4' DRAINAGE BOX	EA	2
CATCH BASIN - CURB INLET	EA	2
SD COMBINATION BOX	EA	1
15" RCP SD PIPE	LF	342
6" PVC SD PIPE	LF	134
6" PVC SD PIPE	LF	201
12" NYOPLAST INLINE DRAIN	EA	1
12" NYOPLAST DRAIN BASIN	EA	2
4" CONCRETE WATERWAY	LF	80
15" ADS SD PIPE	LF	20
STORMWATER TREATMENT MANHOLE	EA	1

STORMWATER DATA

CALCULATIONS ARE BASED ON THE 100 YEAR - 24 HOUR STORM EVENT, AND AN ALLOWABLE RELEASE RATE OF 0.2 CFS/ACRE (0.797 ACRE LOT).
 UNDERGROUND STORAGE (SEE SITE PLAN FOR DATA USED IN CALCULATIONS).
 REQUIRED STORAGE VOLUME = 2,948 CUBIC FEET
 PROVIDED STORAGE VOLUME = 3,205 CUBIC FEET
 ORIFICE DIAMETER = SEE KEYNOTE 1
 CALCULATED STORAGE SHALL BE IN UNDERGROUND DETENTION SYSTEM ONLY. SURFACE STORAGE ABOVE GROUND IS NOT INCLUDED IN THIS DESIGN.

**Autozone - Saratoga Springs
 Drainage Calculations
 100 Year, 24 Hour Event, 0.20cfs/acre Discharge
 Proposed Detained Basin**

Restriction Rate (cfs/ac)	0.20
Total Area (ac)	0.87
Total Area (sf)	37740
Infiltration rate (in/hr)	0
Infiltration surface length (ft)	0.0
Length of Perf Pipe (ft)	0

TOTAL SITE AREA + 3000 SF OF PRIVATE ROAD

Land Use	%	C	Area (sf)
Roof	20	0.9	7372
Paved	55	0.9	20579
Landscaped	26	0.15	9789
		0.71	

Lapsed Time (min)	Accumulated Rainfall (in)	Accumulated Flow (cf)	Allowable Discharge (cf)	Infiltration Discharge (cf)	Required Storage (cf)
5	0.512	1136	52	0.00	1084
10	0.779	1728	104	0.00	1624
15	0.966	2143	156	0.00	1987
30	1.300	2884	312	0.00	2572
60	1.610	3572	624	0.00	2948
120	1.740	3861	1248	0.00	2613
180	1.750	3883	1871	0.00	2011
360	1.860	4127	3743	0.00	384
720	2.090	4637	7486	0.00	-2849
1440	2.140	4748	14971	0.00	-10223

Summary

Required detention storage (cf)	2948	109 CY
Unit storage per acre (cf/ac)	3403	
Allowable release rate (cfs)	0.17	



UTILITY NOTE
 THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM ABOVE GROUND SURVEY TIES AND/OR EXISTING UTILITY DRAWINGS AND VERBAL EXPLANATIONS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT POSITION INDICATED, ALTHOUGH HE DOES STATE THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION MADE AVAILABLE TO HIM. BEFORE DIGGING, CONTACT EACH UTILITY ENTITY SO THAT THEY MAY MARK THEIR LOCATIONS ON THE GROUND. THE SURVEYOR OR ENGINEER IS IN NO WAY RESPONSIBLE FOR ANY DAMAGE THAT OCCURS TO UTILITIES SHOWN OR NOT SHOWN ON THESE PLANS.

GEOTECHNICAL NOTE
 COLLAPSIBLE SOILS EXIST ON SITE AND CONTRACTOR IS TO REMOVE A MINIMUM OF 48" IN BUILDING PAD AREA, INCLUDING 5' BEYOND, OR UNTIL ALL COLLAPSIBLE SOILS ARE REMOVED AND REPLACE WITH STRUCTURAL FILL (1 0" MAX LIFTS TO 95% STD PROCTOR).

OWNER:
AutoZone, Inc.
 123 S. FRONT STREET, 3rd FLOOR
 MEMPHIS, TENNESSEE 38103

PREPARED FOR:
AutoZone STORE DEVELOPMENT
 Store No.: 6276
 1536 NORTH REDWOOD ROAD
 SARATOGA SPRINGS UT 84045

SCALE: 1" = 20'
REVISIONS

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ARCHITECT:
 DRAFTSMAN:
 CHECKED BY:
 DATE: 4-29-15
 PROTOTYPE SIZE: 7n2

**GRADING AND DRAINAGE PLAN
 AUTOZONE STORE
 SARATOGA SPRINGS CITY, UTAH**
 A PART OF SECTION 14
 T5S, R1W, SLB&M, U.S. SURVEY
 APRIL 2015

- SITE CONSTRUCTION KEYNOTES**
- 4x4' SD CATCH BASIN - PER APWA PLAN NO. 332 (TOG=58.19, I.E. (S,W)=52.94, I.E. (N)=55.36) INSTALL ORIFICE PLATE OVER OUTLET - SEE C1.0A (ORIFICE DIA. = 1.80")
 - 5D CATCH BASIN - PER CITY DETAIL SD-2 (TOG=58.12, I.E. (W)=53.08)
 - 12" NYLOPLAST INLINE DRAIN (TOG=60.00, I.E.=56.86)
 - 12" NYLOPLAST DRAIN BASIN (TOG=60.40, I.E.=56.70)
 - 12" NYLOPLAST DRAIN BASIN (TOG=59.79, I.E.=56.10)
 - 6" PVC SD PIPE (SLOPE=1.00%, LENGTH=81.0')
 - 8" PVC SD PIPE (SLOPE=1.00%, LENGTH=60.0')
 - 8" PVC SD PIPE (SLOPE=1.00%, LENGTH=74.0')
 - 15" ADS SD PIPE (SLOPE=1.00%, LENGTH=274.0')
 - 15" RCP SD PIPE (SLOPE=0.50%, LENGTH=274.0') CONNECT TO NEW COMBO BOX IN STREET NEAR KNEADERS STORE. - SEE DT-5
 - 5" CONCRETE CROSSWALK (8" THICK CONCRETE, 4" BASE COURSE)
 - DRAINAGE SWALE - SEE DT-5
 - CONNECT ROOF DRAINS TO STORM DRAIN SYSTEM. INSTALL 6" PVC PIPE WITH A MINIMUM COVER OF 1" AND A MINIMUM SLOPE OF 1.0%. INSTALL CLEANOUTS AT EVERY BEND AND TEE LOCATION.
 - 4" CONCRETE WATERWAY - PER APWA PLAN NO. 211
 - REMOVE EX SD CATCH BASIN. INSTALL NEW COMBO BOX - PER CITY DETAIL SD-4 (TOG=54.74, I.E. (S)= 51.24, FIELD VERIFY) CONNECT PROPOSED 15" RCP STORM DRAIN TO NORTH SIDE OF NEW COMBO BOX. REPAIR ALL FEATURES PER CITY STANDARDS.
 - UNDERGROUND DETENTION SYSTEM - SEE DT-5, 6 SYSTEM SHALL BE WATER TIGHT. INSTALL ALL REQ'D FITTINGS.
 - STORMWATER TREATMENT MANHOLE - ENVIRONMENTS 21 UNISTORM MODEL 5R OR EQUIVALENT. INSTALL PER MANUFACTURE SPECIFICATIONS - SEE DT-5. RIM EL = 58.40, INVERT (IN) EL = 52.84, INVERT (OUT) EL = 52.61
 - 4x4' SD CATCH BASIN - PER APWA PLAN NO. 332 (TOG=59.20, I.E. (E)=53.34, I.E. (N)=56.05)
 - 15" ADS SD PIPE (SLOPE= 1.67%, LENGTH=6.0')
 - INSTALL 6" PVC PIPE UNDER SIDEWALK (MATCH FL OF SWALE)
 - 5D CATCH BASIN - PER CITY DETAIL SD-2 (TOG=59.50, I.E. (S)=53.42)
 - 15" RCP SD PIPE (SLOPE=0.50%, LENGTH=68.0')

- GRADING NOTES**
- REMOVE ALL PLANT MATERIALS AND TOPSOILS PRIOR TO PLACEMENT OF STRUCTURAL FILL. THE NON-ENGINEERED FILL MAY REMAIN UNDER PAVEMENTS IF PROPERLY PREPARED (SCARIFIED, MOISTURE PREPARED, AND RECOMPACTED TO THE STRUCTURAL FILL REQUIREMENTS)
 - CONTRACTOR SHALL FIELD VERIFY ALL ELEVATIONS OF EXISTING IMPROVEMENTS PRIOR TO DOING ANY WORK. NOTIFY OWNER AND ENGINEER OF ANY DISCREPANCIES BETWEEN PLANS AND EXISTING CONDITIONS.
- GENERAL CONSTRUCTION NOTES**
- THE LOCATION OF EXISTING UTILITIES SHOWN ARE APPROXIMATE ONLY AND THE CONTRACTOR SHALL VERIFY THE LOCATION AND ELEVATION OF ALL UTILITIES SHOWN OR NOT SHOWN ON THESE PLANS.
 - IF IT IS NECESSARY TO CUT THE EXISTING ASPHALT OR REMOVE ANY OTHER HARD SURFACES, ALL SURFACES WILL BE RESTORED PER CITY REQUIREMENTS. CONTRACTOR SHALL SUBMIT AND RECEIVE APPROVAL ON ENCROACHMENT PERMIT AND TRAFFIC CONTROL PLAN PRIOR TO COMMENCING WORK IN THE PUBLIC ROW. CONTRACTOR SHALL NOTIFY OWNER AND CITY PRIOR TO BEGINNING WORK.

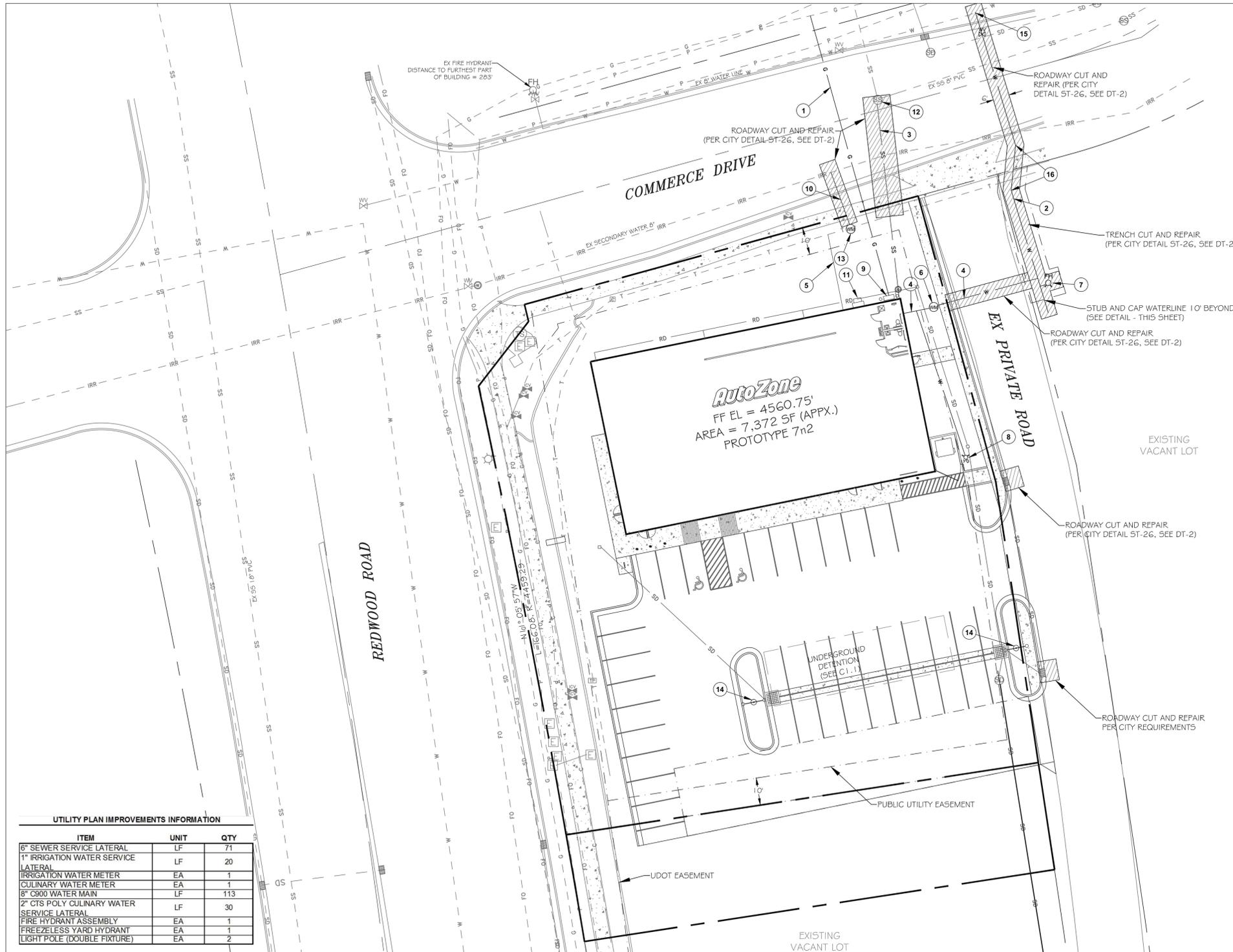
LEGEND

PROPOSED	SYMBOL	DESCRIPTION
PROPOSED GAS	G	TOP OF ASPHALT TOA
PROPOSED TELEPHONE	T	LIP OF CURB LIP
PROPOSED WATER	W	EXISTING GROUND EG
PROPOSED SEWER	SS	FLOWLINE FL
PROPOSED STORM DRAIN	SD	TOP BACK OF CURB TBC
PROPOSED POWER	P	TOP OF GRATE TOG
PROPOSED ROOF DRAIN	R	TOP OF WALL TOW
PROPOSED RIDGELINE	RD	TOP OF CONCRETE TOC
EXISTING TELEPHONE	T	LANDSCAPE LS
EXISTING CULINARY WATER	W	FINISHED GRADE FG
EXISTING SEWER	SS	BACK OF WALK BOW
EXISTING STORM DRAIN	SD	EX EDGE OF ASPHALT EEOA
EXISTING POWER	P	
EXISTING GAS	GAS	
EXISTING IRRIGATION WATER EASEMENT	IRR	
PROPERTY LINE	---	

ELEVATIONS KEY
 EL 00.00' = EL 4500.00'
 EXAMPLE: 51.30' = 4551.30'
 (FOR CIVIL PLANS ONLY)

NOTE: ALL CONSTRUCTION TO CONFORM TO APWA AND SARATOGA SPRINGS CITY STANDARDS AND SPECIFICATIONS.

C1.1



UTILITY NOTE

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM ABOVE GROUND SURVEY TIES AND/OR EXISTING UTILITY DRAWINGS AND VERBAL EXPLANATIONS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT POSITION INDICATED, ALTHOUGH HE DOES STATE THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION MADE AVAILABLE TO HIM. BEFORE DIGGING, CONTACT EACH UTILITY ENTITY SO THAT THEY MAY MARK THEIR LOCATIONS ON THE GROUND. THE SURVEYOR OR ENGINEER IS IN NO WAY RESPONSIBLE FOR ANY DAMAGE THAT OCCURS TO UTILITIES SHOWN OR NOT SHOWN ON THESE PLANS.

GAS SERVICE

GAS COMPANY TO BRING GAS LINE TO THE METER AND SET METER PER THE LOCATION SHOWN ON THE SITE PLAN. CONTRACTOR TO INSTALL GAS SERVICE FROM HVAC UNITS TO METER.

TELEPHONE SERVICE

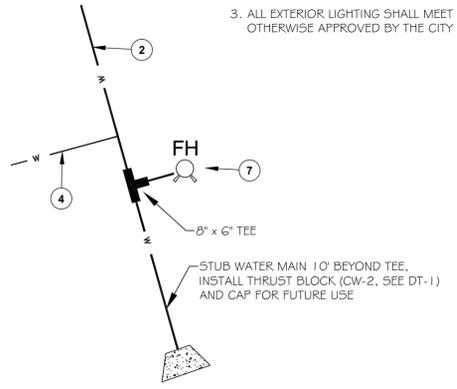
GENERAL CONTRACTOR TO PROVIDE AND INSTALL ONE 3" PVC CONDUIT WITH PULL CORD FROM PHONE BOARD TO THE FRONT PROPERTY LINE AND STUB-UP.

GENERAL UTILITY NOTE

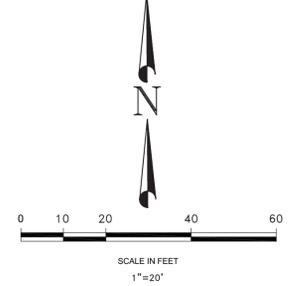
CULINARY WATER, SEWER AND STORM DRAIN FACILITIES WITHIN THIS SITE ARE CONSIDERED PRIVATE AND THE DEVELOPMENT IS RESPONSIBLE TO ENSURE PROPER CONSTRUCTION, REPLACEMENT, REPAIR, OPERATION AND MAINTENANCE ACCORDING TO CITY AND STATE STANDARDS. DEVELOPER ACKNOWLEDGES THE RIGHT OF THE CITY TO INSPECT AND TEST THESE FACILITIES AND MAKE SURE NECESSARY REPAIRS AND/OR OTHER ACTIONS WHEN THE DEVELOPMENT FAILS TO DO SO. THE DEVELOPMENT WILL BE CHARGED FOR THESE ACTIONS. CULINARY WATER FACILITIES ARE CONSIDERED PART OF THE CITY'S PUBLIC WATER SYSTEM FOR THE PURPOSES OF TESTING AND REPORTING AS REQUIRED BY THE STATE OF UTAH.

CITY STANDARD LIGHTING NOTES

1. POST-APPROVAL ALTERATIONS TO LIGHTING PLANS OR INTENDED SUBSTITUTIONS FOR APPROVED LIGHTING EQUIPMENT SHALL BE SUBMITTED TO THE CITY FOR REVIEW AND APPROVAL.
2. THE CITY RESERVES THE RIGHT TO CONDUCT POST-INSTALLATION INSPECTIONS TO VERIFY COMPLIANCE WITH THE CITY'S REQUIREMENTS AND APPROVED LIGHTING PLAN COMMITMENTS, AND IF DEEMED APPROPRIATE BY THE CITY, TO REQUIRE REMEDIAL ACTION AT NO EXPENSE TO THE CITY.
3. ALL EXTERIOR LIGHTING SHALL MEET IESNA FULL-CUTOFF CRITERIA UNLESS OTHERWISE APPROVED BY THE CITY.



WATER MAIN HYDRANT AND STUB DETAIL



UTILITY PLAN IMPROVEMENTS INFORMATION

ITEM	UNIT	QTY
6" SEWER SERVICE LATERAL	LF	71
1" IRRIGATION WATER SERVICE LATERAL	LF	20
IRRIGATION WATER METER	EA	1
CULINARY WATER METER	EA	1
6" C900 WATER MAIN	LF	113
2" CTS POLY CULINARY WATER SERVICE LATERAL	LF	30
FIRE HYDRANT ASSEMBLY	EA	1
FREEZELESS YARD HYDRANT	EA	1
LIGHT POLE (DOUBLE FIXTURE)	EA	2

UTILITY PLAN

AUTOZONE STORE

SARATOGA SPRINGS CITY, UTAH

A PART OF SECTION 14
T5S, R1W, SLB&M, U.S. SURVEY
APRIL 2015

- SITE CONSTRUCTION KEYNOTES**
1. PROPOSED GAS LINE - SEE NOTE 6
 2. 8" C900 WATER MAIN - PER CITY REQUIREMENTS - SEE DT-1 AND DT-3
 3. PROPOSED SEWER LATERAL - SEE NOTE 3, PER CITY DETAIL SS-3
 4. PROPOSED CULINARY WATER SERVICE LATERAL - SEE NOTE 4, PER CITY DETAIL CW-6
 5. PROPOSED TELEPHONE LINE - SEE NOTE 6
 6. CULINARY WATER METER - PER CITY DETAIL CW-6. LOCATED BEHIND SIDEWALK IN EASILY ACCESSIBLE AREA OF SITE.
 7. FIRE HYDRANT ASSEMBLY - SEE NOTE 7, PER CITY DETAIL CW-4
 8. FREEZELESS YARD HYDRANT - INSTALL 3/4" POLY LINE FOR HYDRANT
 9. EXTERNAL GAS METER AND PRESSURE REGULATOR
 10. 1" POLY IRRIGATION WATER SERVICE LATERAL - PER CITY DETAIL PI-3
 11. PROPOSED POWER METER LOCATION - SEE NOTE 6
 12. EXISTING SEWER MANHOLE - RIM = 60.84, EX FL (N) = 51.74, EX FL (E) = 51.64
 13. IRRIGATION WATER METER - PER CITY DETAIL PI-5A. LOCATED BEHIND SIDEWALK IN EASILY ACCESSIBLE AREA OF SITE.
 14. LIGHT POLE - PER CITY DETAILS (SEE SHEET DT-6)
 15. HOT TAP CONNECTION TO EXISTING WATER LINE
 16. 1.25 DEGREE BEND WITH THRUST BLOCK

- GENERAL CONSTRUCTION NOTES**
1. THE LOCATION OF EXISTING UTILITIES SHOWN ARE APPROXIMATE ONLY AND THE CONTRACTOR SHALL VERIFY THE LOCATION AND ELEVATION OF ALL UTILITIES SHOWN OR NOT SHOWN ON THESE PLANS.
 2. IF IT IS NECESSARY TO CUT THE EXISTING ASPHALT OR REMOVE ANY OTHER HARD SURFACES, ALL SURFACES WILL BE RESTORED PER CITY REQUIREMENTS. CONTRACTOR SHALL SUBMIT AND RECEIVE APPROVAL ON ENCROACHMENT PERMIT AND TRAFFIC CONTROL PLAN PRIOR TO COMMENCING WORK IN THE PUBLIC ROW. CONTRACTOR SHALL NOTIFY OWNER AND CITY PRIOR TO BEGINNING WORK.
 3. 6" PVC SDR 35 SANITARY SEWER LINE WILL BE INSTALLED WITH A MINIMUM SLOPE OF 2.00%. CLEANOUTS REQUIRED EVERY 50'. CONTRACTOR TO FIELD VERIFY ELEVATIONS AND SLOPE. INSTALL SEWER A MINIMUM OF 1' BELOW FOOTING AT BUILDING. ESTIMATED USAGE IS 200 GPD. CORE AND CONNECT DIRECTLY INTO MANHOLE. RECONSTRUCT MANHOLE TROUGH AS REQUIRED BY CITY.
 4. INSTALL 2" CTS POLY WATER LINE WITH ALL NECESSARY BENDS AND ELBOWS PER SARATOGA SPRINGS CITY STANDARDS AND SPECIFICATIONS. ESTIMATED CULINARY WATER USAGE IS 200 GPD.
 5. CONTRACTOR SHALL SUBMIT AND RECEIVE APPROVAL ON AN ENCROACHMENT PERMIT AND TRAFFIC CONTROL PLAN PRIOR TO COMMENCING WORK IN PUBLIC ROW.
 6. CONTRACTOR SHALL COORDINATE ALL UTILITY CONNECTIONS WITH UTILITY OWNERS PRIOR TO BEGINNING WORK.
 7. NEW HYDRANT LOCATED 200' FROM THE FURTHEST BUILDING CORNER. EXISTING HYDRANT NORTH OF THE SITE IS APPROXIMATELY 263' FROM FURTHEST BUILDING CORNER.
 8. CONTRACTOR SHALL FIELD VERIFY ALL ELEVATIONS OF EXISTING IMPROVEMENTS PRIOR TO DOING ANY WORK. NOTIFY OWNER AND ENGINEER OF ANY DISCREPANCIES BETWEEN PLANS AND EXISTING CONDITIONS.

NOTE: ALL CONSTRUCTION TO CONFORM TO APWA AND SARATOGA SPRINGS CITY STANDARDS AND SPECIFICATIONS.

LEGEND

PROPOSED GAS	---	G
PROPOSED TELEPHONE	---	T
PROPOSED WATER	---	W
PROPOSED SEWER	---	SS
PROPOSED STORM DRAIN	---	SD
PROPOSED POWER	---	P
PROPOSED ROOF DRAIN	---	R
PROPOSED RIDGELINE	---	R
EXISTING TELEPHONE	---	T
EXISTING CULINARY WATER	---	W
EXISTING SEWER	---	SS
EXISTING STORM DRAIN	---	SD
EXISTING POWER	---	P
EXISTING GAS	---	GAS
EXISTING IRRIGATION WATER	---	IRR
EASEMENT	---	---
PROPERTY LINE	---	---

ELEVATIONS KEY

EL 00.00' = EL 4500.00'
EXAMPLE: 51.30' = 4551.30'
(FOR CIVIL PLANS ONLY)

OWNER: **AutoZone, Inc.**
123 S. FRONT STREET, 3RD FLOOR
MEMPHIS, TENNESSEE 38103

PREPARED FOR: **AutoZone STORE DEVELOPMENT**
Store No.: 6276
1536 NORTH REDWOOD ROAD
SARATOGA SPRINGS UT 84045

SCALE: 1" = 20'

REVISIONS

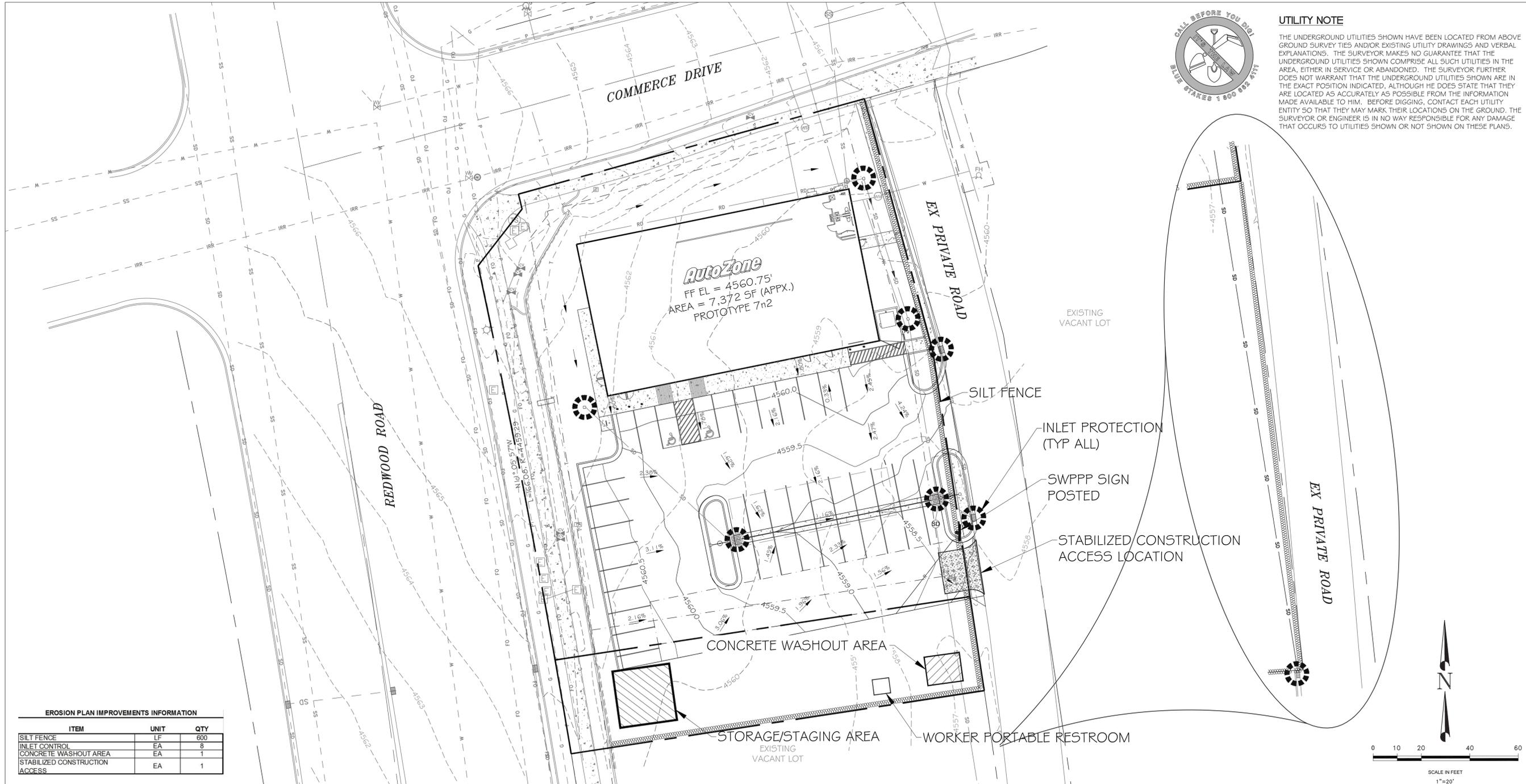
1.	
2.	
3.	
4.	
5.	
6.	
7.	

ARCHITECT:
DRAFTSMAN:
CHECKED BY:
DATE: 4-29-15
PROTOTYPE SIZE: 7x2

REGISTERED PROFESSIONAL ENGINEER
No. 8706815
COLBY CRAIG ANDERSON
STATE OF UTAH

C1.2

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UTILITY NOTE
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EROSION PLAN IMPROVEMENTS INFORMATION

ITEM	UNIT	QTY
SILT FENCE	LF	600
INLET CONTROL	EA	8
CONCRETE WASHOUT AREA	EA	1
STABILIZED CONSTRUCTION ACCESS	EA	1

OWNER:
AutoZone, Inc.
 123 S. FRONT STREET, 3rd FLOOR
 MEMPHIS, TENNESSEE 38103

PREPARED FOR:
AutoZone STORE DEVELOPMENT
 Store No.: 6276
 1536 NORTH REDWOOD ROAD
 SARATOGA SPRINGS UT 84045

SCALE: 1" = 20'
REVISIONS

1.
 2.
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 7.
 ARCHITECT:
 DRAFTSMAN:
 CHECKED BY:

DATE
 4-29-15
 PROTOTYPE SIZE
 7n2



C1.4

EROSION CONTROL PLAN

AUTOZONE STORE

SARATOGA SPRINGS CITY, UTAH

STREET MAINTENANCE NOTES:

- REMOVE ALL SEDIMENT DEPOSITED ON PAVED ROADWAYS IMMEDIATELY. SWEEP PAVED AREAS THAT RECEIVE CONSTRUCTION TRAFFIC WHENEVER SEDIMENT BECOMES VISIBLE.
- PAVEMENT WASHING WITH WATER IS PROHIBITED IF IT RESULTS IN A DISCHARGE TO THE STORM DRAIN SYSTEM.

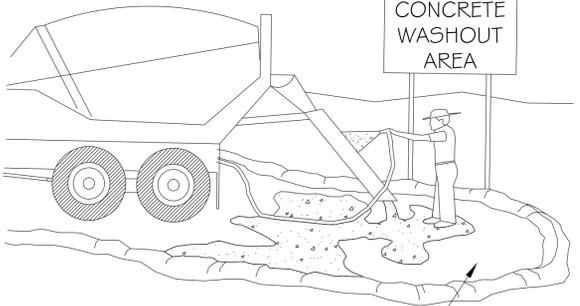
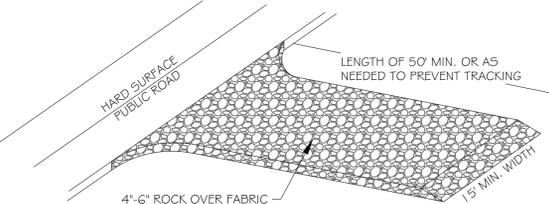
EROSION CONTROL NOTES

- SANDBAGS WILL BE PLACED AT DISCHARGE LOCATIONS TO CONTAIN AND DIVERT STORM WATER THROUGH THE INLET PROTECTION.
- AN EARTHEN BERM 6" HIGH WILL BE CONSTRUCTED TO CONTAIN THE STORM WATER AND DIVERT IT TO DISCHARGE AREAS.
- STORM WATER WILL BE DISCHARGED INTO AN EXISTING DRAINAGE SYSTEM. EXISTING LINES SHALL BE INSPECTED PRIOR TO CERTIFICATE OF OCCUPANCY AND CLEANED IF NECESSARY.
- THE STORM WATER POLLUTION PREVENTION PLAN SHALL CONFORM TO ALL STATE DIVISION OF ENVIRONMENTAL PROTECTION REGULATIONS.

ENTRANCE STABILIZATION NOTES

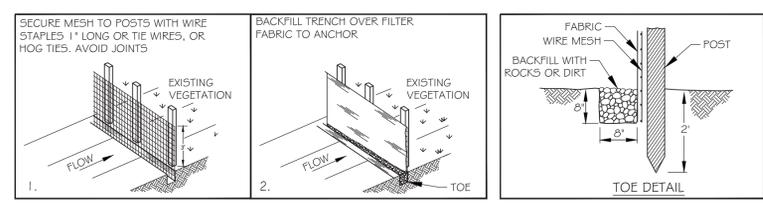
- SEDIMENTS AND OTHER MATERIALS SHALL NOT BE TRACKED FROM THE SITE BY VEHICLE TRAFFIC. THE CONSTRUCTION ENTRANCE ROADWAYS SHALL BE STABILIZED SO AS TO PREVENT SEDIMENTS FROM BEING DEPOSITED INTO THE STORM DRAIN SYSTEMS. DEPOSITIONS MUST BE SWEEPED IMMEDIATELY AND MAY NOT BE WASHED DOWN BY RAIN OR OTHER MEANS INTO THE STORM DRAIN SYSTEM.
- STABILIZED CONSTRUCTION ENTRANCE SHALL BE:
 - LOCATED AT ANY POINT WHERE TRAFFIC WILL BE ENTERING OR LEAVING A CONSTRUCTION SITE TO OR FROM A PUBLIC RIGHT-OF-WAY, STREET, ALLEY AND SIDEWALK OR PARKING AREA.
 - A MIN. 4"-6" COARSE AGGREGATE OVER FABRIC WITH A LENGTH OF 50' MIN., WIDTH OF 15' MIN. AND THICKNESS OF 8" MIN. OR AS NEEDED TO ADEQUATELY PREVENT ANY TRACKING ONTO PAVED SURFACES.
- ADDING A WASH RACK WITH A SEDIMENT TRAP LARGE ENOUGH TO COLLECT ALL WASH WATER CAN GREATLY IMPROVE EFFICIENCY.
- ALL VEHICLES ACCESSING THE CONSTRUCTION SITE SHALL UTILIZE THE STABILIZED CONSTRUCTION ENTRANCE SITES.

NOTE: ALL CONSTRUCTION TO CONFORM TO APWA AND SARATOGA SPRINGS CITY STANDARDS AND SPECIFICATIONS.

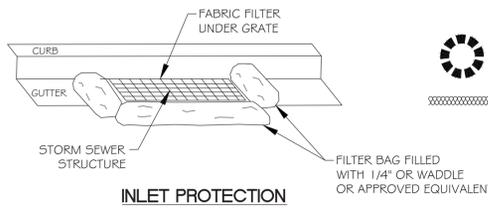


CONCRETE WASHOUT NOTES

- AN AREA CONTAINED BY A BERM OF WHICH SHALL BE NO LESS THAN 6" IN HEIGHT SHALL SERVE AS THE "CONCRETE WASHOUT AREA" AS SPECIFIED ON THESE PLANS. CONTRACTOR IS RESPONSIBLE TO PROVIDE SUFFICIENT VOLUME TO CONTAIN ALL CONCRETE AND LIQUID WASTE. EXCESS AND WASTE CONCRETE SHALL NOT BE WASHED INTO THE STREET OR INTO A DRAINAGE SYSTEM.
- FOR WASHOUT OF CONCRETE AND MORTAR PRODUCTS, A DESIGNATED CONTAINMENT FACILITY OF SUFFICIENT CAPACITY TO RETAIN LIQUID AND SOLID WASTE SHALL BE PROVIDED ON SITE.
- SLURRY FROM CONCRETE AND ASPHALT SAW CUTTING SHALL BE VACUUMED OR CONTAINED, DRIED, PICKED UP AND DISPOSED OF PROPERLY.

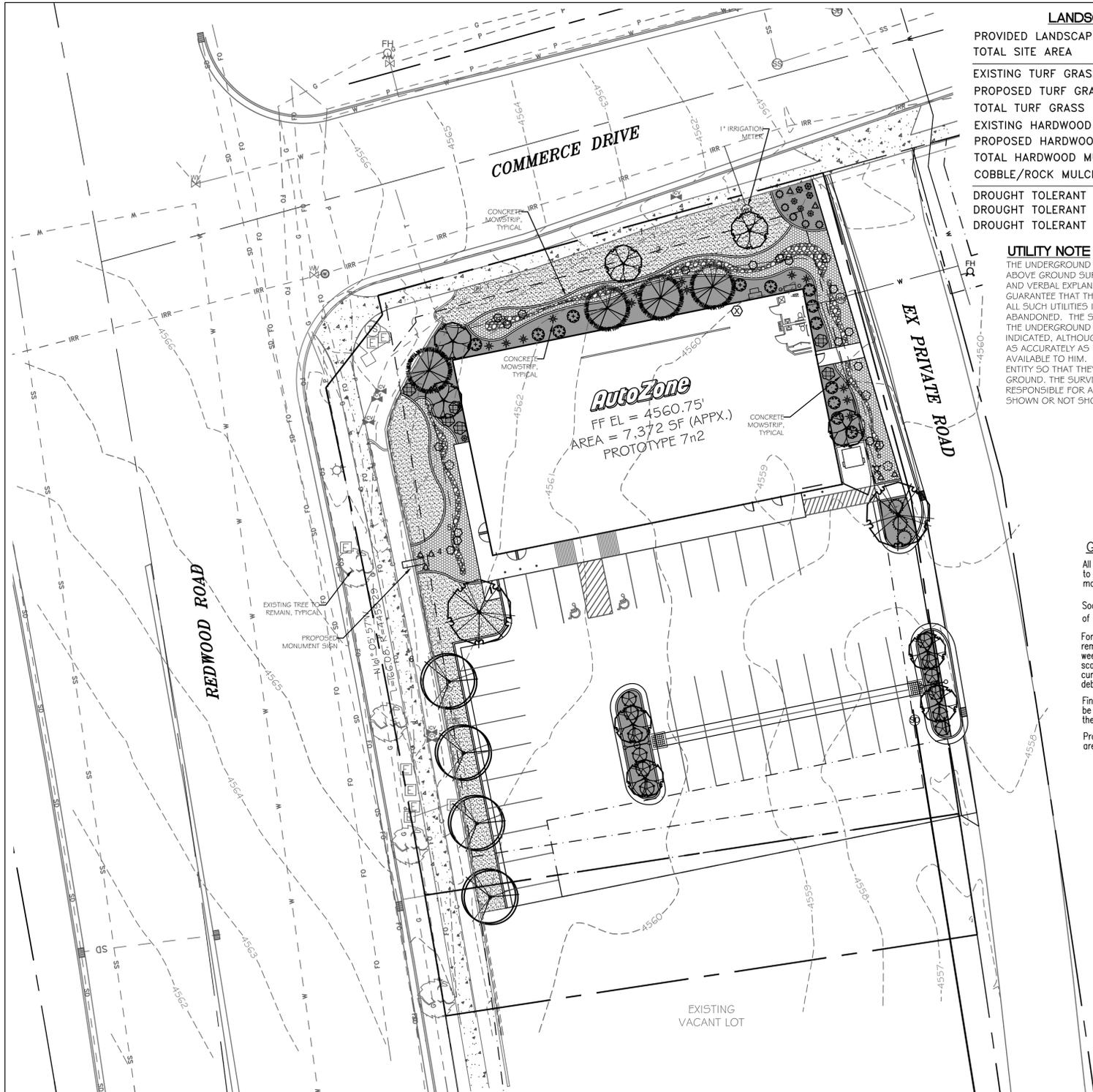


SILT FENCE
 (PER APWA PLAN 122)



LEGEND

- INLET PROTECTION (FILTER BAG AND FABRIC UNDER GRATE OR APPROVED EQUIVALENT)
- SILT FENCE



LANDSCAPE DATA

PROVIDED LANDSCAPE AREA	9,811 SF	28.2%
TOTAL SITE AREA	34,740 SF	100.0%
EXISTING TURF GRASS	1,514 SF	
PROPOSED TURF GRASS	3,130 SF	
TOTAL TURF GRASS	4,644 SF	47.3%
EXISTING HARDWOOD MULCH	690 SF	
PROPOSED HARDWOOD MULCH	2,404 SF	
TOTAL HARDWOOD MULCH	3,094 SF	31.5%
COBBLE/ROCK MULCH	1,873 SF	19.1%
DROUGHT TOLERANT TREES	10 OF 19 (53%)	
DROUGHT TOLERANT SHRUBS	39 OF 39 (100%)	
DROUGHT TOLERANT PERENNIALS	48 OF 48 (100%)	

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GENERAL NOTES

All landscape areas to be sod common to region except where other plant material is called for.

Sod to extend from property lines to back of city sidewalks and/or curbs.

For any landscape area so designated to remain whether on or off site, remove weeds, rocks, construction items, etc., then scarify area, reseed, and fertilize. R.O.W. curb and gutters are to be cleaned of debris.

Finished grades in landscape islands shall be installed so that they are 1" lower than the top of the surrounding curb.

Provide a weed mat for all planting areas.

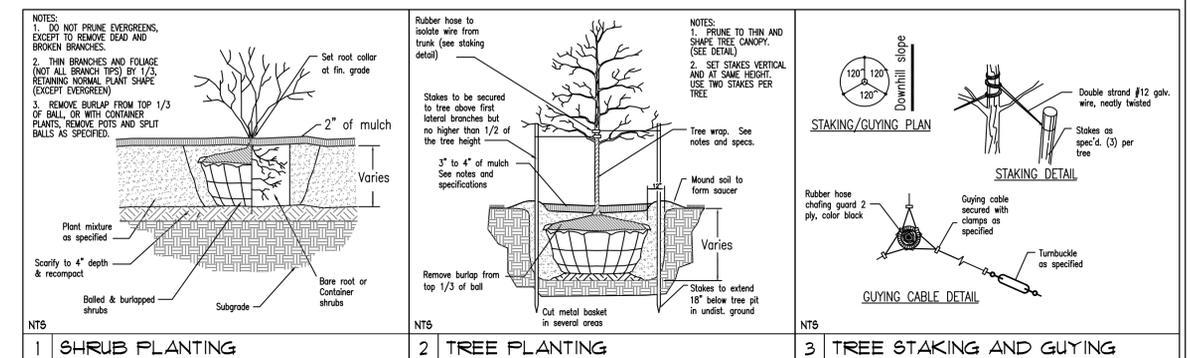
PLANT SCHEDULE

TREES	BOTANICAL NAME / COMMON NAME	CONT	CAL	SIZE	QTY
	ACER CAMPESTRE / HEDGE MAPLE	B # B	2.5"	CAL	2
	KOELREUTERIA PANICULATA / GOLDEN RAIN TREE	B # B	2.5"	CAL	4
	MALUS X 'CENTZAM' TM / CENTURION CRAB APPLE	B # B	2.5"	CAL	9
	PINUS LEUCODERMIS HELDRECHII / BOSIAN PINE	B # B		6' HT.	4

SHRUBS	BOTANICAL NAME / COMMON NAME	CONT	QTY
	BERBERIS THUNBERGII 'CRIMSON PYGMY' / CRIMSON PYGMY BARBERRY	5 GAL	5
	EUONYMUS ALATUS 'COMPACTUS' / COMPACT BURNING BUSH	5 GAL	6
	JUNIPERUS SABINA 'BROADMOOR' / BROADMOOR JUNIPER	5 GAL	3
	RHUS AROMATICA 'GRO-LOW' / GRO-LOW FRAGRANT SUMAC	5 GAL	12
	SPIRAEA X BUMALDA 'ANTHONY WATERER' / ANTHONY WATERER SPIRAEA	5 GAL	6
	SYMPHORICARPOS ALBUS / COMMON WHITE SNOWBERRY	5 GAL	7

ANNUALS/PERENNIALS	BOTANICAL NAME / COMMON NAME	CONT	QTY
	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER' / FEATHER REED GRASS	1 GAL	17
	HEMEROCALLIS X 'STELLA DE ORO' / STELLA DE ORO DAYLILY	1 GAL	7
	LAVANDULA ANGUSTIFOLIA 'MUNSTEAD' / MUNSTEAD ENGLISH LAVENDER	1 GAL	3
	MAHONIA REPENS / CREEPING MAHONIA	1 GAL	13
	MISCANTHUS SINENSIS 'PURPURESCENS' / FLAME GRASS	1 GAL	4
	PENNISETUM ALOPECUROIDES 'LITTLE BUNNY' / LITTLE BUNNY FOUNTAIN GRASS	1 GAL	4

GRASS / MULCH	COMMON NAME	CONT	QTY
	BIOGRASS BLUEGRASS SOD MIX BY BIOGRASS 801.562.9090	SOD	3,130 SF
	4" LAYER OF 3/4" CRUSHED SOUTH TOWN GRAVEL OVER WEED BARRIER		1,499 SF
	6" LAYER OF 2"-4" CALICO (STAKER PARSON LANDSCAPE YARD) COBBLE OVER WEED BARRIER		374 SF
	4" LAYER OF LARGE BARK NUGGET MULCH OVER WEED BARRIER		2,404 SF



- PLANTING NOTES:**
1. CODES, LAWS, REGULATIONS, AND PERMITS BY FEDERAL, STATE, COUNTY AND CITY AGENCIES FOR DESIGN CONCEPT, MATERIALS AND WORKMANSHIP MUST BE RESEARCHED AND SATISFIED BY THE CONTRACTOR. REPORT ANY PROBLEMS OR REQUIREMENTS TO THE LANDSCAPE ARCHITECT. THE CONTRACTOR MUST VERIFY THE REGULATIONS FOR AND SECURE ANY PERMITS BEFORE BEGINNING CONSTRUCTION. THE COST FOR THE PERMIT FEES MAY BE SUBMITTED TO THE OWNER FOR REIMBURSEMENT. CALL BLUE STAKES AND REFER TO DRAINAGE AND CIVIL PLANS BEFORE ANY TRENCHING OR EXCAVATION.
 2. LANDSCAPE PLANS AND DETAIL DRAWINGS ARE SCHEMATIC ONLY. DISCREPANCIES MAY EXIST, INCLUDING BUT NOT LIMITED TO BUILDING LOCATION, PROPERTY LINES, ANY DIMENSIONS SPECIFIED OR IMPLIED. THE CONTRACTOR WILL BE REQUIRED TO ADJUST PLANS AS NECESSARY TO RETAIN CONCEPT INTEGRITY. CONTACT LANDSCAPE ARCHITECT IF DISCREPANCIES EXIST.
 3. PLANT MATERIAL EXCAVATION, CALL BLUE STAKE AND MAKE REFERENCE TO DRAINAGE AND CIVIL PLANS BEFORE EXCAVATION FOR PLANT MATERIAL. ALL HOLES MUST ALLOW FOR A MINIMUM OF SIX (6) INCHES OF SPECIFIED PLANTING MIX BACKFILL MATERIAL ON ALL SIDES OF ROOT BALL FOR SHRUBS, AND 3X BALL DIAMETER FOR TREES.
 4. PLANT MATERIAL BACKFILL MUST BE A WELL MIXED COMBINATION OF 1/3 NATIVE SOIL, 1/3 TOPSOIL, AND 1/3 ORGANIC COMPOSTED MATERIAL. DEEP WATER ALL PLANT MATERIAL IMMEDIATELY AFTER PLANTING. ADD BACKFILL MATERIAL TO DEPRESSIONS AS NECESSARY.
 5. PREPARE SUBGRADE SOIL FOR TURF AND SHRUB / PERENNIAL PLANTER BEDS BY LOOSENING SUBGRADE TO A MINIMUM DEPTH OF 4". REMOVE STICKS, EXTRANEIOUS MATTER, AND STONES LARGER THAN 1". SPREAD TOPSOIL AND AMENDMENTS AND THOROUGHLY BLEND SOIL TO A MINIMUM DEPTH OF 6". SOIL AMENDING SHALL INCLUDE COMPOSTED ORGANIC MATERIAL ADDED AT A RATE OF THREE CUBIC YARDS PER 1000 SQUARE FEET. ALL SOD AREAS, SHRUB BEDS, AND PERENNIAL PLANTERS SHALL HAVE THE SOIL AMENDED.
 6. TOP SOIL MUST BE A PREMIUM QUALITY DARK SANDY LDM, FREE OF ROCKS, CLODS, ROOTS, AND PLANT MATTER. THE TOPSOIL SHALL BE EVENLY SPREAD AND SMOOTH GRADED ON A CAREFULLY PREPARED AMENDED SUBGRADE. TOPSOIL SHALL BE SPREAD TO A DEPTH OF FOUR INCHES (4") IN ALL SOD AREAS AND SIX INCHES (6") IN ALL SHRUB AREAS, FLOWERING ANNUAL BEDS, AND CONTAINERIZED GROUNDCOVER AREAS.
 7. SOD MUST BE PREMIUM QUALITY, ULTRA GREEN, EVENLY CUT, ESTABLISHED, HEALTHY, WEED AND DISEASE FREE, AND FROM AN APPROVED SOURCE. SOD MUST BE DELIVERED AND LAID IMMEDIATELY AFTER CUTTING. SOD MUST BE LAID WITH NO GAPS BETWEEN PIECES ON A CAREFULLY PREPARED TOPSOIL LAYER. THE LAID SOD MUST BE IMMEDIATELY WATERED AFTER INSTALLATION. ANY BURNED AREAS WILL REQUIRE REPLACEMENT. ADJUST SPRINKLER SYSTEM TO ASSURE HEALTHY GREEN SURVIVAL OF THE SOD WITHOUT WATER WASTE.
 8. ALL CONSTRUCTION TO CONFORM TO APWA AND SARATOGA SPRINGS CITY STANDARDS AND SPECIFICATIONS.
 9. HARDWOOD BARK MULCH OR ROCK / COBBLE WILL BE REQUIRED IN ALL LANDSCAPE BEDS FOR SHRUBS, PERENNIALS, AND ANNUALS. PRIOR TO PLACING MULCH OR ROCK A PRE-EMERGENT SHALL BE APPLIED TO ALL AREAS. AND A LAYER OF DEWITT PRO 5 WEED BARRIER PLACED. MULCH OR ROCK SHALL BE EVENLY SPREAD ON A CAREFULLY PREPARED GRADE TO THE MINIMUM DEPTH NOTED. THE TOP OF ALL AREAS SHALL BE ONE INCH BELOW THE GRADE OF THE ADJACENT CURB, WALK, OR EDGE OF CONCRETE.
 10. FERTILIZER FOR SOD AREAS SHALL BE PELLETIZED, N-P-K AS APPROVED BY LANDSCAPE ARCHITECT FOR SEASONAL ADJUSTMENT. USE 20 LBS PER 5,000 SQUARE FEET OR AS PER MANUFACTURER'S SPECIFICATIONS. SPREAD EVENLY ON A CAREFULLY PREPARED TOPSOIL LAYER JUST PRIOR TO LAYING SOD.
 11. LANDSCAPE MAINTENANCE MUST BE PERFORMED BY THE LANDSCAPE CONTRACTOR DURING ESTABLISHMENT (30 DAYS AFTER FINAL ACCEPTANCE OF ENTIRE PROJECT). RESPONSIBILITIES INCLUDE WEED CONTROL, MOWING, AND IRRIGATION RUN TIME ADJUSTMENTS. NOTIFY OWNER AND CONSTRUCTION REPRESENTATIVE WHEN ESTABLISHMENT PERIOD HAS ENDED TO INSURE ONGOING MAINTENANCE. THE OWNER IS RESPONSIBLE FOR LANDSCAPE MAINTENANCE AND UPKEEP ONCE ESTABLISHMENT PERIOD HAS EXPIRED.
 12. ALL PLANT MATERIAL AND LANDSCAPE ELEMENTS WILL BE GUARANTEED FOR ONE YEAR AFTER FINAL ACCEPTANCE. ANY ITEMS THAT ARE NOT FIRST CLASS PREMIUM QUALITY WILL BE REPLACED BY THE CONTRACTOR AT NO COST TO THE OWNER. ANY PLANT MATERIAL THAT IS NOT PREMIUM QUALITY OR APPEARS STRESSED IN ANY WAY DURING THE GUARANTEE PERIOD WILL REQUIRE REPLACEMENT. THE CONTRACTOR MUST SCHEDULE A PRE AND POST GUARANTEE MEETING WITH THE OWNER'S REPRESENTATIVE FOR INSPECTION. FAILURE TO DO SO WILL MEAN THE OFFICIAL GUARANTEE PERIOD HAS NOT BEEN ACTIVATED OR DE-ACTIVATED.
 13. IT IS THE CONTRACTORS RESPONSIBILITY TO VERIFY ALL QUANTITIES LISTED ON THE PLANS AND THE AVAILABILITY OF ALL PLANT MATERIALS IN THEIR SPECIFIED SIZES PRIOR TO SUBMITTING A BID. THE CONTRACTOR MUST NOTIFY THE LANDSCAPE ARCHITECT PRIOR TO SUBMITTING A BID IF THE CONTRACTOR DETERMINES A QUANTITY DEFICIENCY OR AVAILABILITY PROBLEM WITH SPECIFIED MATERIAL.
 14. ALL SOD, HARDWOOD MULCH, AND ROCK / COBBLE MULCH AREAS SHALL BE SEPARATED BY A 4" DEEP X 6" WIDE CONCRETE MOVESTRIP.

**LANDSCAPE PLAN
 AUTOZONE STORE
 SARATOGA SPRINGS CITY, UTAH**

A PART OF SECTION 14
 T5S, R1W, SLB&M, U.S. SURVEY
 APRIL 2015

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 123 S. FRONT STREET, 3rd FLOOR
 MEMPHIS, TENNESSEE 38103

PREPARED FOR: **AutoZone STORE DEVELOPMENT**
 Store No.: 6276
 1536 NORTH REDWOOD ROAD
 SARATOGA SPRINGS UT 84045

SCALE: 1" = 20'

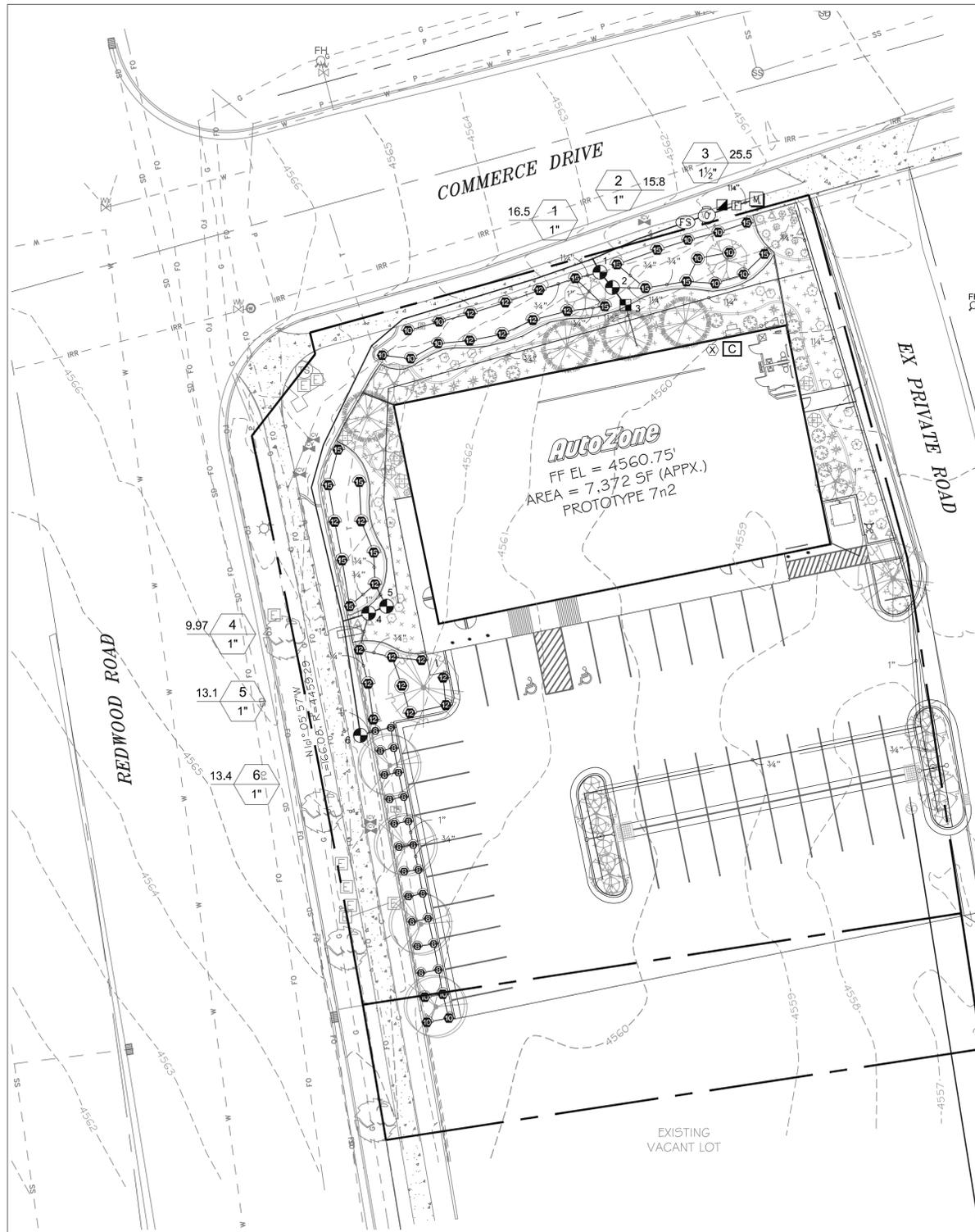
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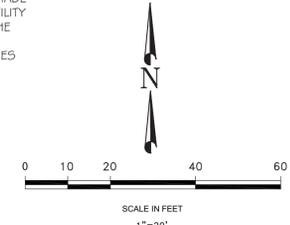


IRRIGATION NOTES

1. IRRIGATION SYSTEM COMPONENTS MUST BE PREMIUM QUALITY ONLY AND INSTALLED TO MANUFACTURER'S REQUIREMENTS AND SPECIFICATIONS. THE CONTRACTOR IS RESPONSIBLE FOR CHECKING STATE AND LOCAL LAWS FOR ALL SPECIFIED MATERIALS AND WORKMANSHIP. SUBSTITUTIONS MUST BE APPROVED BY LANDSCAPE ARCHITECT. PROVIDE OWNER AND MAINTENANCE PERSONNEL WITH INSTRUCTION MANUAL AND ALL PRODUCTS DATA TO OPERATE, CHECK, WINTERIZE, REPAIR, AND ADJUST SYSTEM. ANY CHANGES MUST BE DOCUMENTED AND SUBMITTED TO LANDSCAPE ARCHITECT IN AN AS BUILT PLAN FORMAT.
2. IRRIGATION SYSTEM GUARANTEE FOR ALL MATERIALS AND WORKMANSHIP SHALL BE ONE YEAR FROM THE TIME OF PROJECT ACCEPTANCE. GUARANTEE WILL INCLUDE, BUT IS NOT LIMITED TO WINTERIZING, SPRING ACTIVATION, REPAIR, TRENCH SETTING, BACKFILLING DEPRESSIONS, AND REPAIRING FREEZE DAMAGE. CONTRACTOR MUST CONTACT LANDSCAPE ARCHITECT TO SCHEDULE PRE AND POST GUARANTEE INSPECTION MEETINGS. FAILURE TO DO SO WILL MEAN THE OFFICIAL GUARANTEE PERIOD HAS NOT BEEN ACTIVATED OR DE-ACTIVATED.
3. IRRIGATION SYSTEM STATIC PRESSURE MUST BE CHECKED BY THE CONTRACTOR BEFORE CONSTRUCTION BEGINS. CONTACT LANDSCAPE ARCHITECT IF MEASURED STATIC PRESSURE IS UNDER 60 P.S.I. OR OVER 90 P.S.I.
4. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL QUANTITIES BASED UPON THE PLAN PRIOR TO COMPLETION OF A CONSTRUCTION COST ESTIMATE. FIELD VERIFICATION OF ALL IRRIGATION PIPING AND EQUIPMENT NECESSARY TO COMPLETE CONSTRUCTION IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. IRRIGATION LATERALS AND FITTINGS MUST BE SCHEDULE 40 P.V.C. THREE QUARTER (3/4) INCH MINIMUM SIZE. SOLVENT WELD ALL JOINTS AS PER MANUFACTURER'S SPECIFICATIONS FOR MEASURED STATIC P.S.I. TEFLON TAPE ALL THREADED FITTINGS. THE MINIMUM DEPTH OF LINES SHALL BE TWELVE (12) INCHES. FLOWS IN G.P.M. FOR UN-SIZED LINES OR CHANGES SHALL BE (3/4 INCH-1-8 G.P.M.), (1 INCH-9-12 G.P.M.), (1 1/4 INCH-13-22 G.P.M.).
6. IRRIGATION MAIN LINE SHALL BE SCHEDULE 40 PVC PIPE WITH SCHEDULE 80 FITTINGS. SOLVENT WELD ALL JOINTS AS PER MANUFACTURER'S SPECIFICATIONS FOR MEASURED STATIC PRESSURE. USE TEFLON TAPE ON ALL THREADED JOINTS. LINE DEPTH MUST BE TWENTY FOUR (24) INCHES MINIMUM.
7. CONTROL WIRE MUST BE UF-UL LISTED, COLOR CODED, COPPER CONDUCTOR, DIRECT BURIAL. USE 14 GAUGE MINIMUM WIRING WITH ALL CONNECTIONS MADE WITH WATER-TIGHT RAINBIRD SPLICE-1 WATERPROOF CONNECTORS AND CONTAINED IN VALVE BOXES. PROVIDE 24" OF SLACK WIRE AT EACH REMOTE CONTROL VALVE IN VALVE BOXES AND SLACK AT ALL CHANGES IN DIRECTION. TAPE WIRE TO THE UNDERSIDE OF THE MAINLINE EVERY TWENTY (20) FEET. WIRING SHALL HAVE SEPARATE COLORS FOR COMMON, CONTROL, AND SPARE. PROVIDE ONE SPARE WIRE FOR EVERY 5 REMOTE CONTROL VALVES, WITH SPARE AVAILABLE AT ALL VALVE MANIFOLDS OR CLUSTERS. ALL SPARE WIRE SHALL BE "HOME RUN" TO THE CONTROLLER AND COMMON SHALL BE END RUN.
8. RISERS FOR SPRAY HEADS AND ROTORS UP TO 7 GPM SHALL BE RAINBIRD SPX SWING PIPE (OR APPROVED EQUAL) WITH SB SERIES BARB FITTINGS. RISERS FOR HEADS OVER 7 GPM SHALL BE RAINBIRD TSJ SERIES SWING JOINTS (OR APPROVED EQUAL), SIZE TO MATCH INLET SIZE OF HEAD.
9. CONTROL VALVES TO BE INSTALLED IN HEAVY DUTY PLASTIC VANDAL PROOF BOX. SIZE BOXES ACCORDING TO VALVE NUMBERS FOR EASE OF MAINTENANCE AND REPAIR. INSTALL FOUR (4) CUBIC FEET OF PEA GRAVEL FOR SUMP IN BASE OF BOXES.
10. QUICK COUPLERS SHALL BE A RAINBIRD 44LRC WITH A LASCO 1" UNITIZED SWING JOINT ASSEMBLY AND 1" BRASS INSERT 90° ELL OUTLET, SUPPORT WITH REBAR IN EACH RETAINER LUG. INSTALL WHERE SHOWN ON THE PLANS.
11. IRRIGATION SYSTEM BACKFILL MUST OCCUR ONLY AFTER SYSTEM CHECK IS COMPLETED. USE ONLY ROCK FREE CLEAN FILL AROUND PIPES, VALVES, DRAINS, OR ANY IRRIGATION SYSTEM COMPONENTS. WATER SETTLE ALL TRENCHES AND EXCAVATIONS.
12. ALL IRRIGATION PIPE RUNNING THROUGH WALLS, UNDER SIDEWALK, ASPHALT, OR OTHER HARD SURFACE SHALL BE SLEEVED PRIOR TO PAVING. IT IS THE IRRIGATION CONTRACTOR'S RESPONSIBILITY TO COORDINATE SLEEVING WITH CONCRETE AND PAVEMENT CONTRACTORS. SLEEVES WILL BE CLASS 200 P.V.C. THE DEPTH FOR MAIN LINE SLEEVES SHALL BE TWENTY FOUR (24) INCHES MINIMUM. DEPTH FOR LATERAL SLEEVES SHALL BE TWELVE (12) INCHES MINIMUM. SLEEVES SHALL BE A MINIMUM OF TWO SIZES LARGER THAN THE PIPE TO BE SLEEVED. ALL VALVE WIRING SHALL BE CONTAINED IN SEPARATE SLEEVING.
13. PLANS ARE DIAGRAMMATIC AND APPROXIMATE DUE TO SCALE. WHERE POSSIBLE, ALL PIPING IS TO BE INSTALLED WITHIN THE PLANTING AREAS. NO TEES, ELLS, OR CHANGES IN DIRECTION SHALL OCCUR UNDER ASPHALT.
14. SPRAY HEADS ADJACENT TO HARDSCAPE PAVING SHALL BE SPACED AWAY 1"-3". SPRAY HEADS ADJACENT TO WALLS, BUILDINGS, FENCES OR STRUCTURES SHALL BE SPACED AWAY A MINIMUM OF 6".
15. THE IRRIGATION SYSTEM SHALL BE INSTALLED FOR PROPER DRAINAGE AND WINTERIZATION. NO LINE SACS OR SADDLES SHALL OCCUR IN IRRIGATION MAIN OR LATERAL LINES. ALL PIPING SHALL HAVE A MINIMUM .5% POSITIVE SLOPE TO END OF LINES. INSTALL KING DRAINS AT ALL LOW POINTS AND ENDS OF LATERAL LINES. PROVIDE SYSTEM WITH MANUAL COMPRESSION AIR BLOWOUT ABILITY THROUGH QUICK COUPLERS. THE OWNER MUST BE INFORMED ON WINTERIZING SCHEDULE FOR BLOWING OUT SYSTEM.
16. UPON COMPLETION OF IRRIGATION MODIFICATIONS, THE CONTRACTOR SHALL VISUALLY INSPECT THE IRRIGATION SYSTEM AND VERIFY THAT ALL IRRIGATION ZONES OPERATE PROPERLY. ANY UNDER IRRIGATED OR UNIRRIGATED AREAS SHALL BE IDENTIFIED, AND THE CONTRACTOR SHALL MAKE ADJUSTMENTS OR ADDITIONS TO THE SYSTEM TO CORRECT IRRIGATION DEFICIENCIES.
17. DRIP SYSTEM PIPING SHALL CONSIST OF A RIGID SCHEDULE 40 PVC PIPE DISTRIBUTION SYSTEM CONNECTING DRIP IRRIGATED PLANTER AREAS. POLYTUBING SHALL BE RUN OFF THE RIGID PVC TO EACH PLANT. NO POLYTUBING SHALL RUN UNDER PAVEMENT.

UTILITY NOTE

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM ABOVE GROUND SURVEY TIES AND/OR EXISTING UTILITY DRAWINGS AND VERBAL EXPLANATIONS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT POSITION INDICATED, ALTHOUGH HE DOES STATE THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION MADE AVAILABLE TO HIM. BEFORE DIGGING, CONTACT EACH UTILITY ENTITY SO THAT THEY MAY MARK THEIR LOCATIONS ON THE GROUND. THE SURVEYOR OR ENGINEER IS IN NO WAY RESPONSIBLE FOR ANY DAMAGE THAT OCCURS TO UTILITIES SHOWN OR NOT SHOWN ON THESE PLANS.

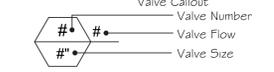


IRRIGATION SCHEDULE

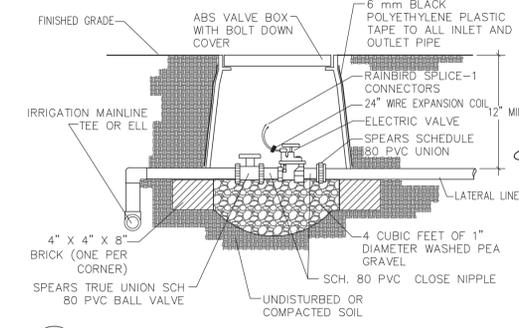
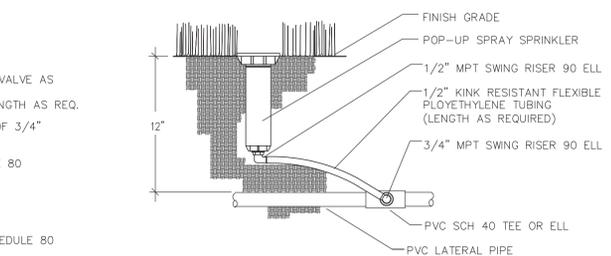
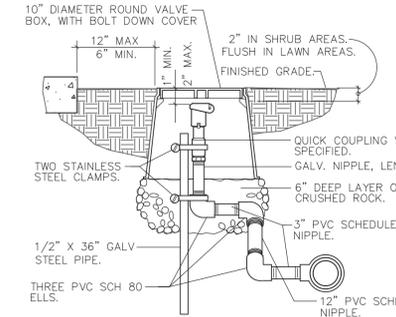
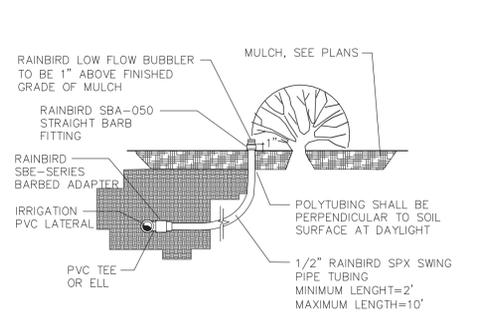
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY
Q T H F	RAIN BIRD 1804-U-PRS U8 SERIES TURF SPRAY 4.0" POP-UP SPRINKLER WITH CO-MOLDED WIPER SEAL. 1/2" NPT FEMALE THREADED INLET. PRESSURE REGULATING.	22
Q T H F	RAIN BIRD 1804-U-PRS U10 SERIES TURF SPRAY 4.0" POP-UP SPRINKLER WITH CO-MOLDED WIPER SEAL. 1/2" NPT FEMALE THREADED INLET. PRESSURE REGULATING.	19
Q T H IT IQ F	RAIN BIRD 1804-U-PRS U12 SERIES TURF SPRAY 4.0" POP-UP SPRINKLER WITH CO-MOLDED WIPER SEAL. 1/2" NPT FEMALE THREADED INLET. PRESSURE REGULATING.	16
Q T H IT IQ F	RAIN BIRD 1804-U-PRS U15 SERIES TURF SPRAY 4.0" POP-UP SPRINKLER WITH CO-MOLDED WIPER SEAL. 1/2" NPT FEMALE THREADED INLET. PRESSURE REGULATING.	14

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY
+	RAIN BIRD XCZ-150-FRB-COM HIGH FLOW CONTROL ZONE KIT, FOR LARGE COMMERCIAL DRIP ZONES. 1-1/2" PESB VALVE WITH TWO 1" PRESSURE REGULATING (40PSI) QUICK-CHECK BASKET FILTERS. FLOW RANGE: 1.5-40GPM.	1
+	AREA TO RECEIVE DRIP EMITTERS	
+	RAIN BIRD PCT PRESSURE COMPENSATING THREADED LOW-FLOW BUBBLERS. OFFERED IN 5 GPH, 7 GPH, AND 10 GPH MODELS, WITH 1/2" FPT THREADED INLET. LIGHT BROWN = 5 GPH, VIOLET = 7 GPH, AND GREEN = 10 GPH. Emitter Notes: 1 gal plant to receive 1 of 05 gph emitter. 5 gal plant to receive 1 of 10 gph emitter. B # B, 2.5" Gal plant to receive 5 of 10 gph emitters. B # B, 6" Ht. plant to receive 5 of 10 gph emitters.	4,252 S.F.

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY
+	RAIN BIRD PESB 1", 1-1/2", 2" PLASTIC INDUSTRIAL VALVES. LOW FLOW OPERATING CAPABILITY, GLOBE CONFIGURATION, WITH SCRUBBER TECHNOLOGY FOR RELIABLE PERFORMANCE IN DIRTY WATER IRRIGATION APPLICATIONS.	5
+	RAIN BIRD 44-LRC 1" BRASS QUICK-COUPLING VALVE, WITH CORROSION-RESISTANT STAINLESS STEEL SPRING, LOCKING THERMOPLASTIC RUBBER COVER, AND 2-PIECE BODY.	1
+	RAIN BIRD PESB 1" 1", 1-1/2", 2" PLASTIC INDUSTRIAL VALVES. LOW FLOW OPERATING CAPABILITY, GLOBE CONFIGURATION, WITH SCRUBBER TECHNOLOGY FOR RELIABLE PERFORMANCE IN DIRTY WATER IRRIGATION APPLICATIONS.	1
C	RAIN BIRD ESP6LXMEF 8 STATION CAPABLE COMMERCIAL CONTROLLER. MOUNTED ON A PLASTIC WALL MOUNT. FLOW SENSING AND WATER MANAGEMENT CAPABILITIES. INSTALLATION LOCATION TO BE DETERMINED BY OWNER.	1
X	RAIN BIRD ETC-LX UPGRADES ANY ESP-LX SERIES CONTROLLER TO AN ETWEATHER-BASED IRRIGATION CONTROLLER.	1
FS	RAIN BIRD FS-100-B 1" FLOW SENSOR FOR USE WITH RAIN BIRD MAXICOM, SITECONTROL, AND ESP-LXD CENTRAL CONTROL SYSTEMS. BRASS MODEL. SUGGESTED OPERATING RANGE OF 2.0 GPM TO 40.0 GPM. SENSORS SHOULD BE SIZED FOR FLOW RATHER THAN PIPE SIZE.	1
F	AMIAD 1-5-DISC ELEMENT AMIAD 1" SUPER MANUAL PLASTIC FILTER, DISC ELEMENT, ENGINEERED-PLASTIC MATERIAL, MAXIMUM WORKING PRESSURE 145PSI.	1
M	WATER METER 1"	1
---	IRRIGATION LATERAL LINE: PVC SCHEDULE 40	1,160 L.F.
---	PVC SCHEDULE 40 IRRIGATION PIPE.	
---	IRRIGATION MAINLINE: PVC SCHEDULE 40	265.6 L.F.
---	PIPE SLEEVE: PVC CLASS 200 SDR 21 TYPICAL PIPE SLEEVE FOR IRRIGATION PIPE. PIPE SLEEVE SIZE SHALL ALLOW FOR IRRIGATION PIPING AND THEIR RELATED COUPLINGS TO EASILY SLIDE THROUGH SLEEVING MATERIAL. EXTEND SLEEVES 18 INCHES BEYOND EDGES OF PAVING OR CONSTRUCTION.	139.6 L.F.



**IRRIGATION PLAN
AUTOZONE STORE
SARATOGA SPRINGS CITY, UTAH**
A PART OF SECTION 14
T5S, R1W, SLB&M, U.S. SURVEY
APRIL 2015



LOW FLOW BUBBLER ON POLYTUBING RISER

QUICK COUPLING VALVE IN BOX

POP-UP SPRAY

IRRIGATION ELECTRIC VALVE

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1536 NORTH REDWOOD ROAD
SARATOGA SPRINGS UT 84045
IRRIIGATION PLAN

SCALE: 1" = 20'

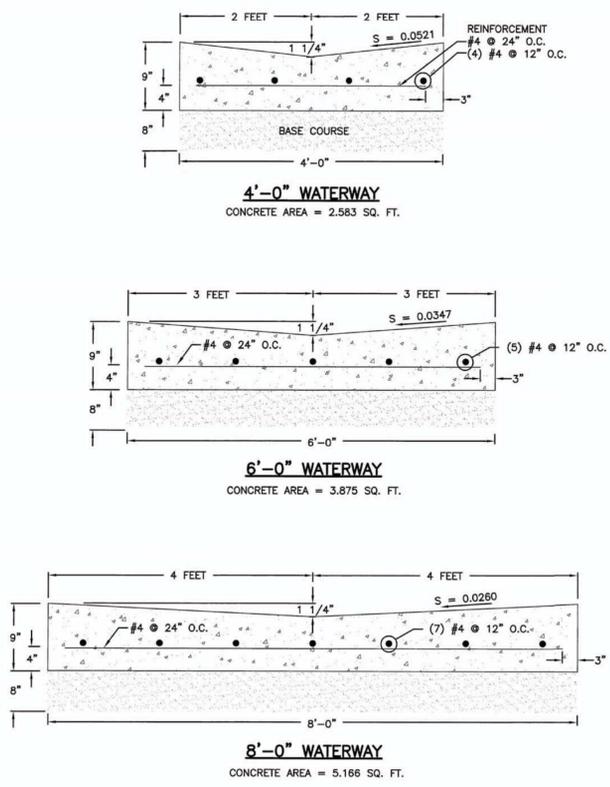
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DRAFTSMAN:
CHECKED BY:
DATE: 4-29-15
PROTOTYPE SIZE: 7x2



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4'-0" WATERWAY
CONCRETE AREA = 2,583 SQ. FT.

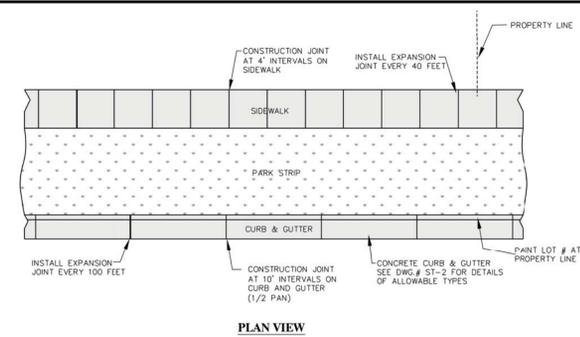
6'-0" WATERWAY
CONCRETE AREA = 3,875 SQ. FT.

8'-0" WATERWAY
CONCRETE AREA = 5,166 SQ. FT.

Waterway
37

Plan 211

July 2011



PLAN VIEW

- NOTES:**
1. A MINIMUM 6" DEPTH OF ROADBASE MATERIAL SHALL BE PLACED TO GRADE AND COMPACTED TO 95% OF MAXIMUM DRY DENSITY UNDER DRIVEWAY, WATERWAY, AND CURB & GUTTER PRIOR TO PLACEMENT OF CONCRETE.
 2. A MINIMUM 6" DEPTH OF ROADBASE MATERIAL SHALL BE PLACED TO GRADE AND COMPACTED TO 95% OF MAXIMUM DRY DENSITY UNDER SIDEWALK AT ALL OTHER LOCATIONS PRIOR TO PLACEMENT OF CONCRETE.
 3. WHERE CONSTRUCTOR IS ADJACENT TO STATE HIGHWAY FRONTAGE, STATE HIGHWAY DEPARTMENT REQUIREMENTS SHALL GOVERN.
 4. CONCRETE SHALL BE 3/4 INCH MAXIMUM AGGREGATE, 6.3 BAGS PER YARD OF TYPE 2 CEMENT WITH A MINIMUM COMPRESSIVE STRENGTH OF 4,000 PSI AT 28 DAYS.
 5. EXPANSION JOINTS FOR CURB & GUTTER ARE TO BE SPACED NO MORE THAN 100 FT. AND SIDEWALKS SHALL BE SPACED NO MORE THAN EVERY 40 FT. EXPANSION JOINTS SHALL BE CONSTRUCTED BY PLACING AN APPROVED MATERIAL, (TYPICALLY BITUMINOUS IMPREGATED FIBERBOARD), THE FULL DEPTH OF THE CONCRETE. EXPANSION MATERIAL SHALL BE SET 1/2" BELOW THE FINISH LEVEL OF THE SIDEWALK.
 6. CONSTRUCTION JOINT IS MADE BY SCORING THE CONCRETE WITH 1/2" RADIUS EDGING TOOL OR OTHER METHOD APPROVED BY ENGINEER.
 7. SLOPE SIDEWALK TO ROADWAY AT 2% GRADE.
 8. LOCATE ALL INLET GRATES 2' MINIMUM AWAY FROM THE PEDESTRIAN CROSSWALK, WITH ALL DRAINAGE INTERCEPTED BEFORE IT GETS TO THE CROSSWALK AREA.
 9. THE SIDEWALK SHALL BE A MIN. 5" THICK CONCRETE.
 10. IN ROCKY SUB-GRADES 18" OF BOTTOM OF TRENCH TO BOTTOM OF PIPE, MIN. OF 2" OF OUTSIDE DIAMETER.
 11. INSTALL MAGNETIC DETECTOR TAPE WITH A MIN. OF 14 GAUGE COATED TRACER WIRE FOR ALL PVC OR OTHER PIPE.
 12. PAINT LOT NUMBER AT PROPERTY LINE.
 13. SEWER LATERAL LOCATIONS TO BE MARKED ON TOP OF CURB WITH AN S.
 14. CULINARY WATER LATERAL LOCATIONS TO BE MARKED ON TOP OF CURB WITH A W.
 15. SECONDARY WATER LATERAL LOCATIONS TO BE MARKED ON TOP OF CURB WITH AN I.
 16. WATER VALVE LOCATIONS TO BE MARKED ON TOP OF CURB WITH A V.

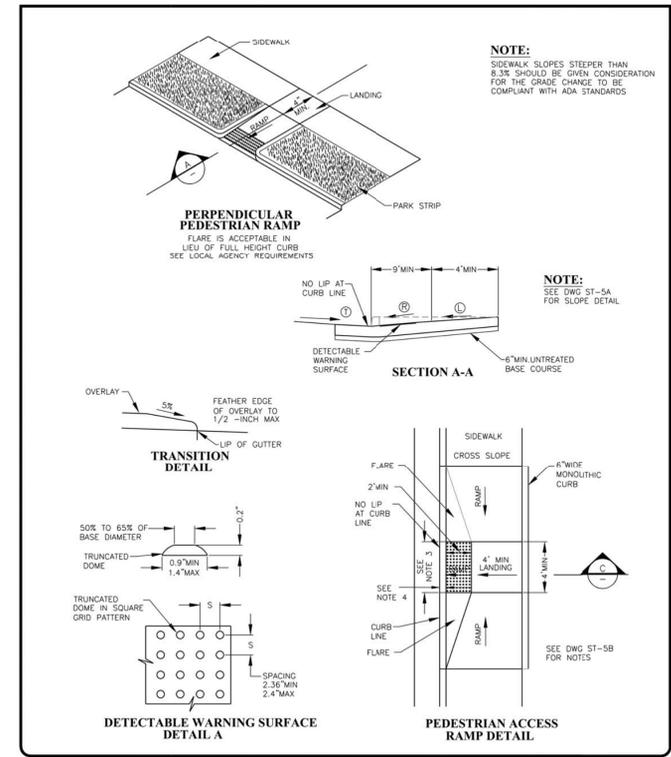
SIDEWALK, CURB & GUTTER STANDARDS

DATE: APRIL 2014
DRAWING NAME: ST-1
DRAWN BY: ETL
CHECKED: APPROVED

REVISIONS: COMMENTS

SARATOGA SPRINGS CITY

STANDARD DETAILS
STREET STANDARDS
ST-1



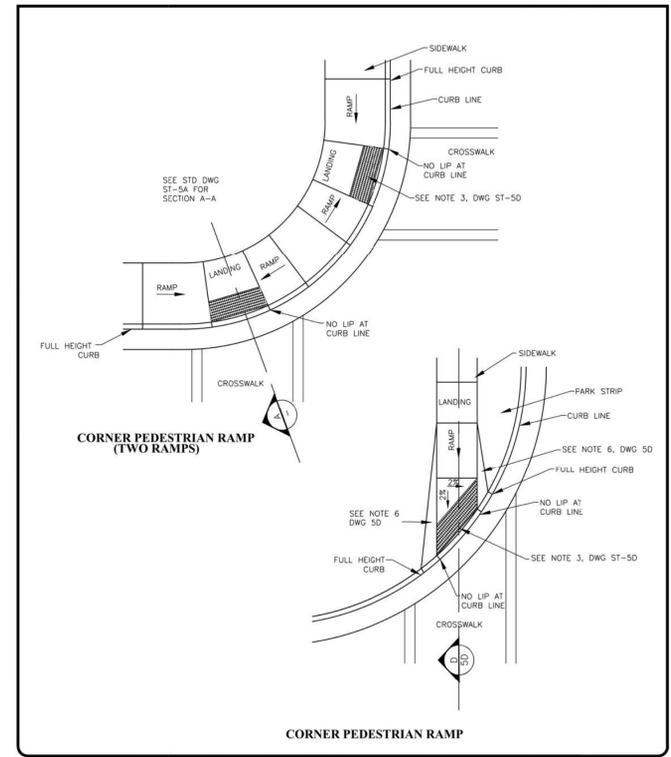
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SARATOGA SPRINGS CITY

STANDARD DETAILS
STREET STANDARDS
ST-5A



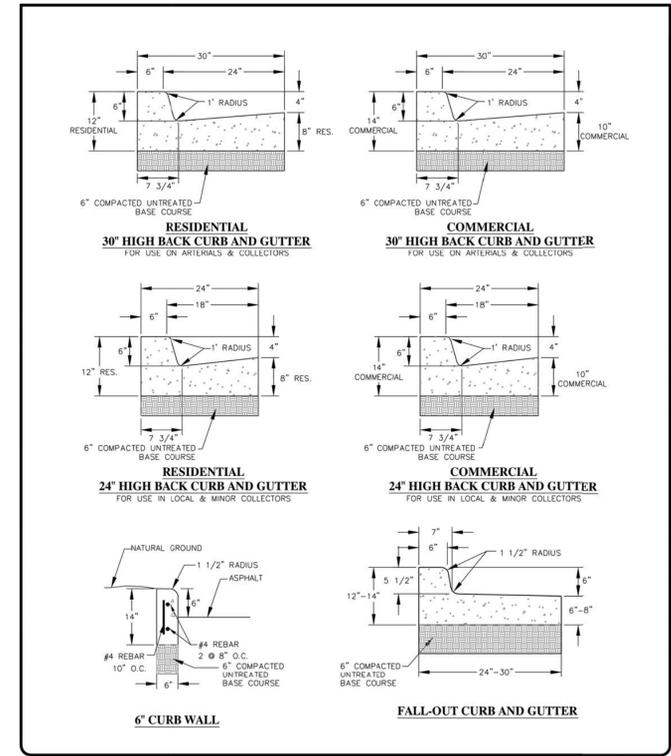
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SARATOGA SPRINGS CITY

STANDARD DETAILS
STREET STANDARDS
ST-5C



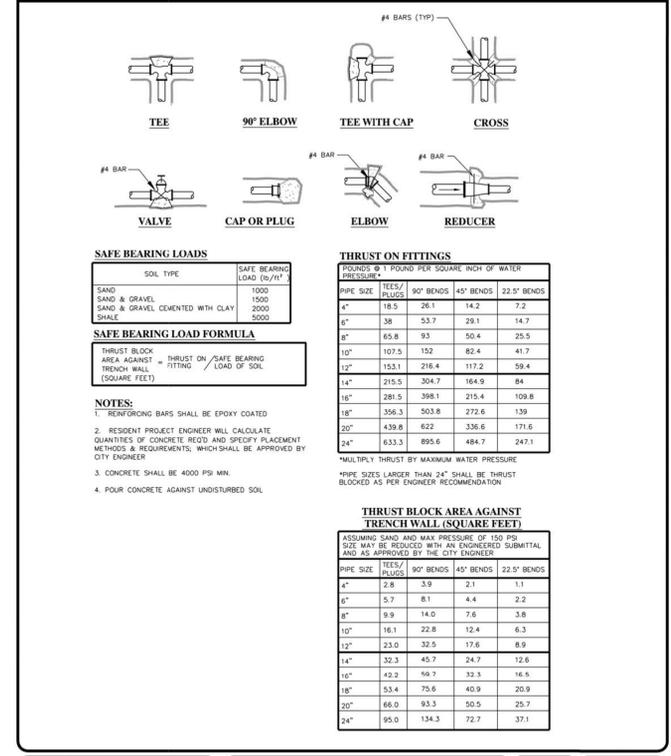
CURB & GUTTER DETAILS

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DRAWN BY: ETL
CHECKED: APPROVED

REVISIONS: COMMENTS

SARATOGA SPRINGS CITY

STANDARD DETAILS
STREET STANDARDS
ST-2



CONCRETE THRUST BLOCKS

DATE: APRIL 2014
DRAWING NAME: CW-2
DRAWN BY: ETL
CHECKED: APPROVED

REVISIONS: COMMENTS

SARATOGA SPRINGS CITY

STANDARD DETAILS
CULINARY WATER
CW-2

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SARATOGA SPRINGS UT 84045

SCALE: 1" = 20"

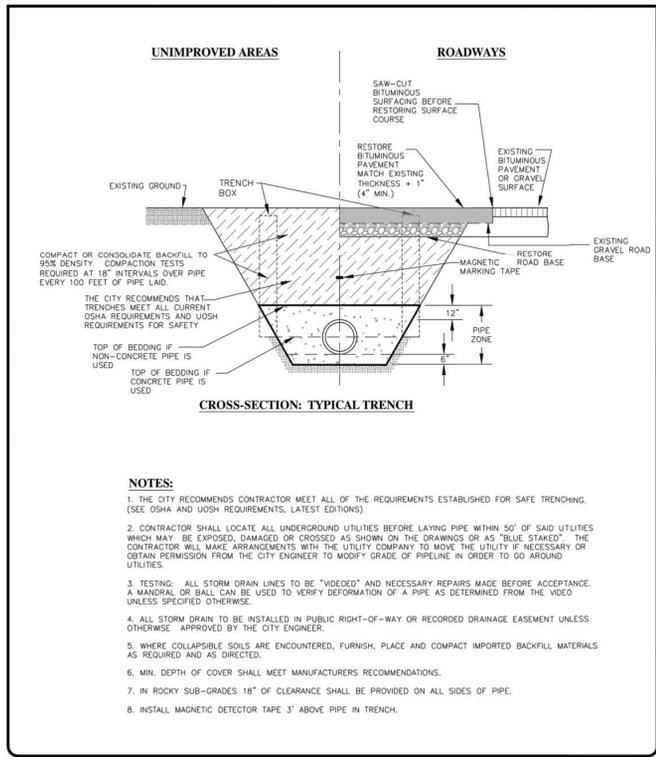
REVISIONS

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ARCHITECT:
DRAFTSMAN:
CHECKED BY:
DATE: 4-29-15
PROTOTYPE SIZE: 7x2



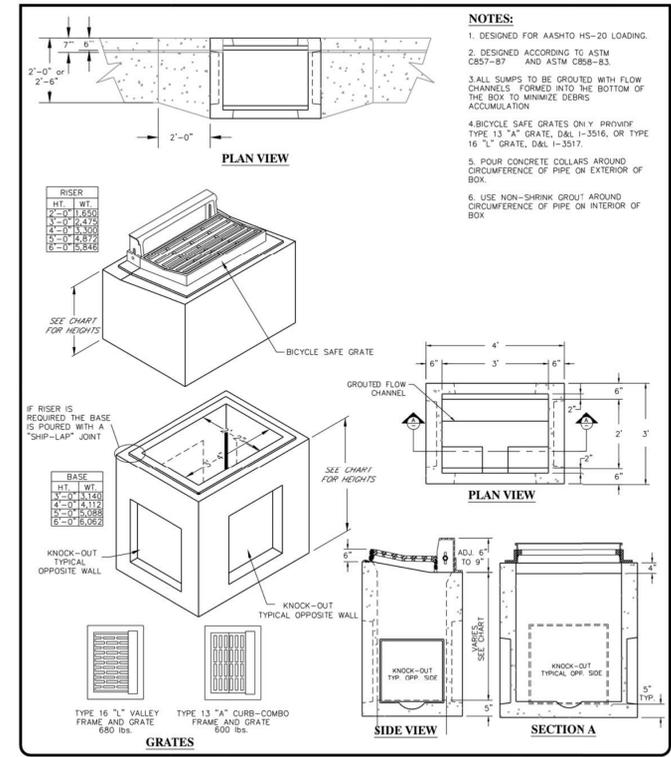
DT-1



- NOTES:**
1. THE CITY RECOMMENDS CONTRACTOR MEET ALL OF THE REQUIREMENTS ESTABLISHED FOR SAFE TRENCHING. (SEE OSHA AND UOSH REQUIREMENTS, LATEST EDITIONS).
 2. CONTRACTOR SHALL LOCATE ALL UNDERGROUND UTILITIES BEFORE LAYING PIPE WITHIN 50' OF SAID UTILITIES WHICH MAY BE EXPOSED, DAMAGED OR CROSSED AS SHOWN ON THE DRAWINGS OR AS "BLUE STAKED". THE CONTRACTOR WILL MAKE ARRANGEMENTS WITH THE UTILITY COMPANY TO MOVE THE UTILITY IF NECESSARY OR OBTAIN PERMISSION FROM THE CITY ENGINEER TO MODIFY GRADE OF PIPELINE IN ORDER TO GO AROUND UTILITIES.
 3. TESTING: ALL STORM DRAIN LINES TO BE "VIDEOED" AND NECESSARY REPAIRS MADE BEFORE ACCEPTANCE. A MANDREL OR BALL CAN BE USED TO VERIFY DEFORMATION OF A PIPE AS DETERMINED FROM THE VIDEO UNLESS SPECIFIED OTHERWISE.
 4. ALL STORM DRAIN TO BE INSTALLED IN PUBLIC RIGHT-OF-WAY OR RECORDED DRAINAGE EASEMENT UNLESS OTHERWISE APPROVED BY THE CITY ENGINEER.
 5. WHERE COLLAPSIBLE SOILS ARE ENCOUNTERED, FURNISH, PLACE AND COMPACT IMPORTED BACKFILL MATERIALS AS REQUIRED AND AS DIRECTED.
 6. MIN. DEPTH OF COVER SHALL MEET MANUFACTURERS RECOMMENDATIONS.
 7. IN ROCKY SUB-GRADES 18" OF CLEARANCE SHALL BE PROVIDED ON ALL SIDES OF PIPE.
 8. INSTALL MAGNETIC DETECTOR TAPE 3' ABOVE PIPE IN TRENCH.

STORM DRAIN TRENCH

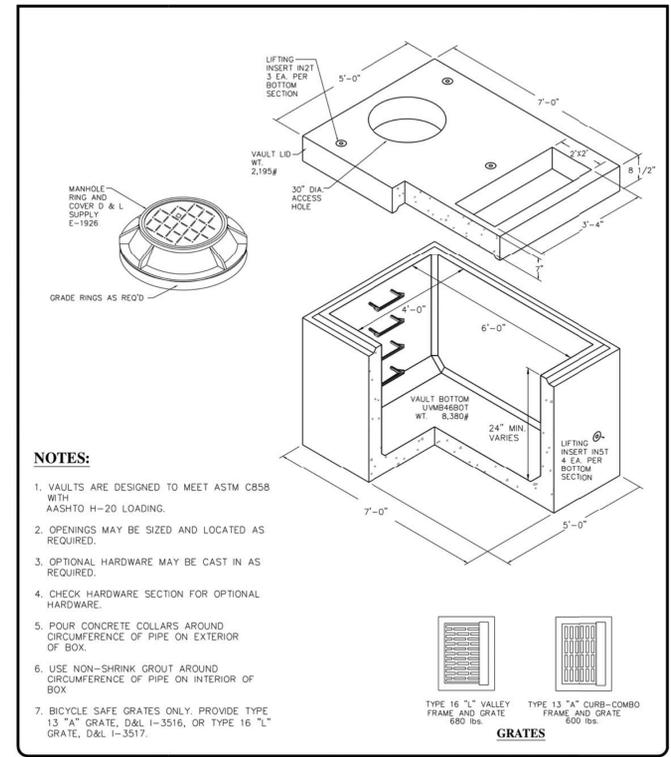
DATE: APRIL 2014	REVISIONS	STANDARD DETAILS
DRAWING NAME: SD-1	COMMENTS:	STORM DRAIN
DRAWN BY: ETL	SARATOGA SPRINGS CITY	SD-1
CHECKED: APPROVED		



- NOTES:**
1. DESIGNED FOR AASHTO HS-20 LOADING.
 2. DESIGNED ACCORDING TO ASTM C857-87 AND ASTM C856-83.
 3. ALL SUMPS TO BE GROUTED WITH FLOW CHANNELS FORMED INTO THE BOTTOM OF THE BOX TO MINIMIZE DEBRIS ACCUMULATION.
 4. BICYCLE SAFE GRATES ON Y. PROVIDE TYPE 13 "A" GRATE, D&L I-3516, OR TYPE 16 "L" GRATE, D&L I-3517.
 5. POUR CONCRETE COLLARS AROUND CIRCUMFERENCE OF PIPE ON EXTERIOR OF BOX.
 6. USE NON-SHRINK GROUT AROUND CIRCUMFERENCE OF PIPE ON INTERIOR OF BOX.

GUTTER INLET BOX

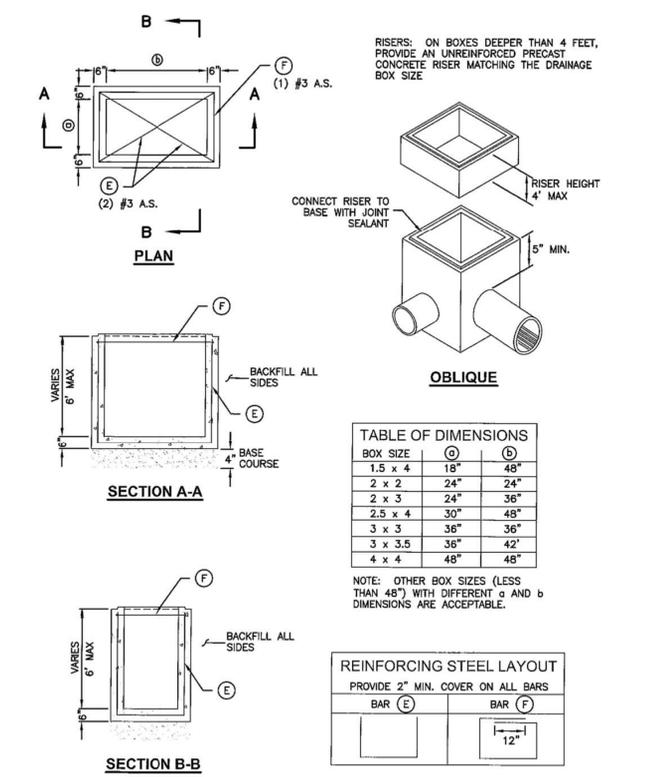
DATE: APRIL 2014	REVISIONS	STANDARD DETAILS
DRAWING NAME: SD-2	COMMENTS:	STORM DRAIN
DRAWN BY: ETL	SARATOGA SPRINGS CITY	SD-2
CHECKED: APPROVED		



- NOTES:**
1. VAULTS ARE DESIGNED TO MEET ASTM C858 WITH AASHTO H-20 LOADING.
 2. OPENINGS MAY BE SIZED AND LOCATED AS REQUIRED.
 3. OPTIONAL HARDWARE MAY BE CAST IN AS REQUIRED.
 4. CHECK HARDWARE SECTION FOR OPTIONAL HARDWARE.
 5. POUR CONCRETE COLLARS AROUND CIRCUMFERENCE OF PIPE ON EXTERIOR OF BOX.
 6. USE NON-SHRINK GROUT AROUND CIRCUMFERENCE OF PIPE ON INTERIOR OF BOX.
 7. BICYCLE SAFE GRATES ONLY. PROVIDE TYPE 13 "A" GRATE, D&L I-3516, OR TYPE 16 "L" GRATE, D&L I-3517.

COMBINATION GUTTER INLET & CLEANOUT BOX

DATE: APRIL 2014	REVISIONS	STANDARD DETAILS
DRAWING NAME: SD-4	COMMENTS:	STORM DRAIN
DRAWN BY: ETL	SARATOGA SPRINGS CITY	SD-4
CHECKED: APPROVED		



RISERS: ON BOXES DEEPER THAN 4 FEET, PROVIDE AN UNREINFORCED PRECAST CONCRETE RISER MATCHING THE DRAINAGE BOX SIZE

TABLE OF DIMENSIONS

BOX SIZE	(A)	(B)
1.5 x 4	18"	48"
2 x 2	24"	24"
2 x 3	24"	36"
2.5 x 4	30"	48"
3 x 3	36"	36"
3 x 3.5	36"	42"
4 x 4	48"	48"

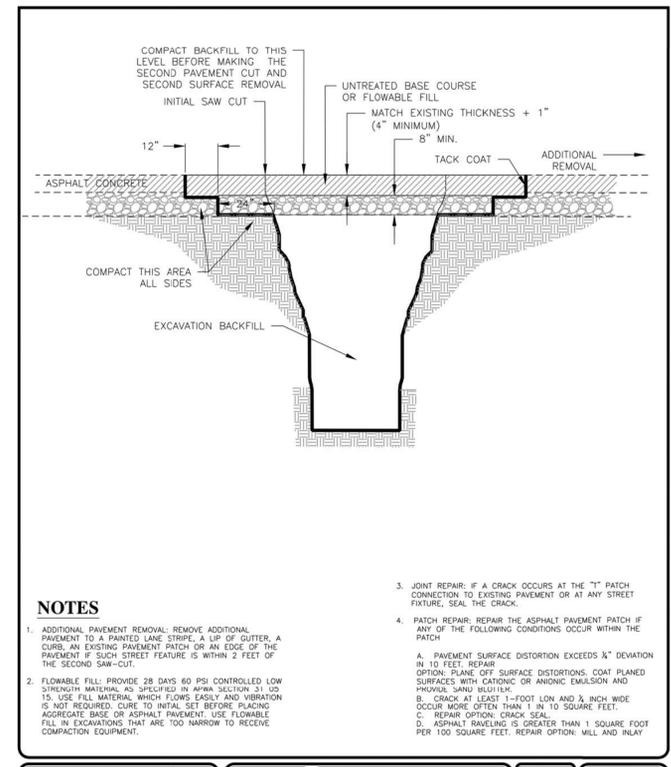
REINFORCING STEEL LAYOUT

BAR (E)	BAR (F)
12"	

NOTE: OTHER BOX SIZES (LESS THAN 48") WITH DIFFERENT A AND B DIMENSIONS ARE ACCEPTABLE.

Precast box

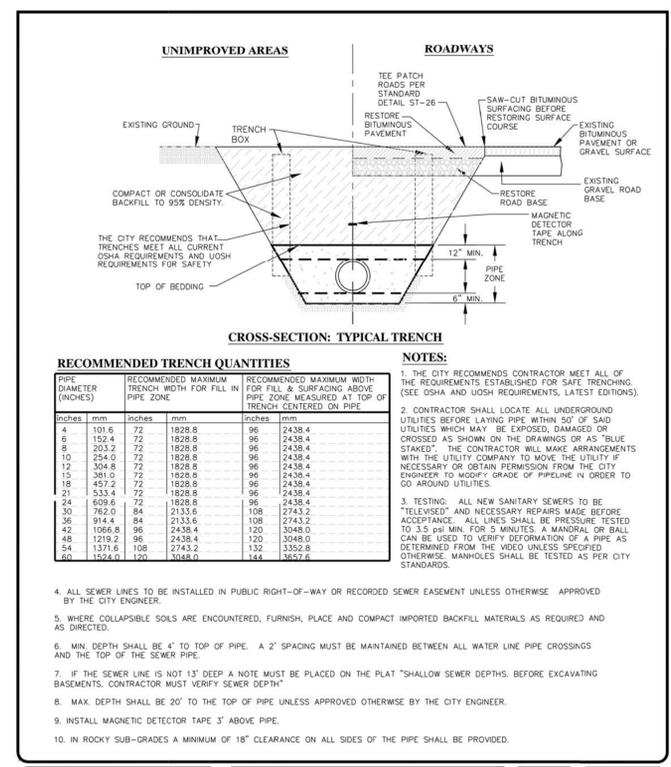
DATE: APRIL 2014	REVISIONS	STANDARD DETAILS
DRAWING NAME: ST-26	COMMENTS:	STREET STANDARDS
DRAWN BY: ETL	SARATOGA SPRINGS CITY	ST-26
CHECKED: APPROVED		



- NOTES:**
1. ADDITIONAL PAVEMENT REMOVAL: REMOVE ADDITIONAL PAVEMENT TO A PAINTED LANE STRIPE, A LIP OF GUTTER, A CURB, AN EXISTING PAVEMENT PATCH OR AN EDGE OF THE PAVEMENT IF SUCH STREET FEATURE IS WITHIN 2 FEET OF THE SECOND SAW-CUT.
 - A. PAVEMENT SURFACE DISTORTION EXCEEDS 1/4" DEVIATION IN 10 FEET. REPAIR.
 - OPTION: PLANE OFF SURFACE DISTORTIONS. COAT PLANNED SURFACES WITH CATIONIC OR ANIONIC EMULSION AND FINISH WITH SAND BLENDED.
 - B. CRACK AT LEAST 1-FEET LONG AND 1/8 INCH WIDE OCCUR MORE OFTEN THAN 1 IN 10 SQUARE FEET.
 - C. REPAIR OPTION: CRACK SEAL.
 - D. ASPHALT RAVELING IS GREATER THAN 1 SQUARE FOOT PER 100 SQUARE FEET. REPAIR OPTION: MILL AND INLAY.
 2. FLOWABLE FILL: PROVIDE 28 DAYS 60 PSI CONTROLLED LOW STRENGTH MATERIAL, AS SPECIFIED IN DRAWING SECTION 31.02.15. USE FILL MATERIAL WHICH FLOWS EASILY AND VIBRATION IS NOT REQUIRED. CURE TO INITIAL SET BEFORE PLACING AGGREGATE BASE OR ASPHALT PAVEMENT. USE FLOWABLE FILL IN EXCAVATIONS THAT ARE TOO NARROW TO RECEIVE COMPACTATION EQUIPMENT.
 3. JOINT REPAIR: IF A CRACK OCCURS AT THE "T" PATCH CONNECTION TO EXISTING PAVEMENT OR AT ANY STREET FIXTURE, SEAL THE CRACK.
 4. PATCH REPAIR: REPAIR THE ASPHALT PAVEMENT PATCH IF ANY OF THE FOLLOWING CONDITIONS OCCUR WITHIN THE PATCH.
 - A. PAVEMENT SURFACE DISTORTION EXCEEDS 1/4" DEVIATION IN 10 FEET. REPAIR.
 - OPTION: PLANE OFF SURFACE DISTORTIONS. COAT PLANNED SURFACES WITH CATIONIC OR ANIONIC EMULSION AND FINISH WITH SAND BLENDED.
 - B. CRACK AT LEAST 1-FEET LONG AND 1/8 INCH WIDE OCCUR MORE OFTEN THAN 1 IN 10 SQUARE FEET.
 - C. REPAIR OPTION: CRACK SEAL.
 - D. ASPHALT RAVELING IS GREATER THAN 1 SQUARE FOOT PER 100 SQUARE FEET. REPAIR OPTION: MILL AND INLAY.

STANDARD TEE PATCH

DATE: APRIL 2014	REVISIONS	STANDARD DETAILS
DRAWING NAME: ST-26	COMMENTS:	STREET STANDARDS
DRAWN BY: ETL	SARATOGA SPRINGS CITY	ST-26
CHECKED: APPROVED		



RECOMMENDED TRENCH QUANTITIES

PIPE DIAMETER (INCHES)	RECOMMENDED MAXIMUM TRENCH WIDTH FOR FILL IN PIPE ZONE		RECOMMENDED MAXIMUM WIDTH FOR FILL & SURFACING ABOVE PIPE ZONE MEASURED AT TOP OF TRENCH CENTERED ON PIPE		
	INCHES	MM	INCHES	MM	
4	101.6	72	1828.8	96	2438.4
6	152.4	72	1828.8	96	2438.4
8	203.2	72	1828.8	96	2438.4
10	254.0	72	1828.8	96	2438.4
12	304.8	72	1828.8	96	2438.4
15	381.0	72	1828.8	96	2438.4
18	457.2	72	1828.8	96	2438.4
21	533.4	72	1828.8	96	2438.4
24	609.6	72	1828.8	96	2438.4
30	762.0	84	2133.6	108	2743.2
36	914.4	84	2133.6	108	2743.2
42	1066.8	96	2438.4	120	3048.0
48	1219.2	96	2438.4	120	3048.0
54	1371.6	108	2743.2	132	3352.8
60	1524.0	120	3048.0	144	3657.6

- NOTES:**
1. THE CITY RECOMMENDS CONTRACTOR MEET ALL OF THE REQUIREMENTS ESTABLISHED FOR SAFE TRENCHING. (SEE OSHA AND UOSH REQUIREMENTS, LATEST EDITIONS).
 2. CONTRACTOR SHALL LOCATE ALL UNDERGROUND UTILITIES BEFORE LAYING PIPE WITHIN 50' OF SAID UTILITIES WHICH MAY BE EXPOSED, DAMAGED OR CROSSED AS SHOWN ON THE DRAWINGS OR AS "BLUE STAKED". THE CONTRACTOR WILL MAKE ARRANGEMENTS WITH THE UTILITY COMPANY TO MOVE THE UTILITY IF NECESSARY OR OBTAIN PERMISSION FROM THE CITY ENGINEER TO MODIFY GRADE OF PIPELINE IN ORDER TO GO AROUND UTILITIES.
 3. TESTING: ALL NEW SANITARY SEWERS TO BE "TELEVIEWED" AND NECESSARY REPAIRS MADE BEFORE ACCEPTANCE. ALL LINES SHALL BE PRESSURE TESTED TO 3.5 PSI MIN. FOR 5 MINUTES. A MANDREL OR BALL CAN BE USED TO VERIFY DEFORMATION OF A PIPE AS DETERMINED FROM THE VIDEO UNLESS SPECIFIED OTHERWISE. MANHOLES SHALL BE TESTED AS PER CITY STANDARDS.
 4. ALL SEWER LINES TO BE INSTALLED IN PUBLIC RIGHT-OF-WAY OR RECORDED SEWER EASEMENT UNLESS OTHERWISE APPROVED BY THE CITY ENGINEER.
 5. WHERE COLLAPSIBLE SOILS ARE ENCOUNTERED, FURNISH, PLACE AND COMPACT IMPORTED BACKFILL MATERIALS AS REQUIRED AND AS DIRECTED.
 6. MIN. DEPTH SHALL BE 4' TO TOP OF PIPE. A 2' SPACING MUST BE MAINTAINED BETWEEN ALL WATER LINE PIPE CROSSINGS AND THE TOP OF THE SEWER PIPE.
 7. IF THE SEWER LINE IS NOT 13" DEEP A NOTE MUST BE PLACED ON THE PLAN "SHALLOW SEWER DEPTHS. BEFORE EXCAVATING BASEMENTS. CONTRACTOR MUST VERIFY SEWER DEPTH".
 8. MAX. DEPTH SHALL BE 20' TO THE TOP OF PIPE UNLESS APPROVED OTHERWISE BY THE CITY ENGINEER.
 9. INSTALL MAGNETIC DETECTOR TAPE 3' ABOVE PIPE.
 10. IN ROCKY SUB-GRADES A MINIMUM OF 18" CLEARANCE ON ALL SIDES OF THE PIPE SHALL BE PROVIDED.

STANDARD SEWER TRENCH

DATE: APRIL 2014	REVISIONS	STANDARD DETAILS
DRAWING NAME: SS-1	COMMENTS:	SANITARY SEWER
DRAWN BY: ETL	SARATOGA SPRINGS CITY	SS-1
CHECKED: APPROVED		

OWNER: **AutoZone, Inc.**
123 S. FRONT STREET, 3RD FLOOR
MEMPHIS, TENNESSEE 38103

PREPARED FOR: **AutoZone STORE DEVELOPMENT**
Store No.: 6276
1536 NORTH REDWOOD ROAD
SARATOGA SPRINGS UT 84045

SCALE: 1" = 20"

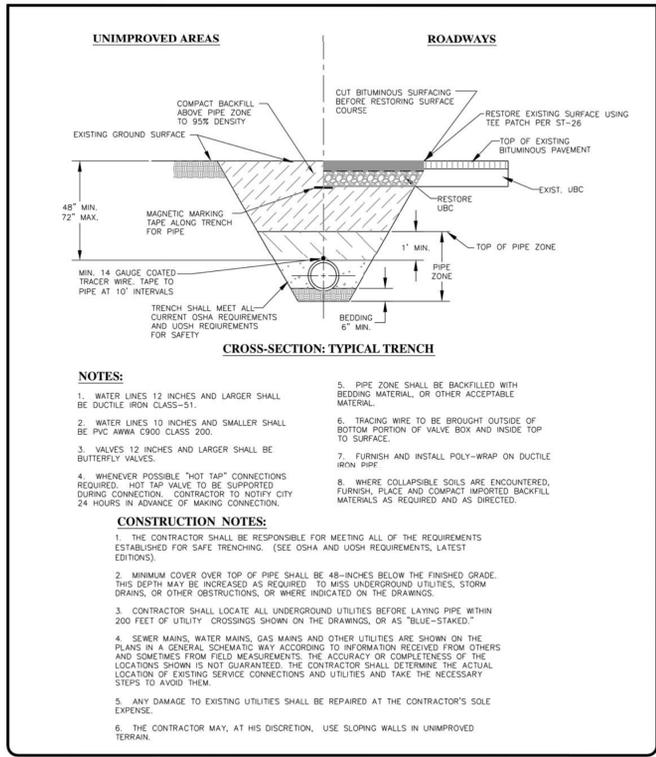
REVISIONS

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- 7.

ARCHITECT: **Colby Craig Anderson**
DRAFTSMAN:
CHECKED BY:
DATE: 4-29-15
PROTOTYPE SIZE: 7x2

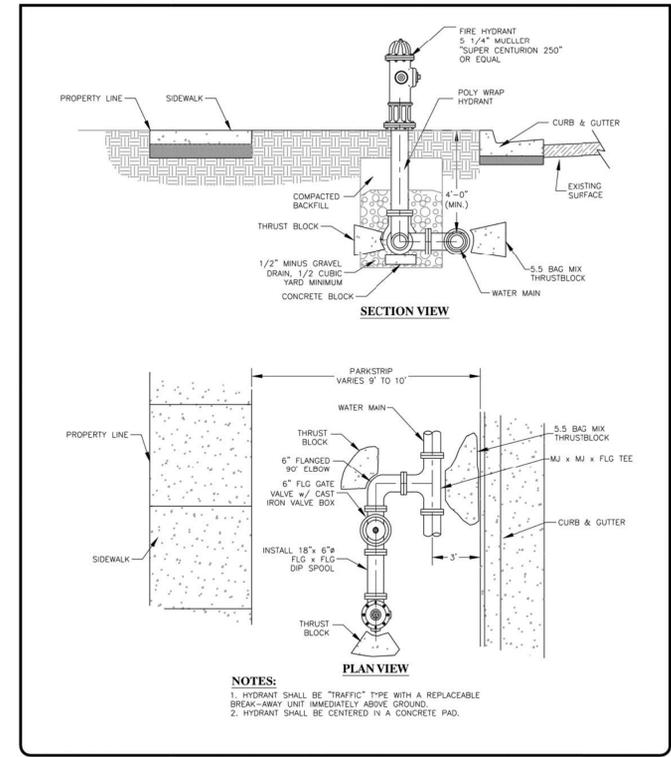
REGISTERED PROFESSIONAL ENGINEER
No. 8706815
COLBY CRAIG ANDERSON
STATE OF UTAH

DT-2



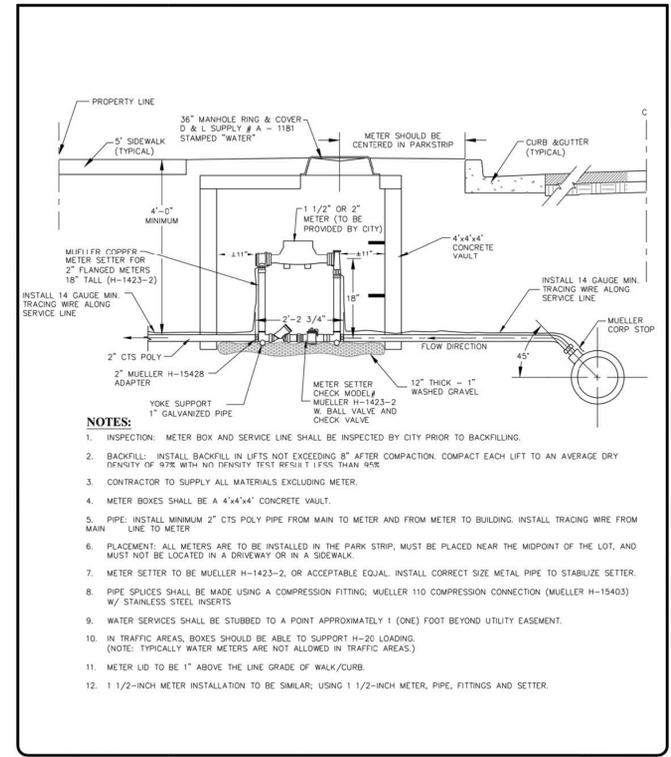
CULINARY WATERLINE TRENCH

DATE: APRIL 2014	REVISIONS	STANDARD DETAILS
DRAWING NAME: CW-1	REVISIONS	CULINARY WATER
DRAWN BY: ETL		
CHECKED: APPROVED	SARATOGA SPRINGS CITY	CW-1



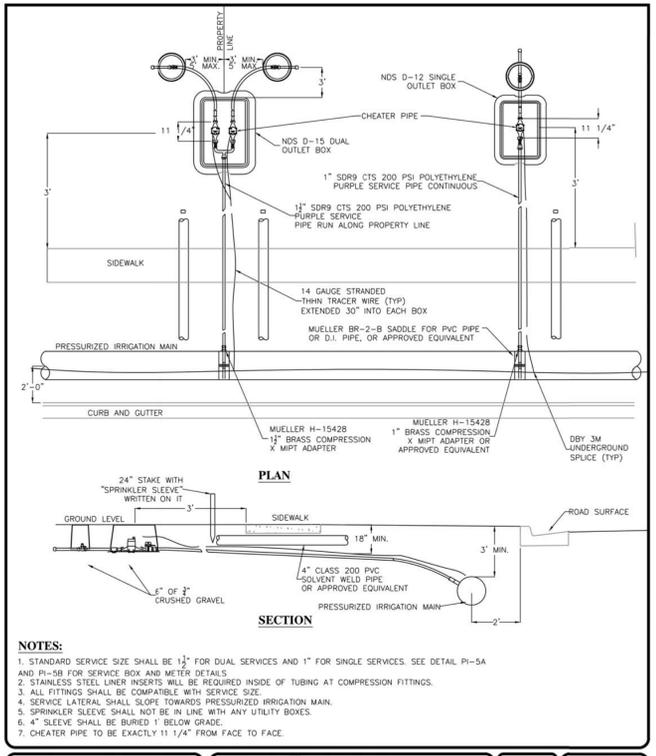
FIRE HYDRANT CONNECTION

DATE: APRIL 2014	REVISIONS	STANDARD DETAILS
DRAWING NAME: CW-4	REVISIONS	CULINARY WATER
DRAWN BY: ETL		
CHECKED: APPROVED	SARATOGA SPRINGS CITY	CW-4



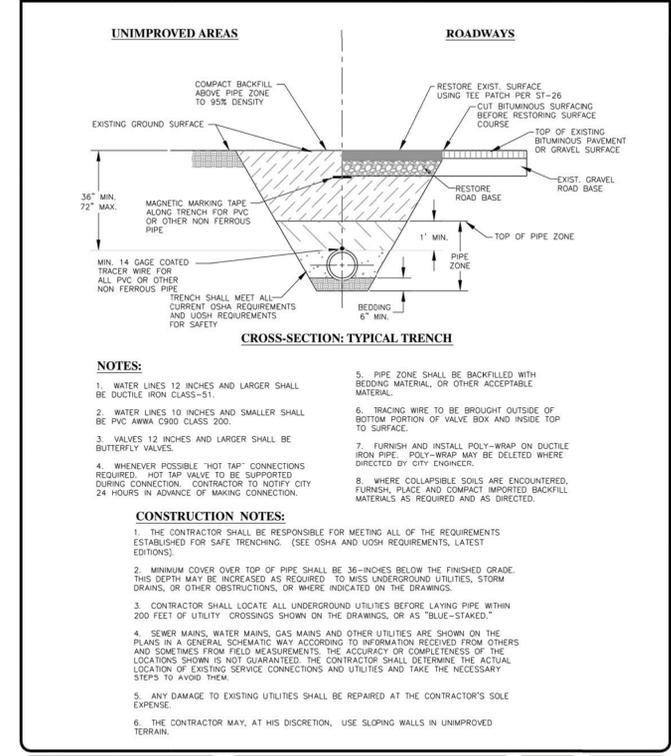
NON-RESIDENTIAL METER CONNECTION 2" OR 1 1/2"

DATE: APRIL 2014	REVISIONS	STANDARD DETAILS
DRAWING NAME: CW-6	REVISIONS	CULINARY WATER
DRAWN BY: ETL		
CHECKED: APPROVED	SARATOGA SPRINGS CITY	CW-6



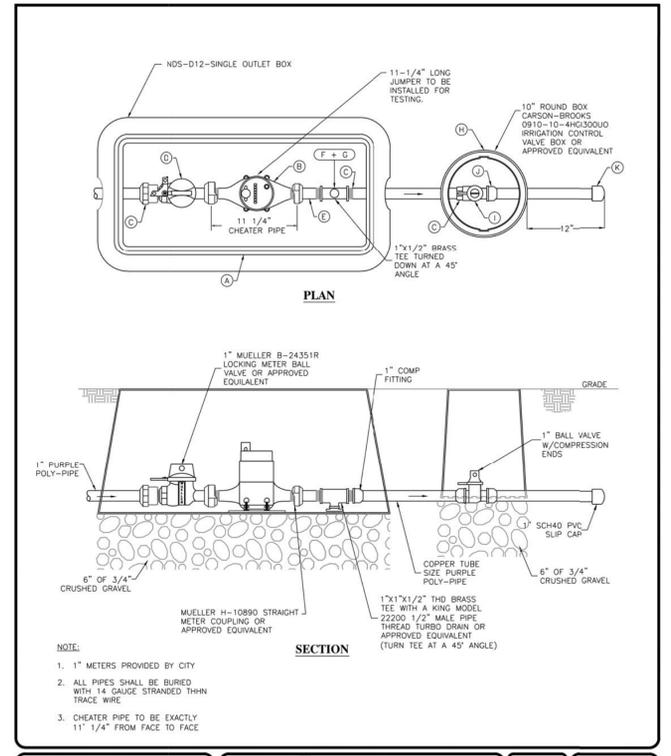
1" SINGLE & DUAL SERVICE LATERALS

DATE: APRIL 2014	REVISIONS	STANDARD DETAILS
DRAWING NAME: PI-3	REVISIONS	PRESSURIZED IRR
DRAWN BY: ETL		
CHECKED: APPROVED	SARATOGA SPRINGS CITY	PI-3



TRENCH DETAIL

DATE: APRIL 2014	REVISIONS	STANDARD DETAILS
DRAWING NAME: PI-1	REVISIONS	PRESSURIZED IRR
DRAWN BY: ETL		
CHECKED: APPROVED	SARATOGA SPRINGS CITY	PI-1



1" SINGLE SERVICE LATERAL BOX

DATE: APRIL 2014	REVISIONS	STANDARD DETAILS
DRAWING NAME: PI-5A	REVISIONS	PRESSURIZED IRR
DRAWN BY: ETL		
CHECKED: APPROVED	SARATOGA SPRINGS CITY	PI-5A

OWNER: **AutoZone, Inc.**
123 S. FRONT STREET, 3RD FLOOR
MEMPHIS, TENNESSEE 38103

PREPARED FOR: **AutoZone STORE DEVELOPMENT**
Store No.: 6276
1536 NORTH REDWOOD ROAD
SARATOGA SPRINGS UT 84045

SCALE: 1" = 20"

NO.	DATE	REVISIONS
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ARCHITECT: **COLBY CRAIG ANDERSON**
DRAFTSMAN:
CHECKED BY:
DATE: 4-29-15
PROTOTYPE SIZE: 7n2

REGISTERED PROFESSIONAL ENGINEER
No. 8706815
COLBY CRAIG ANDERSON
STATE OF UTAH

DT-3

PROJECT INFORMATION	
ENGINEER	MICHAEL WEINBERG
PRODUCT	714-394-8922
MANAGER	MICHAEL.WEINBERG@ADS-PIPE.COM
ADS SALES REP:	TRAVIS HANSEN
	801-502-4566
	TRAVIS.HANSEN@ADS-PIPE.COM
PROJECT NO.:	90141



AUTO ZONE STORE NO. 6276

SARATOGA SPRINGS, UT

STORMWATER CHAMBER SPECIFICATIONS

- CHAMBERS SHALL BE STORMTECH SC-740, SC-310, OR APPROVED EQUAL.
- CHAMBERS SHALL BE MANUFACTURED FROM VIRGIN POLYPROPYLENE OR POLYETHYLENE RESINS.
- CHAMBER ROWS SHALL PROVIDE CONTINUOUS, UNOBSTRUCTED INTERNAL SPACE WITH NO INTERNAL SUPPORT PANELS THAT WOULD IMPEDE FLOW OR LIMIT ACCESS FOR INSPECTION.
- THE STRUCTURAL DESIGN OF THE CHAMBERS, THE STRUCTURAL BACKFILL, AND THE INSTALLATION REQUIREMENTS SHALL ENSURE THAT THE LOAD FACTORS SPECIFIED IN THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS, SECTION 12.12, ARE MET FOR 1) LONG-DURATION DEAD LOADS AND 2) SHORT-DURATION LIVE LOADS, BASED ON THE AASHTO DESIGN TRUCK WITH CONSIDERATION FOR IMPACT AND MULTIPLE VEHICLE PRESENCES.
- CHAMBERS SHALL MEET ASTM F2922 (POLYETHYLENE) OR ASTM F2418 (POLYPROPYLENE), "STANDARD SPECIFICATION FOR THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
- CHAMBERS SHALL BE DESIGNED AND ALLOWABLE LOADS DETERMINED IN ACCORDANCE WITH ASTM F2787, "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
- ONLY CHAMBERS THAT ARE APPROVED BY THE SITE DESIGN ENGINEER WILL BE ALLOWED. THE CHAMBER MANUFACTURER SHALL SUBMIT THE FOLLOWING UPON REQUEST TO THE SITE DESIGN ENGINEER FOR APPROVAL BEFORE DELIVERING CHAMBERS TO THE PROJECT SITE:
 - A STRUCTURAL EVALUATION SEALED BY A REGISTERED PROFESSIONAL ENGINEER THAT DEMONSTRATES THAT THE SAFETY FACTORS ARE GREATER THAN OR EQUAL TO 1.35 FOR DEAD LOAD AND 1.75 FOR LIVE LOAD, THE MINIMUM REQUIRED BY ASTM F2787 AND BY AASHTO FOR THERMOPLASTIC PIPE.
 - A STRUCTURAL EVALUATION SEALED BY A REGISTERED PROFESSIONAL ENGINEER THAT DEMONSTRATES THAT THE LOAD FACTORS SPECIFIED IN THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS, SECTION 12.12, ARE MET, THE 50 YEAR CREEP MODULUS DATA SPECIFIED IN ASTM F2418 OR ASTM F2922 MUST BE USED AS PART OF THE AASHTO STRUCTURAL EVALUATION TO VERIFY LONG-TERM PERFORMANCE.
 - STRUCTURAL CROSS SECTION DETAIL ON WHICH THE STRUCTURAL EVALUATION IS BASED.
- CHAMBERS AND END CAPS SHALL BE PRODUCED AT AN ISO 9001 CERTIFIED MANUFACTURING FACILITY.

IMPORTANT - NOTES FOR THE BIDDING AND INSTALLATION OF THE SC-310/SC-740 SYSTEM

- STORMTECH SC-310 & SC-740 CHAMBERS SHALL NOT BE INSTALLED UNTIL THE MANUFACTURER'S REPRESENTATIVE HAS COMPLETED A PRE-CONSTRUCTION MEETING WITH THE INSTALLERS.
 - STORMTECH SC-310 & SC-740 CHAMBERS SHALL BE INSTALLED IN ACCORDANCE WITH THE "STORMTECH SC-310/SC-740/SC-780 CONSTRUCTION GUIDE".
 - CHAMBERS ARE NOT TO BE BACKFILLED WITH A DOZER OR AN EXCAVATOR SITUATED OVER THE CHAMBERS.
 - STORMTECH RECOMMENDS 3 BACKFILL METHODS:
 - STONEHOPPER LOCATED OFF THE CHAMBER BED.
 - BACKFILL AS ROWS ARE BUILT USING AN EXCAVATOR ON THE FOUNDATION STONE OR SUBGRADE.
 - BACKFILL FROM OUTSIDE THE EXCAVATION USING A LONG BOOM HOE OR EXCAVATOR.
 - THE FOUNDATION STONE SHALL BE LEVELLED AND COMPACTED PRIOR TO PLACING CHAMBERS.
 - JOINTS BETWEEN CHAMBERS SHALL BE PROPERLY SEATED PRIOR TO PLACING STONE.
 - MAINTAIN MINIMUM - 6" (150 mm) SPACING BETWEEN THE CHAMBER ROWS.
 - EMBEDMENT STONE SURROUNDING CHAMBERS MUST BE A CLEAN, CRUSHED, ANGULAR STONE 3/4" - 2" (20-50 mm).
 - THE CONTRACTOR MUST REPORT ANY DISCREPANCIES WITH CHAMBER FOUNDATION MATERIALS BEARING CAPACITIES TO THE SITE DESIGN ENGINEER.
 - ADS RECOMMENDS THE USE OF "FLEXSTORM CATCH IT" INSERTS DURING CONSTRUCTION FOR ALL INLETS TO PROTECT THE SUBSURFACE STORMWATER MANAGEMENT SYSTEM FROM CONSTRUCTION SITE RUNOFF.
- NOTES FOR CONSTRUCTION EQUIPMENT**
- STORMTECH SC-310 & SC-740 CHAMBERS SHALL BE INSTALLED IN ACCORDANCE WITH THE "STORMTECH SC-310/SC-740/SC-780 CONSTRUCTION GUIDE".
 - THE USE OF CONSTRUCTION EQUIPMENT OVER SC-310 & SC-740 CHAMBERS IS LIMITED:
 - NO EQUIPMENT IS ALLOWED ON BARE CHAMBERS.
 - NO RUBBER Tired LOADERS, DUMP TRUCKS, OR EXCAVATORS ARE ALLOWED UNTIL PROPER FILL DEPTHS ARE REACHED IN ACCORDANCE WITH THE "STORMTECH SC-310/SC-740/SC-780 CONSTRUCTION GUIDE".
 - WEIGHT LIMITS FOR CONSTRUCTION EQUIPMENT CAN BE FOUND IN THE "STORMTECH SC-310/SC-740/SC-780 CONSTRUCTION GUIDE".
 - FULL 36" (900 mm) OF STABILIZED COVER MATERIALS OVER THE CHAMBERS IS REQUIRED FOR DUMP TRUCK TRAVEL OR DUMPING.
- USE OF A DOZER TO PUSH EMBEDMENT STONE BETWEEN THE ROWS OF CHAMBERS MAY CAUSE DAMAGE TO THE CHAMBERS AND IS NOT AN ACCEPTABLE BACKFILL METHOD. ANY CHAMBERS DAMAGED BY THE "DUMP AND PUSH" METHOD ARE NOT COVERED UNDER THE STORMTECH STANDARD WARRANTY.**
- CONTACT STORMTECH AT 1-888-892-2694 WITH ANY QUESTIONS ON INSTALLATION REQUIREMENTS OR WEIGHT LIMITS FOR CONSTRUCTION EQUIPMENT.

PROPOSED LAYOUT

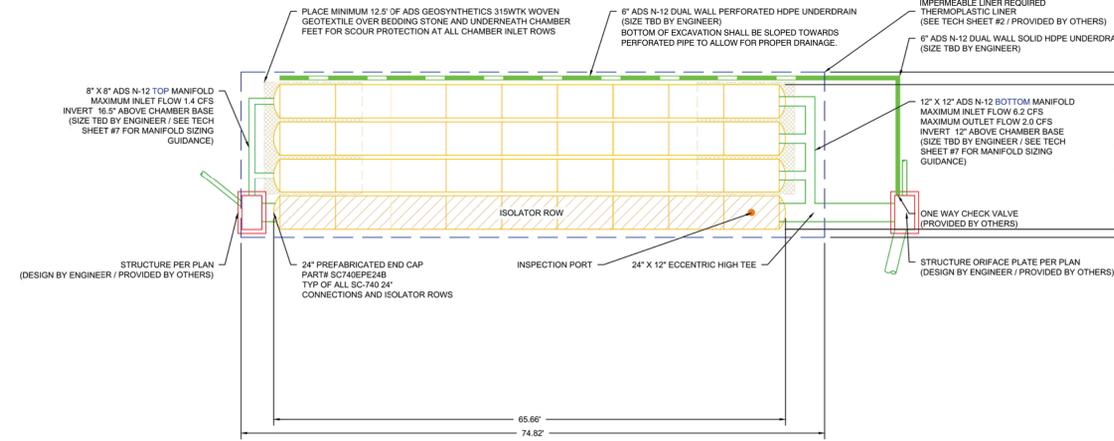
(8) STORMTECH SC-740 CHAMBERS
 (8) STORMTECH SC-740 END CAPS
 INSTALLED WITH 6" COVER STONE, 6" BASE STONE, 40% STONE VOID
 INSTALLED SYSTEM VOLUME: 3,295 CF (PERIMETER STONE INCLUDED)
 AREA OF SYSTEM: 1561 FT²
 PERIMETER OF SYSTEM: 102 FT

NOTES

• DUE TO THE ADAPTATION OF THIS CHAMBER SYSTEM TO SPECIFIC SITE AND DESIGN CONSTRAINTS, IT MAY BE NECESSARY TO CUT AND COUPLE ADDITIONAL PIPE TO STANDARD MANHOLE COMPONENTS IN THE FIELD.

PROPOSED ELEVATIONS

MAXIMUM ALLOWABLE GRADE (TOP OF PAVEMENT UNPAVED):	4563.94
MINIMUM ALLOWABLE GRADE (UNPAVED WITH TRAFFIC):	4558.94
MINIMUM ALLOWABLE GRADE (UNPAVED NO TRAFFIC):	4557.44
MINIMUM ALLOWABLE GRADE (BASE OF FLEXIBLE PAVEMENT):	4557.44
MINIMUM ALLOWABLE GRADE (TOP OF ROAD CONCRETE PAVEMENT):	4557.44
TOP OF STONE:	4556.44
TOP OF CHAMBER:	4555.94
12" TOP MANHOLE INVERT:	4554.82
24" ISOLATOR ROW INVERT:	4553.45
BOTTOM OF CHAMBER:	4553.44
UNDERDRAIN INVERT:	4552.94
BOTTOM OF STONE:	4552.94



REV	DATE	DESCRIPTION

AUTO ZONE STORE NO. 6276	SARATOGA SPRINGS, UT
DATE: 3-2-15	DRAWN: CA
PROJECT E: 80141	CHECKED: KAP

4640 TRIEBMAN BLVD
HILLARIO, OH 43004
1-800-733-7473

ADS
ADVANCED DRAINAGE SYSTEMS, INC.

STORMTECH
STORMWATER MANAGEMENT SYSTEMS

4640 TRIEBMAN BLVD
HILLARIO, OH 43004
1-800-733-7473

ADS
ADVANCED DRAINAGE SYSTEMS, INC.

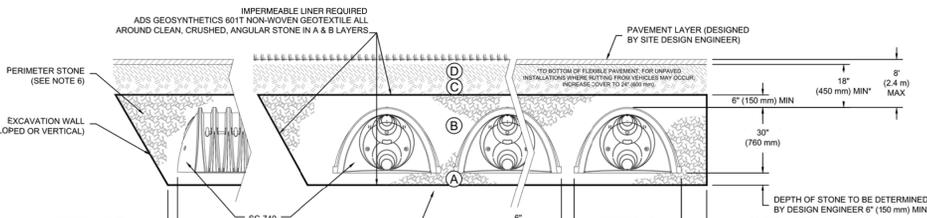
STORMTECH
STORMWATER MANAGEMENT SYSTEMS

SHEET 2 OF 5

ACCEPTABLE FILL MATERIALS: STORMTECH SC-740 CHAMBER SYSTEMS

MATERIAL LOCATION	DESCRIPTION	AASHTO MATERIAL CLASSIFICATIONS	COMPACTION / DENSITY REQUIREMENT
D	FINAL FILL: FILL MATERIAL FOR LAYER 'D' STARTS FROM THE TOP OF THE 'C' LAYER TO THE BOTTOM OF FLEXIBLE PAVEMENT OR UNPAVED FINISHED GRADE ABOVE. NOTE THAT PAVEMENT SUBBASE MAY BE PART OF THE 'D' LAYER	N/A	PREPARE PER SITE DESIGN ENGINEER'S PLANS. PAVED INSTALLATIONS MAY HAVE STRINGENT MATERIAL AND PREPARATION REQUIREMENTS.
C	INITIAL FILL: FILL MATERIAL FOR LAYER 'C' STARTS FROM THE TOP OF THE EMBEDMENT STONE (B LAYER) TO 18" (450 mm) ABOVE THE TOP OF THE CHAMBER. NOTE THAT PAVEMENT SUBBASE MAY BE A PART OF THE 'C' LAYER.	AASHTO M145 A-1, A-2, A-3 OR AASHTO M43 3, 357, 4, 467, 5, 56, 67, 4, 67, 68, 7, 78, 8, 89, 9, 10	BEGIN COMPACTIONS AFTER 12" (300 mm) OF MATERIAL OVER THE CHAMBERS IS REACHED. COMPACT ADDITIONAL LAYERS IN 6" (150 mm) MAX LIFTS TO A MIN. 95% PROCTOR DENSITY FOR WELL GRADED MATERIAL AND 95% RELATIVE DENSITY FOR PROCESSED AGGREGATE MATERIALS. ROLLER GROSS VEHICLE WEIGHT NOT TO EXCEED 12,000 lbs (53 kN). DYNAMIC FORCE NOT TO EXCEED 20,000 lbs (89 kN).
B	EMBEDMENT STONE: FILL SURROUNDING THE CHAMBERS FROM THE FOUNDATION STONE ('A' LAYER) TO THE 'C' LAYER ABOVE.	AASHTO M43 3, 357, 4, 467, 5, 56, 57	NO COMPACTION REQUIRED.
A	FOUNDATION STONE: FILL BELOW CHAMBERS FROM THE SUBGRADE UP TO THE FOOT (BOTTOM) OF THE CHAMBER.	AASHTO M43 3, 357, 4, 467, 5, 56, 57	PLATE COMPACT OR ROLL TO ACHIEVE A FLAT SURFACE. **

- PLEASE NOTE:
- THE LISTED AASHTO DESIGNATIONS ARE FOR GRADATIONS ONLY. THE STONE MUST ALSO BE CLEAN, CRUSHED, ANGULAR. FOR EXAMPLE, A SPECIFICATION FOR #4 STONE WOULD STATE: "CLEAN, CRUSHED, ANGULAR NO. 4 (AASHTO M43) STONE".
 - STORMTECH COMPACTION REQUIREMENTS ARE MET FOR 'A' LOCATION MATERIALS WHEN PLACED AND COMPACTED IN 6" (150 mm) MAX LIFTS USING TWO FULL COVERAGES WITH A VIBRATORY COMPACTOR.
 - WHERE INFILTRATION SURFACES MAY BE COMPROMISED BY COMPACTION, FOR STANDARD DESIGN LOAD CONDITIONS, A FLAT SURFACE MAY BE ACHIEVED BY RAKING OR DRAGGING WITHOUT COMPACTION EQUIPMENT. FOR SPECIAL LOAD DESIGNS, CONTACT STORMTECH FOR COMPACTION REQUIREMENTS.



NOTES:

- SC-740 CHAMBERS SHALL CONFORM TO THE REQUIREMENTS OF ASTM F2418 "STANDARD SPECIFICATION FOR POLYPROPYLENE (PP) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS", OR ASTM F2922 "STANDARD SPECIFICATION FOR POLYETHYLENE (PE) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
- SC-740 CHAMBERS SHALL BE DESIGNED IN ACCORDANCE WITH ASTM F2787 "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
- "ACCEPTABLE FILL MATERIALS" TABLE ABOVE PROVIDES MATERIAL LOCATIONS, DESCRIPTIONS, GRADATIONS, AND COMPACTION REQUIREMENTS FOR FOUNDATION, EMBEDMENT, AND FILL MATERIALS.
- THE "SITE DESIGN ENGINEER" REFERS TO THE ENGINEER RESPONSIBLE FOR THE DESIGN AND LAYOUT OF THE STORMTECH CHAMBERS FOR THIS PROJECT.
- THE SITE DESIGN ENGINEER IS RESPONSIBLE FOR ASSESSING THE BEARING RESISTANCE (ALLOWABLE BEARING CAPACITY) OF THE SUBGRADE SOILS AND THE DEPTH OF FOUNDATION STONE WITH CONSIDERATION FOR THE RANGE OF EXPECTED SOIL MOISTURE CONDITIONS.
- PERIMETER STONE MUST BE EXTENDED HORIZONTALLY TO THE EXCAVATION WALL FOR BOTH VERTICAL AND SLOPED EXCAVATION WALLS.
- ONCE LAYER 'C' IS PLACED, ANY SOLI/MATERIAL CAN BE PLACED IN LAYER 'D' UP TO THE FINISHED GRADE. MOST PAVEMENT SUBBASE SOILS CAN BE USED TO REPLACE THE MATERIAL REQUIREMENTS OF LAYER 'C' OR 'D' AT THE SITE DESIGN ENGINEER'S DISCRETION.

REV	DATE	DESCRIPTION

AUTO ZONE STORE NO. 6276	SARATOGA SPRINGS, UT
DATE: 3-2-15	DRAWN: CA
PROJECT E: 80141	CHECKED: KAP

4640 TRIEBMAN BLVD
HILLARIO, OH 43004
1-800-733-7473

ADS
ADVANCED DRAINAGE SYSTEMS, INC.

STORMTECH
STORMWATER MANAGEMENT SYSTEMS

4640 TRIEBMAN BLVD
HILLARIO, OH 43004
1-800-733-7473

ADS
ADVANCED DRAINAGE SYSTEMS, INC.

STORMTECH
STORMWATER MANAGEMENT SYSTEMS

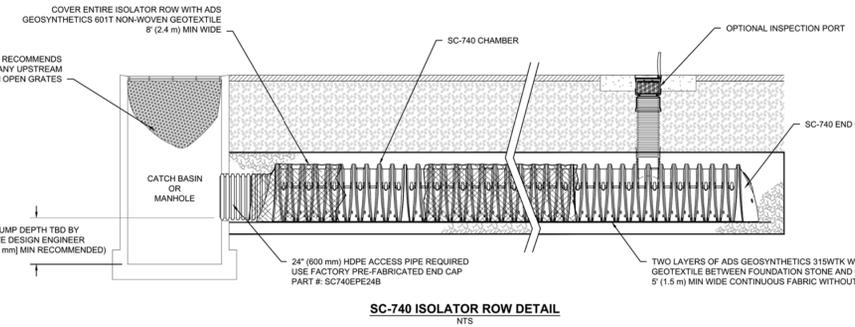
SHEET 3 OF 5

INSPECTION & MAINTENANCE

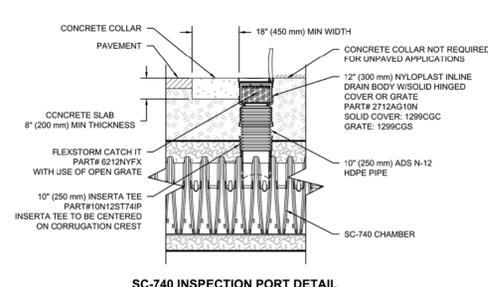
- COVER ENTIRE ISOLATOR ROW WITH ADS GEOSYNTHETICS 6011 NON-WOVEN GEOTEXTILE 8" (2.4 m) MIN WIDE
- STORMTECH HIGHLY RECOMMENDS FLEXSTORM PURE INSERTS IN ANY UPSTREAM STRUCTURES WITH OPEN GRATES
- STEP 1) INSPECT ISOLATOR ROW FOR SEDIMENT
- A. INSPECTION PORTS (IF PRESENT)
- REMOVE/OPEN LID ON HORIZONTAL INLINE DRAIN
 - REMOVE AND CLEAN FLEXSTORM FILTER IF INSTALLED
 - USING A FLASHLIGHT AND STADIA ROD, MEASURE DEPTH OF SEDIMENT AND RECORD ON MAINTENANCE LOG
 - LOWER A CAMERA INTO ISOLATOR ROW FOR VISUAL INSPECTION ON DEPTH OF SEDIMENT LEVELS (OPTIONAL)
 - IF SEDIMENT IS AT, OR ABOVE, 3" (80 mm) PROCEED TO STEP 2. IF NOT, PROCEED TO STEP 3.
- B. ALL ISOLATOR ROWS
- REMOVE COVER FROM STRUCTURE AT UPSTREAM END OF ISOLATOR ROW
 - USING A FLASHLIGHT, INSPECT DOWN THE ISOLATOR ROW THROUGH OUTLET PIPE
 - MIRROR ON POLES OR CAMERAS MAY BE USED TO AVOID A CONFINED SPACE ENTRY
 - FOLLOW OSHA REGULATIONS FOR CONFINED SPACE ENTRY IF ENTERING MANHOLE
 - IF SEDIMENT IS AT, OR ABOVE, 3" (80 mm) PROCEED TO STEP 2. IF NOT, PROCEED TO STEP 3.
- STEP 2) CLEAN OUT ISOLATOR ROW USING THE JETVAC PROCESS
- A FIXED CULVERT CLEANING NOZZLE WITH REAR FACING SPREAD OF 45° (1.1 m) OR MORE IS PREFERRED
 - APPLY MULTIPLE PASSES OF JETVAC UNTIL BACKFLUSH WATER IS CLEAN
 - VACUUM STRUCTURE SUMP AS REQUIRED
- STEP 3) REPLACE ALL COVERS, GRATES, FILTERS, AND LIDS; RECORD OBSERVATIONS AND ACTIONS.
- STEP 4) INSPECT AND CLEAN BASINS AND MANHOLES UPSTREAM OF THE STORMTECH SYSTEM.

NOTES

- INSPECT EVERY 6 MONTHS DURING THE FIRST YEAR OF OPERATION. ADJUST THE INSPECTION INTERVAL BASED ON PREVIOUS OBSERVATIONS OF SEDIMENT ACCUMULATION AND HIGH WATER ELEVATIONS.
- CONDUCT JETTING AND VACTORING ANNUALLY OR WHEN INSPECTION SHOWS THAT MAINTENANCE IS NECESSARY.



SC-740 ISOLATOR ROW DETAIL
NTS



SC-740 INSPECTION PORT DETAIL
NTS

REV	DATE	DESCRIPTION

AUTO ZONE STORE NO. 6276	SARATOGA SPRINGS, UT
DATE: 3-2-15	DRAWN: CA
PROJECT E: 80141	CHECKED: KAP

4640 TRIEBMAN BLVD
HILLARIO, OH 43004
1-800-733-7473

ADS
ADVANCED DRAINAGE SYSTEMS, INC.

STORMTECH
STORMWATER MANAGEMENT SYSTEMS

4640 TRIEBMAN BLVD
HILLARIO, OH 43004
1-800-733-7473

ADS
ADVANCED DRAINAGE SYSTEMS, INC.

STORMTECH
STORMWATER MANAGEMENT SYSTEMS

SHEET 4 OF 5

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AutoZone, Inc.
123 S. FRONT STREET, 3rd FLOOR
MEMPHIS, TENNESSEE 38103

OWNER:

AutoZone, Inc.
123 S. FRONT STREET, 3rd FLOOR
MEMPHIS, TENNESSEE 38103

PREPARED FOR: **AutoZone STORE DEVELOPMENT**
Store No.: 6276
1536 NORTH REDWOOD ROAD
SARATOGA SPRINGS, UT 84045

SCALE: 1" = 20"

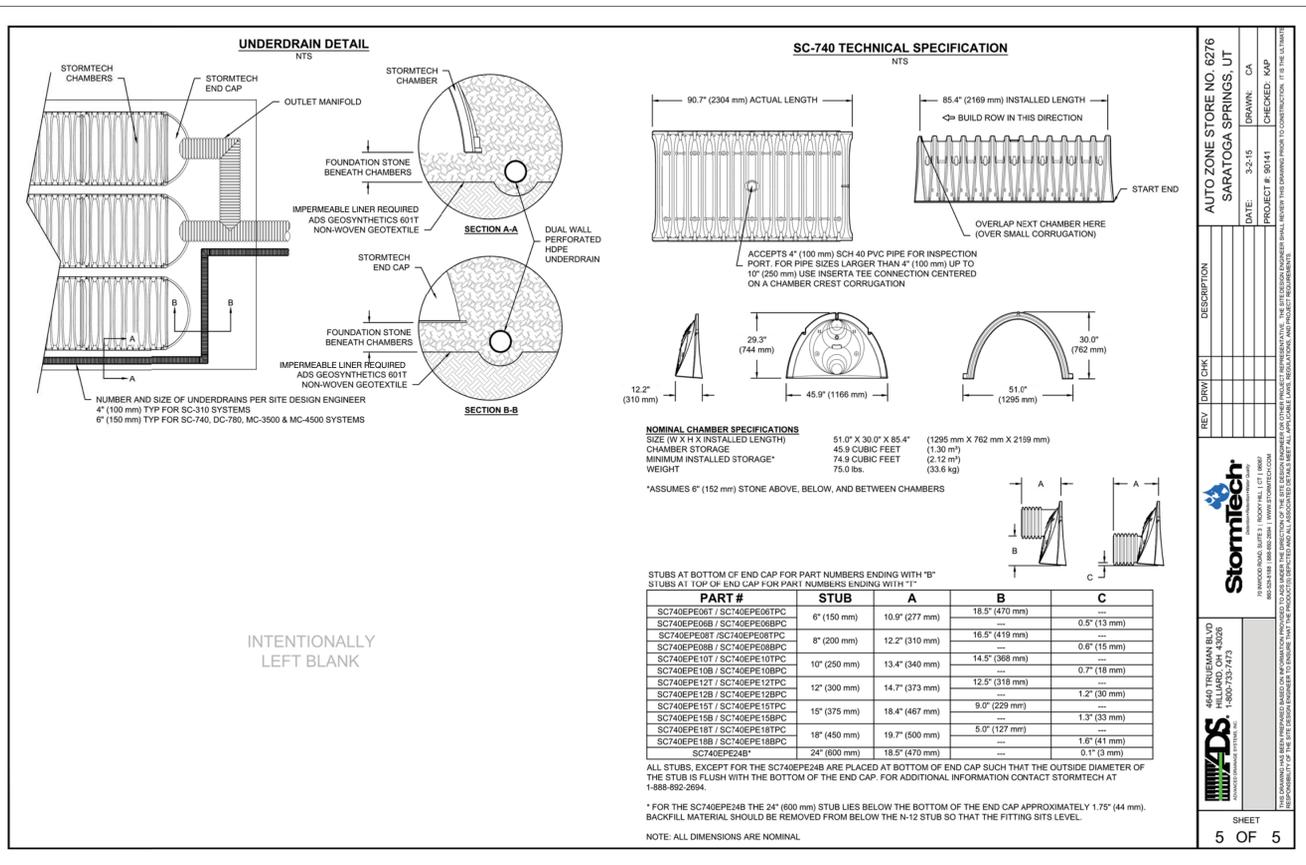
REVISIONS

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2.	
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6.	
7.	

ARCHITECT:
DRAFTSMAN:
CHECKED BY:
DATE: 4-29-15
PROTOTYPE SIZE: 7n2

No. 8706815
COLBY CRAIG
ANDERSON
STATE OF UTAH

DT-4



AUTO ZONE STORE NO. 6276
SARATOGA SPRINGS, UT

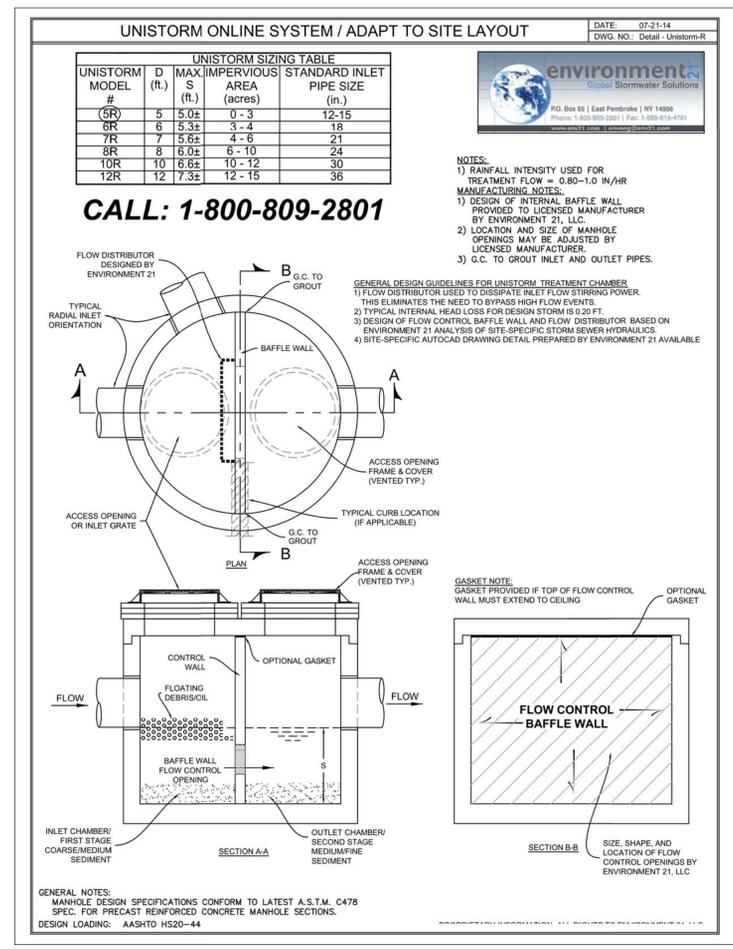
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PROJECT #: 80411
CHECKED: KAP

REV | DATE | CHK | DESCRIPTION

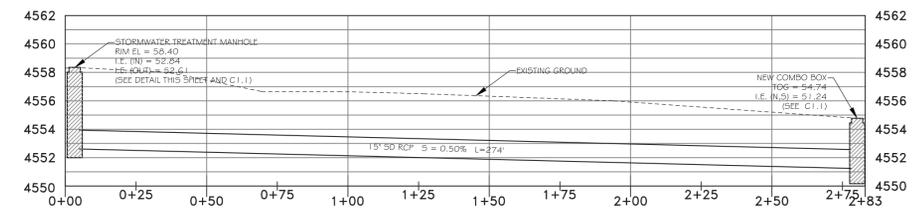
Stormtech
4601 TRIBUNAL BLVD
SARATOGA SPRINGS, UT 84045
1-800-232-7473

SDS
THIS DRAWING HAS BEEN PREPARED BASED ON INFORMATION PROVIDED TO SDS MAKE THE CHECK OF THE SDS DESIGN NUMBER OR OTHER PRODUCT IDENTIFICATION. THE SDS DESIGN NUMBER SHALL NEVER BE CHANGED FROM ITS ORIGINAL VALUE. THE SDS DESIGN NUMBER, RELATIONSHIP, AND PROJECT REQUIREMENTS IDENTIFIED IN THIS DRAWING SHALL BE MAINTAINED IN ALL ASSOCIATED DETAIL SHEETS AND ALL ASSOCIATED CONTRACT DOCUMENTS.

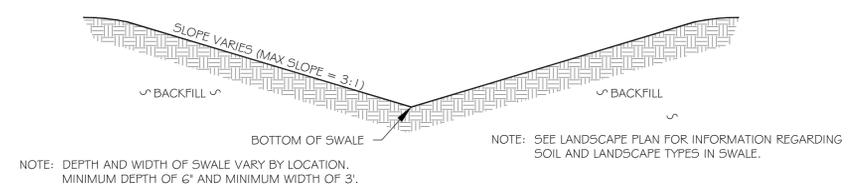
SHEET 5 OF 5



STORMWATER TREATMENT MANHOLE



STORM DRAIN OUTLET PIPE PROFILE



DRAINAGE SWALE SECTION (TYPICAL)

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OWNER:
AutoZone, Inc.
123 S. FRONT STREET, 3RD FLOOR
MEMPHIS, TENNESSEE 38103



PREPARED FOR: **AutoZone STORE DEVELOPMENT**
Store No.: 6276
1536 NORTH REDWOOD ROAD
SARATOGA SPRINGS UT 84045

SCALE: 1" = 20'

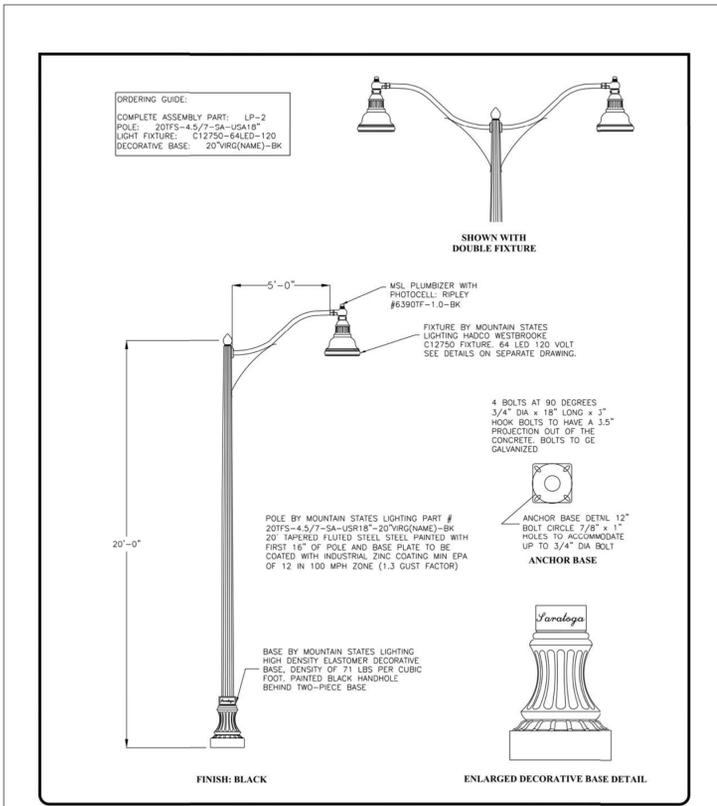
REVISIONS

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- 7.

ARCHITECT:
DRAFTSMAN:
CHECKED BY:
DATE: 4-29-15
PROTOTYPE SIZE: 7x2



DT-5

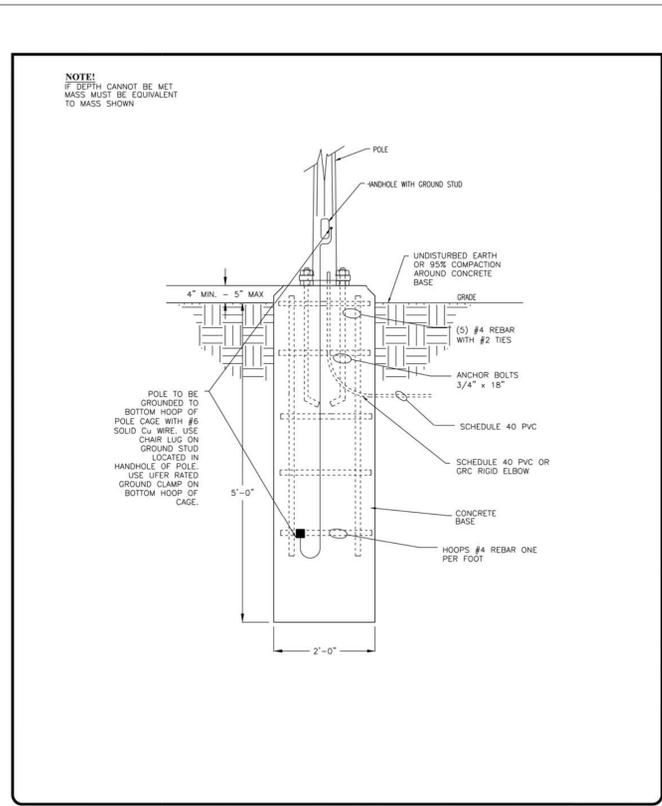


20' LIGHT STANDARD FOR COLLECTOR ROADS, COMMERCIAL AREAS, & PARKING LOT LIGHTS

DATE	APRIL 2014	REVISION	COMMENTS
DRAWING NAME	LP-2		
DRAWN BY	ETL		
CHECKED	APPROVED		

SARATOGA SPRINGS CITY

STANDARD DETAILS
STREET LIGHTS
LP-2

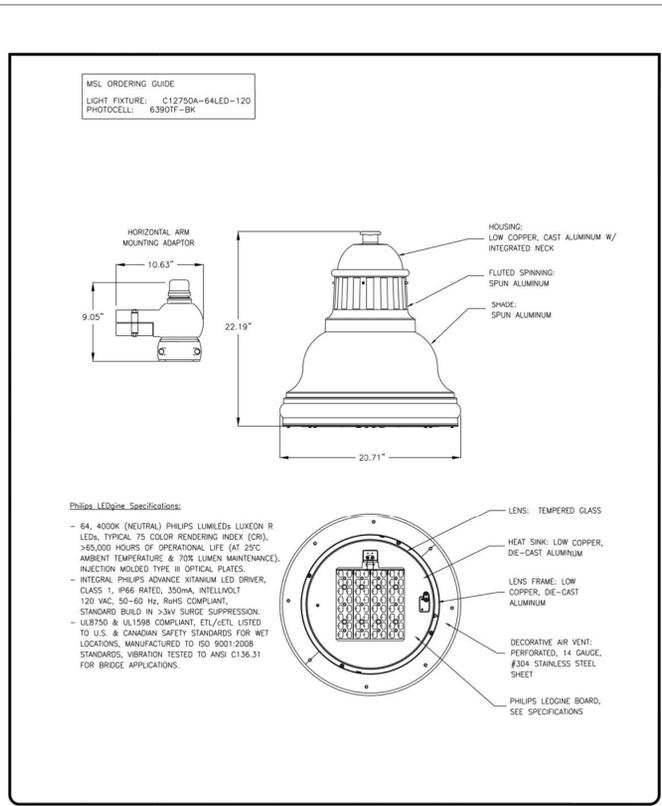


CONCRETE BASE DETAIL FOR COLLECTOR ROADS, COMMERCIAL AREAS, & PARKING LOT LIGHTS

DATE	APRIL 2014	REVISION	COMMENTS
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DRAWN BY	ETL		
CHECKED	APPROVED		

SARATOGA SPRINGS CITY

STANDARD DETAILS
STREET LIGHTS
LP-2B

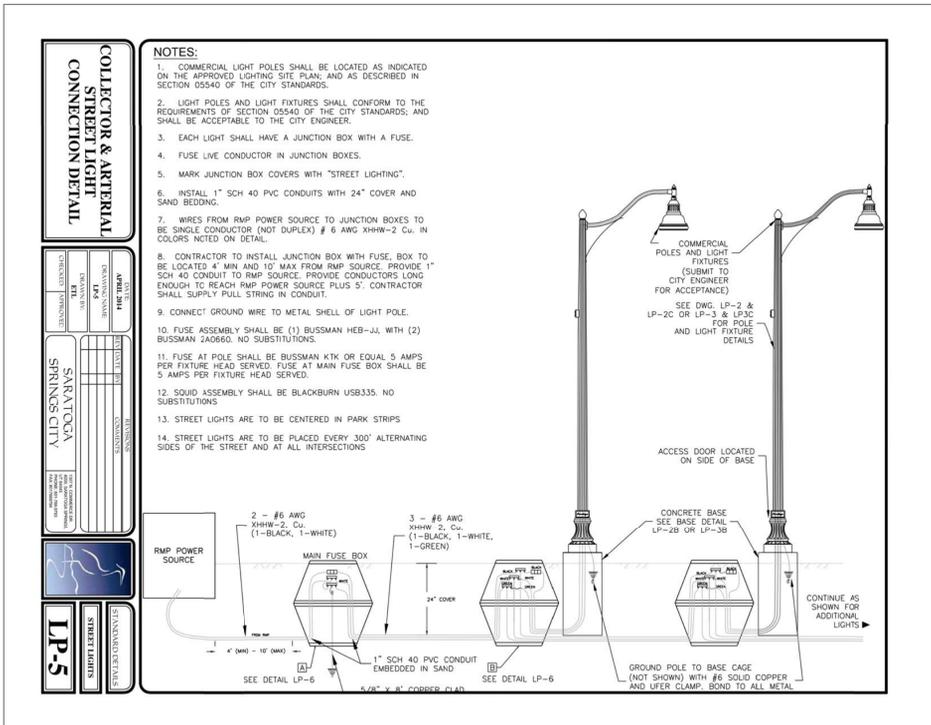


LUMINAIRE FOR COLLECTOR ROADS, COMMERCIAL AREAS, & PARKING LOT LIGHTS

DATE	APRIL 2014	REVISION	COMMENTS
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DRAWN BY	ETL		
CHECKED	APPROVED		

SARATOGA SPRINGS CITY

STANDARD DETAILS
STREET LIGHTS
LP-2C

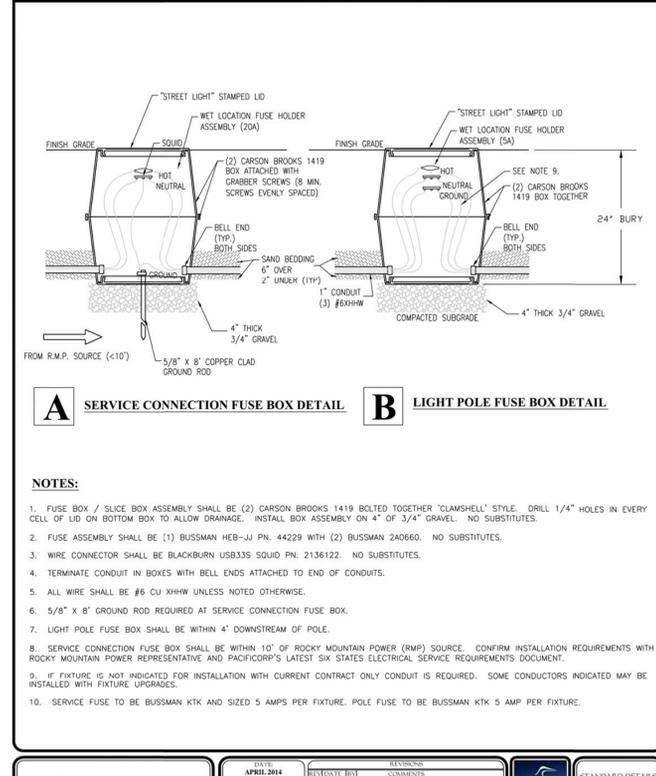


COLLECTOR & ARTERIAL STREET LIGHT CONNECTION DETAIL

DATE	APRIL 2014	REVISION	COMMENTS
DRAWING NAME	LP-5		
DRAWN BY	ETL		
CHECKED	APPROVED		

SARATOGA SPRINGS CITY

STANDARD DETAILS
STREET LIGHTS
LP-5



LIGHT POLE BELOW GRADE BOXES INSTALLATION DETAILS

DATE	APRIL 2014	REVISION	COMMENTS
DRAWING NAME	LP-6		
DRAWN BY	ETL		
CHECKED	APPROVED		

SARATOGA SPRINGS CITY

STANDARD DETAILS
LANDSCAPING
LP-6

OWNER:
AutoZone, Inc.
123 S. FRONT STREET, 3RD FLOOR
MEMPHIS, TENNESSEE 38103



PREPARED FOR: **AutoZone STORE DEVELOPMENT**
Store No.: 6276
1536 NORTH REDWOOD ROAD
SARATOGA SPRINGS UT 84045
LIGHTING DETAILS

SCALE: 1" = 20"

REVISIONS

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-
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-
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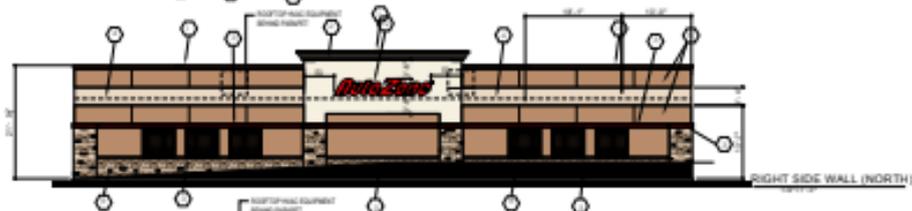
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DRAFTSMAN:
CHECKED BY:
DATE: 4-29-15
PROTOTYPE SIZE: 7n2



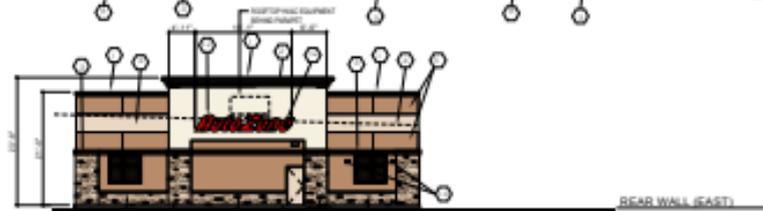
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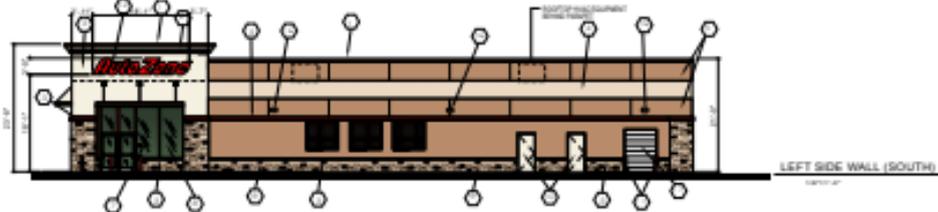
FRONT WALL (WEST)



RIGHT SIDE WALL (NORTH)



REAR WALL (EAST)



LEFT SIDE WALL (SOUTH)

- ALUMINUM COPPER COLOR ANGLE CLAD SUNSCREEN
- CORNER, 2 1/2\"/>

ELEVATION KEY NOTES

- SEE KEY RELIABLE WHITE
- SEE KEY SANDSTONE
- SEE KEY BUTTACH

ELEVATION	
NO.	DATE
1	11/11/10
2	11/11/10
3	11/11/10

Architect: Bill Ford
123 South Front Street
Memphis, Tennessee 38103
TEL: 901.444.4444 FAX: 901.467.8669

Architect: Bill Ford
123 South Front Street
Memphis, Tennessee 38103
TEL: 901.444.4444 FAX: 901.467.8669

[Back to Exhibit Menu](#)

28.88 sq.ft.

Job Number
201637

QTY: (1)

Job Name: SARATOGA SPRINGS, UT
AUTO ZONE - #6276
CUSTOM D/F PYLON - 4'-1 1/2" x 7'-0" x 7'-6" OAH

JONES SIGN
Your Vision. Accomplished.
1711 SCHEURING ROAD TOLL FREE: 800-536-7446
DE PERE, WI 54115 TEL: 920-983-6700
www.jonesign.com FAX: 920-983-9145

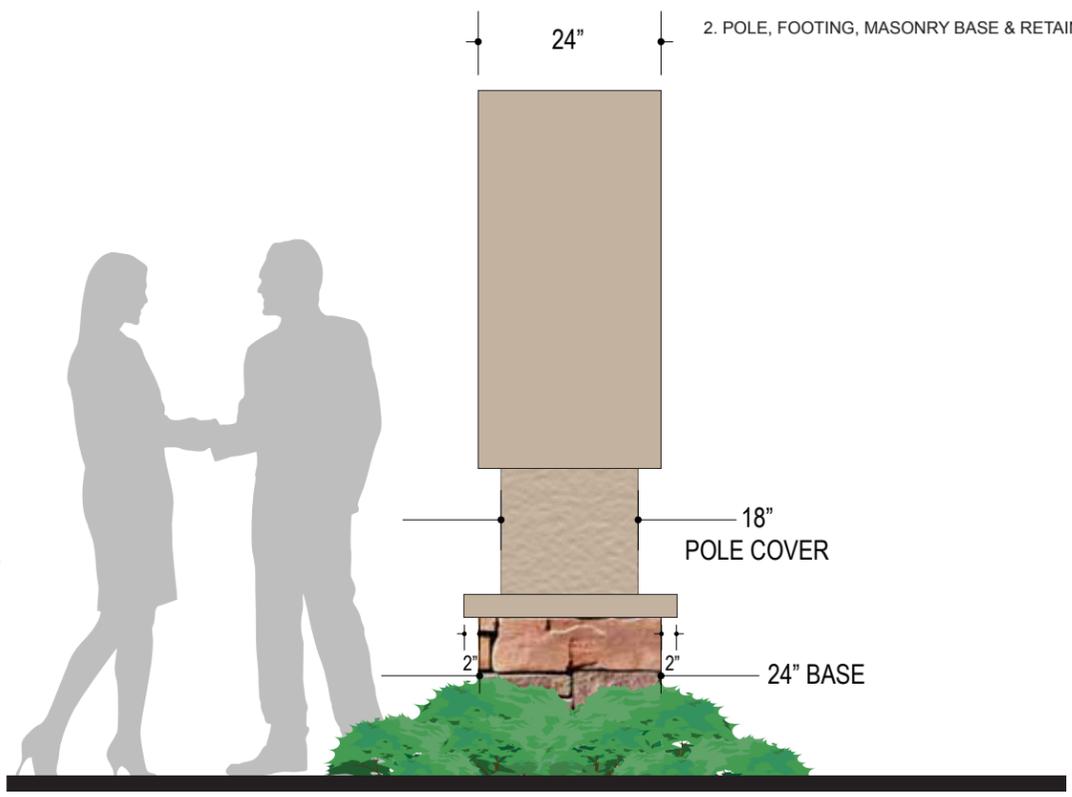
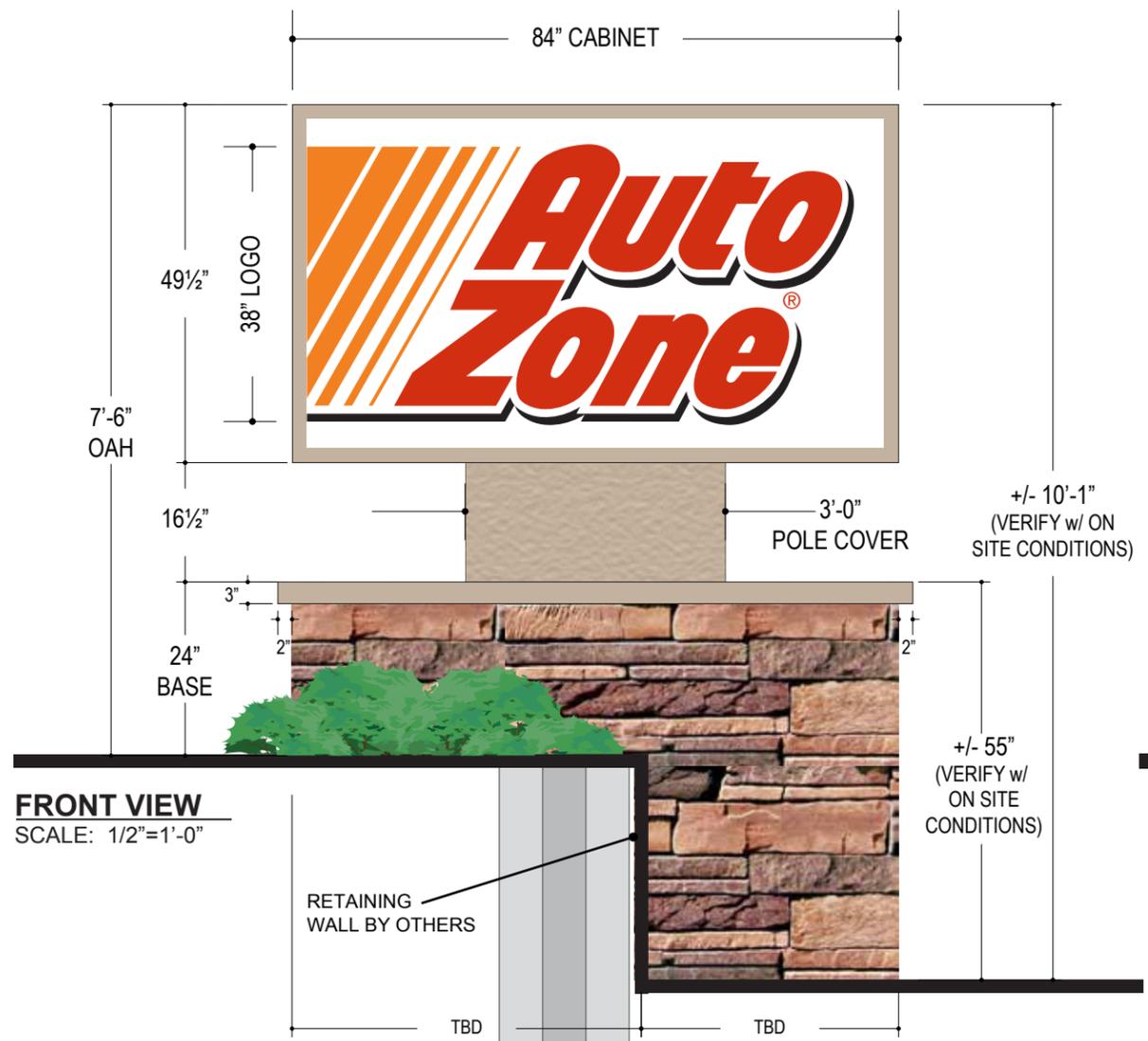
Quality Grade:
2
of Circuits Req'd:
TBD
Amp Draw:
TBD
Voltage:
120V
Project Manager:
Mickey Wiskow
Salesman:
Mike Bjorklund
Revision Date:
(SEE REVISION TABLE)
Date:
08.01.14
Sheet No. :
1
Drwn By:
JS

CALL OUTS:

- .150" WHITE LEXAN FACES w/ FIRST SURFACE APPLIED SIGNECH (ARLON) CAST FLEX TRANSLUCENT VINYL GRAPHICS V-1, V-2, V-3
- ALUMINUM FRAMED CABINET PAINTED P-1 / SHEETED w/ PRE-FINISHED WHITE/WHITE ALUMINUM P-2 / 2" PRE-FINISHED WHITE/WHITE RETAINERS P-2
- INTERNALLY ILLUMINATED w/ FLUORESCENT BULBS
- STEEL POLE SUPPORT / PORTION INSIDE CABINET PAINTED P-1
*POLE SUPPORT AND FOOTING SIZE TBD PER ENGINEERING
- ALUMINUM POLE COVER PAINTED P-2 / STUCCO FINISH
- CORONADO STONE - HONEY LEDGESTONE STYLE - CARMEL MOUNTAIN COLOR STONE BASE BUILT INTO RETAINING WALL w/ STONE CAP TO MATCH BY OTHERS

NOTES:

- STANDARD CABINET DEPTH IS 24". CABINET DEPTH TO BE ADJUSTED IF POLE IS LARGER THAN 10" DIA. (GENERALLY: CABINET DEPTH = POLE DIA. +10")
- POLE, FOOTING, MASONRY BASE & RETAINING WALL PROVIDED AND INSTALLED BY GC



FRONT VIEW
SCALE: 1/2"=1'-0"

SIDE VIEW
SCALE: 1/2"=1'-0"

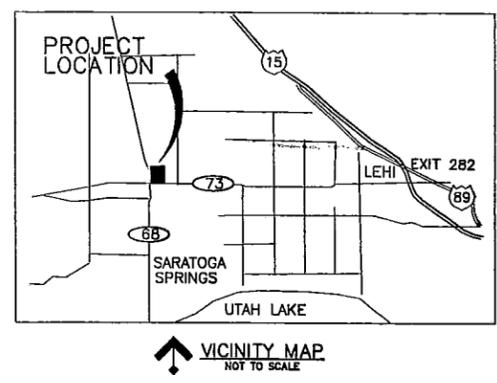
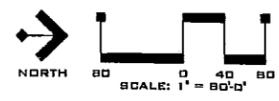
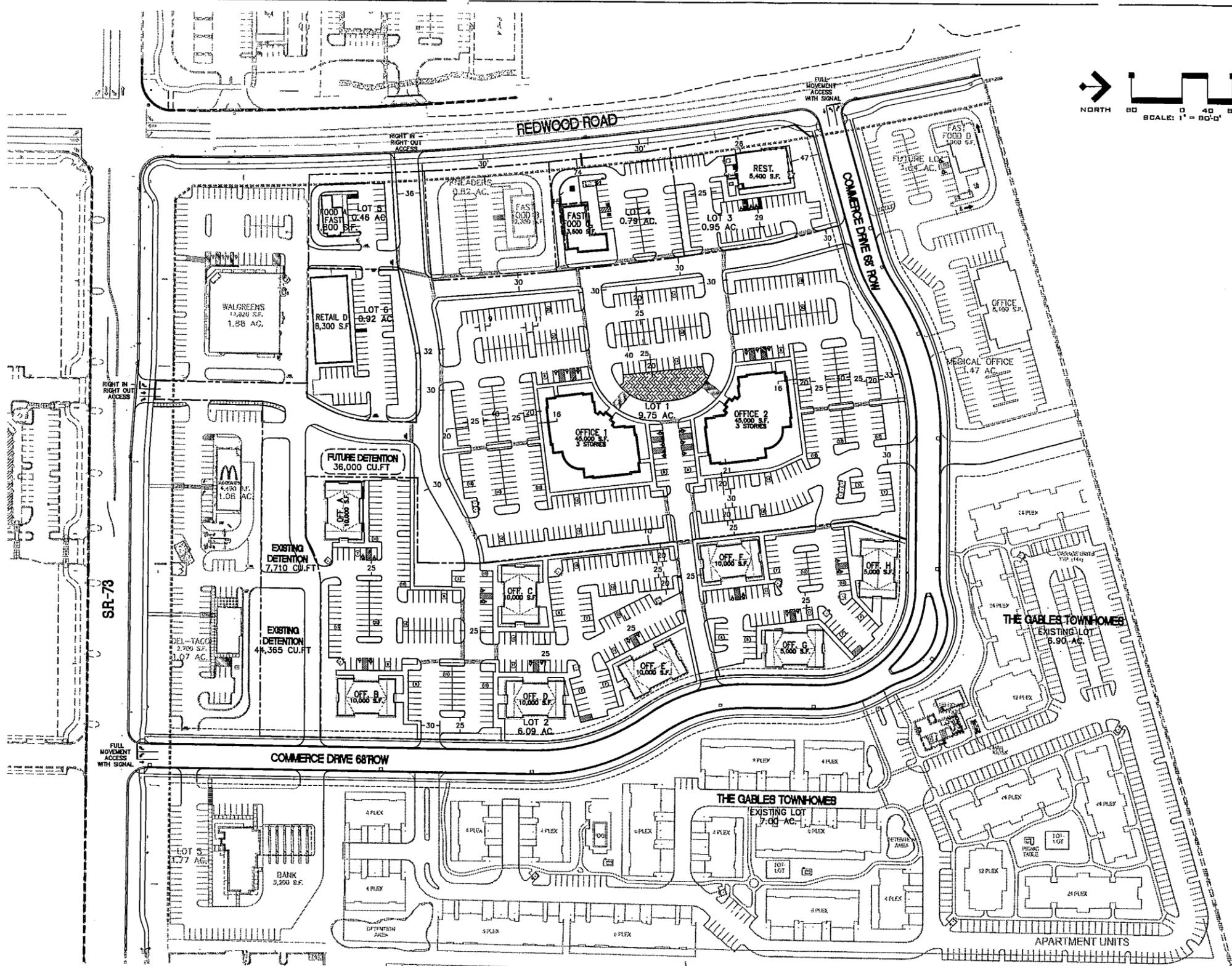
- FINISHES:**
- P-1 RUSTOLEUM 20-9109 WHITE PRIMER
 - P-2 SW6086 SAND DUNE
 - V-1 SIGN TECH (ARLON) 2500-2119 ORANGE CAST FLEX VINYL
 - V-2 SIGN TECH (ARLON) 2500-22 BLACK CAST FLEX VINYL
 - V-3 SIGN TECH (ARLON) 2500-2662 RED CAST FLEX VINYL

QC APPROVED
By Rhoda Schley at 6:20 am, Apr 29, 2015

SIGNATURE OF APPROVAL

DATE

REV.	DATE	BY	DESCRIPTION
1	04.15.15	JS	STONE BASE BUILT INTO RETAINING WALL
2	04.16.15	JS	POLE COVER/CABINET PAINTED
3	04.28.15	JS	ADD STONE CAP



SITE DATA

LOT 1	9.75 ± ACRES
LOT 2	6.09 ± ACRES
LOT 3	0.95 ± ACRES
LOT 4	0.79 ± ACRES
LOT 5	0.46 ± ACRES
LOT 6	0.92 ± ACRES

PARKING/BUILDING DATA

LOT	BUILDING TYPE	STORIES	SQ. FT.	PARKING STALLS	RATIO	PERCENT LANDSCAPING
LOT 1	OFFICE 1	3	45,000	402	4.66/1,000	29.6%
	OFFICE 2	3	45,000			
	TOTAL		90,000			
LOT 2	OFF. A - F	2	70,000	330	4.16/1,000	20.1%
	OFF. G-H	1	10,000			
	TOTAL		80,000			
LOT 3	RESTAURANT		5,400	46	8.5/1,000	33.7%
	TOTAL		5,400			
LOT 4	RESTAURANT		3,600	45	12.5/1,000	30.8%
	TOTAL		3,600			
LOT 5	RESTAURANT		1,800	16	8.9/1,000	28.0%
	TOTAL		1,800			
LOT 6	RETAIL/RESTAURANT		8,300	50	6.0/1,000	33.0%
	TOTAL		8,300			



CLC ASSOCIATES
 SUITE 310
 SALT LAKE CITY
 UT 84111
 P 801 588 8605
 F 801 588 8604
 CLC@CLC.COM

ARCHITECTURE
 ENGINEERING PLANNING
 LANDSCAPE ARCHITECTURE
 LAND SURVEYING

SITE CONCEPT PLANS FOR SARATOGA SPRINGS TOWNE CENTER SR 73 AND REDWOOD ROAD SARATOGA SPRINGS, UT



PROJECT # 05-0239
 DRAWN BY: RMP
 DESIGNED BY: RMP
 CHECKED BY: RMP

DATE: 05/04/13
 DESCRIPTION: CITY SUBMITTAL - IT

SITE CONCEPT PLAN

CALL BEFORE YOU DIG. IT'S FREE AND IT'S THE LAW.

BLUE STAKES OF UTAH
 Utility Identification Center, Inc.
 1-800-662-4111
 www.bluestakes.org

811
 Know what's below. Call before you dig.

CAUTION: NOTICE TO CONTRACTOR

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF THE UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

[Back to Exhibit Menu](#)

CONCEPT



Planning Commission Staff Report

Preliminary Plat Crossroads Ranchettes Lot 1-A Plat Amended May 14, 2015 Public Hearing

Report Date:	May 7, 2015
Applicant:	Thomas Davis
Owner:	Gary Free/Towne Storage Saratoga LC
Location:	1547 North Redwood Road
Major Street Access:	Redwood Road and Commerce Drive
Parcel Number(s) & Size:	65:074:0008 (4.63 acres)
Land Use Map Designation:	Regional Commercial
Parcel Zoning:	RC, Regional Commercial
Adjacent Zoning:	RC & MU
Current Use of Parcel:	Vacant land and storage units
Adjacent Uses:	Townhomes, Bank, Walmart
Previous Meetings:	November 12, 2002 City Council
Previous Approvals:	Final Plat Approval
Type of Action:	Administrative
Land Use Authority:	City Council
Future Routing:	Public meeting with City Council
Author:	Scott Langford, Senior Planner

A. Executive Summary:

This is a request for approval of a Preliminary and Final Plat for the Crossroads Ranchettes Lot 1-A; amending the existing subdivision, located at 1547 North Redwood Road. The proposed plat subdivides the existing Lot 1-A into two new lots (Lot 1 & Lot 2). Proposed Lot 1 (3.6 acres) will contain the entirety of the existing Towne Storage self-storage facility. There is no specific use proposed for Lot 2 (1.4 acres), which is currently vacant; however, the applicant has provided a concept plan that illustrates the viability of future commercial development on the proposed Lot 2.

The Planning Commission reviewed a similar request last year, but that application was not able to move forward at that time due to the inability to secure public access to the proposed Lot 2. The applicant has now resolved the access issue and is ready to move forward with city approval.

Recommendation:

Staff recommends that the Planning Commission conduct a public hearing, take public comment, discuss the proposed preliminary plat, and choose from the options in Section "I" of this report. Options include recommendation to the City Council for approval as proposed, continuation

of the application, or a recommendation for denial based on non-compliance with findings of specific criterion.

B. Background: The Towne Storage Phase #1 site plan was approved in February 2001.

In 2002, the City Council approved the Final Plat for the "Crossroads Ranchettes Lot 1 Plat A", which created Lot 1-A and Lot 1-B.

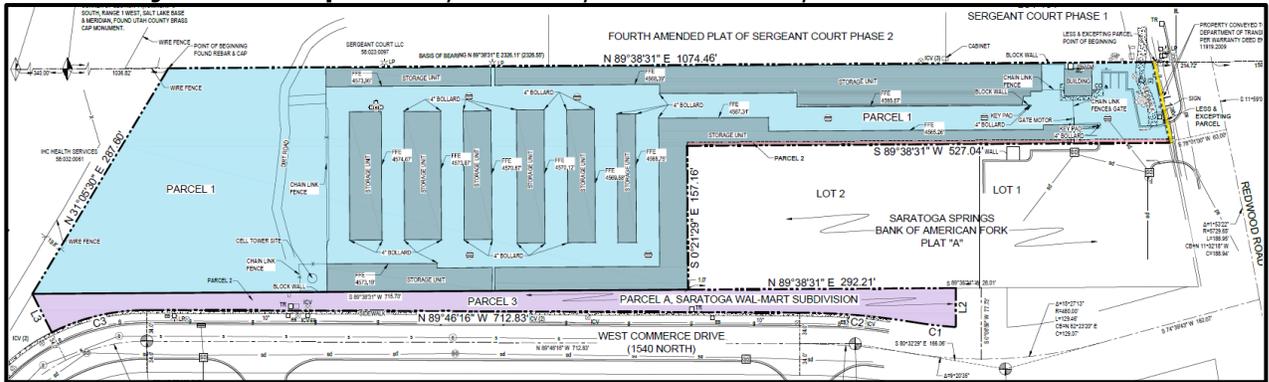
In January 2004 the City Council approved Towne Storage Phase #2.

On January 8, 2008 the City Council approved the Bank of American Fork Final Plat, which further subdivided Lot 1-B into 2 lots.

On August 28, 2014 the Planning Commission reviewed the proposed subdivision and concept plan on the site. The Planning Commission forwarded a positive recommendation to the City Council to approve the plat; however, due to the fact that at that time the applicant had not secured access to the future Lot 2, the City Council never held a meeting to approve the plat. Access to future Lot 2 was blocked by a 20 foot wide strip of property located between the property and West Commerce Drive. This strip of property was created with the Walmart Subdivision plat.

The applicant has now purchased the 20 foot wide strip of property. Running concurrent with this subdivision plat application, city staff is also reviewing a Lot Line Adjustment to adjust the southern boundary of the Crossroads Ranchettes Lot 1A. This request essentially expands the boundary of the subdivision plat being considered by the Planning Commission and City Council by incorporating the 20 foot wide parcel to the south.

Lot Line Adjustment Request: *Purple colored parcel will be incorporated into Blue colored lot.*



C. Specific Request: The applicant is requesting a positive recommendation from the Planning Commission to the City Council to approve the Preliminary Plat for Crossroads Ranchettes Lot 1-A Subdivision. This approval will essentially amend the existing subdivision creating a two lot subdivision; proposed Lot 1 is 3.607 acres and proposed Lot 2 is 1.414 acres (total 5.218 acres). Lot 1 is already fully developed with a self-storage facility and a concept plan has been provided for Lot 2, which is currently vacant.

D. Community Review: This item was noticed as a public hearing in the *Daily Herald*; and notices were mailed to all property owners within 300 feet of the subject property. As of the date of this report, public input has not been received by the City.

E. Process: Section 19.13.04 of the City Code states that Subdivision Plats require a public hearing with the Planning Commission and that the City Council is the approval authority.

Per Section 19.13.04(6) of the City Code, a Concept Plan is required in order for the Planning Commission and City Council to consider Site Plan or Subdivision applications.

All of the information required per the code has been provided and the review process with the Planning Commission and City Council will be followed.

- F. General Plan:** The General Plan designates the site for Regional Commercial type development. The existing self-storage units on the property are non-conforming within the current Regional Commercial designation and therefore cannot expand to include the vacant land proposed as Lot 2. The proposed subdivision will create an autonomous piece of property that can be developed with a use that is supported by the General Plan and the Land Development Code.
- G. Code Criteria:** The following sections of code are used to review the plat. Subdivision requirements must be met in order for the plat to be approved. Section 19.12.03 of the City Code states, "*All subdivisions are subject to the provisions of Chapter 19.13, Development Review Process*". The following criteria are requirements listed in Sections 19.12 (Subdivision Requirements) and 19.04.22 (Regional Commercial Requirements) of the City Code.

Regional Commercial Requirements (Section 19.04.22):

Permitted or Conditional Uses: complies. Section 19.04.22(2 & 3) lists all of the permitted and conditional uses allowed in the RC (Regional Commercial) zone. The Concept Plan (reviewed August 2104) appears to present a building that would support a variety of permitted and conditional uses typically found in the RC zone. Businesses falling under the Conditional Use category would be reviewed according the Conditional Use process and standards in the Code at the time of application.

It is important to note that the existing self-storage facility is non-conforming with the current list of permitted and conditional uses in the RC zone. Non-conforming uses cannot expand. This is one of the reasons why the applicant desires to split the existing lot and create a new autonomous commercial property that can support future commercial development independent of the storage units.

Minimum Lot Sizes: complies. 19.04.22(4) states that the minimum lot size for commercial lots is 20,000 square feet. The smaller of the two proposed lots, Lot 2, is 1.414 acres (61,607 square feet).

Setbacks and Yard Requirements: can comply. Section 19.04.22(5) outlines the setbacks required by the RC zone. These requirements are will be reviewed in detail once a formal Site Plan application is submitted; however the concept plan that was reviewed last August presented a plan that met the RC setbacks.

Maximum Height of Structures: can comply. Section 19.04.22(6) outlines the requirements for the building height in the RC zone and states that no structure in this zone shall be taller than fifty feet. Compliance with this requirement will be reviewed during the formal Site Plan review.

Maximum Lot Coverage: can comply. Section 19.04.22(7) outlines the requirements for lot coverage in the RC zone and states that the maximum lot coverage in this zone is 50%. Specific lot coverage will be reviewed with each site plan. Based on the Concept Plan, it appears that meeting this requirement will not be an issue.

Minimum Building Size: can comply. Section 19.04.22(8) buildings in the RC zone must be a minimum 1,000 square feet in area above grade. Compliance with this requirement will be reviewed during the formal Site Plan review

Development Standards: can comply. Staff believes that based on the proposed size of Lot 2 and the Concept plan submitted, all of the standards listed in Section 19.04.22 can be met with a site plan application.

General Subdivision Requirements (Section 19.12.06):

Due to the fact that this application involves land in an existing subdivision and will create an additional lot, the applicant does not have the option to file an application for a Minor Subdivision or an Amended Subdivision.

Subdivision Layout: complies. The proposed subdivision generally complies with the City's adopted Land Use Element of the General Plan. In consideration of the corresponding lot line adjustment, the two lots proposed on the plat have direct access to public roads. As part of the improvements required with the subdivision, a curb cut and access from West Commerce Drive to Lot 2 will be installed.

Lot Design: can comply. With the incorporation of the 20 foot wide parcel that use to be part of the Walmart Plat, Lot 2 and Lot 1 will have frontage on a public road.

The plat design shows a remnant Parcel "A" that is approximately 8,602 square feet. The applicant has no use for this remnant and attempted to contact the owner of the neighboring property to transfer ownership to them. As of the completion of this report, the applicant has not heard back from the neighboring property owner (Golden Lucks LLC).

Section 19.12.06(2h) of the code states, *"Remnants of property shall not be left in the subdivision that do not conform to lot requirements or are not required or suitable for common open space, private utilities, public purposes, or other purpose approved by the City Council."* Because the applicant has been unsuccessful in their communication with the neighboring property owner, staff recommends as a condition of approval that this remnant parcel be combined with Lot 1 in order to meet this code requirement.

Timing of Installation; Phasing: complies. This is not a phased subdivision so this review criterion is not applicable.

H. Recommendation and Alternatives:

Staff recommends that the Planning Commission review the proposed Amended Final Plat, conduct a public hearing, and choose one of the following motions; in addition provide informal feedback on the Concept Plan associated with the Amended Plat:

Recommended Motion – Positive Recommendation:

"I move to recommend approval to the City Council of the Crossroads Ranchettes Lot 1-A Preliminary Plat, located at approximately 1547 North Redwood Road, based on the findings and conditions listed below:

Findings:

1. The Preliminary Plat is consistent with the General Plan as explained in the findings in Section "F" of this report, which findings are incorporated herein by this reference.
2. The Amended Final Plat meets or can conditionally meet all the requirements in the Land Development Code as explained in the findings in Section "E" and "G" of this report, which findings are incorporated herein by this reference.

Conditions

1. That per Section 19.12.02(5) of the City Code, the Preliminary Subdivision Plat shall remain valid for twenty-four months from the date of City Council approval. The City Council may grant extensions of time when such extensions will promote the public health, safety, and general

welfare. Said extensions must be requested within twenty-four months of site plan/Subdivision approval and shall not exceed twelve months.

2. That all requirements of the City Engineer be met, including those listed in the attached report.
3. That all requirements of the City Fire Chief be met.
4. That Parcel A shall be combined with Lot 1 of the Crossroads Ranchettes Lot 1-A in order to comply with the code requirements list in Section 19.12.06(2h) of the code.
5. Any other conditions as articulated by the Planning Commission:

Alternative Motions:

Alternative Motion A – Continuance

“I move to **continue** the item to another meeting, with direction to the applicant and Staff on information and / or changes needed to render a decision, as follows:

Alternative Motion B – Negative Recommendation

“Based upon the analysis discussed at the meeting and information received from the public, I move that the Planning Commission recommend to the City Council denial of the Crossroads Ranchettes Lot 1-A Preliminary Plat, located at approximately 1547 North Redwood Road, based on the findings below: ”

List findings for denial:

I. Exhibits:

- A. [Engineering Staff Report](#)
- B. [Zoning / Location Map](#)
- C. [Aerial Photo](#)
- D. [Preliminary Plat](#)
- E. [Lot Line Adjustment](#)
- F. [Lot 2 Concept Plan](#)

City Council Staff Report

Author: Jeremy D. Lapin, City Engineer
Subject: Crossroads Ranchettes Lot 1-A
Date: August 28, 2014
Type of Item: Final Plat – Plat Amendment – Lot Line Adjustment



Description:

A. Topic: The applicant has submitted an Amended Final Plat application. Staff has reviewed the submittal and provides the following recommendations.

B. Background:

Applicant: Thomas Davis
Request: Plat Amendment – Final Plat – Lot Line Adjustment
Location: 1547 North Redwood Road
Acreage: 3.28 acres – 5 lots

C. Recommendation: Staff recommends the approval of final plat subject to the following conditions:

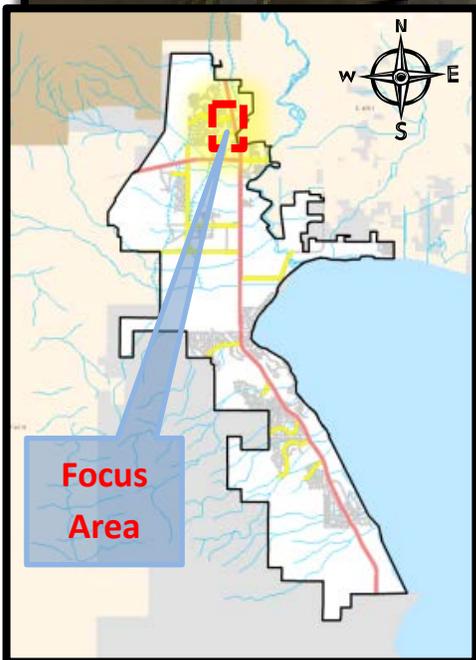
D. Proposed Items for Consideration:

- A. Prepare construction drawings as outlined in the City's standards and specifications and receive approval from the City Engineer on those drawings prior to receiving Final approval from the City Council.
- B. Consider and accommodate existing utilities, drainage systems, detention systems, and water storage systems into the project design. Access to existing facilities shall be maintained throughout the project.
- C. Utility laterals for culinary water, secondary water, sanitary sewer, and storm drain shall be installed for lot 2 of the Crossroads Ranchettes Lot 1 Plat "A" Amended in accordance with the City's standards and specifications. These improvements must be bonded for or completed prior to recording the plat.
- D. The existing cell tower access easement shall be shown and referenced on the plat.
- E. Incorporate a grading and drainage design that protects buildings from upland flows.

- F. Developer shall meet all applicable city ordinances and engineering conditions and requirements in the preparation of the Construction Drawings.
- G. Project bonding must be completed as approved by the City Engineer prior to recordation of plats.
- H. Developer shall prepare and record easements to the City for all public utilities not located in a public right-of-way.
- I. Developer is required to ensure that there are no adverse effects to adjacent property owners and future homeowners due to the grading and construction practices employed during completion of this project.
- J. Developer shall ensure that the boundary calls on the final plat match all existing adjacent recorded plats.
- K. Meet all engineering conditions and requirements in the construction of the subdivision and recording of the plats. Review and inspection fees must be paid as indicated by the City prior to any construction being performed on the project.
- L. All review comments and redlines provided by the City Engineer are to be complied with and implemented into the Final plat and construction drawings.
- M. Developer must pay all applicable impact fees and secure water rights as required by the City Engineer, City Attorney, and development code.
- N. Project must meet the City Ordinance for Storm Water release (0.2 cfs/acre for all developed property) and all UPDES and NPDES project construction requirements.
- O. Final plats and plans shall include an Erosion Control Plan that complies with all City, UPDES and NPDES storm water pollution prevention requirements.
- P. All work to conform to the City of Saratoga Springs Standard Technical Specifications, most recent edition.
- Q. Developer may be required by the Saratoga Springs Fire Chief to perform fire flow tests prior to final plat approval and prior to the commencement of the warranty period.
- R. Submittal of a Mylar and electronic version of the as-built drawings in AutoCAD format to the City Engineer is required prior acceptance of site improvements and the commencement of the warranty period.

- S. All roads shall be designed and constructed to City standards and shall incorporate all geotechnical recommendations as per the applicable soils report.
- T. Developer shall stabilize and reseed all disturbed areas.

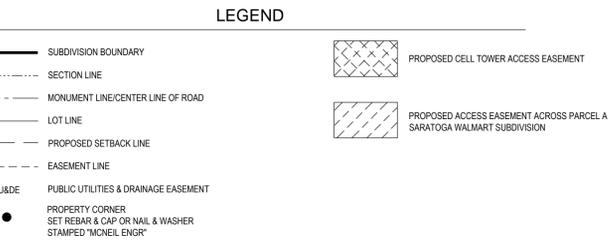
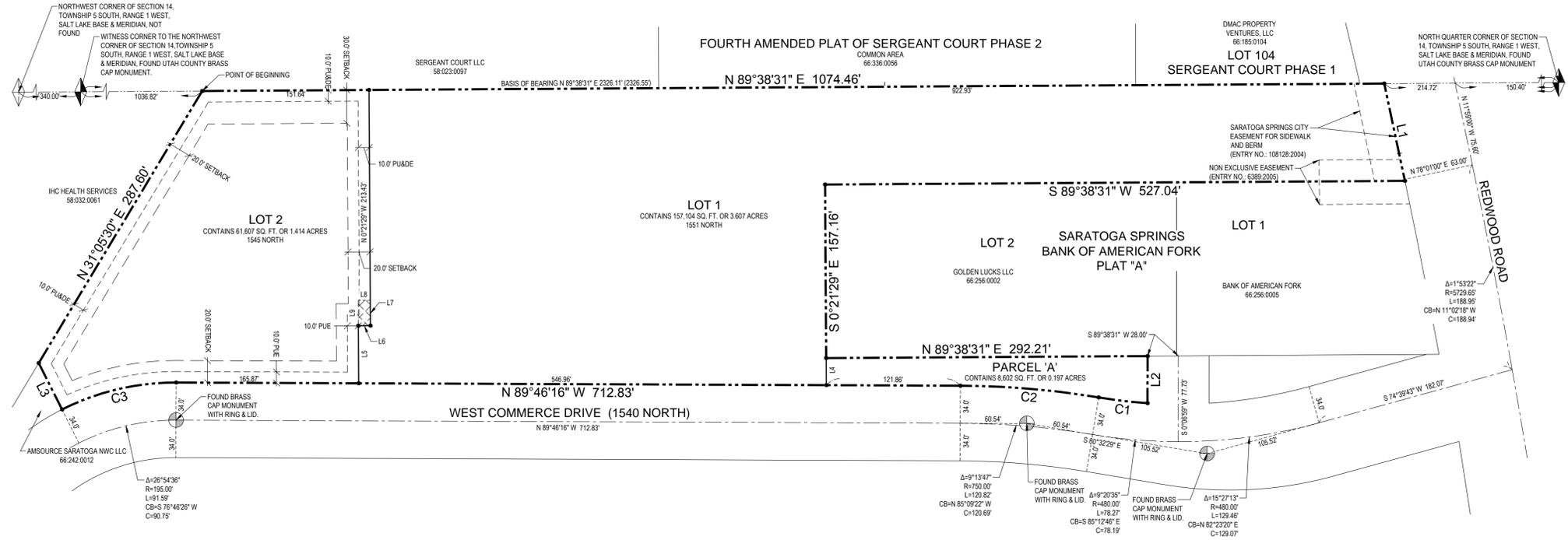
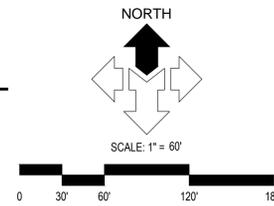
Aerial Photo



CROSSROADS RANCHETTES LOT 1 PLAT "A" AMENDED

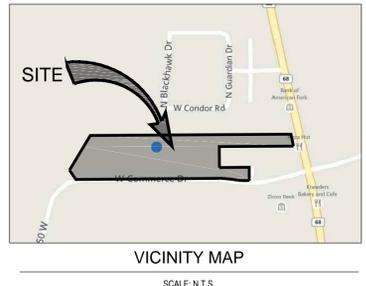
AMENDING PARCEL "A" SARATOGA WAL-MART SUBDIVISION

LOCATED IN THE NORTHWEST QUARTER OF SECTION 14
TOWNSHIP 5 SOUTH, RANGE 1 WEST
SALT LAKE BASE & MERIDIAN



LINE #	DIRECTION	LENGTH
L1	S 12°01'53" E	90.05'
L2	S 00°06'59" W	42.61'
L3	N 26°40'30" W	47.08'
L4	S 00°21'29" E	24.52'
L5	N 00°21'29" W	52.09'
L6	N 89°38'31" E	11.07'
L7	N 00°21'29" W	23.00'
L8	N 89°38'31" E	11.07'
L9	N 00°21'29" W	23.00'

CURVE #	RADIUS	LENGTH	DELTA	BEARING	CHORD
C1	446.00'	44.71'	5°44'35"	N83°24'46" W	44.69'
C2	783.99'	126.29'	9°13'47"	N85°09'22" W	126.16'
C3	229.00'	107.55'	28°54'36"	S76°46'28" W	106.57'



- PLAT NOTES:**
- THE BASIS OF BEARING FOR THIS SURVEY IS NORTH 89°38'31" EAST ALONG THE SECTION LINE BETWEEN THE NORTH QUARTER CORNER AND THE NORTHEAST CORNER OF SECTION 14, TOWNSHIP 5 SOUTH, RANGE 1 WEST, BETWEEN THE TWO FOUND BRASS CAP MONUMENTS AS SHOWN HEREON.
 - THE SUBJECT PROPERTY IS LOCATED AT: 1547 NORTH REDWOOD ROAD, SARATOGA SPRINGS, UTAH.
 - THE SUBJECT PARCEL IS LOCATED WITHIN FLOOD ZONE 'X' PER FEMA MAP NO. 490290115C EFFECTIVE DATE JULY 12, 2002.
 - SUBJECT PARCEL IS LOCATED WITHIN ZONE RC (REGIONAL COMMERCIAL) ZONE PER SARATOGA SPRINGS CITY PLANNING AND ZONING MAP.
 - PARCEL 'A' SHOWN HEREON DOES NOT MEET THE REQUIREMENTS OF A BUILDABLE PARCEL.
 - PLAT MUST BE RECORDED WITH 24 MONTHS OF FINAL PLAT APPROVAL BY CITY COUNCIL. FINAL PLAT APPROVAL WAS GRANTED ON THE _____ DAY OF _____, 20____.
 - THE INSTALLATION OF ALL IMPROVEMENTS SHALL CONFORM TO THE CITY OF SARATOGA SPRINGS ORDINANCES, REQUIREMENTS, CONSTRUCTION STANDARDS, POLICIES AND OTHER RULES PERTAINING TO THE DEVELOPMENT OF THIS PROPERTY.
 - PRIOR TO BUILDING PERMIT BEING ISSUED, SOIL TESTING STUDIES MAY BE REQUIRED ON EACH LOT AS DETERMINED BY THE CITY BUILDING OFFICIAL.
 - PLAT MAY BE SUBJECT TO A WATER DEVELOPMENT AGREEMENT, DEVELOPMENT AGREEMENT, SUBDIVISION AGREEMENT, OR SITE PLAN AGREEMENT. SEE CITY RECORDER FOR MORE INFORMATION.
 - BUILDING PERMIT WILL NOT BE ISSUED UNTIL ALL IMPROVEMENTS HAVE BEEN INSTALLED AND ACCEPTED BY THE CITY IN WRITING. ALL IMPROVEMENTS CURRENTLY MEET CITY STANDARDS. AN BONDS ARE POSTED BY THE CURRENT OWNER OF THE PROJECT PURSUANT TO CITY CODE.
 - ALL BOUNDS AND BOND AGREEMENTS ARE BETWEEN THE CITY, DEVELOPER/OWNER AND FINANCIAL INSTITUTION. NO OTHER PARTY, INCLUDING UNIT OR LOT OWNERS, SHALL BE DEEMED A THIRD-PARTY BENEFICIARY OR HAVE ANY RIGHTS INCLUDING THE RIGHT TO BRING MARY ACTION UNDER ANY BOND OR BOND AGREEMENT.
 - THE OWNER OF THIS SUBDIVISION AND ANY SUCCESSORS AND ASSIGNS ARE RESPONSIBLE FOR ENSURING THAT THE IMPACT AND CONNECTION FEES ARE PAID AND WATER RIGHTS ARE SECURED FOR EACH INDIVIDUAL LOT. NO BUILDING PERMIT SHALL BE ISSUES FOR ANY LOT IN THIS SUBDIVISION UNTIL ALL IMPACT AND CONNECTION FEES, AT THE RATES IN EFFECT WHEN APPLYING FOR BUILDING PERMIT ARE PAID IN FULL AND WATER RIGHTS SECURED AS SPECIFIED BY CURRENT CITY ORDINANCES.
 - ALL OPEN SPACE AND TRAIL IMPROVEMENTS LOCATED HEREON ARE TO BE INSTALLED BY OWNERS AND MAINTAINED BY A HOMEOWNERS ASSOCIATION UNLESS SPECIFIED OTHERWISE BY EACH IMPROVEMENT.
 - ANY REFERENCE HEREON TO OWNERS, DEVELOPERS, OR CONTRACTORS SHALL APPLY TO SUCCESSORS, AGENTS, ASSIGNS.

BY SIGNING THIS PLAT, THE FOLLOWING UTILITY COMPANIES ARE APPROVING THE: (A) BOUNDARY, COURSE, DIMENSIONS, AND INTENDED USE OF THE RIGHT-OF-WAY AND EASEMENT GRANTS OF RECORD; (B) LOCATION OF EXISTING UNDERGROUND AND UTILITY FACILITIES; (C) CONDITIONS OR RESTRICTIONS GOVERNING THE LOCATION OF THE FACILITIES WITHIN THE RIGHT-OF-WAY, AND EASEMENT GRANTS OF RECORD, AND UTILITY FACILITIES WITHIN THE SUBDIVISION. "APPROVING" SHALL HAVE THE MEANING IN UTAH CODE SECTION 10-9A-603(4)(g)(i).

APPROVED THIS _____ DAY OF _____, A.D. 20____ QUESTAR GAS COMPANY	APPROVED THIS _____ DAY OF _____, A.D. 20____ ROCKY MOUNTAIN POWER
APPROVED THIS _____ DAY OF _____, A.D. 20____ COMCAST CABLE TELEVISION	APPROVED THIS _____ DAY OF _____, A.D. 20____ QWEST

PREPARED BY: McNEIL ENGINEERING Economic and Sustainable Designs, Professionals You Know and Trust 8610 South Sandy Parkway, Suite 200 Sandy, Utah 84070 801.255.7700 mcnengineering.com Civil Engineering • Consulting & Landscape Architecture Structural Engineering • Land Surveying & HDS	FIRE CHIEF APPROVAL APPROVED BY THE FIRE CHIEF ON THIS _____ DAY OF _____, A.D. 20____ CITY FIRE CHIEF	PLANNING COMMISSION REVIEW REVIEWED BY THE PLANNING COMMISSION ON THIS _____ DAY OF _____, A.D. 20____ CHAIRMAN, PLANNING COMMISSION	SARATOGA SPRINGS ENGINEER APPROVAL APPROVED BY THE CITY ENGINEER ON THIS _____ DAY OF _____, A.D. 20____ CITY ENGINEER	SARATOGA SPRINGS ATTORNEY APPROVED BY SARATOGA SPRINGS ATTORNEY ON THIS _____ DAY OF _____, A.D. 20____ SARATOGA SPRINGS ATTORNEY	LEHI CITY POST OFFICE APPROVED BY POST OFFICE REPRESENTATIVE ON THIS _____ DAY OF _____, A.D. 20____ LEHI CITY POST OFFICE REPRESENTATIVE
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SURVEYOR'S CERTIFICATE

I, DAVID B. DRAPER DO HEREBY CERTIFY THAT I AM A REGISTERED PROFESSIONAL LAND SURVEYOR, AND THAT I HOLD LICENSE NO. 6861599, AS PRESCRIBED UNDER THE LAWS OF THE STATE OF UTAH. I FURTHER CERTIFY THAT BY AUTHORITY OF THE OWNERS, I HAVE MADE A SURVEY OF THE TRACT OF LAND SHOWN ON THIS PLAT AND DESCRIBED BELOW, AND HAVE SUBDIVIDED SAID TRACT OF LAND INTO LOTS AND STREETS HEREAFTER TO BE KNOWN AS:

CROSSROADS RANCHETTES LOT 1 PLAT "A" AMENDED
AMENDING PARCEL "A" SARATOGA WAL-MART SUBDIVISION

AND THAT THE SAME HAS BEEN CORRECTLY SURVEYED AND STAKED ON THE GROUND AS SHOWN ON THIS PLAT.

A PARCEL OF LAND SITUATE WITHIN THE NORTHWEST QUARTER OF SECTION 14, TOWNSHIP 5 SOUTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN, LOCATED IN SARATOGA SPRINGS, COUNTY OF UTAH, SAID PARCEL, BEING ALL OF LOT 1A, CROSSROADS RANCHETTES LOT 1 PLAT "A", THE NORTH 4.05 FEET OF LOT 1-B, CROSSROADS RANCHETTES LOT 1, PLAT "A" AND PARCEL A, SARATOGA WAL-MART SUBDIVISION, ACCORDING TO THE OFFICIAL PLAT THEREOF, RECORDED IN THE OFFICE OF THE SALT LAKE COUNTY RECORDER, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHWEST CORNER OF SAID LOT 1-A, SAID POINT BEING NORTH 89°38'31" EAST ALONG THE SECTION LINE 1036.82 FEET FROM THE NORTHWEST CORNER OF SECTION 14, TOWNSHIP 5 SOUTH, RANGE 1 WEST, SALT LAKE BASE & MERIDIAN, AND RUNNING THENCE NORTH 89°38'31" EAST 1074.46 FEET TO A POINT ON THE WESTERLY LINE OF THAT CERTAIN PARCEL CONVEYED TO THE UTAH DEPARTMENT OF TRANSPORTATION PER THAT CERTAIN WARRANTY DEED RECORDED FEBRUARY 5, 2009 AS ENTRY NO. 11919.2009 IN THE OFFICE OF THE UTAH COUNTY RECORDER, THENCE SOUTH 12°01'53" EAST 90.05 FEET; THENCE SOUTH 89°38'31" WEST 527.04 FEET TO THE EASTERLY LINE OF SAID LOT 1-A; THENCE SOUTH 0°21'29" EAST ALONG SAID EASTERLY LINE 157.16 FEET TO A POINT ON THE NORTHERLY LINE OF PARCEL "A" SARATOGA SPRINGS WAL-MART SUBDIVISION, AS RECORDED WITH THE OFFICE OF THE UTAH COUNTY RECORDER, THENCE ALONG SAID PARCEL "A" THE FOLLOWING SEVEN COURSES: (1) NORTH 89°38'31" EAST 292.21 FEET; (2) SOUTH 0°06'59" WEST 42.61 FEET TO A POINT ON THE ARC OF A 446.00 FOOT NON TANGENT RADIUS CURVE TO THE RIGHT; (3) NORTHWESTERLY ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 5°44'35" A DISTANCE OF 44.71 FEET (CHORD BEARS NORTH 83°24'46" WEST 44.69 FEET) TO A POINT OF REVERSE CURVATURE; (4) NORTHWESTERLY ALONG THE ARC OF A 784.00 FOOT RADIUS CURVE TO THE LEFT THROUGH A CENTRAL ANGLE OF 9°13'47" A DISTANCE OF 126.29 FEET (CHORD BEARS NORTH 85°09'22" WEST 126.16 FEET); (5) NORTH 89°46'16" WEST 712.83 FEET TO A POINT OF CURVATURE; (6) SOUTHWESTERLY ALONG THE ARC OF A 229.00 FOOT RADIUS CURVE TO THE LEFT THROUGH A CENTRAL ANGLE OF 28°54'36" A DISTANCE OF 107.55 FEET (CHORD BEARS SOUTH 76°46'28" WEST 106.57 FEET); (7) NORTH 89°40'30" WEST 47.08 FEET TO A POINT ON THE WESTERLY LINE OF SAID LOT 1-A; THENCE NORTH 31°05'30" EAST ALONG SAID WESTERLY LINE 297.60 FEET TO THE POINT OF BEGINNING.

CONTAINS: 227,313 SQ. FT. OR 5.218 ACRES, IN TWO (2) COMMERCIAL LOTS AND ONE (1) PARCEL.

DAVID B. DRAPER,
L.S. LICENSE NO. 6861599
(SEAL BELOW)

OWNER'S DEDICATION

KNOW ALL MEN BY THESE PRESENTS THAT _____, THE _____ UNDERSIGNED OWNER() OF THE ABOVE DESCRIBED TRACT OF LAND, HAVING CAUSED SAME TO BE SUBDIVIDED INTO LOTS, STREETS AND EASEMENTS TO BE HEREAFTER KNOWN AS THE:

CROSSROADS RANCHETTES LOT 1 PLAT "A" AMENDED
AMENDING PARCEL "A" SARATOGA WAL-MART SUBDIVISION

DO HEREBY DEDICATE FOR THE PERPETUAL USE OF THE PUBLIC AND/OR CITY ALL PARCELS OF LAND, EASEMENTS, RIGHT-OF-WAY, AND PUBLIC AMENITIES SHOWN ON THIS PLAT AS INTENDED FOR PUBLIC AND/OR CITY USE. THE OWNER(S) VOLUNTARILY DEFEND, INDEMNIFY, AND SAVE HARMLESS THE CITY AGAINST ANY EASEMENTS OR OTHER ENCUMBRANCE ON A DEDICATED STREET WHICH WILL INTERFERE WITH THE CITY'S USE, MAINTENANCE, AND OPERATION OF THE STREET. THE OWNER(S) VOLUNTARILY DEFEND, INDEMNIFY, AND HOLD HARMLESS THE CITY FROM ANY DAMAGE CLAIMED BY PERSONS WITHIN OR WITHOUT THIS SUBDIVISION TO HAVE BEEN CAUSED BY ALTERATIONS OF THE GROUND SURFACE, VEGETATION, DRAINAGE, OR SURFACE OR SUB-SURFACE WATER FLOWS WITHIN THIS SUBDIVISION OR BY ESTABLISHMENT OR CONSTRUCTION OF THE ROADS WITHIN THIS SUBDIVISION.

IN WITNESS WHEREOF: _____ HAVE HERETO SET _____ THIS _____ DAY OF _____, A.D. 20____

GREGG FREE
TOWNE STORAGE SARATOGA, L.C.

OWNER'S ACKNOWLEDGMENT

STATE OF UTAH)
COUNTY OF UTAH) S.S.

ON THE DAY OF _____, A.D. 20____, PERSONALLY APPEARED BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC, IN AND FOR THE COUNTY OF UTAH IN SAID STATE OF UTAH, THE SIGNER() OF THE ABOVE OWNERS DEDICATION, _____ IN NUMBER, WHO DULY ACKNOWLEDGED TO ME THAT _____ SIGNED IT FREELY AND VOLUNTARILY AND FOR THE USES AND PURPOSES THEREIN MENTIONED.

MY COMMISSION EXPIRES: _____ NOTARY PUBLIC RESIDING AT _____

CORPORATE ACKNOWLEDGMENT

STATE OF UTAH)
COUNTY OF UTAH) S.S.

ON THE _____ DAY OF _____, A.D. 20____, PERSONALLY APPEARED BEFORE ME _____ AND, WHO BEING BY ME DULY SWORN DID SAY EACH FOR HIMSELF, THAT HE/SHE, SAID _____ IS THE PRESIDENT AND HE/ SHE SAID IS THE SECRETARY OF CORPORATION, AND THAT THE WITHIN AND FOREGOING INSTRUMENT WAS SIGNED IN BEHALF OF SAID CORPORATION BY AUTHORITY OF A RESOLUTION OF ITS BOARD OF DIRECTORS AND SAID AND EACH DULY ACKNOWLEDGE TO ME THAT SAID CORPORATION EXECUTED THE SAME AND THAT THE SEAL AFFIXED IS THE SEAL IF SAID CORPORATION.

MY COMMISSION EXPIRES: _____ NOTARY PUBLIC RESIDING AT _____

APPROVAL BY LEGISLATIVE BODY

THE CITY COUNCIL OF THE CITY OF SARATOGA SPRINGS, COUNTY OF UTAH, APPROVES THIS SUBDIVISION SUBJECT TO THE CONDITIONS AND RESTRICTIONS STATED HEREON, AND HEREBY ACCEPTS THE DEDICATION OF ALL STREETS, EASEMENTS, AND OTHER PARCELS OF LAND INTENDED FOR THE PUBLIC PURPOSE OF THE PERPETUAL USE OF THE PUBLIC.

THIS _____ DAY OF _____, A.D. 20____

CITY MAYOR

CITY RECORDER
(SEE SEAL BELOW)

CROSSROADS RANCHETTES LOT 1 PLAT "A" AMENDED

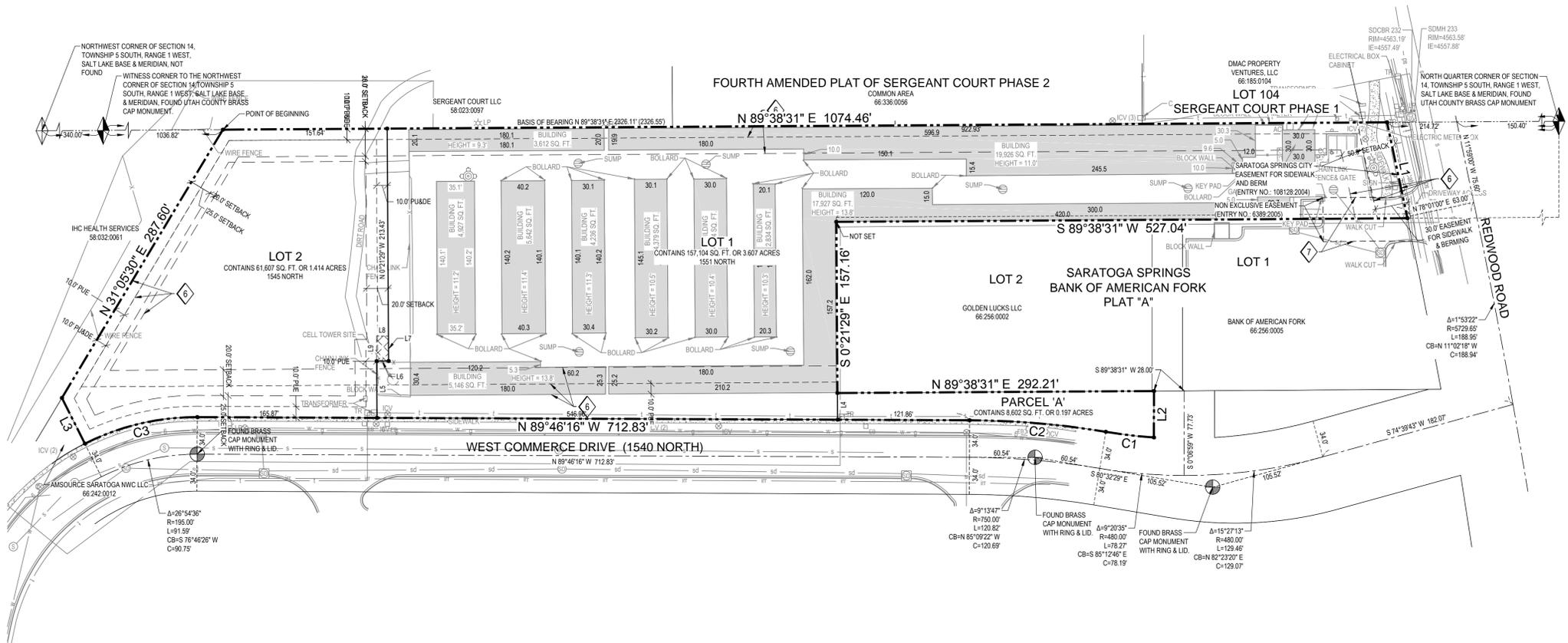
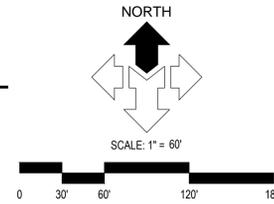
AMENDING PARCEL "A" SARATOGA WAL-MART SUBDIVISION
LOCATED IN THE NORTHWEST QUARTER OF SECTION 14
TOWNSHIP 5 SOUTH, RANGE 1 WEST
SALT LAKE BASE & MERIDIAN
SARATOGA SPRINGS, UTAH

SURVEYOR'S SEAL DAVID B. DRAPER L.S. LICENSE NO. 6861599	NOTARY PUBLIC SEAL _____	CITY ENGINEERS SEAL _____	CLERK-RECORDER SEAL _____
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CROSSROADS RANCHETTES LOT 1 PLAT "A" AMENDED

AMENDING PARCEL "A" SARATOGA WAL-MART SUBDIVISION

LOCATED IN THE NORTHWEST QUARTER OF SECTION 14
TOWNSHIP 5 SOUTH, RANGE 1 WEST
SALT LAKE BASE & MERIDIAN



SURVEYOR'S CERTIFICATE

I, DAVID B. DRAPER DO HEREBY CERTIFY THAT I AM A REGISTERED PROFESSIONAL LAND SURVEYOR, AND THAT I HOLD LICENSE NO. 6861599, AS PRESCRIBED UNDER THE LAWS OF THE STATE OF UTAH. I FURTHER CERTIFY THAT BY AUTHORITY OF THE OWNERS, I HAVE MADE A SURVEY OF THE TRACT OF LAND SHOWN ON THIS PLAT AND DESCRIBED BELOW, AND HAVE SUBDIVIDED SAID TRACT OF LAND INTO LOTS AND STREETS HEREAFTER TO BE KNOWN AS:
CROSSROADS RANCHETTES LOT 1 PLAT "A" AMENDED
AMENDING PARCEL "A" SARATOGA WAL-MART SUBDIVISION
AND THAT THE SAME HAS BEEN CORRECTLY SURVEYED AND STAKED ON THE GROUND AS SHOWN ON THIS PLAT.

A PARCEL OF LAND SITUATE WITHIN THE NORTHWEST QUARTER OF SECTION 14, TOWNSHIP 5 SOUTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN, LOCATED IN SARATOGA SPRINGS, COUNTY OF UTAH, SAID PARCEL, BEING ALL OF LOT 1A, CROSSROADS RANCHETTES LOT 1 PLAT "A", THE NORTH 4.05 FEET OF LOT 1-B, CROSSROADS RANCHETTES LOT 1, PLAT "A" AND PARCEL A, SARATOGA WAL-MART SUBDIVISION, ACCORDING TO THE OFFICIAL PLAT THEREOF, RECORDED IN THE OFFICE OF THE SALT LAKE COUNTY RECORDER, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
BEGINNING AT THE NORTHWEST CORNER OF SAID LOT 1-A, SAID POINT BEING NORTH 89°38'31" EAST ALONG THE SECTION LINE 1036.82 FEET FROM THE NORTHWEST CORNER OF SECTION 14, TOWNSHIP 5 SOUTH, RANGE 1 WEST, SALT LAKE BASE & MERIDIAN, AND RUNNING THENCE NORTH 89°38'31" EAST 1074.66 FEET TO A POINT ON THE WESTERLY LINE OF THAT CERTAIN PARCEL CONVEYED TO THE UTAH DEPARTMENT OF TRANSPORTATION PER THAT CERTAIN WARRANTY DEED RECORDED FEBRUARY 5, 2009 AS ENTRY NO. 11919.2009 IN THE OFFICE OF THE UTAH COUNTY RECORDER, THENCE SOUTH 12°01'53" EAST 90.05 FEET; THENCE SOUTH 89°38'31" WEST 527.04 FEET TO THE EASTERLY LINE OF SAID LOT 1-A; THENCE SOUTH 0°21'29" EAST ALONG SAID EASTERLY LINE 157.16 FEET TO A POINT ON THE NORTHERLY LINE OF PARCEL "A" SARATOGA SPRINGS WAL-MART SUBDIVISION, AS RECORDED WITH THE OFFICE OF THE UTAH COUNTY RECORDER, THENCE ALONG SAID PARCEL "A" THE FOLLOWING SEVEN COURSES: 1) NORTH 89°38'31" EAST 292.21 FEET; 2) SOUTH 0°06'59" WEST 42.61 FEET TO A POINT ON THE ARC OF A 446.00 FOOT NON TANGENT RADIUS CURVE TO THE RIGHT; 3) NORTHWESTERLY ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 5°44'39" A DISTANCE OF 44.71 FEET (CHORD BEARS NORTH 83°24'48" WEST 44.69 FEET) TO A POINT OF REVERSE CURVATURE; 4) NORTHWESTERLY ALONG THE ARC OF A 174.00 FOOT RADIUS CURVE TO THE LEFT THROUGH A CENTRAL ANGLE OF 9°13'47" A DISTANCE OF 126.29 FEET (CHORD BEARS NORTH 85°09'22" WEST 126.16 FEET); 5) NORTH 89°46'16" WEST 712.83 FEET TO A POINT OF CURVATURE; 6) SOUTHWESTERLY ALONG THE ARC OF A 229.00 FOOT RADIUS CURVE TO THE LEFT THROUGH A CENTRAL ANGLE OF 28°54'36" A DISTANCE OF 107.55 FEET (CHORD BEARS SOUTH 78°46'28" WEST 106.57 FEET); 7) NORTH 89°40'30" WEST 47.68 FEET TO A POINT ON THE WESTERLY LINE OF SAID LOT 1-A; THENCE NORTH 31°05'30" EAST ALONG SAID WESTERLY LINE 297.60 FEET TO THE POINT OF BEGINNING.

CONTAINS: 227,313 SQ. FT. OR 5.218 ACRES, IN TWO (2) COMMERCIAL LOTS AND ONE (1) PARCEL.
DAVID B. DRAPER,
L.S. LICENSE NO. 6861599
(SEAL BELOW)

OWNER'S DEDICATION

KNOW ALL MEN BY THESE PRESENTS THAT _____, THE UNDERSIGNED OWNER, OF THE ABOVE DESCRIBED TRACT OF LAND, HAVING CAUSED SAME TO BE SUBDIVIDED INTO LOTS, STREETS AND EASEMENTS TO BE HEREAFTER KNOWN AS THE:

CROSSROADS RANCHETTES LOT 1 PLAT "A" AMENDED
AMENDING PARCEL "A" SARATOGA WAL-MART SUBDIVISION
DO HEREBY DEDICATE FOR THE PERPETUAL USE OF THE PUBLIC AND/OR CITY ALL PARCELS OF LAND, EASEMENTS, RIGHT-OF-WAY, AND PUBLIC AMENITIES SHOWN ON THIS PLAT AS INTENDED FOR PUBLIC AND/OR CITY USE. THE OWNER(S) VOLUNTARILY DEFEND, INDEMNIFY, AND SAVE HARMLESS THE CITY AGAINST ANY EASEMENTS OR OTHER ENCUMBRANCE ON A DEDICATED STREET WHICH WILL INTERFERE WITH THE CITY'S USE, MAINTENANCE, AND OPERATION OF THE STREET. THE OWNER(S) VOLUNTARILY DEFEND, INDEMNIFY, AND HOLD HARMLESS THE CITY FROM ANY DAMAGE CLAIMED BY PERSONS WITHIN OR WITHOUT THIS SUBDIVISION TO HAVE BEEN CAUSED BY ALTERATIONS OF THE GROUND SURFACE, VEGETATION, DRAINAGE, OR SURFACE OR SUB-SURFACE WATER FLOWS WITHIN THIS SUBDIVISION OR BY ESTABLISHMENT OR CONSTRUCTION OF THE ROADS WITHIN THIS SUBDIVISION.

IN WITNESS WHEREOF, _____ HAVE HERETO SET _____ THIS _____ DAY OF _____, A.D. 20____
GREGG FREE TOWNE STORAGE SARATOGA, LC.

OWNER'S ACKNOWLEDGMENT

STATE OF UTAH) S.S.
COUNTY OF UTAH)
ON THE DAY OF _____, A.D. 20____, PERSONALLY APPEARED BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC, IN AND FOR THE COUNTY OF UTAH IN SAID STATE OF UTAH, THE SIGNER, _____, IN NUMBER, WHO DULY ACKNOWLEDGED TO ME THAT _____ SIGNED IT FREELY AND VOLUNTARILY AND FOR THE USES AND PURPOSES THEREIN MENTIONED.
MY COMMISSION EXPIRES: _____ NOTARY PUBLIC RESIDING AT _____

CORPORATE ACKNOWLEDGMENT

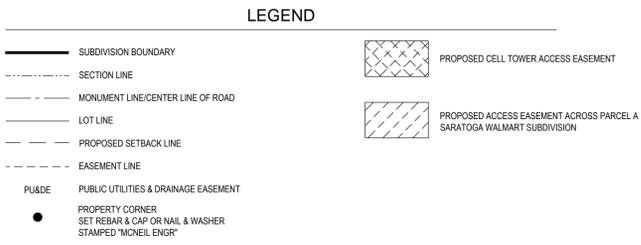
STATE OF UTAH) S.S.
COUNTY OF UTAH)
ON THE _____ DAY OF _____, A.D. 20____, PERSONALLY APPEARED BEFORE ME _____ AND, WHO BEING BY ME DULY SWORN DID SAY EACH FOR HIMSELF, THAT HE/SHE, SAID _____ IS THE PRESIDENT AND HE/ SHE SAID IS THE SECRETARY OF CORPORATION, AND THAT THE WITHIN AND FOREGOING INSTRUMENT WAS SIGNED IN BEHALF OF SAID CORPORATION BY AUTHORITY OF A RESOLUTION OF ITS BOARD OF DIRECTORS AND SAID AND EACH DULY ACKNOWLEDGED TO ME THAT SAID CORPORATION EXECUTED THE SAME AND THAT THE SEAL AFFIXED IS THE SEAL OF SAID CORPORATION.
MY COMMISSION EXPIRES: _____ NOTARY PUBLIC RESIDING AT _____

APPROVAL BY LEGISLATIVE BODY

THE CITY COUNCIL OF THE CITY OF SARATOGA SPRINGS, COUNTY OF UTAH, APPROVES THIS SUBDIVISION SUBJECT TO THE CONDITIONS AND RESTRICTIONS STATED HEREON, AND HEREBY ACCEPTS THE DEDICATION OF ALL STREETS, EASEMENTS, AND OTHER PARCELS OF LAND INTENDED FOR THE PUBLIC PURPOSE OF THE PERPETUAL USE OF THE PUBLIC.
THIS _____ DAY OF _____, A.D. 20____
CITY MAYOR _____ CITY RECORDER (SEE SEAL BELOW)

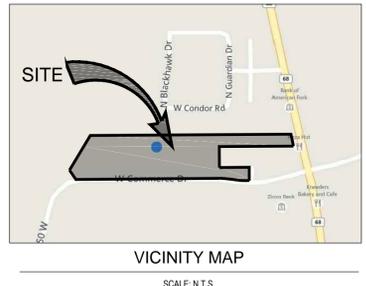
CROSSROADS RANCHETTES LOT 1 PLAT "A" AMENDED

AMENDING PARCEL "A" SARATOGA WAL-MART SUBDIVISION
LOCATED IN THE NORTHWEST QUARTER OF SECTION 14
TOWNSHIP 5 SOUTH, RANGE 1 WEST
SALT LAKE BASE & MERIDIAN
SARATOGA SPRINGS, UTAH



LINE #	DIRECTION	LENGTH
L1	S 12°01'53" E	90.05
L2	S 00°06'59" W	42.61
L3	N 26°40'30" W	47.08
L4	S 00°21'29" E	24.52
L5	N 00°21'29" W	52.09
L6	N 89°38'31" E	11.07
L7	N 00°21'29" W	23.00
L8	N 89°38'31" E	11.07
L9	N 00°21'29" W	23.00

CURVE #	RADIUS	LENGTH	DELTA	BEARING	CHORD
C1	446.00	44.71	5°44'39"	N83°24'48" W	44.69
C2	783.99	126.29	9°13'47"	N85°09'22" W	126.16
C3	229.00	107.55	28°54'36"	S78°46'28" W	106.57



- PLAT NOTES:**
- THE BASIS OF BEARING FOR THIS SURVEY IS NORTH 89°38'31" EAST ALONG THE SECTION LINE BETWEEN THE NORTH QUARTER CORNER AND THE NORTHEAST CORNER OF SECTION 14, TOWNSHIP 5 SOUTH, RANGE 1 WEST, BETWEEN THE TWO FOUND BRASS CAP MONUMENTS AS SHOWN HEREON.
 - THE SUBJECT PROPERTY IS LOCATED AT: 1547 NORTH REDWOOD ROAD, SARATOGA SPRINGS, UTAH.
 - THE SUBJECT PARCEL IS LOCATED WITHIN FLOOD ZONE 'X' PER FEMA MAP NO. 490290115C EFFECTIVE DATE JULY 12, 2002.
 - SUBJECT PARCEL IS LOCATED WITHIN ZONE RC (REGIONAL COMMERCIAL) ZONE PER SARATOGA SPRINGS CITY PLANNING AND ZONING MAP.
 - PARCEL 'A' SHOWN HEREON DOES NOT MEET THE REQUIREMENTS OF A BUILDABLE PARCEL.
 - PLAT MUST BE RECORDED WITH 24 MONTHS OF FINAL PLAT APPROVAL BY CITY COUNCIL. FINAL PLAT APPROVAL WAS GRANTED ON THE _____ DAY OF _____, 20____.
 - THE INSTALLATION OF ALL IMPROVEMENTS SHALL CONFORM TO THE CITY OF SARATOGA SPRINGS ORDINANCES, REQUIREMENTS, CONSTRUCTION STANDARDS, POLICIES AND OTHER RULES PERTAINING TO THE DEVELOPMENT OF THIS PROPERTY.
 - PRIOR TO BUILDING PERMIT BEING ISSUED, SOIL TESTING STUDIES MAY BE REQUIRED ON EACH LOT AS DETERMINED BY THE CITY BUILDING OFFICIAL.
 - PLAT MAY BE SUBJECT TO A WATER DEVELOPMENT AGREEMENT, DEVELOPMENT AGREEMENT, SUBDIVISION AGREEMENT, OR SITE PLAN AGREEMENT. SEE CITY RECORDER FOR MORE INFORMATION.
 - BUILDING PERMIT WILL NOT BE ISSUED UNTIL ALL IMPROVEMENTS HAVE BEEN INSTALLED AND ACCEPTED BY THE CITY IN WRITING. ALL IMPROVEMENTS CURRENTLY MEET CITY STANDARDS. AN BONDS ARE POSTED BY THE CURRENT OWNER OF THE PROJECT PURSUANT TO CITY CODE.
 - ALL BOUNDS AND BOND AGREEMENTS ARE BETWEEN THE CITY, DEVELOPER/OWNER AND FINANCIAL INSTITUTION. NO OTHER PARTY, INCLUDING UNIT OR LOT OWNERS, SHALL BE DEEMED A THIRD-PARTY BENEFICIARY OR HAVE ANY RIGHTS INCLUDING THE RIGHT TO BRING MANY ACTION UNDER ANY BOND OR BOND AGREEMENT.
 - THE OWNER OF THIS SUBDIVISION AND ANY SUCCESSORS AND ASSIGNS ARE RESPONSIBLE FOR ENSURING THAT THE IMPACT AND CONNECTION FEES ARE PAID AND WATER RIGHTS ARE SECURED FOR EACH INDIVIDUAL LOT. NO BUILDING PERMIT SHALL BE ISSUES FOR ANY LOT IN THIS SUBDIVISION UNTIL ALL IMPACT AND CONNECTION FEES, AT THE RATES IN EFFECT WHEN APPLYING FOR BUILDING PERMIT ARE PAID IN FULL AND WATER RIGHTS SECURED AS SPECIFIED BY CURRENT CITY ORDINANCES.
 - ALL OPEN SPACE AND TRAIL IMPROVEMENTS LOCATED HEREON ARE TO BE INSTALLED BY OWNERS AND MAINTAINED BY A HOMEOWNERS ASSOCIATION UNLESS SPECIFIED OTHERWISE BY EACH IMPROVEMENT.
 - ANY REFERENCE HEREON TO OWNERS, DEVELOPERS, OR CONTRACTORS SHALL APPLY TO SUCCESSORS, AGENTS, ASSIGNS.

BY SIGNING THIS PLAT, THE FOLLOWING UTILITY COMPANIES ARE APPROVING THE: (A) BOUNDARY, COURSE, DIMENSIONS, AND INTENDED USE OF THE RIGHT-OF-WAY AND EASEMENT GRANTS OF RECORD; (B) LOCATION OF EXISTING UNDERGROUND AND UTILITY FACILITIES; (C) CONDITIONS OR RESTRICTIONS GOVERNING THE LOCATION OF THE FACILITIES WITHIN THE RIGHT-OF-WAY, AND EASEMENT GRANTS OF RECORD, AND UTILITY FACILITIES WITHIN THE SUBDIVISION. "APPROVING" SHALL HAVE THE MEANING IN UTAH CODE SECTION 10-9A-603(4)(g)(i).

APPROVED THIS _____ DAY OF _____, A.D. 20____	APPROVED THIS _____ DAY OF _____, A.D. 20____
QUESTAR GAS COMPANY	ROCKY MOUNTAIN POWER
COMCAST CABLE TELEVISION	QWEST

APPROVED BY THE FIRE CHIEF ON THIS _____ DAY OF _____, A.D. 20____	REVIEWED BY THE PLANNING COMMISSION ON THIS _____ DAY OF _____, A.D. 20____	APPROVED BY THE CITY ENGINEER ON THIS _____ DAY OF _____, A.D. 20____	APPROVED BY SARATOGA SPRINGS ATTORNEY ON THIS _____ DAY OF _____, A.D. 20____	APPROVED BY POST OFFICE REPRESENTATIVE ON THIS _____ DAY OF _____, A.D. 20____
CITY FIRE CHIEF	CHAIRMAN, PLANNING COMMISSION	CITY ENGINEER	SARATOGA SPRINGS ATTORNEY	LEHI CITY POST OFFICE REPRESENTATIVE

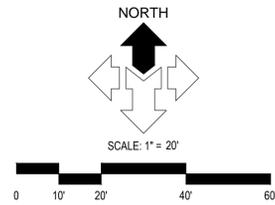
PREPARED BY:
McNEIL ENGINEERING
Economic and Sustainable Designs, Professionals You Know and Trust
8610 South Sandy Parkway, Suite 200 Sandy, Utah 84070 801.255.7700 mcneilengineering.com
Civil Engineering • Consulting & Landscape Architecture
Structural Engineering • Land Surveying & HDS

SURVEYOR'S SEAL	NOTARY PUBLIC SEAL	CITY ENGINEERS SEAL	CLERK-RECORDER SEAL
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LOT LINE ADJUSTMENT MAP

INVOLVING UTAH COUNTY PARCEL NUMBERS: 65-074-008, 65-074-007, & 66-242-001
 SITUATE WITHIN THE NORTHWEST QUARTER OF SECTION 14, TOWNSHIP 5 SOUTH, RANGE 1 WEST, SALT LAKE
 BASE & MERIDIAN. LOCATED IN SARATOGA SPRINGS, COUNTY OF UTAH, STATE OF UTAH



LEGEND

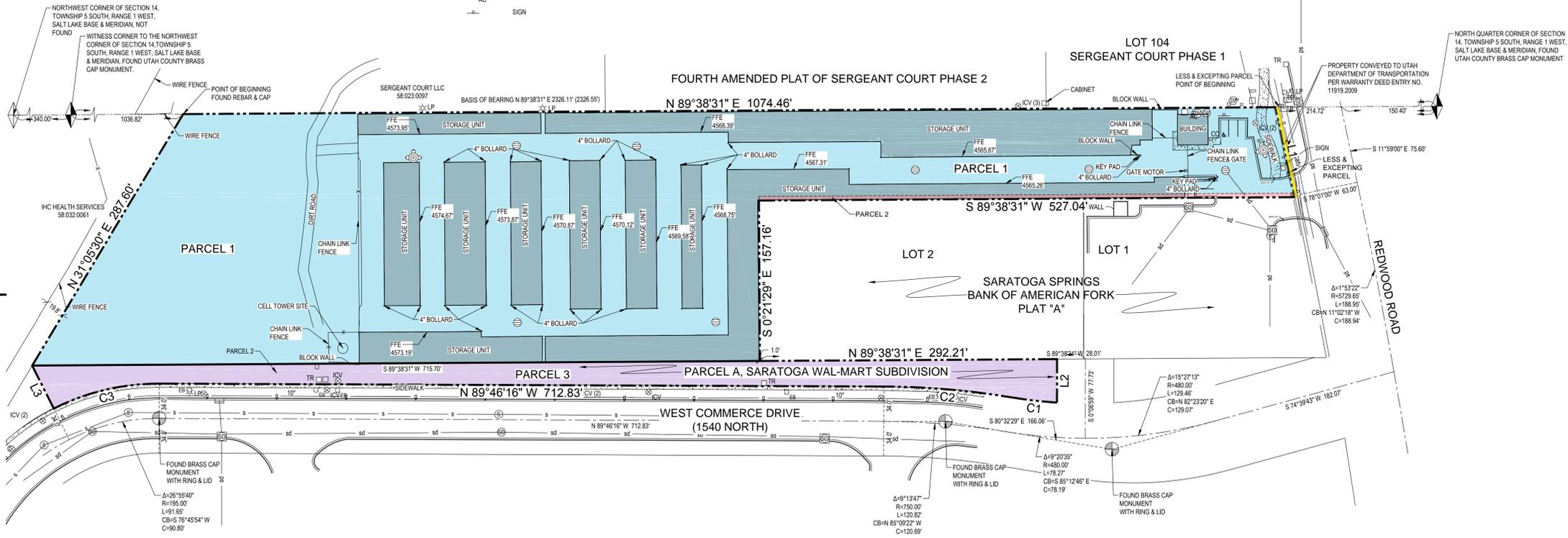
--- ADJOINING PROPERTY LINE	⊕ FIRE HYDRANT	▭ PARCEL 1
--- LOT LINE	⊕ WATER MANHOLE	▭ PARCEL 2
- - - ADJUSTED PARCEL BOUNDARY	⊕ WATER METER	▭ LESS & EXCEPTING PARCEL
- - - MONUMENT LINE	⊕ WATER VALVE	▭ PARCEL 3
- - - SECTION LINE	⊕ EB ELECTRIC BOX	
- - - EXISTING FENCE	⊕ E ELECTRIC MANHOLE	
- - - POWER LINE	⊕ EM ELECTRIC METER	
- - - TELEPHONE LINE	⊕ LP LIGHT POLE	
- - - WATER LINE	⊕ CO CLEAN OUT	
- - - SANITARY SEWER LINE	⊕ S SANITARY SEWER MANHOLE	
- - - STORM DRAIN LINE	⊕ G GAS MANHOLE	
- - - GAS LINE	⊕ SDC STORM DRAIN CATCH BASIN	
- - - MAJOR CONTOUR	⊕ SSM STORM DRAIN MANHOLE	
- - - MINOR CONTOUR	⊕ ICV IRRIGATION CONTROL VALVE	
▭ CONCRETE	⊕ TR TELEPHONE RISER	
	⊕ AC AIR CONDITIONING UNIT	
	⊕ SIGN	

LINE TABLE: PARCELS

LINE #	DIRECTION	LENGTH
L1	S 12°01'53" E	90.05'
L2	S 00°06'59" W	42.61'
L3	N 26°40'30" W	47.08'

CURVE TABLE

CURVE #	RADIUS	LENGTH	DELTA	BEARING	CHORD
C1	446.00'	44.71'	5°44'35"	N83°24'45"W	44.69'
C2	783.99'	126.29'	9°13'47"	N85°09'22"W	126.16'
C3	229.00'	107.55'	26°54'36"	S78°46'26"W	106.57'



SURVEYOR'S CERTIFICATE

I, DAVID B. DRAPER DEPOSE AND SAY THAT I AM A PROFESSIONAL LAND SURVEYOR ACCORDING TO THE RULES AND REGULATIONS OF THE STATE OF UTAH. I FURTHER STATE THAT THE ABOVE DESCRIBED PROPERTY WAS SURVEYED UNDER MY DIRECT SUPERVISION AND THE RESULTS OF THAT SURVEY ARE DEPICTED HEREON.

DAVID B. DRAPER
 LICENSE NO. 6861599

RECORD DESCRIPTION

PARCEL 1: (65-074-008) PER QUIT CLAIM DEED RECORDED AS ENTRY NO.: 88307-2065
 LOT 1A, CROSSROADS RANCHETTES LOT 1 PLAT "A", ACCORDING TO THE OFFICIAL PLAT THEREOF, RECORDED IN THE OFFICE OF THE COUNTY RECORDER OF UTAH COUNTY, UTAH.
PARCEL 2: (65-074-007) PER QUIT CLAIM DEED RECORDED AS ENTRY NO.: 88307-2065
 THE NORTH 4.05 FEET OF LOT 1B, CROSSROADS RANCHETTES LOT 1 PLAT "A", ACCORDING TO THE OFFICIAL PLAT AS RECORDED IN THE OFFICE OF THE UTAH COUNTY RECORDER, ALSO DESCRIBED AS: BEGINNING AT A POINT THAT IS SOUTH, A DISTANCE OF 88.18 FEET; AND SOUTH 89°38'31" WEST, A DISTANCE OF 182.76 FEET FROM THE NORTH 1/4 CORNER OF SECTION 14, TOWNSHIP 5 SOUTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN; SAID POINT OF BEGINNING BEING SOUTH 11°59'00" EAST FROM THE NORTHEAST CORNER OF LOT "A" OF CROSSROADS RANCHETTES LOT 1 PLAT "A"; THENCE CONTINUING SOUTH 89°38'31" EAST, A DISTANCE OF 340.33 FEET; THENCE NORTH 00°21'29" WEST, A DISTANCE OF 4.05 FEET; THENCE NORTH 89°38'31" EAST, A DISTANCE OF 639.60 FEET TO THE POINT OF CURVE OF A NON TANGENT CURVE TO THE RIGHT, OF WHICH THE RADIUS POINT LIES SOUTH 78°01'00" WEST, A RADIAL DISTANCE OF 5.679.65 FEET; THENCE SOUTHERLY ALONG ARC, THROUGH A CENTRAL ANGLE OF 00°02'30", A DISTANCE OF 4.13 FEET TO THE POINT OF BEGINNING.
LESS & EXCEPTING PARCEL: (65-074-006) PER WARRANTY DEED RECORDED AS ENTRY NO.: 11919-2009
 A PARCEL OF LAND IN FEE FOR THE PURPOSE OF CONSTRUCTING THEREON A ROADWAY KNOWN AS PROJECT NO. 0068, BEING PART OF AN ENTIRE TRACT OF PROPERTY SITUATE IN THE NW1/4 OF SECTION 14, T.S. & R. 1 W. S. 1 B.M. THE BOUNDARIES OF SAID PARCEL OF LAND ARE DESCRIBED AS FOLLOWS: BEGINNING AT THE NORTHEAST CORNER OF LOT 1-A CROSSROADS RANCHETTES LOT 1 PLAT "A", ON FILE IN THE OFFICE OF THE UTAH COUNTY RECORDER, UTAH, WHICH POINT IS 208.86 FT. S. 89°38'45" W. ALONG THE NORTH LINE OF SAID NW1/4 OF SECTION 14 FROM THE NORTH QUARTER CORNER OF SAID SECTION 14; AND RUNNING THENCE S. 12°01'43" E., 86.82 FT. TO THE A POINT OF TANGENCY WITH A 5669.65 FT. RADIUS CURVE TO THE RIGHT; THENCE SOUTHERLY 3.23 FT. ALONG THE ARC OF SAID CURVE; TO THE SOUTHEAST CORNER OF SAID LOT 1-A; THENCE S. 89°38'45" W., ALONG THE SOUTH LINE OF SAID LOT 1-A, 3.17 FT. TO A POINT 63.00 FT. PERPENDICULARLY DISTANT WESTERLY FROM THE CENTERLINE OF SAID PROJECT NO. 0068, OPPOSITE ENGINEER STATION 619+81.43; THENCE N. 12°01'39" W., 90.05 FT. TO THE NORTH LINE OF SAID LOT 1-A, WHICH IS TO A POINT 63.00 FEET PERPENDICULARLY DISTANT WESTERLY FROM SAID PROJECT NO. 0068, OPPOSITE ENGINEER STATION 620+71.48; THENCE N. 89°38'45" E., ALONG SAID NORTH LINE, 3.17 FT. TO THE POINT OF BEGINNING.

THE ABOVE DESCRIBE PARCEL OF LAND CONTAINS 279 SQUARE FEET IN AREA OR 0.006 ACRES, MORE OR LESS.

PARCEL 3: (66-242-0011) PER WARRANTY DEED RECORDED AS ENTRY NO.: 83811-2014
 PARCEL A, SARATOGA WAL-MART SUBDIVISION, ACCORDING TO THE OFFICIAL PLAT THEREOF, RECORDED IN THE OFFICE OF THE SALT LAKE COUNTY RECORDER.

PROPOSED DESCRIPTION

A PARCEL OF LAND SITUATE WITHIN THE NORTHWEST QUARTER OF SECTION 14, TOWNSHIP 5 SOUTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN, LOCATED IN SARATOGA SPRINGS, COUNTY OF UTAH, STATE OF UTAH, SAID PARCEL BEING ALL OF LOT 1A, CROSSROADS RANCHETTES LOT 1 PLAT "A", THE NORTH 4.05 FEET OF LOT 1-B, CROSSROADS RANCHETTES LOT 1 PLAT "A", AND PARCEL A, SARATOGA WAL-MART SUBDIVISION, ACCORDING TO THE OFFICIAL PLAT THEREOF, RECORDED IN THE OFFICE OF THE SALT LAKE COUNTY RECORDER, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
 BEGINNING AT THE NORTHWEST CORNER OF SAID LOT 1-A, SAID POINT BEING NORTH 89°38'31" EAST ALONG THE SECTION LINE 1038.82 FEET FROM THE NORTHWEST CORNER OF SECTION 14, TOWNSHIP 5 SOUTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN, AND RUNNING THENCE NORTH 89°38'31" EAST 1074.46 FEET TO A POINT ON THE WESTERLY LINE OF THAT CERTAIN PARCEL CONVEYED TO THE UTAH DEPARTMENT OF TRANSPORTATION PER THAT CERTAIN WARRANTY DEED RECORDED FEBRUARY 5, 2009 AS ENTRY NO. 11919-2009 IN THE OFFICE OF THE UTAH COUNTY RECORDER, THENCE SOUTH 12°01'53" EAST 90.05 FEET; THENCE SOUTH 89°38'31" WEST 527.04 FEET TO THE EASTERLY LINE OF SAID LOT 1-A; THENCE SOUTH 00°21'29" EAST ALONG SAID EASTERLY LINE 157.16 FEET TO A POINT ON THE NORTHERLY LINE OF PARCEL "A" SARATOGA SPRINGS WAL-MART SUBDIVISION, AS RECORDED WITH THE OFFICE OF THE UTAH COUNTY RECORDER, THENCE ALONG SAID PARCEL "A" THE FOLLOWING SEVEN COURSES: 1) NORTH 89°38'31" EAST 292.21 FEET; 2) SOUTH 0°06'59" WEST 42.61 FEET TO A POINT ON THE ARC OF A 446.00 FOOT NON TANGENT RADIUS CURVE TO THE RIGHT; 3) NORTHWESTERLY ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 5°44'35" A DISTANCE OF 44.71 FEET (CHORD BEARS NORTH 83°24'45" WEST 44.69 FEET) TO A POINT OF REVERSE CURVATURE; 4) NORTHWESTERLY ALONG THE ARC OF A 784.00 FOOT RADIUS CURVE TO THE LEFT THROUGH A CENTRAL ANGLE OF 9°13'47" A DISTANCE OF 126.29 FEET (CHORD BEARS NORTH 85°09'22" WEST 126.16 FEET); 5) NORTH 89°46'16" WEST 712.83 FEET TO A POINT OF CURVATURE; 6) SOUTHWESTERLY ALONG THE ARC OF A 229.00 FOOT RADIUS CURVE TO THE LEFT THROUGH A CENTRAL ANGLE OF 26°54'36" A DISTANCE OF 107.55 FEET (CHORD BEARS SOUTH 78°46'26" WEST 106.57 FEET); 7) NORTH 26°40'30" WEST 47.08 FEET TO A POINT ON THE WESTERLY LINE OF SAID LOT 1-A; THENCE NORTH 31°03'30" EAST ALONG SAID WESTERLY LINE 287.60 FEET TO THE POINT OF BEGINNING.

CONTAINS: 227.313 SQ. FT. OR 5.218 ACRES

PROPERTY OWNERS APPROVAL

I, (WE), THE UNDERSIGNED OWNER(S) OF HEREON DESCRIBED PROPERTY, IDENTIFIED BY PARCEL NO.S: 65-074-008, 65-074-007, & 66-242-0011, DO HEREBY DECLARE THAT I (WE) DO APPROVE THE PROPERTY LINE

WITNESS THE HAND(S), THIS _____ DAY OF _____, 20____.

TOWNE STORAGE SARATOGA, LC.

PROPERTY OWNERS APPROVAL

I, (WE), THE UNDERSIGNED OWNER(S) OF HEREON DESCRIBED PROPERTY, IDENTIFIED BY PARCEL NO.S: 65-074-008, 65-074-007, & 66-242-0011, DO HEREBY DECLARE THAT I (WE) DO APPROVE THE PROPERTY LINE

WITNESS THE HAND(S), THIS _____ DAY OF _____, 20____.

GARY R. FREE

PROPERTY OWNERS APPROVAL

I, (WE), THE UNDERSIGNED OWNER(S) OF HEREON DESCRIBED PROPERTY, IDENTIFIED BY PARCEL NO.S: 65-074-008, 65-074-007, & 66-242-0011, DO HEREBY DECLARE THAT I (WE) DO APPROVE THE PROPERTY LINE

WITNESS THE HAND(S), THIS _____ DAY OF _____, 20____.

McNEIL ENGINEERING
 Economic and Sustainable Designs, Professionals You Know and Trust
 8610 South Sandy Parkway, Suite 200 Sandy, Utah 84070 801.257.7700 mcnengineering.com
 Civil Engineering • Consulting & Landscape Architecture
 Structural Engineering • Land Surveying & HDS

CROSSROADS RANCHETTES LOT 1 A
1547 NORTH REDWOOD ROAD
SARATOGA SPRINGS, UTAH 84045
 SECTION 14, TOWNSHIP 5 SOUTH, RANGE 1 WEST, SALT LAKE BASE & MERIDIAN

REV	DATE	DESCRIPTION

PROJECT NO:	14306
CAD FILE:	14306 LLA
DRAWN BY:	EAD
CALC BY:	DBD
FIELD CREW:	DS/SS
CHECKED BY:	DBD
DATE:	4/24/15

LOT LINE ADJUSTMENT MAP



Community Plan Amendment

Legacy Farms

Thursday, May 14, 2015

Public Hearing

Report Date:	Thursday, May 7, 2014
Applicant:	D.R. Horton
Owner:	D.R. Horton
Location:	SE corner intersection of Redwood and 400 south, extending to Saratoga Dr.
Major Street Access:	Redwood Road and 400 South
Parcel Number(s) & Size:	66:058:0007, 176.44 acres; 58:041:0185, 5.497 acres Total: 181.937 acres
Parcel Zoning:	Planned Community (PC)
Adjacent Zoning:	PC and Low Density Residential (R-3)
Current Use of Parcel:	Agriculture
Adjacent Uses:	Agriculture, Residential
Previous Meetings:	None
Previous Approvals:	Annexation Agreement (2010) Rezone to PC zone (2010) City Center District Area Plan (2010) Community Plan (2014 – PC 6/12/2014 and CC 7/1/2014)
Land Use Authority:	City Council
Future Routing:	City Council
Author:	Kimber Gabryszak, Planning Director

A. EXECUTIVE SUMMARY

The applicants are requesting approval of several amendments to the Legacy Farms Community Plan (CP) to clarify architectural repetition limitations, as well as formalize several other minor amendments.

The Community Plan contains the broader guidelines for the development while Village Plans provide the specifics for the various phases of development. Form Based Code was approved as part of the CP, implementing specific standards for blocks, subzones, unit layout and type, transition of density, building setbacks, architecture, roadways, open space, landscaping, lighting, and other applicable standards.

Following an extensive review process, the original CP and Village Plan 1 were approved on July 1, 2014.

Staff recommends that the Planning Commission conduct a public hearing on the proposed Amendments, take public comment, review and discuss the proposal, and choose from the options in Section H of this report. Options include forwarding a positive recommendation with or without modifications, forwarding a negative recommendation, or continuing the hearing to another date with specific direction to the applicant on information or changes needed to make a recommendation.

B. BACKGROUND

The City Center District Area Plan (DAP) was approved in 2010 following annexation of just under 3000 acres into the City. As part of the annexation agreement and DAP, the 2883 acres is approved and vested for 16,000 residential units and 10,000,000 square feet of non-residential density:

Land Use Table

Type of Land Use	Quantity
Residential Housing	16,000 Units
Non-residential Area	10 million sq. ft.
Equivalent Residential Units	20,620 Units

(Note: the complete DAP can be found by visiting www.saratogaspringscity.com/planning and clicking on “Master Plans” and then “City Center District Area Plan.”)

1000 Equivalent Residential Units (ERUs) of residential density and 55 ERUs of non-residential density were approved and allocated to the Legacy Farms CP, which was approved in July, 2014.

C. SPECIFIC REQUESTS

The applicants are requesting approval of amendments to the approved CP to accomplish the following:

- Modify the repetition rule to work with 5 architectural styles; current language would require 6 different styles, while the CP only created 5 styles. (Legacy Modern, Legacy Farmhouse, Legacy Traditional, Legacy Prairie, and Legacy Craftsman)
- Modify the trail standards to allow asphalt in lieu of concrete for regional trails.
- Add additional pages to the plant list tables that were overlooked in the original approval.
- Officially change the side setback in the T3R zone to reflect what was previously approved as a minor amendment (not included).
- Change the Shared Lane materials from pervious to asphalt.

D. COMMUNITY REVIEW

This item was noticed as a public hearing in the *Daily Herald*; and mailed notice sent to all property owners within 300 feet. As of the date of this report, no public input has been received on the request.

E. GENERAL PLAN

The General Plan Land Use map identifies this area as Planned Community, which states:

k. Planned Community. The Planned Community designation includes large-scale properties within the City which exceed 500 acres in size. This area is characterized by a mixture of land uses and housing types. It is subject to an overall Community Plan that contains a set of regulations and guidelines that apply to a defined geographic area. Required Village Plans contain regulations that apply to blocks of land and provide specific development standards, design guidelines, infrastructure plans and other elements as appropriate. Development in these areas shall contain landscaping and recreational features as per the City’s Parks, Recreation, Trails, and Open Space Element of the General Plan.

The 2883 acre DAP was approved in 2010 in compliance with the General Plan and the intent of the Planned Community designation. Multi-family development was also approved as part of the DAP, and was therefore vested prior to Proposition 6, which limited some types of future multi-family housing.

The Community Plan was approved in 2014 and found to be in compliance with the DAP and General Plan; the CP includes trail connections and parks in compliance with the related master plans. The proposal does not impact the original approvals, so the application is still consistent with the General Plan.

F. CODE CRITERIA

The property is zoned PC, and is subject to the standards and requirements in Section 19.26 of the Code, and its several sub-sections.

19.26.04 – Uses Permitted within a Planned Community District

- The CP includes multi-family and single family homes, school and church sites, parks, and trails. All of these uses are permitted in the PC zone.

Section 19.26.06 – Guiding Standards of Community Plans

The standards for a Community Plan are below:

1. Development Type and Intensity. The allowed uses and the conceptual intensity of development in a Planned Community District shall be as established by the Community Plan.

Staff finding: complies. *Previously approved and no changes proposed.*

2. Equivalent Residential Unit Transfers.

Staff finding: complies. *Previously approved and no changes proposed.*

3. Development Standards. Guiding development standards shall be established in the Community Plan.

Staff finding: Up for discussion. *Form-based Code previously approved. Proposed amendments modify the guiding standards.*

Regarding trails, the CP standards did not exempt the development from compliance with City standards for regional trails; the master trails plan requires regional trails to be constructed of concrete, while the applicant proposes asphalt. Up for discussion is the fairness of permitting asphalt in this development while requiring concrete elsewhere. If the Planning Commission and City Council support this exemption request, consideration should then be made to review the trails master plan and potentially amend it to allow asphalt to ensure equitable treatment throughout the city.

4. Open Space Requirements.

Staff finding: complies. *Previously approved and no changes proposed.*

5. No structure (excluding signs and entry features) may be closer than twenty feet to the peripheral property line of the Planned Community District boundaries.

- a. The area within this twenty foot area is to be used as a buffer strip and may be counted toward open space requirements, but shall not include required back yards or building set back areas.
- b. The City Council may grant a waiver to the requirement set forth in this Subsection upon a finding that the buffer requirement will result in the creation of non-functional or non-

useable open space area and will be detrimental to the provision of useful and functional open space within the Project.

Staff finding: *Previously approved and no changes proposed.*

19.26.05 – Adoption and Amendment of Community Plans

The criteria for adoption of a Community Plan are below:

- a. is consistent with the goals, objectives, and policies of the General Plan, with particular emphasis placed upon those policies related to community identity, distinctive qualities in communities and neighborhoods, diversity of housing, integration of uses, pedestrian and transit design, and environmental protection;

Staff finding: up for discussion. *See Section E of this report for general compliance.*

Regarding trails, staff does not support granting an exception from trails standards as identified in the trails master plan for one developer, as it leads to inequitable treatment.

- b. does not exceed the number of equivalent residential units and square footage of nonresidential uses of the General Plan;

Staff finding: complies. *Previously approved and found compliant.*

- c. contains sufficient standards to guide the creation of innovative design that responds to unique conditions;

Staff finding: complies. *The proposed modifications to the standards will ensure innovative design and also ensure a high quality development by prohibiting excessive repetition, allowing climate appropriate landscaping, and permitted appropriate trail and road materials.*

- d. is compatible with surrounding development and properly integrates land uses and infrastructure with adjacent properties;

Staff finding: complies. *Previously approved and no changes proposed.*

- e. includes adequate provisions for utilities, services, roadway networks, and emergency vehicle access; and public safety service demands will not exceed the capacity of existing and planned systems without adequate mitigation;

Staff finding: complies. *Previously approved and no changes proposed.*

- f. is consistent with the guiding standards listed in Section 19.26.06; and

Staff finding: complies. *Previously approved and no changes proposed.*

- g. contains the required elements as dictated in Section 19.26.07.

Staff finding: complies. *Previously approved and no changes proposed.*

G. Recommendation and Alternatives:

Staff recommends that the Planning Commission conduct a public hearing, take public comment, review and discuss the proposed amendments, and choose Option 1 below. Alternatives are also provided.

Option 1 – Positive Recommendation

“I move to forward a positive recommendation to the City Council for the proposed amendments to the Legacy Farms Community Plan with the Findings and Conditions in the Staff Report:”

Findings

1. The application is consistent with the guiding standards in the City Center District Area Plan.
2. The application complies with the criteria in section 19.26 of the Development Code, as articulated in Section E of the Staff report, which section is incorporated by reference herein.
3. The application is consistent with the General Plan, as articulated in Section F of this report, which section is incorporated by reference herein.

Conditions:

1. All conditions of the original CP approval shall be met.
2. The amendments are approved as attached to the Staff report as Exhibits 4, 5, 6, 7, and 8, with the exception below:
 - a. The materials for regional trails shall be [asphalt/concrete]. (If asphalt, the Commission also recommends that the City review the Trails Master Plan to ensure that appropriate and consistent standards are in place throughout the city.)
3. The CP shall be edited as directed by the Commission: _____.
4. Any other conditions as articulated by the Commission: _____.

Option 2 - Continuance

The Commission may also choose to continue the item. “I move to **continue** the Community Plan amendments to another meeting on [DATE], with direction to the applicant and Staff on information and / or changes needed to render a decision, as follows:

1. _____
2. _____

Option 3 – Negative Recommendation(s)

The Commission may also choose to forward a negative recommendation. “I move to forward a negative recommendation to the City Council for the Legacy Farms Community Plan amendments with the Findings below:

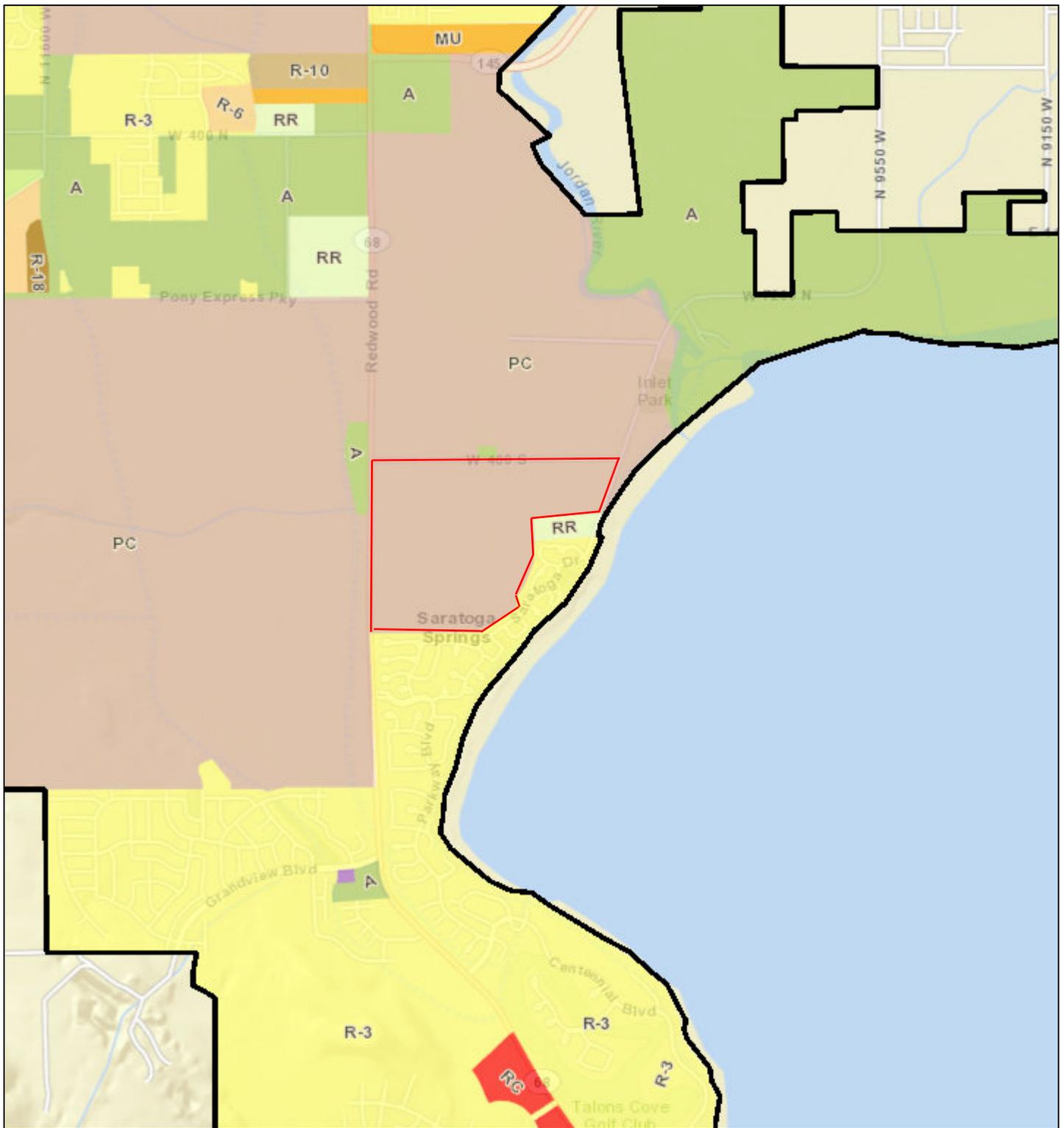
1. The amendments are not consistent with the General Plan, as articulated by the Commission: _____, and/or,
2. The amendments are not consistent with the City Center District Area Plan, as articulated by the Commission: _____, and/or,
3. The amendments are not consistent with Section 19.26 of the Code, as articulated by the Commission: _____.

H. Exhibits:

1. Location & Zone Map (page 6)
2. Approved Community Plan Layout (page 7)
3. Request Letter (page 8)
4. CP: Original Repetition Pages (pages 9-10)
5. CP: Amended Repetition Pages (pages 11-13)
6. CP: Complete plant list (existing and proposed) (pages 14-30)
7. CP: Amended Shared Lane Pages (pages 31-32)
8. CP: Amended Trail Materials Pages (pages 33-36)

Zoning & Planning

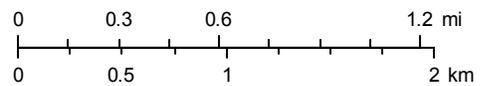
Exhibit 1



February 11, 2014

1:36,112

 City Boundary



Sources: Esri, DeLorme, NAVTEQ, USGS, Intermap, iPC, NRCAN, Esri Japan, METI, Esri China (Hong Kong), Esri (Thailand), TomTom, 2013

400 So.

Exhibit 2
Approved CP Layout



Block Type	Acres	% (181.9 ac.)	ERU's
BT-1	24.3	13.4	1,000 (Residential) 55 (Non-Residential) Total Maximum = 1,055 ERUs
BT-2	38.1	20.9	
BT-3	47.9	26.3	
BT-4	22.5	12.3	
Civic Space	17.9	9.9	
Community Open Space	13.4 *	7.4	
Community Plan Roads	17.8	9.8	

Note:

* Does not include open space contained within block types. Overall open space will range between 18 - 24% per the requirement of the Saratoga Springs City Center District Area Plan.



Exhibit 3
Applicant Request,
Items 1, 4, 5, and 6

(Items 2, 3, 7, 8 minor
and staff approved, or
previously approved)

Kimber Gabryszak
Saratoga Springs
Planning Director

April 15, 2015

Re: Legacy Farms

Kimber,

In follow up to our recent approvals and in an effort to make sure everything is in order prior to construction we would like to address the following items with you and the council should that be required. Under this cover please find supporting material for most of the below listed items. We have discussed most of these small changes to the community and village plans previously as they pertain to the approvals that have been granted for the Legacy Farms project.

1. Architectural Repetition language – Pages 47- 49 of the community plan
2. Side setback change for the T3R sub-transect zone in all Village plans- page number varies
3. Plats 1A and 1E - changed for floodplain guidelines
4. Plant List Tables – Page 84-95 of the community plan (via email)
5. Discussion of the Trail surface material - pages 53- 61 of the community plan; Kimber email dated 4-1-15
6. Discussion on the Shared Lane change from pervious to asphalt (via email)
7. Owner Dedication language – as previously agreed to by Kevin’s email (via email)
8. Surveyor’s Certificate language – as previously agreed to by Kevin’s email (via email)

Please let us know how best to handle getting this information approved for incorporated as soon as possible into the Community and Village Plans. I believe some of these changes are items that we need to discuss with city council. With that being the case we are hoping to be able to be scheduled for the first meeting in May.

As for the plats we need to know if the changes proposed are something that would cause us to need to go back to city council for approval. Also if there is a need for some kind of application please let us know as soon as possible.

Sincerely,

Krisel Travis
D R Horton, Inc.
Entitlements

GENERAL ARCHITECTURAL STANDARDS

Mechanism

In accordance with section 19.26.030,2,d of the Planned Community Zone, a home owners association (HOA), master association, design review committee, or other governing body will be established to review, approve, and enforce architectural requirements in conjunction with the first Village Plan for Legacy Farms. All architectural elements will be reviewed and approved by the HOA Architectural Design Review Committee prior to going before the Saratoga Springs Design Review Committee. Compliance with design guidelines will be established through the building permit process by the planning department.

Objective

The architectural criteria presented in this document are meant to act as guidelines for the design of homes at Legacy Farms. These guidelines are not prescriptive; rather, they comprise a body of design elements and characteristics which, when implemented correctly, can create a diverse and harmonious architectural landscape.

The buildings shown in the document are possible interpretations of the proposed architectural styles, not templates for future construction. There are many possible successful interpretations of the proposed architectural styles. It should not be expected nor desired that each building will incorporate all elements of a style, or that each style will be equally represented. The design of individual buildings and the implementation of styles will be determined at building permit.

The architectural style and theme for Legacy Farms is derived from local precedent. The following architectural standards will govern product design within Legacy Farms. Only the architectural styles listed below are permitted within Legacy Farms:

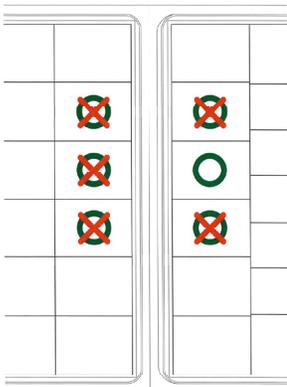
- Legacy Craftsman
- Legacy Modern
- Legacy Farmhouse
- Legacy Prairie
- Legacy Traditional

Repetition

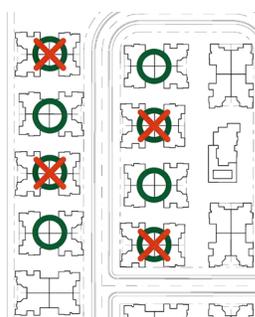
Legacy Farms should provide a variety of home styles on each street to create a diverse and interesting street scene. Neighborhoods with little product variation, and architectural styles that are too homogenous are not permitted in order to ensure that street scenes are non-repetitive,

Single Family Detached Guideline:

Single Family Detached



Attached Residential



Single-family homes with the same style or color scheme shall not be built on adjacent lots, or on lots directly across or diagonally from one another on the same street. Additionally, single family homes with the same color scheme, regardless of floor plan and/or style, shall not be built on adjacent lots, or on lots directly across or diagonally from one another on the same street.

Attached Residential Guideline:

Attached residential buildings that have the same style or color scheme shall not be built on adjacent lots or on lots directly across from one another on the same street.

LEGACY FARMS

Community Plan

INTRODUCTION



Legacy Craftsman



Legacy Prairie



Legacy Farmhouse



Legacy Traditional



Legacy Modern

The architectural styles chosen for Legacy Farms aim to create a neighborhood with a diverse and harmonious built environment and a strong sense of place. The five styles are Legacy Craftsman, Legacy Farmhouse, Legacy Modern, Legacy Prairie, and Legacy Traditional. The Legacy styles, as defined in this document, shall create a strong architectural character for Legacy Farms that is timeless and unassuming.

Many things contribute to defining a particular style. In some cases, the use of just a handful of elements can be successful in creating an authentic architectural composition. Not all possible arrangements and details have been presented. Creative application of the design principles is encouraged. Unlike the more prescriptive standards one may find in a zoning code, the principles and guidelines in this document are aimed at allowing for flexibility while promoting design quality and consistency. Following these guidelines will help achieve cohesive and harmonious streetscapes at Legacy Farms.

GENERAL ARCHITECTURAL STANDARDS

Mechanism

In accordance with section 19.26.030,2,d of the Planned Community Zone, a home owners association (HOA), master association, design review committee, or other governing body will be established to review, approve, and enforce architectural requirements in conjunction with the Village Plans for Legacy Farms. All architectural elements will be reviewed and approved by the HOA Architectural Design Review Committee prior to going before the Saratoga Springs Design Review Committee. Compliance with design guidelines will be solidified through the building permit process by the planning department.

Objective

The architectural criteria presented in this document are meant to act as guidelines for the design of homes at Legacy Farms. These guidelines are not prescriptive; rather, they comprise a body of design elements and characteristics which, when implemented correctly, can create a diverse and harmonious architectural landscape.

The buildings shown in the document are representative interpretations of the proposed architectural styles, not templates for future construction. There are many possible successful interpretations of the proposed architectural styles. It should not be expected nor desired that each building will incorporate all elements of a style, or that each style will be equally represented. The design of individual buildings and the implementation of styles will be solidified at building permit.

The architectural styles and themes for Legacy Farms is derived from local precedent. The following architectural standards will govern product design within Legacy Farms. Only the architectural styles listed below are permitted within Legacy Farms:

- Legacy Craftsman
- Legacy Farmhouse
- Legacy Prairie
- Legacy Modern
- Legacy Traditional



Legacy Farmhouse



Legacy Modern



Legacy Craftsman



Legacy Prairie



Legacy Traditional

LEGACY FARMS

Community Plan

REPETITION

Legacy Farms should provide a variety of home styles on each street to create a diverse and interesting street scene. Neighborhoods with minimal visual variation, and homogenous application of the approved architectural styles are not permitted in order to ensure that street scenes are non-repetitive. Variation shall be achieved through a combination of styles, colors, and floor plans. Guidelines for style, color, and floor plan shall be given equal weight when evaluating compliance with this standard. In no case shall one of the following guidelines be disregarded or given priority over another.

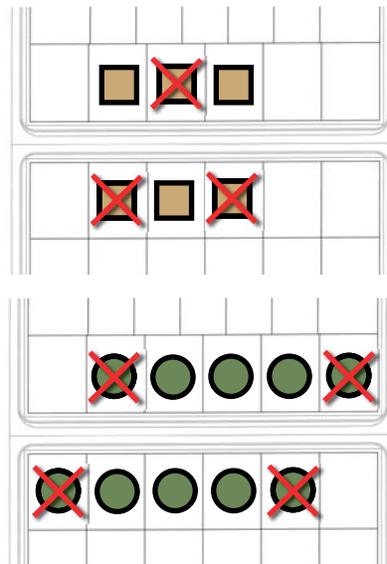
Single Family Detached Guidelines:

Style:

Single family homes with the Legacy Farms Traditional style shall not be built on adjacent lots or on lots directly across from one another on the same street.

Single family homes with the Legacy Craftsman, Farmhouse, Prairie, and Modern styles shall not exceed three consecutive lots of the same style on either side of the street. Exception: The ten cottage lots at the entrance of Legacy Parkway may be of the same style if Craftsman, Farmhouse, or Prairie are used.

Single Family Style Diagram

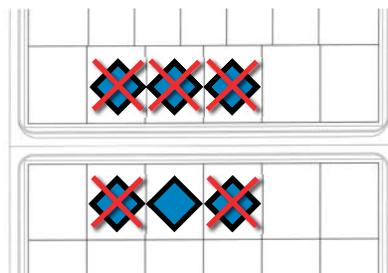


-  = Legacy Traditional
-  = Legacy Craftsman
Legacy Farmhouse
Legacy Prairie
Legacy Modern

Color:

Single family homes with the same color scheme shall not be built on adjacent lots or on lots directly across or diagonally from one another on the same street.

Single Family Color Diagram

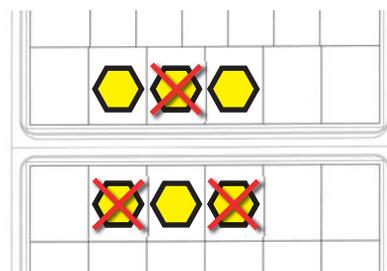


-  = Same Color Scheme

Floor Plan:

Single family homes with the same floor plan and style shall not be built on adjacent lots or on lots directly across from one another on the same street.

Single Family Floor Plan Diagram

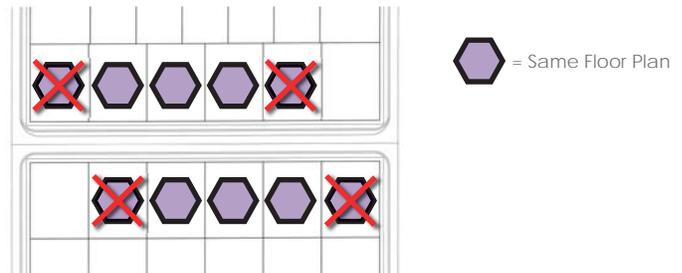


-  = Same Floor Plan and style

Floor Plan:

Single family homes with the same floor plan shall not exceed three consecutive lots on either side of the street.

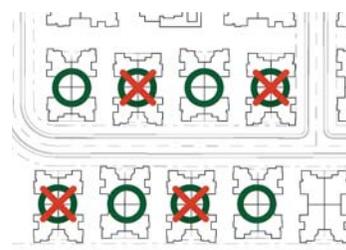
Single Family Floor Plan Diagram



Attached Residential Guideline:

Attached residential buildings that have the same style or color scheme shall not be built on adjacent lots or on lots directly across from one another on the same street.

Attached Residential Diagram



INTRODUCTION

The architectural styles chosen for Legacy Farms aim to create a neighborhood with a diverse and harmonious built environment and a strong sense of place. The five styles are Legacy Craftsman, Legacy Farmhouse, Legacy Modern, Legacy Prairie, and Legacy Traditional. The Legacy styles, as defined in this document, shall create a strong architectural character for Legacy Farms that is timeless and unassuming.

Many things contribute to defining a particular style. In some cases, the use of just a handful of elements can be successful in creating an authentic architectural composition. Not all possible arrangements and details have been presented. Creative application of the design principles is encouraged. Unlike the more prescriptive standards one may find in a zoning code, the principles and guidelines in this document are aimed at allowing for flexibility while promoting design quality and consistency. Following these guidelines will help achieve cohesive and harmonious streetscapes at Legacy Farms.

LEGACY CRAFTSMAN

The Legacy Craftsman style is a close interpretation of the Craftsman style that developed from the Arts and Crafts movement of the late 19th and early 20th centuries. This movement addressed design on many levels, from architecture to furniture and pottery. Proponents of the Arts and Crafts movement advocated a fully integrated approach to house design and furnishings, with a design philosophy based on simplicity, durability and harmony with nature. Special attention was given to the way pieces were joined together. A new structural expression was developed, including exposing beams, columns and joists. The Craftsman style flourished in the United States in the early 20th century, and was frequently applied to modest and small houses.

The Legacy Craftsman style is characterized by simplicity, the expression of certain structural members, and attention to wood joinery, especially at porches. Legacy Craftsman homes feature moderate-pitched gable roofs with wide overhangs and large porches with substantial columns and bases.

Waterway/Channel

Linear space defined by a waterway. The space serves as a pedestrian connection, recreation opportunity, and property value creation (waterfront property). It can serve as a secondary connection to a greenway or parkway.

Size:
varies

Service:
varies

Examples:
Jordan River

LANDSCAPE GUIDELINES

All planting in the private and public frontage and private lots must consist of species as specified in Table 19- Public Planting. Where possible water wise plantings are encouraged.

For residential lots, a walkway no wider than 6 feet providing access to the principal entrance is permitted at all frontages. Secondary entrances shall be accessed off of principle entrances and not the street.

All frontages must be landscaped as follows:

- A minimum of one tree must be planted in the private frontage for every 40 feet of frontage line, calculated as the frontage width divided by 40. Remainders over one half are rounded up. When a home is located on a corner lot landscaping shall be required for both street faces. Tree and shrub location is at the owner's discretion provided that the clearview triangle is not compromised.
- Approved ground cover such as cobble rock up to 6" in size; colored gravel between 1" and 2.5" in size; and decorative crushed stone a maximum of 1" in size may be considered for use in place of turf grass. The percentage of stone or gravel used as a ground cover may not exceed 1/3 of the total landscaped area for traditional landscapes and may not exceed 2/3's for waterwise landscapes.

Parking lots must be landscaped as follows:

- 16.2 s.f. of landscape is required for every parking stall.
- One tree for every 4200 s.f. of parking lot area is required within the parking lot.
- Parking areas included within a rear lane or shared lanes are exempted from these parking lot requirements.
- Landscape areas adjacent to and within impervious surfaces may be placed lower than the paving and designed to receive storm water run-off in the form of a bio-swale.

Initial planting sizes for trees as follows:

- 1.5" caliper min. for deciduous trees
- 5 feet to 6 feet height for evergreen trees

LEGACY FARMS

Community Plan

TABLE 19A - PUBLIC PLANTING

	SPECIFIC NAME (BOTANICAL)	TYPE	SIZE (H X SPREAD)	TRAN-SECT	CIVIC	PATTERN	PRODUCE / COLOR IN BLOOM	SPECIAL INSTRUCTIONS
Large Shade Trees > 50 ft	Bloodgood London Plane Tree (<i>Platanus acerifolia</i> 'Bloodgood')		60' x 60'	T4, T3, T2	PK	Allee Regular Clustered	1/3" berry / N/A	Tolerates salt, yellow fall color
	Bur Oak * (<i>Quercus macrocarpa</i>)		60' x 60'	All	PK, SQ	Allee Regular	Nut / N/A	Tolerant of Urban conditions, soil adaptable
	Sycamore Maple * (<i>Acer pseudoplatanus</i>)		60' x 40'	All	PK, SQ	Allee Regular	Samara / N/A	Tolerates alkaline and salt conditions
	Silver Linden * (<i>Tilia tomentosa</i>)		60' x 40'	All	PK, SQ	Allee Regular Clustered	N/A / Yellow green	Green leaf surface, silver underside. Tolerant of heat/drought
	Espresso Kentucky Coffee Tree (<i>Gymnocladus dioica</i> 'Espresso')		60' x 40'	T4, T3, T2	PK	Allee Regular Clustered	1/3" berry / N/A	Tolerates wide range of conditions/salt
	Green Vase Zelkova * (<i>Zelkova serrata</i> 'Green Vase')		65' x 40'	All	PK, SQ	Allee Regular Clustered	N/A / N/A	Tolerates high ph, salt, urban conditions Nice red-orange fall color
	Emerald Queen Norway Maple * (<i>Acer platanoides</i> 'Emerald Queen')		50' x 40'	All	PK, GR, SQ, PZ, PG	Allee Regular Clustered	Samara / N/A	Tolerant of Urban conditions, soil adaptable
	Accolade Hybrid Elm (<i>Ulmus x 'Accolade'</i>)		50' x 40'	All	PK, SQ, GR	Allee Regular	Samara / N/A	Pollution/salt/drought tolerant
	Crimson King Maple (<i>Acer platanoides</i> 'Crimson King')		50' x 40'	All	PK, GR, SQ, PZ, PG	Allee Regular Clustered	Samara / N/A	Well adapted to extremes in soils. Withstands hot, dry conditions.

* Denotes compatibility for use as a street tree.

TABLE 19B - PUBLIC PLANTING

	SPECIFIC NAME (BOTANICAL)	TYPE	SIZE (H X SPREAD)	TRAN-SECT	CIVIC	PATTERN	PRODUCE / COLOR IN BLOOM	SPECIAL INSTRUCTIONS
Large Shade Trees > 50 ft	Magyar Maidenhair Tree * (<i>Ginkgo biloba</i> 'Magyar') male species only		50' x 30'	All	PK, GR, SQ, PZ, PG	Regular, Clustered	N/A / N/A	Tolerates high ph, salt, urban conditions. Excellent yellow fall color
	Catalpa (<i>catalpa speciosa</i>) Podless only		50' x 30'	All	PK, GR, SQ	Allee Regular Clustered	White	Attractive flower, withstands dry, alkaline conditions
	Colorado Blue Spruce (<i>Picea pungens</i>)		50' x 20'	All	PK, PG	Allee Regular Clustered	Cone	Native to Utah
	Austrian Pine (<i>Pinus nigra</i>)		50' x 30'	T4, T3, T2	PK, PG	Clustered	Cone	Can withstand urban conditions and alkaline soils
	Scotch Pine (<i>Pinus sylvestris</i>)		50' x 30'	T4, T3, T2	PK, PG	Clustered	Cone	Can withstand urban conditions and alkaline soils
	Cottonwood (<i>Populus sargentii</i>) cottonless variety		80' x 50'	T2	PK	Regular	N/A / N/A	Great fall color. Tolerant of poor soils/salt/drought
	Globe Willow (<i>Salix matsudana umbraculifera</i>)		50' x 40'	T3, T2	PK, GR, PG	Allee Regular Clustered	N/A / N/A	Prefers wet conditions. Salt tolerant.
	English Columnar Oak (<i>Quercus robur</i> 'Fastigiata')		50' x 15'	All	PK, GR, SQ, PZ, PG	Allee Regular Clustered	Acorn / Red	Prefers well drained soil and alkaline conditions
	Blue Atlas Cedar (<i>Cedrus atlantica</i>)		50' x 25'	All	PK, GR, SQ, PZ, PG	Allee Regular Clustered	Cone	Tolerant of Urban conditions, soil adaptable

* Denotes compatibility for use as a street tree.

LEGACY FARMS

Community Plan

TABLE 19C - PUBLIC PLANTING

	SPECIFIC NAME (BOTANICAL)	TYPE	SIZE (H X SPREAD)	TRAN-SECT	CIVIC	PATTERN	PRODUCE / COLOR IN BLOOM	SPECIAL INSTRUCTIONS
Medium Shade Trees 45 ft to 30 ft	Queen Elizabeth Hedge Maple (<i>Acer Campestre</i> 'Queen Elizabeth')		45' x 45'	All	PK, GR	Regular Clustered	N/A / N/A	Pollution/salt/drought tolerant
	Rocky Mountain Juniper (<i>Juniperus scopulorum</i>)		40' x 15'	T2	PK	Regular Clustered	Cone / N/A	Drought tolerant. Native
	Shangri-la Maiden-hair Tree * (<i>Ginkgo biloba</i> 'Shangri-la')		45' x 25'	All	PK, GR, SQ, PZ, PG	Allee Regular Clustered	Seed / N/A	Males should be planted, excellent yellow fall color
	Armstrong Maple * (<i>Acer rubrum</i> 'Armstrong')		45' x 15'	All	PK, GR, SQ, PZ, PG	Allee Regular Clustered	Samara / N/A	Distinctly upright, soil adaptable
	Autumn Blaze Maple * (<i>Acer freemanii</i> 'Jeffsred')		45' x 40'	All	PK, GR, SQ, PZ, PG	Allee Regular Clustered	Samara / N/A	Prefers slightly acidic soil, Brilliant red fall color
	Common Hackberry * (<i>Celtis occidentalis</i>)		40' x 30'	T4, T3, T2	PK, GR	Regular Clustered	1/3" berry / N/A	Tolerates drought/pollution/poor soils/salt
	Little Leaf Linden * (<i>Tilia cordata</i>)		40' x 25'	All	PK, GR, SQ, PZ, PG	Allee Regular Clustered	N/A / Yellow green	Tolerant of urban conditions, soil adaptable
	Sensation Box Elder * (<i>Acer negundo</i> 'Sensation')		30' x 30'	All	PK, GR, SQ, PZ, PG	Allee Regular Clustered	Samara / N/A	Tolerant of urban conditions/poor soils/salt
	Thornless Honeylocust * (<i>Gleditsia triacanthos var. inermis</i>)		45' x 35'	All	PK, GR, PG	Regular Clustered	Samara / N/A	Yellow fall color

* Denotes compatibility for use as a street tree.

TABLE 19D - PUBLIC PLANTING

	SPECIFIC NAME (BOTANICAL)	TYPE	SIZE (H X SPREAD)	TRAN-SECT	CIVIC	PATTERN	PRODUCE / COLOR IN BLOOM	SPECIAL INSTRUCTIONS
Medium Shade Trees 45 ft to 30 ft	Gambel Oak (<i>Quercus gambellii</i>)		25' x 20'	T2	PK	Clustered	Acorns / N/A	Native. Great red fall color.
	Big Tooth Maple (<i>Acer grandidentatum</i>)		30' x 20'	T2	PK	Clustered	Samara / N/A	Great red fall color. Requires well drained soil.
	Sky Rocket Juniper (<i>Juniperus scopulorum</i> 'Skyrocket')		20' x 3'	All	PK, GR, SQ, PZ, PG	Allee, Regular, Clustered	Cones / N/A	Drought tolerant. Withstands alkaline conditons.
	Dawyck Purple Beech (<i>Fagus sylvatica</i> 'Dawyck Purple')		40' x 12'	All	PK, GR, SQ, PZ, PG	Allee, Regular, Clustered	Nuts / N/A	Tolerant of urban conditions, soil adaptable
	Frontier Elm * (<i>Ulmus x 'frontier'</i>)		30' x 25'	All	PK, GR, SQ, PZ, PG	Allee, Regular, Clustered	N/A / N/A	Resistant to Dutch Elm disease
	Chanticleer Flowering Pear* (<i>Pyrus calleryana</i> 'Chanticleer')		35' x 16'	All	PK, GR, SQ, PZ, PG	Allee, Regular, Clustered	1/2" berry / White	Tolerates Drought, clay soils, air pollution

* Denotes compatibility for use as a street tree.

LEGACY FARMS

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TABLE 19E - PUBLIC PLANTING

	SPECIFIC NAME (BOTANICAL)	TYPE	SIZE (H X SPREAD)	TRAN-SECT	CIVIC	PATTERN	PRODUCE / COLOR IN BLOOM	SPECIAL INSTRUCTIONS
Small- Shade Trees < 25 ft	Service Berry (<i>Amelanchia sp.</i>)		25' x 20'	All	PK, GR, SQ, PZ, PG	Regular, Clustered	Nut / White	Cream white fragrant flower, tolerates poor soils
	Tatarian Maple * (<i>Acer Tataricum</i>)		25' x 20'	All	PK, GR, SQ, PZ, PG	Clustered	Samara / N/A	Tolerates cold,drought, high ph soil. Excellent red fall color
	Lavalle Hawthorn * (<i>Crataegus x laval- lei</i>)		25' x 20'	All	PK, GR, SQ, PZ, PG	Clustered	1/2" berry (persistent) white	Bronzy or cop- pery-red fall color with bright red persistent berries into winter
	Canada Red Chokecherry (<i>Prunus virginiana 'Canada Red'</i>)		25' x 20'	All	PK, GR, SQ, PZ, PG	Allee, Regular, Clustered	1/3" berry white	Soil adaptable, tolerant of urban conditions, very attractive foliage
	Eastern Redbud (<i>Cercis canadensis</i>)		25' x 25'	All	PK, GR, SQ, PZ, PG	Allee, Regular, Clustered	N/A / Pink	Excellent spring color, Tolerant of urban conditions.
	Flowering Plum (<i>Prunus cerasifera 'Thundercloud'</i>)		20' x 15'	All	PK, GR, SQ, PZ, PG	Allee, Regular, Clustered	N/A / pink flowers	Purple leaf. Tol- erant of urban conditions.
	Crabapple (<i>Malus 'Indian Magic'</i>)		20' x 20'	All	PK, GR, SQ, PZ, PG	Allee, Regular, Clustered	Orange berry / Deep pink blossoms	Persistent fruit. Tolerates uran conditions.
	Crabapple (<i>Malus 'Prairifire'</i>)		20' x 20'	All	PK, GR, SQ, PZ, PG	Allee, Regular, Clustered	Red berry / Red blossoms	Persistent fruit. Tolerates uran conditions.
	Crabapple (<i>Malus 'Radiant'</i>)		25' x 20'	All	PK, GR, SQ, PZ, PG	Allee, Regular, Clustered	Red berry / Deep pink blossoms	Persistent fruit. Tolerates uran conditions.
	Crabapple (<i>Malus 'Spring Snow'</i>)		25' x 22'	All	PK, GR, SQ, PZ, PG	Allee, Regular, Clustered	Nearly Sterile / White blos- soms	Persistent fruit. Tolerates uran conditions.

* Denotes compatibility for use as a street tree.

TABLE 19F - PUBLIC PLANTING

	SPECIFIC NAME (BOTANICAL)	SIZE (H X SPREAD)	TRAN-SECT	CIVIC	PATTERN	PRODUCE / COLOR IN BLOOM	SPECIAL INSTRUCTIONS
Hedge	Karl Foerster Feather Reed Grass (<i>Calamagrostis x acutiflora</i> 'Karl Foerster')	4' x 2'	All	PK, GR, SQ, PZ, PG	Formal Massing	Seed heads / White/gold	Very attractive as a hedge in formal massings
	Blue Mist Spirea (<i>Caryopteris x clandonensis</i>)	3' x 4'	All	PK, GR, SQ, PZ, PG	Formal Massing	N/A / Blue/Purple	Flowers in summer/early fall
	Rubber Rabbit Brush (<i>Chrysothamnus nauseosus</i>)	3' x 3'	T4, T3, T2	PK, GR, SQ, PZ, PG	Informal Grouping	N/A / Yellow	Yellow fall cover; seeds and cover for birds
	Red Osier Dogwood (<i>Cornus sericea</i>)	10' x 8'	T4, T3, T2	PK, GR, SQ, PZ, PG	Informal Grouping	White berries / White	Attractive winter red twigs
	Hedge Cotoneaster (<i>Cotoneaster lucida</i>)	6' x 6'	T4, T3, T2	PK, GR, SQ, PZ, PG	Informal Grouping	Black berries / White	Dark green lustrous leaves in summer
	Mormon Tea (<i>Ephedra nevadensis</i>)	2' x 3'	T4, T3, T2	PK, GR, SQ, PZ, PG	Informal Grouping	N/A / N/A	Drought tolerant, evergreen
	Forsythia (<i>Forsythia</i>) Various cultivars	6' x 6'	All	PK, GR, SQ, PZ, PG	Formal Massing	N/A / Yellow	Early spring flowers are powerful in large massings
	Rose of Sharron (<i>Hibiscus syriacus</i> sp.) Various cultivars	8' x 8'	All	PK, GR, SQ, PZ, PG	Formal Massing	N/A / White/pink/purple/blue	Showy flowers in summer
Ninebark (<i>Physocarpus opulifolius</i>) Various cultivars	Varies	All	PK, GR, SQ, PZ, PG	Informal Grouping	N/A / White	Attractive red/bronze foliage	

LEGACY FARMS

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TABLE 19G - PUBLIC PLANTING

	SPECIFIC NAME (BOTANICAL)	SIZE (H X SPREAD)	TRAN-SECT	CIVIC	PATTERN	PRODUCE / COLOR IN BLOOM	SPECIAL INSTRUCTIONS
Hedge	Utah Honeysuckle (<i>Lonicera utahensis</i>)	3' x 4'	T4, T3, T2	PK, GR, SQ, PZ, PG	Formal Massing	small red berries / white	Traditional pioneer plant
	Maiden Hair Grass (<i>Miscanthus sinensis</i>) Various cultivars	6' x 3'	All	PK, GR, SQ, PZ, PG	Formal Massing	Seed heads / Bronze/Purple	Very attractive as a hedge in formal massings
	Heavy Metal Switch Grass (<i>Panicum virgatum</i> 'Heavy Metal')	5' x 3'	All	PK, GR, SQ, PZ, PG	Formal Massing	Seed heads / gold	Upright/stiff habit
	Mock Orange (<i>Philadelphus coronarius</i>)	8' x 6'	All	PK, GR, SQ, PZ, PG	Formal Massing	N/A / White	Traditional pioneer plant, fragrant flowers
	Purple Leaf Sand Cherry (<i>Prunus x cistena</i>)	8' x 8'	All	PK, GR, SQ, PZ, PG	Formal Massing	N/A / White	Red/purple leaves
	Squawbush Sumac (<i>Rhus trilobata</i>)	6' x 8'	T4, T3, T2	PK, GR, SQ, PZ, PG	Informal Grouping	Small red pubescent berries / White	Excellent Red Fall Color
	Golden Currant (<i>Ribes aureum</i>)	3' x 2'	T4, T3, T2	PK, GR, SQ, PZ, PG	Formal Massing	Yellow spring berries / Yellow	Red fall color; fruit for birds
	Rose (<i>Rosa sp.</i>) Various cultivars	Varies	All	PK, GR, SQ, PZ, PG	Formal Massing	Flower varies by cultivar	Fragrant flowers
	Wild Rose (<i>Rosa woodsii</i>) Various cultivars	6' x 6'	T4, T3, T2	PK, GR, SQ, PZ, PG	Informal Grouping	Rosehips / Pink/magenta	Drought tolerant
	Sutherland Gold Elderberry (<i>Sambucus racemosa</i> 'Sutherland Gold')	12' x 8'	All	PK, GR, SQ, PZ, PG	Formal Massing	Red/Black berries / White	Edible fruit, attractive yellow foliage

TABLE 19H - PUBLIC PLANTING

	SPECIFIC NAME (BOTANICAL)	SIZE (H X SPREAD)	TRAN-SECT	CIVIC	PATTERN	PRODUCE / COLOR IN BLOOM	SPECIAL INSTRUCTIONS
Hedge	Snow Berry (<i>Symphoricarpos alba</i>)	3' x 3'	All	PK, GR, SQ, PZ, PG	Informal Grouping	White berries / White	Showy white berries
	Amur Maple (<i>Acer ginnala</i>)	20' x 15'	All	PK, GR, SQ, PZ, PG	Formal Massing	Samara / N/A	Excellent Red Fall Color
	Utah Serviceberry (<i>Amelanchier uta-hensis</i>)	8' x 10'	T4, T3, T2	PK, GR, SQ, PZ, PG	Informal Grouping	Red/purple /black pome / White	Important food source for wildlife
	Boxwood (<i>Buxus sempervi-rens</i>)	2'x 2'	All	PK, GR, SQ, PZ, PG	Formal Massing	N/A / N/A	Evergreen shrub
	River Birch (<i>Betula occidentalis 'font clump'</i>)	20'x 10'	T2	PK	Informal Cluster	Catkin / N/A	Wet conditions. Attractive red bark.
	Hicks Yew (<i>Taxus x media</i>)	10' x 4'	All	PK, GR, SQ, PZ, PG	Formal Massing	N/A / N/A	Evergreen shrub
	Wichita Blue Juniper (<i>Juniperus scopulo-rum 'Wichita Blue'</i>)	12' x 5'	All	PK, GR, SQ, PZ, PG	Formal Massing	Cone / N/A	Evergreen shrub
	Emerald Arborvitae (<i>Thuja occidentalis 'Emerald'</i>)	12' x 3'	All	PK, GR, SQ, PZ, PG	Formal Massing	Cone / N/A	Evergreen shrub
	American Cran-berry Bush Vibur-num (<i>Viburnum trilobum 'Bailey Compact'</i>)	4' x 3'	All	PK, GR, SQ, PZ, PG	Formal Massing	N/A / N/A	Rounded formal habit

LEGACY FARMS

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TABLE 19I - PUBLIC PLANTING

	SPECIFIC NAME (BOTANICAL)	SIZE (H X SPREAD)	TRAN-SECT	CIVIC	PATTERN	PRODUCE / COLOR IN BLOOM	SPECIAL INSTRUCTIONS
Small Shrubs	Orange Rocket Barberry (<i>Berberis thunbergii</i> atro. 'Orange Rocket')	3' x 18"	All	PK, GR, SQ, PZ, PG	Formal or Informal	N/A / N/A	Attractive orange/red foliage. Thorns
	Crimson Pygmy Barberry (<i>Berberis thunbergii</i> atro. 'Crimson Pygmy')	18" x 18"	All	PK, GR, SQ, PZ, PG	Formal or Informal	N/A / N/A	Attractive red foliage. Thorns
	Ruby Carousel Barberry (<i>Berberis thunbergii</i> atro. 'Ruby Carousel')	2' x 3'	All	PK, GR, SQ, PZ, PG	Formal or Informal	N/A / N/A	Attractive red foliage. Thorns
	Variegated Tartarian Dogwood (<i>Cornus alba</i> 'Elegantissima')	5' x 4'	All	PK, GR, SQ, PZ, PG	Informal Cluster	Berries / White	Attractive cream and green foliage
	Emerald Mound Honeysuckle (<i>Lonicera</i> x 'Emerald Mound')	3' x 5'	All	PK, GR, SQ, PZ, PG	Formal or Informal	N/A / White	Compact shrub
	Dwarf Blue Arctic Willow (<i>Salix purpurea</i> nan)	6' x 4'	All	PK, GR, SQ, PZ, PG	Formal Massing	N/A / N/A	Soil adaptable
	Lilac (<i>Syringa vulgaris</i> sp.) Various cultivars	Varies	All	PK, GR, SQ, PZ, PG	Formal Massing	N/A / Pink, purple, white	Fragrant flowers
	Dense Japanese Yew (<i>Taxus x media</i> 'Densiflora')	3' x 4'	All	PK, GR, SQ, PZ, PG	Formal Massing	N/A / N/A	Evergreen shrub

TABLE 19J - PUBLIC PLANTING							
	SPECIFIC NAME (BOTANICAL)	SIZE (H X SPREAD)	TRAN-SECT	CIVIC	PATTERN	PRODUCE / COLOR IN BLOOM	SPECIAL INSTRUCTIONS
Small Shrubs	Silvermound Sage <i>(Artemisia schmidtiana)</i>	2' x 3'	T4, T3, T2	PK, GR, SQ, PZ, PG	Formal Massing	N/A / N/A	Uniform mounding shape
	Black Sage <i>(Artemisia nova)</i>	2' x 3'	T3, T2	PK, PG	Informal Grouping	N/A / N/A	Native to Utah. Drought tolerant once established
	Creeping Potentilla <i>(Potentilla neumaniana)</i>	12" x 3'	All	PK, GR, SQ, PZ, PG	Formal Massing	N/A / Yellow	Slow growing creeping form
	Cinquefoil <i>(Potentilla fruticosa sp.)</i> <i>Various cultivars</i>	3' x 3' (Varies)	All	PK, GR, SQ, PZ, PG	Formal or Informal	N/A / White, Orange, Yellow, Pink	Drought tolerant once established
	Dwarf Mugo Pine <i>(Pinus mugo Mops)</i>	3' x 3'	T4, T3, T2	PK, GR, SQ, PZ, PG	Formal Massing	Cone / N/A	Evergreen
	Dwarf Burning Bush <i>(Euonymus alatus 'compacta')</i>	5' x 4'	All	PK, GR, SQ, PZ, PG	Formal or Informal	N/A / N/A	Brilliant red fall color
	Horizontal Juniper <i>(Juniperus horizontalis)</i> <i>Various cultivars</i>	12" x 6'	All	PK, GR, SQ, PZ, PG	Formal or Informal	Cone / N/A	Evergreen, purple in winter
	Miniature Snowflake Mock Orange <i>(Philadelphus var. 'Miniature Snowflake')</i>	3' x 5'	All	PK, GR, SQ, PZ, PG	Formal or Informal	N/A / White	Fragrant flowers
	Low Grow Sumac <i>(Rhus aromatica 'Low Grow')</i>	3' x 5'	All	PK, GR, SQ, PZ, PG	Informal Cluster	N/A / White	Orange to red fall color

LEGACY FARMS

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TABLE 19K - PUBLIC PLANTING

	SPECIFIC NAME (BOTANICAL)	SIZE (H X SPREAD)	TRAN-SECT	CIVIC	PATTERN	PRODUCE / COLOR IN BLOOM	SPECIAL INSTRUCTIONS
Perennials	Butterfly Weed (<i>Aesclepsia tuberosa</i>)	2' x 18"	All	PK, GR, SQ, PZ, PG	Informal Grouping	N/A / Orange	Nitrogen fixing tuber, summer bloomer
	Globe Siberian Peashrub (<i>Caragana frutex globosa</i>)	3' x 4'	All	PK, GR, SQ, PZ, PG	Informal Grouping	N/A / Yellow flower	Adapts to poor sites, medicinal value, compact shape
	Pygmy Peashrub (<i>Caraganax pygmaea</i>)	4' x 5'	T3, T2	PK, GR, SQ, PZ, PG	Informal Grouping	N/A / Yellow flowers	Adapts to poor sites, medicinal value
	Coneflower (<i>Echinacea sp.</i>) Various cultivars	Varies	All	PK, GR, SQ, PZ, PG	Informal Grouping	N/A / Flower color varies by cultivar	Summer bloomer
	Broom (<i>Genista Lydia sp.</i>) Various cultivars	3' x 4'	All	PK, GR, SQ, PZ, PG	Informal Grouping	N/A / Varies	Drought tolerant once established
	Daylily (<i>Hemerocallis sp.</i>) Various cultivars	Varies	All	PK, GR, SQ, PZ, PG	Formal or Informal	N/A / Flower color varies by cultivar	Summer bloomer
	English Lavender (<i>Lavendula angustifolia</i>)	2' x 2'	All	PK, GR, SQ, PZ, PG	Formal or Informal	N/A / Purple	Summer bloomer, fragrant foliage, medicinal value
	Desert Four o'clock (<i>Mirabilis multiflora</i>)	12" x 3'	All	PK, GR, SQ, PZ, PG	Informal Grouping	N/A / Purple, magenta	Spring through summer bloomer, drought tolerant
	Salvia (<i>Salvia sp.</i>) Various cultivars	2' x 2'	All	PK, GR, SQ, PZ, PG	Formal or Informal	N/A / Purple, red, pink	Summer bloomer
	Russian Sage (<i>Perovskia atriplicifolia</i>)	5' x 3'	All	PK, GR, SQ, PZ, PG	Informal Grouping	N/A / Purple	Summer bloomer, drought tolerant

TABLE 19L - PUBLIC PLANTING							
	SPECIFIC NAME (BOTANICAL)	SIZE (H X SPREAD)	TRAN-SECT	CIVIC	PATTERN	PRODUCE / COLOR IN BLOOM	SPECIAL INSTRUCTIONS
Perennials	Licorice Mint Hyssop (<i>Agastache rupestris</i>) Various cultivars	4' x 18"	All	PK, GR, SQ, PZ, PG	Informal Grouping	N/A / Orange, red, purple	Fragrant foliage, summer bloomer
	Georgia Blue Speedwell (<i>Veronica peduncularis</i> 'Georgia Blue')	12" x 5'	All	PK, GR, SQ, PZ, PG	Informal Grouping	N/A / Blue, Purple	Drought tolerant
Ornamental Grasses	Elijah Blue Fescue (<i>Festuca ovina</i> 'glauca')	12" x 12"	All	PK, GR, SQ, PZ, PG	Formal or Informal	N/A / N/A	Consistent compact shape
	Blue Oat Grass (<i>Helictotrichon sempervirens</i>)	2' x 2'	All	PK, GR, SQ, PZ, PG	Informal Grouping	N/A / N/A	Consistent compact shape
	Flame Grass (<i>Miscanthus</i> 'Purpurascens')	4' x 3'	All	PK, GR, SQ, PZ, PG	Informal Grouping	N/A / Purple seed heads	Blades turn gold to red in late summer
	Shenandoah Switchgrass (<i>Panicum</i> 'Shenandoah')	4' x 3'	All	PK, GR, SQ, PZ, PG	Formal or Informal	N/A / Purple seed heads	Blades turn orange to purple in late summer
	Hameln Fountain Grass (<i>Pennesetum alopecuroides</i> 'Hameln')	2' x 2'	All	PK, GR, SQ, PZ, PG	Formal or Informal	N/A / Cream seed heads	Consistent compact shape
	Karly Rose Fountain Grass (<i>Pennesetum alopecuroides</i> 'Karly Rose')	3' x 3'	All	PK, GR, SQ, PZ, PG	Informal Grouping	N/A / Pink seed heads	Consistent compact shape
	Little Bluestem (<i>Schizachyrium scoparium</i>)	3' x 18"	All	PK, GR, SQ, PZ, PG	Informal Grouping	N/A / N/A	Blades turn bronze to purple in late summer

LEGACY FARMS

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TABLE 19M - PUBLIC PLANTING

	SPECIFIC NAME (BOTANICAL)	SIZE (H)	TRAN-SECT	CIVIC	PATTERN	PRODUCE / COLOR IN BLOOM	SPECIAL INSTRUCTIONS
Ground Cover	Bugleweed (<i>Ajuga</i>)	4"	All	PK, GR, SQ, PZ, PG	Formal Massing	N/A / Blue/purple	Many cultivars are well adapted to region
	Basket of Gold (<i>Alyssum</i>)	8" to 12"	All	PK, GR, SQ, PZ, PG	Informal Grouping	N/A / Yellow Flower	Early spring bloomer
	Compinkie Rock- cress (<i>Arabis alpina</i> 'Compinkie')	6"	All	PK, GR, SQ, PZ, PG	Informal Grouping	N/A / Deep Rose	Evergreen foliage
	Kinnikinnik (<i>Arctostaphylos uva ursi</i>)	6" to 8"	All	PK, GR, SQ, PZ, PG	Informal Grouping	Red Berries / N/A	Evergreen, excellent red fall color
	Rockcress (<i>Aubrieta</i>)	4" to 6"	All	PK, GR, SQ, PZ, PG	Formal Massing	N/A / Magenta	Drought tolerant once established
	Chocolate Flower (<i>Berlandiera lyrata</i>)	18"	T4, T3, T2	PK, GR, SQ, PZ, PG	Informal Grouping	N/A / Yellow	Fragrant, chocolate aroma
	Poppy Mallow (<i>Callirhoe involu-crata</i>)	2" to 4"	T4, T3, T2	PK, GR, SQ, PZ, PG	Informal Grouping	N/A / Magenta	Aggressive spreader. Attractive when paired with <i>Berlandiera</i>
	Snow in Summer (<i>Cerastium arvense</i>)	4" to 6"	All	PK, GR, SQ, PZ, PG	Formal Massing	N/A / White	
	Dwarf Tickseed (<i>Coreopsis 'nana'</i>)	6" to 8"	All	PK, GR, SQ, PZ, PG	Formal Massing	N/A / Gold	Late spring bloomer
	Hardy Ice Plant (<i>Delosperma</i>)	4" to 6"	All	PK, GR, SQ, PZ, PG	Informal Grouping	N/A / Varies	
	Yarrow (<i>Achillea millefolium</i>)	2' x 2'	T4, T3, T2	PK, GR, PG	Informal Massing	N/A / Yellow flowers	Drought tolerant.

TABLE 19N - PUBLIC PLANTING

	SPECIFIC NAME (BOTANICAL)	SIZE (H)	TRAN-SECT	CIVIC	PATTERN	PRODUCE / COLOR IN BLOOM	SPECIAL INSTRUCTIONS
Ground Cover	Sulphur Flower (<i>Eriogonum umbrellatum aureum</i>)	5"	All	PK, GR, SQ, PZ, PG	Informal Grouping	N/A / Yellow	Summer bloomer
	Goblin Blanket Flower (<i>Gaillardia 'Goblin'</i>)	12"	All	PK, GR, SQ, PZ, PG	Informal Grouping	N/A / Yellow/Red	Heavy reseeder
	Mountain Boxwood (<i>Pachistima myrsinides</i>)	8"	T4, T3, T2	PK	Informal Grouping	N/A / N/A	Evergreen
	Sedum (<i>Sedum</i>)	4" to 12"	All	PK, GR, SQ, PZ, PG	Informal Grouping	N/A / Varies	Many cultivars are well adapted to region
	Scarlet Globemallow (<i>Sphaeralcea coccinea</i>)	6" to 12"	All	PK, GR, SQ, PZ, PG	Informal Grouping	N/A / N/A	
	Lambs Ear (<i>Stachys Byzantine 'Helen Von Stein'</i>)	8" to 10"	T4, T3, T2	PK, GR, SQ, PZ, PG	Informal Grouping	N/A / Rose-purple	

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TABLE 190 - PUBLIC PLANTING

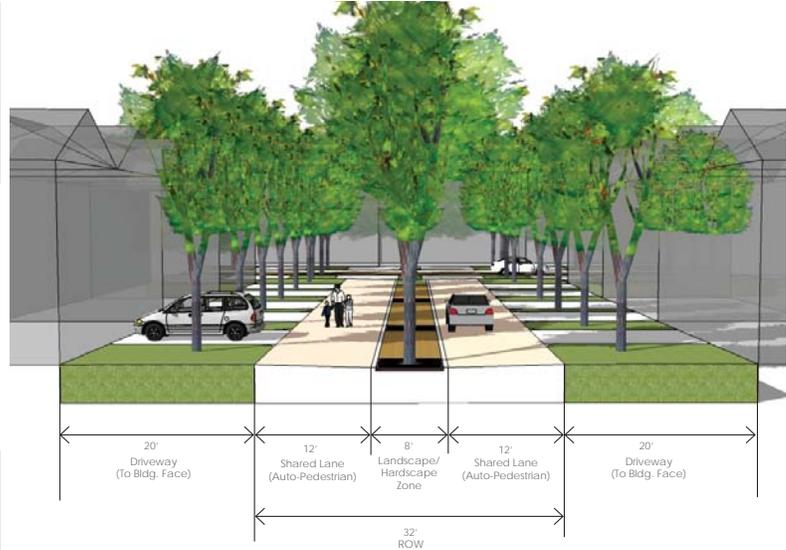
	SPECIFIC NAME (BOTANICAL)	SIZE (H X SPREAD)	TRAN-SECT	CIVIC	PATTERN	PRODUCE / COLOR IN BLOOM	SPECIAL INSTRUCTIONS
Water-Wise	Gambel Oak (<i>Quercus gambelii</i>)	25' x 20'	T2	PK	Clustered	Acorns / N/A	Native. Great red fall color.
	Big Tooth Maple (<i>Acer grandidentatum</i>)	30' x 20'	T2	PK	Clustered	Samara / N/A	Great red fall color. Requires well drained soil.
	Utah Serviceberry (<i>Amelanchier utahensis</i>)	6 - 15'	T4, T3, T2	PK, GR, SQ, PZ, PG	Informal Grouping	Red/purple /black pome / White	Important food source for wildlife
	Rubber Rabbit Brush (<i>Chrysothamnus nauseosus</i>)	4'	T4, T3, T2	PK, GR, SQ, PZ, PG	Informal Grouping	N/A / Yellow	Yellow fall cover; seeds and cover for birds
	Wild Rose (<i>Rosa woodsii</i>)	2 - 6'	T4, T3, T2	PK, GR, SQ, PZ, PG	Informal Grouping	Rosehips / Pink/magenta	Drought tolerant
	Mormon Tea (<i>Ephedra nevadensis</i>)	2 - 4'	T4, T3, T2	PK, GR, SQ, PZ, PG	Informal Grouping	N/A / N/A	Drought tolerant, evergreen
	Snow Berry (<i>Symphoricarpos alba</i>)	3'	T4, T3, T2, T1	PK, GR, SQ, PZ, PG	Informal Grouping	White berries / White	Showy white berries
	Black Sage (<i>Artemisia nova</i>)	18"	T3, T2	PK, PG	Informal Grouping	N/A / N/A	Drought tolerant once established
	Yarrow (<i>Achillea millefolium</i>)	2'x 2'	T4, T3, T2	PK, GR, PG	Informal Massing	N/A / Yellow flowers	Drought tolerant.
	Chocolate Flower (<i>Berlandiera lyrata</i>)	18"	T4, T3, T2	PK, GR, SQ, PZ, PG	Informal Grouping	N/A / Yellow	Fragrant, chocolate aroma
	Blue Flax (<i>Linum lewisii</i>)	15"	All	PK, GR, SQ, PZ, PG	Formal Massing	N/A / Blue	Heavy reseeder

TABLE 19P- PUBLIC PLANTING							
	SPECIFIC NAME (BOTANICAL)	SIZE (H X SPREAD)	TRAN-SECT	CIVIC	PATTERN	PRODUCE / COLOR IN BLOOM	SPECIAL INSTRUCTIONS
Water-Wise	Creeping Potentilla <i>(Potentilla neumaniana)</i>	12"	All	PK, GR, SQ, PZ, PG	Formal Massing	N/A / Yellow	Slow growing creeping form
	Scarlet Globemallow <i>(Sphaeralcea coccinea)</i>	6" to 12"	All	PK, GR, SQ, PZ, PG	Informal Grouping	N/A / N/A	
	Lambs Ear <i>(Stachys Byzantine 'Helen Von Stein')</i>	8" to 10"	T4, T3, T2	PK, GR, SQ, PZ, PG	Informal Grouping	N/A / Rose-purple	
	Sulphur Flower <i>(Eriogonum umbellatum aureum)</i>	5"	All	PK, GR, SQ, PZ, PG	Informal Grouping	N/A / Yellow	Summer bloomer
	TYPE	SIZE	TRAN-SECT	CIVIC	MAX. COVERAGE XERIC	MAX. COVERAGE TRADITIONAL	SPECIAL INSTRUCTIONS
Water-Wise	Crushed Stone	< 1"	All	PK, GR, SQ, PZ, PG	66%	33%	3" min. depth, weed barrier required
	Colored decorative gravel	1" to 2.5"	All	PK, GR, SQ, PZ, PG	66%	33%	4" min. depth, weed barrier required
	Cobble rock	3" to 6"	All	PK, GR, SQ, PZ, PG	66%	33%	4" min. depth, weed barrier required

Exhibit 7
Amended shared lane section

TABLE 6G - THOROUGHFARE ST-32-24 (SHARED LANE)

KEY		ST-32-24
Thoroughfare Type		
Right of Way Width		
Pavement Width		
DAP	Traditional Neighborhood	
CP	BT-3	
	BT-4	
VP	T4-SL	T4



ASSEMBLY ST-32-24			
Right-of-Way Width	32 ft	Pavement Width	24 ft
TRANSPORTATION WAY			
Direction of Travel	N/A	Parking Lane Type	None
Vehicular Lane Count (total)	2	Parking Lane Count**	N/A
Vehicular Lane Width	12 ft	Parking Lane Width	N/A
Median Width	8 ft		
PUBLIC FRONTAGE	SPECIALIZED		
Assembly Width	32 ft		
Transect Context	T4-SL, T4		
See: Table 11, Table 19, Table 15, Table 18, Table 16			
Curbing	Type Cuts	N/A	
Walkway	Type Width	Shared Lane 12 ft	
	Surface	Concrete	
Planter	Type Width	Long Tree Wells (Median) 8'W x varies	
	Surface	Ground cover Pervious Hardscape	
	Planting	Large shade tree	
Planting	Species Type	Single Rounded, vase	
	Arrangement	Opportunistic	
	Spacing	Opportunistic	
Verge	Width	N/A	
	Light Spacing	N/A	

LEGACY FARMS

Community Plan



CONCEPTUAL SHARED LANE CONFIGURATION

Exhibit 8
Trail materials
(Open Space Pages)

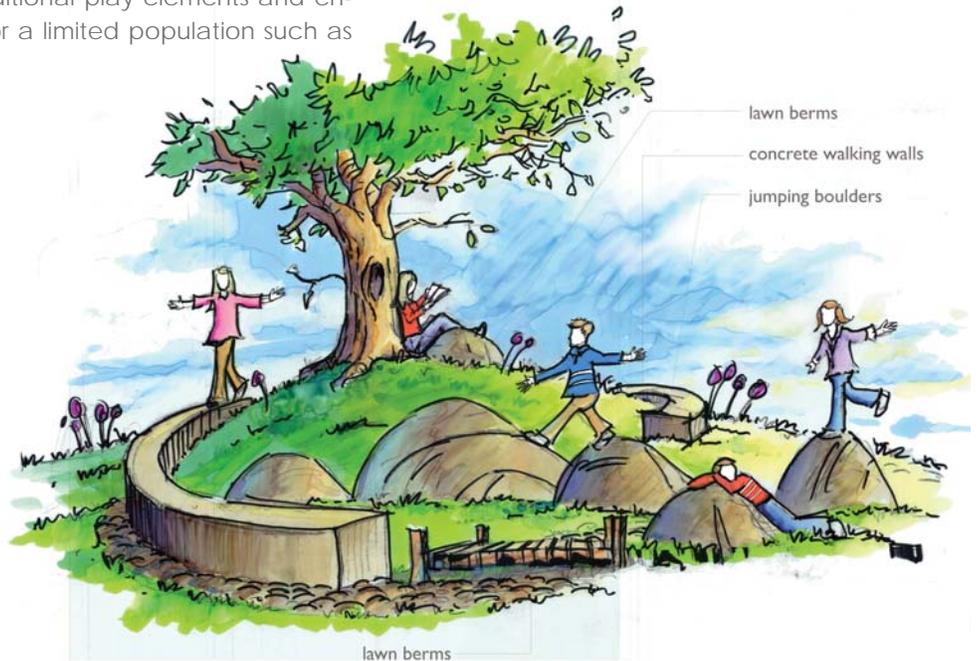
Pocket Parks

Small and frequent, providing a balance of passive and active recreation that ensures walkable green space access for everyone. May contain traditional and non-traditional play elements and encourages creative design solutions for a limited population such as tots, pets, or teens.

Size:
2,500 s.f. to 1 acre

Service:
1/4 mile radius

Example:
Davis Park - Salt Lake City, Utah



Special Use

Covers a range of parks and recreation oriented towards single-purpose use. Special uses generally fall into three categories; Historic, Cultural, or Social Sites (ex. Arboretums, ornamental and passive strolling gardens, amphitheaters, etc.)

Size:
varies

Service:
varies

LEGACY FARMS

Community Plan

Community Garden

Space programmed specifically for gardening. Strategically located within the neighborhood to provide convenient and safe access. Often times included in pocket parks and neighborhood parks. They are a valued asset in urban areas where residential yards are rare.

Size:
up to 1 acre

Service:
1/8 mile to 1/4 mile radius

Examples:
Daybreak Community Garden -
South Jordan, Utah



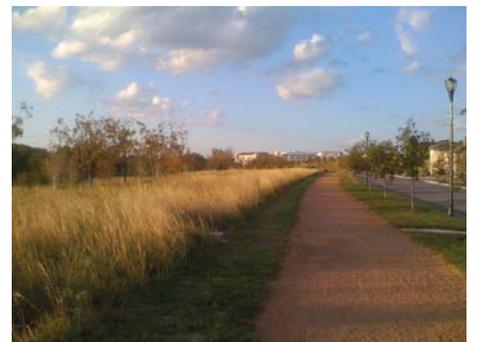
Greenway

A linear open space feature with passive and active recreational elements designed to incorporate the space located around or within a natural resource area (stream, wetlands). Uses include modal sports recreation, nature viewing and study, small gathering spaces, pervious pedestrian spaces, and passive play areas and amenities. Greenways also function as a connection within the larger park system allowing uninterrupted pedestrian movement. Corridor width range between 8-200 feet. The primary surface material on regional and city-wide trails will be asphalt.

Size:
varies

Service:
varies

Examples:
Daybreak Linear Park - South Jordan,
Utah
Boise River Greenbelt - Boise, Idaho

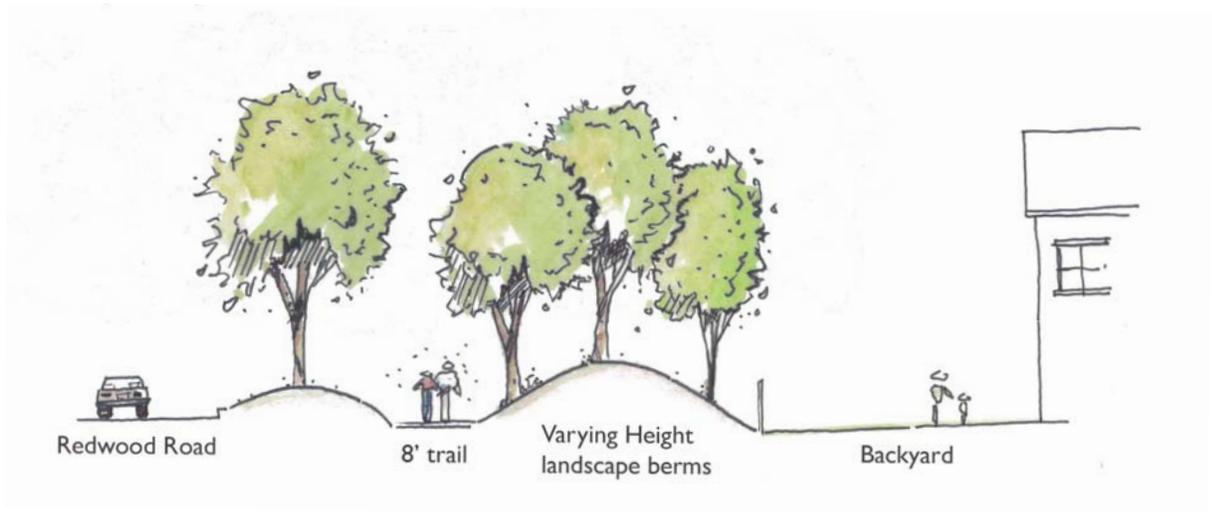


Parkway

Urban streets that provide comfortable and safe pedestrian and cyclist connections. May include landscaped center median, large shade trees on or off-street bikeways and seating. The primary surface material on regional and city-wide trails will be asphalt.

Size:
varies

Service:
varies



Paseo

Linear pedestrian corridor that is defined by homes fronting the space. Often includes passive activities as well as tot lots, community gardens, half-court basketball or other limited space ball games.

Size:
0.5 to 2 acres

Service:
varies

Examples:
Daybreak - South Jordan, Utah



LEGACY FARMS

Community Plan

Connector Trail

Secondary public connection for pedestrians and cyclists. Located as mid-block linkages between other park spaces. Typically less than 30 feet in width with minimal landscaping.

Size:
varies

Service:
varies

Examples:
Jordan River Trail - Lehi, Utah



Park Lawn

Open space within a public right-of-way that allows for passive use, bus stops, shade trees and ornamental landscaping.

Size:
Varies

Service:
Varies

Example:
South Temple - Salt Lake City, Utah



The images on this page represent an artist's rendering and are conceptual in nature

City of Saratoga Springs
Planning Commission Meeting
April 9, 2015

Regular Session held at the City of Saratoga Springs City Offices
1307 North Commerce Drive, Suite 200, Saratoga Springs, Utah 84045

Planning Commission Minutes

Present:

Commission Members: Kirk Wilkins, Sandra Steele, Kara North, David Funk

Staff: Kimber Gabryszak, Kevin Thurman, Nicolette Fike

Others: Kerry Winn, Paul Watson

Excused: Jeff Cochran, Jarred Henline, Hayden Williamson

Call to Order - 6:30 p.m. by Vice Chairman Kara North

Pledge of Allegiance - led by Kirk Wilkins

Roll Call – Quorum was present

Public Input Open by Vice Chairman Kara North

No input at this time.

Public Input Closed by Vice Chairman Kara North

4. Public Hearing and Possible Recommendation: Preliminary Plat for Fox Hollow Neighborhood 11 located at 3400 South Wildlife Boulevard, Kerry Winn, applicant.

Kimber Gabryszak presented the plat. She noted some additional conditions that were recommended. Once this is approved by the Council the applicant will not be able to construct until the City Engineer approves that the MDA conditions will be met.

Kerry Winn, applicant, was present to answer questions.

Public Hearing Open by Vice Chairman Kara North

No input at this time.

Public Hearing Closed by Vice Chairman Kara North

Sandra Steele agreed with Urban Design that the rock above the garages and some of the windows was a little heavy and the money may be better used elsewhere.

Kerry Winn assured her that there would be some design tweaking and they would meet the design standards for the HOA.

Sandra Steele asked the Engineer if they had moved the detention basin.

Paul Watson clarified about the detention basin.

David Funk recommended that they do put something in the conditions about signage if they needed that. He felt staff recommendations were appropriate.

Kirk Wilkins asked about the lot sizes and if it was part of the recommendation tonight to allow for a lower lot size.

Kimber Gabryszak noted R3 zone typically allows 10,000 sq. ft. but this is an R3 PUD and so they are allowed for within the MDA and the PUD overlay.

Kirk Wilkins asked to clarify the signage suggestion.

Kimber Gabryszak replied that the HOA is asking them to finish the neighborhood sign, the design guidelines say that each development is required to have a coordinating entrance sign.

Kirk Wilkins asked the applicant what his thoughts were.

Kerry Winn indicated he would be open to the condition.

Kimber Gabryszak suggested wording that the applicant shall work with the HOA to complete the neighborhood sign per the MDA design standards.

Kara North also had the questions about the lot sizes and felt those questions were addressed. Sandra Steele asked about the driveways with a minimum of 20ft. and the front setbacks are 8ft. She doesn't want to see cars hanging into the roads.

Kimber Gabryszak replied that when they pull the permit if the home is 8 ft. then the driveway will have to be pulled back another 12ft. to 20 ft. total.

Paul Watson spoke about the detention stuff and wanted to make sure we had the current drawings because certain things have changed over the last 7 years.

Kimber Gabryszak noted that in the engineering conditions it required the current plans.

Motion made by Sandra Steele to recommend approval to the City Council of the Preliminary Plat for The Village of Fox Hollow Neighborhood 11 (The Preserve), Phases 2-5, located at approximately 3400 South Wildlife Boulevard, based on the findings and conditions listed in the staff report with the additional condition that the applicant work with the HOA to complete the entrance signage per the MDA design standards. Seconded by David Funk. Aye: Sandra Steele, David Funk, Kirk Wilkins, Kara North. Motion passed 4-0.

5. Public Hearing and Possible Recommendation: Code Amendments to the City of Saratoga Springs Land Development Code.

Kimber Gabryszak noted these had been discussed in a previous work session and these are largely unchanged.

19.02 Measuring building height - Clarified the method to measure height.

19.05 Accessory Buildings - Clarified that items such as appearance apply to all accessory buildings.

Kirk Wilkins is agreeable to the changes on this section.

Kimber Gabryszak noted this change was for outside the setbacks.

Sandra Steele liked the way this was written.

19.06 Fencing - Prior to construction of retaining walls, the Engineering Standards and Specifications shall be consulted to determine if a grading permit is also required. Added an exception for parallel fencing like a low fence around a garden or animals. And to allow privacy fencing along limited arterial trail corridors that are not City maintained.

Kirk Wilkins thought there may be another conflict with this, if there was a change in elevation of the lot for instance.

Kimber Gabryszak would look into that, it may be just a railing.

Sandra Steele wondered about putting a privacy fence along a deeper lot.

Kimber Gabryszak reiterated if you have a deeper lot if you are 20 or 30 feet away then you could put another fence? The city is concerned about that because of dead space that may not be maintained.

Sandra Steele thought that maybe a 3 foot limit would help with that.

Kimber Gabryszak noted the other discussion they had was about whether privacy should be allowed all along arterial corridors. This would still say along only trail corridors so there would be eyes on the trail. And it should only be available within a HOA maintained area.

Kirk Wilkins noted that all the people he had talked to would rather have privacy fencing.

Sandra Steele found the note that said fencing adjacent to open spaces shall be limited to open or semi-privacy fences.

Kimber Gabryszak noted that from their research the privacy fencing did not obstruct views but there may be problems from dumping over the fence. Staff would recommend leaving in the HOA limitation for now.

19.06 Park strip landscaping – This clarified that the 30% vegetation requirement applies to each park strip.

19.12 Driveways & Corner Lots - Allow gravel driveways in some zones, and state that driveways in other zones must be hard surface. And clarify that minimum size requirements for corner lots are calculated from standard minimum sizes, not from reduced lot sizes. There was language drafted that it be required to have a garage door opener requirement so they didn't sit in the drive while they went to open the garage.

Sandra Steele commented that she had seen this problem (with no garage opener) before and thought people would complain that they couldn't get through because someone was blocking the shared driveway.

Kara North thinks it is not necessary. It is standard practice these days to install a garage door opener. And she doesn't think it will inconvenience people for a couple of minutes they may have to wait.

Kirk Wilkins thinks it not necessary in the code. He supports more of a limited control.

19.12 and 19.14 Application Requirements - Add "shapefile" and "established grade" to application requirements.

19.12 Plat Amendment Process - Allows more types of plat amendments to be approved administratively.

19.26 PC Zone Clarifications – removed the word contiguous and added to meet minimum required open space.

19.04 Business Park Zone Uses - Review and modify the allowed uses in the BP Zone to ensure resultant development is appropriate for the vision of that Land Use.

Discussion was held by the Commissioners on different ideas of acceptable uses in a Business Park.

Kimber made changes as needed during the discussion. Some of the items were:

Kirk Wilkins didn't think a convenience store or gas station belonged in business parks. We want to bring in nice business areas. He compared to some really nice business areas he had seen recently.

Sandra Steele could see those uses but at a higher architecture standards and not see bays from the outside, it could work with special conditions or extra standards.

Kara North thought there may be situations where it could work as an edge use. It would be nice to drop your car off and then walk to your office.

Sandra Steele looked at Equipment sales. In this this type of setting it probably would be computer/office equipment. She thinks electronic sales and repair may go into a business park, but not large equipment sales.

Kimber Gabryszak thought that would be retail ancillary, not equipment.

David Funk thought an educational center should be allowed as a use. (added)

Sandra Steele questioned a reception center.

Kara North noted businesses may like to have a place to hold a banquet or large function. She thought a dry cleaner would be good.

Sandra Steele thought of drug store or card store,

Kimber Gabryszak thought those would fall under ancillary retail.

Sandra Steele would hate to see it opened up to retail uses that were not ancillary uses.

Kimber Gabryszak noted that ancillary uses needed to be related.

Kirk Wilkins thinks in a Business park that foot traffic and customers visiting are secondary to the business. Motor traffic should be kept down.

David Funk clarified that the businesses should be catering to the people that work there.

Kimber Gabryszak noted that for ancillary it could be no more than 20% of the land uses.

Sandra Steele thinks that is vague, it would be better to say 20% of land area or sq. footage that could be quantified. (changed to building area.)

Sandra Steele thought they could limit how many cars were onsite for an auto rental connected with a Hotel. She thinks it is something they should allow at a hotel.

David Funk thought we want to cover the main bases but they can always come in and ask for an amendment.

Sandra Steele thought it would take more time and more money for an applicant.

Commissioners felt good with the additional sections and changes added by Kimber Gabryszak.

Kimber Gabryszak summarized the discussion and added an exhibit and showed the code changes as recommended by the Commission. She added the Condition that the amendments shall be edited as directed by the commission with changes as incorporated in the report of action.

Motion made by Kirk Wilkins - Based upon the evidence and explanations received today, I move to forward a positive recommendation to the City Council for the proposed amendments to Sections 19.02, 19.04, 19.05, 19.06, 19.12, 19.14, and 19.26 with the Findings and Conditions in the staff report. With the following condition: The amendments shall be edited as directed by the commission with changes as incorporated in the report of action. Seconded by David Funk. Aye: Sandra Steele, David Funk, Kirk Wilkins, Kara North. Motion passed 4-0.

It was brought up that the Public Hearing had not been opened. It was then opened, closed, and the Motion was remade.

Public Hearing Open by Vice Chairman Kara North

No input at this time.

Public Hearing Closed by Vice Chairman Kara North

Motion made by Kirk Wilkins to keep the motion as previously stated. Seconded by David Funk. Aye: Sandra Steele, David Funk, Kirk Wilkins, Kara North. Motion passed 4-0.

6. Approval of Minutes:

1. March 12, 2015

Motion made by David Funk to approve the minutes for March 12, 2015. Seconded by Kirk Wilkins. Aye: Sandra Steele, David Funk, Kirk Wilkins, Kara North. Motion passed 4-0.

7. Commission Comments. – none at this time.

8. Director's Report:

• Reports of Action

Fox Hollow Neighborhood 11 – Positive recommendation with conditions.

Code Amendments - Positive recommendation with conditions.

Motion made by Kirk Wilkins to approve the Reports of Action for April 9th. Seconded by Sandra Steele. Aye: Sandra Steele, David Funk, Kirk Wilkins, Kara North. Motion passed 4-0.

- **Council Actions** – they approved the Landrock amendment, Hillcrest M&M, Legacy farms 1A-1F, Road dedication for roads in Fox Hollow and Riverside and Market street and approved Vasa Fitness. They approved the rezone for Utah Valley Turf.

• Applications and Approval

- **Upcoming** – tentatively cancelling April 23rd.

Meeting adjourned by Chairman Jeff Cochran

Adjourn 8:05 p.m.

Date of Approval

Planning Commission Chair
Jeff Cochran

Lori Yates, City Recorder