

**CITY OF SARATOGA SPRINGS
CITY COUNCIL WORK SESSION
AGENDA**

Tuesday, January 20, 2015
Meeting held at the City of Saratoga Springs City Offices
1307 North Commerce Drive, Suite 200, Saratoga Springs, Utah 84045

One or more Councilmember may participate in this meeting electronically via video or telephonic conferencing

City Council Work Session

5:30 p.m.

1. Discussion of Saratoga Splash Planning.
2. Discussion of Utah law requirements for a Water Conservation Plan.
3. Discussion of the Vasa Fitness Concept Plan and Parking Amendments.
4. Discussion of the Rivebend Medical Site Plan and Conditional Use Permit.
5. Discussion of the Wildflower Rezone, General Plan Amendment and Community Plan.
6. Agenda Review:
 - a. Discussion of current City Council agenda staff questions.
 - b. Discussion of future City Council policy and work session agenda items.
7. Reports:
 - a. Mayor.
 - b. City Council.
 - c. Administration communication with Council.
 - d. Staff updates: inquires, applications and approvals.
8. Adjourn to Policy Session.

City Council Staff Report

Author: AnnElise Harrison, Civic Events Coordinator
Subject: Saratoga Splash Planning
Date: January 20, 2015
Type of Item: Informational



Description:

A. Topic: The Civic Events Committee is in the process of planning the 2015 Saratoga Splash Days events. The committee is currently exploring the opportunity to bring in carnival rides to increase the entertainment options available at Splash Days.

B. Background: The Civic Events Committee is considering expanding the entertainment options for the 2015 Saratoga Splash Days. One feature the committee would like to include is carnival rides during Splash Days.

The Civic Events Committee and City staff have looked at various issues to provide a quality entertainment option for our residents. Currently the intent is to have the rides operate Thursday, Friday and Saturday during Splash Days. The rides would not operate past 10 p.m. The company would provide verification that their employees are legal to work in the United States and Utah. Also, the company will need to perform background checks and drug tests on their employees. Ride employees would need to wear uniforms while working the event to allow for easy identification.

The ride provider would require the use of water for their food trucks, but provides their own electricity by using generators. The ride provider has also asked that the manager be allowed to stay on the premise to provide on-site security during the night. Other employees that would need to stay overnight would be directed to make reservations at Willow Park.

C. Department Review: Civic Events, City Manager



City Council

Memorandum

Author: Sarah Carroll
Worksession Date: January 20, 2015
Date of Memo: January 13, 2015
Re: Fitness center parking requirements, Section 19.09.11
VASA Fitness concept plan

Applicant/Owner: Charlie Hammond with HD Saratoga, LLC
Location: The request would be applied City-wide to all zones that allow fitness centers

Background:

The Planning Commission staff report is attached for an application that was received to amend the parking requirements for fitness centers. The request is to reduce the parking requirement from 6 stalls per 1,000 square feet to 5 stalls per 1,000 square feet. The applicant has indicated that the Saratoga Springs parking requirements for fitness centers are higher than any other City they have developed in.

The attached report outlines the data submitted by the applicant and provides additional data collected by staff. The applicant has also submitted a concept plan application for VASA fitness, to be located on the vacant site between Walmart and Café Rio. The staff report that was presented to the Planning Commission is attached.

The Planning Commission discussed the requested code amendment and forwarded a positive recommendation to the City Council. The requested code amendment and the proposed concept plan will be presented to the City Council at a public hearing on February 3, 2015. Draft minutes from the Planning Commission meeting are attached after the staff reports.

The Planning Commission asked the applicant if they would consider a shared parking agreement with surrounding uses. The applicant replied that the neighboring restaurant (Café Rio) is not interested in sharing parking and that Walmart has not responded.

Attachments:

1. Planning Commission staff report for the requested code amendment
2. Planning Commission staff report for VASA Fitness Concept Plan
3. Draft Planning Commission minutes from 1/8/15



**Code Amendment
19.09.11 – Required Parking
January 8, 2015
Public Hearing**

Report Date: December 24, 2014
Applicant: Charlie Hammond with HD Saratoga, LLC
Land Use Authority: City Council
Future Routing: Public hearing(s) with City Council
Author: Sarah Carroll, Senior Planner

A. Executive Summary:

The applicant is requesting amendments to Section 19.09.11. “Required Parking” to reduce the requirements for fitness centers. The applicant is proposing that the City reduce the requirement from 6 spaces per 1,000 square feet to 5 spaces per 1,000 square feet and have indicated that other cities where they have constructed require 5 spaces per 1,000 square feet or less.

Recommendation:

Staff recommends that the Planning Commission conduct a public hearing, take public comment, discuss the proposed amendments, and choose from the options in Section H of this report. Options include a positive recommendation with or without modifications, a negative recommendation, or continuance.

B. Background: The Land Development Code currently requires 6 stalls per 1,000 square feet for fitness centers. The applicant has constructed fitness centers in other locations in Utah and has indicated that this requirement is higher than other cities where they have constructed. The table below indicates cities where VASA Fitness (formerly Gold’s Gym) is located, along with the respective parking requirement and the amount the applicant provided.

Gym Location	SQ. FT.	City Parking Requirement	REQUIRED STALLS	PROVIDED STALLS
Riverton	45,708	1 space per 200 sq. ft. (5:1000)	229	238 (5.2:1000)
Brickyard (SLC)	23,240	3 stalls per 1000 sq ft (3:1000)	70	117 (5:1000)
South Jordan	19,812	5 stalls per 1000 sq ft (5:1000)	99	102 (5.15:1000)
Tooele	34,770	1 space per 300 sq ft (3.3:1000)	115	191 (5.5:1000)
Sandy	59,877	5 stalls per 1000 sq ft (5:1000)	299	299

Additional research indicates the following requirements for nearby cities:

City	Land Use	Required stalls per 1,000 sq. ft.	Stalls required for a 20,000 sq. ft. building
Saratoga Springs	Fitness Center	6 per 1,000	120
Eagle Mountain	Commercial, over 10,000 sq. ft.	5 per 1,000	100
Provo	Health Clubs	5 per 1,000	100
Orem	Gymnasium and Athletic Club	4 per 1,000	80
Bluffdale	Health Club	5 per 1,000	100
West Jordan	Fitness Center	6.66 per 1,000	133
Draper	Recreation/Entertainment Indoor	3 per 1,000	60
	OR	OR	OR
	Personal Instruction Service	5 per 1,000	100

C. Specific Request:

This is a request to amend Section 19.09.11, “Required Parking” to reduce the requirement for fitness centers from 6 stalls per 1,000 square feet to 5 stalls per 1,000 square feet.

D. Process: Section 19.17.03 of the Code outlines the process for an amendment:

1. The Planning Commission shall review the petition and make its recommendation to the City Council within thirty days of the receipt of the petition.
Complies. The application was received on December 16, 2014, and the hearing is January 8, 2015.
2. The Planning Commission shall recommend adoption of proposed amendments only where it finds the proposed amendment furthers the purpose of the Saratoga Springs Land Use Element of the General Plan and that changed conditions make the proposed amendment necessary to fulfill the purposes of this Title.
Complies. Please see Sections F and G of this report.
3. The Planning Commission and City Council shall provide the notice and hold a public hearing as required by the Utah Code. For an application which concerns a specific parcel of property, the City shall provide the notice required by Chapter 19.13 for a public hearing.
Complies. Please see Section E of this report. After the Planning Commission recommendation, a public hearing will be scheduled with the City Council.
4. For an application which does not concern a specific parcel of property, the City shall provide the notice required for a public hearing except that notice is not required to be sent to property owners directly affected by the application or to property owners within 300 feet of the property included in the application.
Complies. Please see Section E of this report.

E. Community Review: Per Section 19.17.03 of the City Code, this item has been noticed as a public hearing in the *Daily Herald*; while the request is by one property owner, these amendments

are City-wide and no mailed notice was required. As of the date of this report, no public input has been received.

A public hearing with the City Council has been scheduled and will be noticed for January 20, 2015.

F. General Plan:

Land Use Element

The General Plan has stated goals of responsible growth management, the provision of orderly and efficient development that is compatible with both the natural and built environment, establishment of a strong community identity in the City of Saratoga Springs, and implementation of ordinances and guidelines to assure quality of development.

Staff conclusion: consistent

The parking requirements are important to growth management and orderly and efficient development. The current parking requirement for fitness centers is 6 per 1,000 square feet which is more than the applicant has provided at facilities that they have recently constructed or expanded in other cities in Utah such as Riverton, Salt Lake City, South Jordan, Tooele, and Sandy. Additional research by staff indicates that many nearby cities require 5 stalls per 1,000 square feet. The applicant provided data collected throughout the day on Thursday October 16, 2014 reflecting the number of hourly visits at their South Jordan location which is a 20,000 square foot building. On that day the busiest times of day were 5:00 a.m. and 5:00 p.m., with 77 visitors. If each visitor drove a car at the peak times, this equates to a demand for 77 stalls for a 20,000 square foot building OR 3.86 stalls per 1,000 square feet.

The goals and objectives of the General Plan are not negatively affected by the proposed amendments, community goals will be met, and community identity will be maintained.

G. Code Criteria:

Code amendments are a legislative decision; therefore the City Council has significant discretion when considering changes to the Code.

The criteria for an ordinance (Code) change are outlined below, and act as guidance to the Council in making a decision, and to the Commission in making a recommendation. Note that the criteria are not binding.

19.17.04 Consideration of General Plan, Ordinance, or Zoning Map Amendment

The Planning Commission and City Council shall consider, but not be bound by, the following criteria when deciding whether to recommend or grant a general plan, ordinance, or zoning map amendment:

1. The proposed change will conform to the Land Use Element and other provisions of the General Plan;

Consistent. See Section F of this report.

2. the proposed change will not decrease nor otherwise adversely affect the health, safety, convenience, morals, or general welfare of the public;

Consistent. The amendment will result in fitness centers that are not over-parked and will not adversely affect the health, safety, convenience, morals, or general welfare of the public.

3. the proposed change will more fully carry out the general purposes and intent of this Title and any other ordinance of the City; and

Consistent. The stated purposes of the Code are found in section 19.01.04:

1. The purpose of this Title, and for which reason it is deemed necessary, and for which it is designed and enacted, is to preserve and promote the health, safety, morals, convenience, order, fiscal welfare, and the general welfare of the City, its present and future inhabitants, and the public generally, and in particular to:
 - a. encourage and facilitate the orderly growth and expansion of the City;
 - b. secure economy in governmental expenditures;
 - c. provide adequate light, air, and privacy to meet the ordinary or common requirements of happy, convenient, and comfortable living of the municipality's inhabitants, and to foster a wholesome social environment;
 - d. enhance the economic well-being of the municipality and its inhabitants;
 - e. facilitate adequate provisions for transportation, water, sewer, schools, parks, recreation, storm drains, and other public requirements;
 - f. prevent the overcrowding of land, the undue concentration of population, and promote environmentally friendly open space;
 - g. stabilize and conserve property values;
 - h. encourage the development of an attractive and beautiful community; and
 - i. promote the development of the City of Saratoga Springs in accordance with the Land Use Element of the General Plan.

The amendment is to reduce the parking requirement for fitness centers so that it is more consistent with parking requirements in neighboring cities and does not create an over-abundance of unused parking stalls.

4. in balancing the interest of the petitioner with the interest of the public, community interests will be better served by making the proposed change.

Consistent. The proposed change will modify the parking requirement for fitness centers so it is similar to what neighboring cities require.

H. Recommendation / Options:

Staff recommends that the Planning Commission conduct a public hearing, discuss any public input received, and choose from the options below.

Option A – Positive Recommendation

Possible Motion:

“Based upon the evidence and explanations received today, I move to forward a **positive** recommendation to the City Council for the proposed amendment to Section 19.09.11 “Required Parking” to reduce the parking requirement for fitness centers from 6 stalls per 1,000 square feet to 5 stalls per 1,000 square feet, with the Findings below:

Findings:

1. The amendments are consistent with Section 19.17.04.1, General Plan, as outlined in Sections F and G of this report and incorporated herein by reference, by supporting the goals and policies of the General Plan.
2. The amendments are consistent with Section 19.17.04.2 as outlined in Section G of this report and incorporated herein by reference, and will not decrease nor otherwise adversely affect the health, safety, convenience, morals, or general welfare of the public.
3. The amendments are consistent with Section 19.17.04.3 as outlined in Section G of this report and incorporated herein by reference.
4. The amendments are consistent with Section 19.17.04.4 as outlined in Section G of this report, and incorporated herein by reference.

Option B – Continuance

Possible Motion:

“I move to continue the amendments to Section 19.09.11 of the Code to a future meeting and request the following information:

Option C – Negative Recommendation

Possible Motion:

“Based upon the evidence and explanations received today, I move to forward a **negative** recommendation to the City Council for the proposed amendment to Section 19.09.11 “Required Parking” to reduce the parking requirement for fitness centers from 6 stalls per 1,000 square feet to 5 stalls per 1,000 square feet, with the Findings below:

Findings

1. The amendments do not comply with Section 19.17.04(1), General Plan, as articulated by the Commission: _____
2. The amendments do not comply with Section 19.17.04, sub paragraphs 2, 3, and/or 4 as articulated by the Commission: _____
3. _____
4. _____
5. _____

I. Exhibits:

1. Proposed change to ordinance
2. Applicant request letter and research

Exhibit 1

19.09.11. Required Minimum Parking by Zone.

Fitness Center (5,000 sq. ft. or less)	€ <u>5</u> stalls per 1000 sq. ft.
Fitness Center (5001 sq.ft. or larger)	€ <u>5</u> stalls per 1000 sq. ft.



December 16, 2014

City of Saratoga Springs
1307 N. Commerce Dr. #200
Saratoga Springs, UT 84045

To whom it my concern,

It is at the request of VASA Fitness, for the City of Saratoga Springs, to consider a code amendment change for the required parking stall for a fitness center to be changed from 6 stalls per 1,000 sq ft to 5 stalls per 1,000 sq ft. In the 30 years VASA Fitness has been operating as Gold's Gym in Utah, it has been determined through extensive studies that the optimum parking ratio for a gym facility to be 5 stalls per thousand, as evident in the attached parking ratios provided. In addition for our 18 locations in the state of Utah, every governmental jurisdiction has a parking code requirement for our use of 5 stalls per 1,000 sq ft.

A handwritten signature in blue ink, appearing to read 'Scott Felsted'.

Scott Felsted
VASA Fitness President

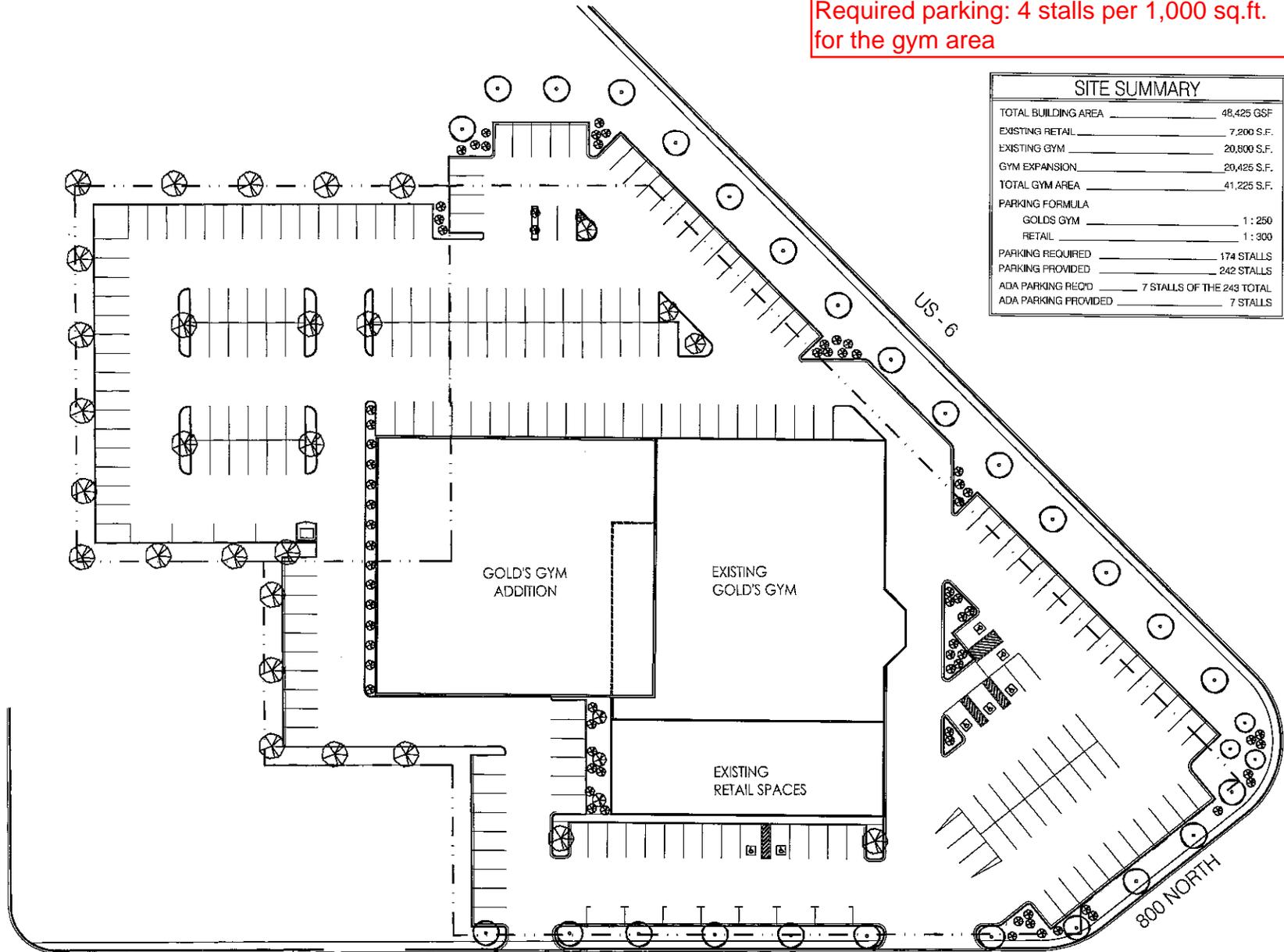


Exhibit 2:
Hourly visits at South Jordan Location
Thursday 10/16/14
Facility is 20,000 square feet

Exhibit 2, data provided by applicant from recent build or expansion of sites, included on page 1 of staff report

Gym Location	SQ. FT.	City Parking Requirement	REQUIRED STALLS	PROVIDED STALLS
Riverton	45,708	1 space per 200 sq. ft. (5:1000)	229	238 (5.2:1000)
Brickyard (SLC)	23,240	3 stalls per 1000 sq ft (3:1000)	70	117 (5:1000)
South Jordan	19,812	5 stalls per 1000 sq ft (5:1000)	99	102 (5.15:1000)
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Sandy	59,877	5 stalls per 1000 sq ft (5:1000)	299	299

Exhibit 2, Spanish Fork Expansion
 Required parking: 4 stalls per 1,000 sq.ft.
 for the gym area

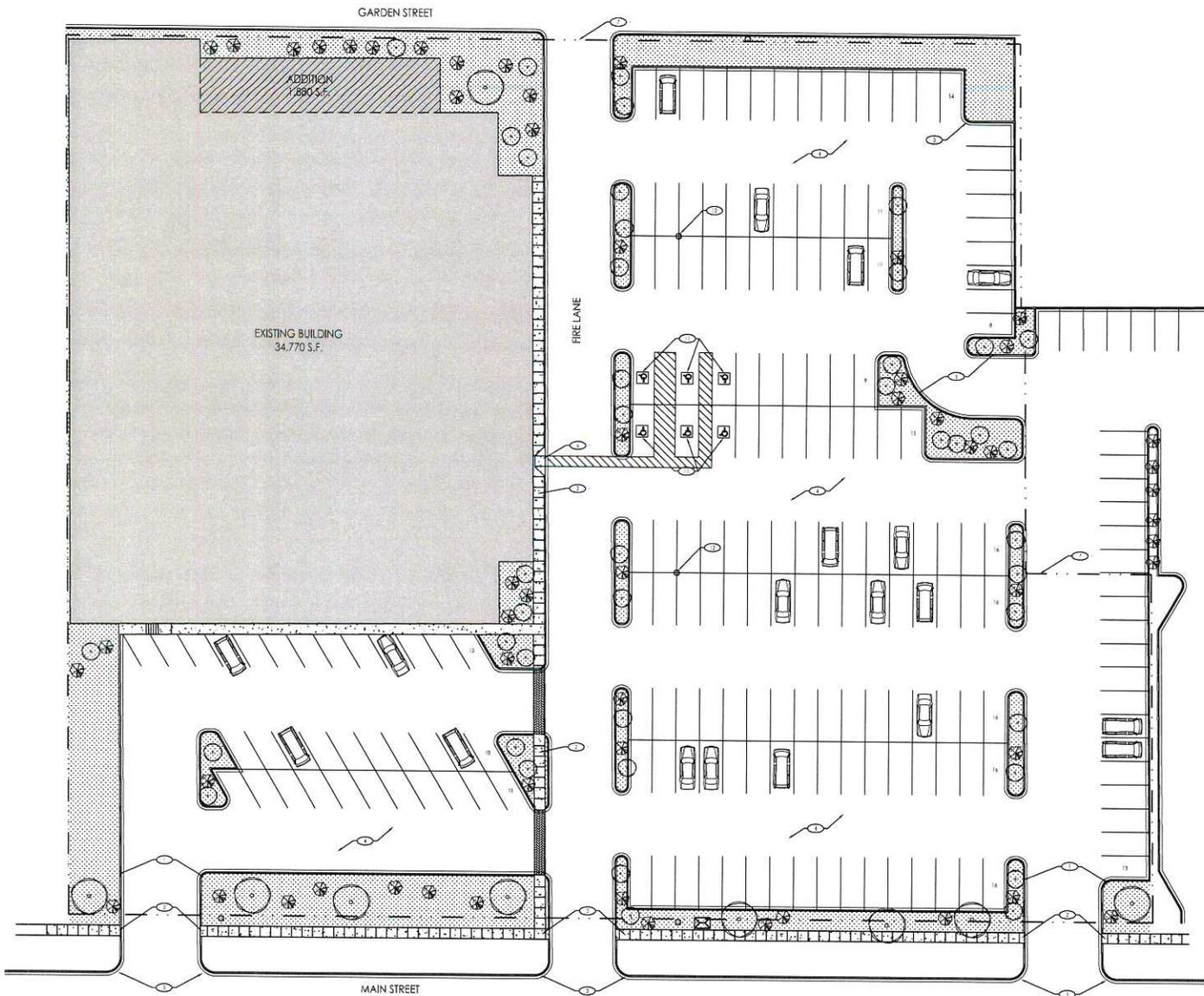


GOLD'S GYM SPANISH FORK ADDITION

SITE PLAN

SCALE : 1" = 20'-0"

Exhibit 2: Tooele expansion
Required Parking: 3.33 stalls per 1,000 sq. ft.



SHEET NOTES:

- LANDSCAPING
- CONCRETE SIDEWALK
- CONCRETE CURB & CURB
- ASPHALT PARKING AREA - SEE CIVIL DRAWINGS
- DRIVEWAY ENCLOSURE - SEE DETAILS 1 & 2(A&B)
- ACCESSIBLE RAMP - SEE CIVIL DRAWINGS
- TREE OF LANDSCAPE REFERENCE
- DETENTION POND - SEE CIVIL DRAWINGS
- TRANSFORMER PAD - SEE ELECTRICAL DRAWINGS
- ADA PARKING SIGN - SEE DETAIL A1001
- ADA PARKING STALL - SEE DETAIL A1001
- LIGHT POLE

GENERAL NOTES:

- A. SEE CIVIL DRAWINGS FOR CURB AND PARKING OF DRIVEWAYS.
- B. SEE CIVIL DRAWINGS FOR LOCATION OF FIRE HYDRANTS & LOCATION OF FIRE LIGHTING.
- C. SEE ELECTRICAL DRAWINGS FOR LOCATION OF SITE LIGHTING.

SITE DATA:

TOTAL SITE AREA	177,870 S.F.
BUILDING AREA	36,660 S.F.
PARKING AREA	76,200 S.F.
TOTAL LANDSCAPED AREA	13,000 S.F. (7.3%)
LANDSCAPED AREA NEW/IN-PARKING AREA	4,300 S.F. (3.0%)
TOTAL PARKING SPACES	118 SPACES (3.3 SPACES / 1,000 S.F.)

SITE PLAN
 SCALE: 1/16" = 1'-0"



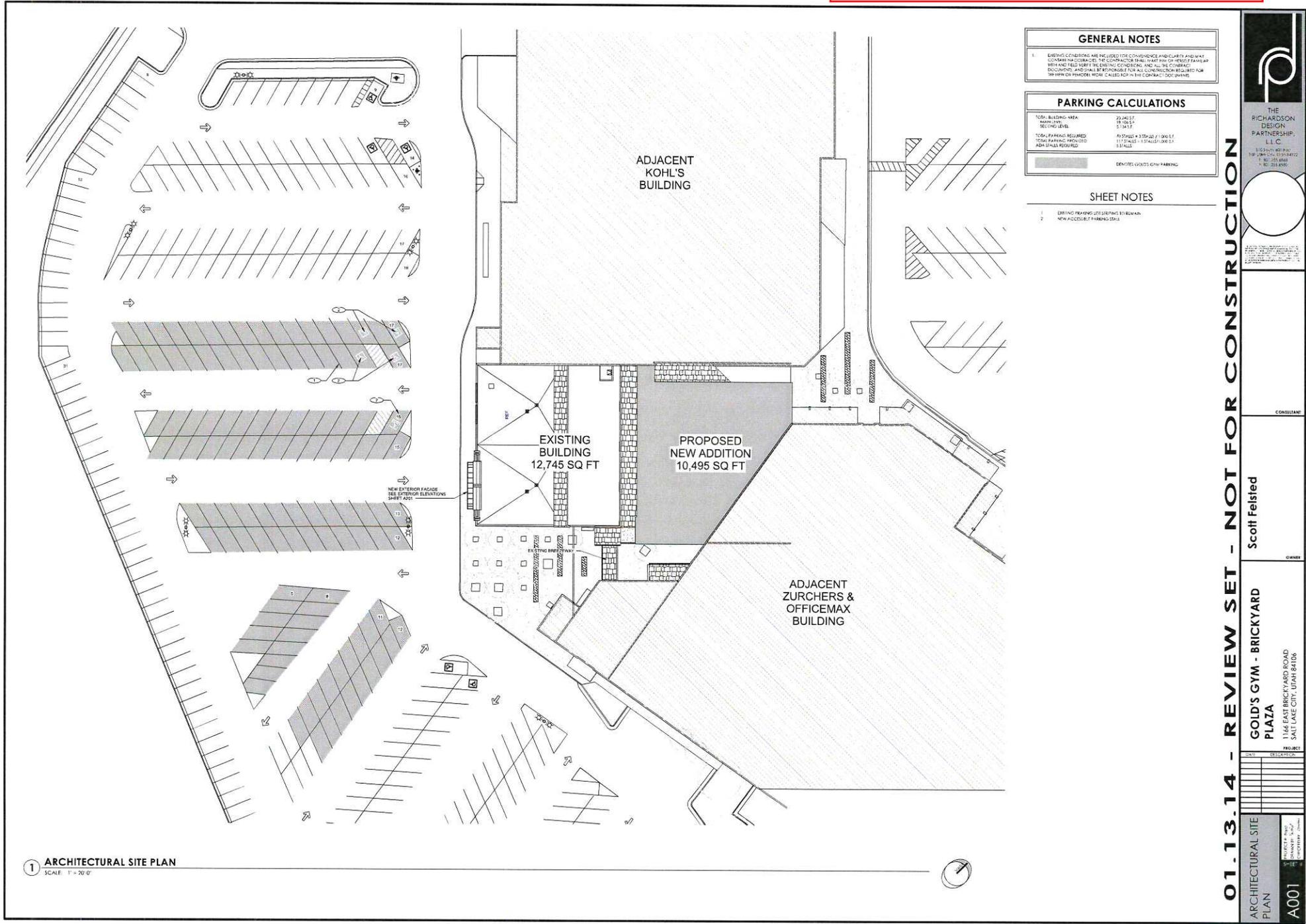
THE RICHARDSON DESIGN PARTNERSHIP, L.L.C.
 1415 SOUTH 400 EAST
 SALT LAKE CITY, UTAH 84115
 P: 801.333.4488
 F: 801.333.6880
 WWW.RDPARTNERSHIP.COM

GOLD'S GYM
 1000 WEST 1000 SOUTH
 SALT LAKE CITY, UTAH 84115
 P: 801.466.1234
 F: 801.466.1234
 WWW.GOLDSGYM.COM

DATE	DESCRIPTION

SITE PLAN
 PROJECT # 07-0001
 DRAWING # 01-0001
 SHEET # 01-0001
A001

SLC, Brickyard Plaza expansion
Required Parking: 3 stalls per 1,000 sq. ft.



GENERAL NOTES

1. EXISTING CONDITIONS ARE INDICATED FOR CONFORMANCE AND CLARITY AND MAY VARY FROM AS SHOWN. THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND SHALL BE RESPONSIBLE FOR ALL CONSTRUCTION REQUIREMENTS FOR THE NEW OR MODIFIED WORK CALLED OUT IN THE CONTRACT DOCUMENTS.

PARKING CALCULATIONS

TOTAL BUILDING AREA	23,240 SF
AREA - 1ST FLOOR	18,100 SF
AREA - 2ND FLOOR	5,140 SF
TOTAL PARKING REQUIRED	70 STALLS * 3 STALLS / 1,000 SF
TOTAL PARKING PROVIDED	113 STALLS * 1.5 STALLS / 1,000 SF
ADDITIONAL STALLS REQUIRED	43 STALLS

① DENOTES GUESTS ONLY PARKING

SHEET NOTES

1. EXISTING PARKING LOTS SUBJECT TO BE MAINTAINED.
 2. NEW ACCESSIBLE PARKING STALLS.

1 ARCHITECTURAL SITE PLAN
 SCALE: 1" = 20' 0"

01.13.14 - REVIEW SET - NOT FOR CONSTRUCTION

THE RICHARDSON DESIGN PARTNERSHIP, L.L.C.
 1105 SOUTH 400 EAST
 SALT LAKE CITY, UTAH 84143
 P: 801.225.1848
 F: 801.233.6300

CONSULTANT

Scott Felsted

OWNER

GOLD'S GYM - BRICKYARD PLAZA
 1146 EAST BRICKYARD ROAD
 SALT LAKE CITY, UTAH 84106

PROJECT

DATE	DESCRIPTION

ARCHITECTURAL SITE PLAN

A001

PROJECT NO. 01.13.14
 DRAWN BY: SCOTT FELSTED
 CHECKED BY: []
 DATE: 01/13/14



**Concept Plan
VASA Fitness
January 8, 2014
Public Meeting**

Report Date:	December 24, 2014
Project Request / Type	Concept Plan
Applicant:	HD Saratoga, LLC / Charlie Hammond
Location:	~1523 North Redwood Road
Major Street Access:	Redwood Road
Parcel Number(s) and size:	66:242:0006, ~2 acres
General Plan Designation:	Regional Commercial
Zone:	Regional Commercial (RC)
Adjacent Zoning:	Regional Commercial (RC)
Current Use:	Vacant
Adjacent Uses:	Walmart, Zions Bank, T-Mobile, Dollar Cuts, Café Rio, O'Reilly Auto Parts, Panda Express
Previous Meetings:	Walmart Final Plat was approved 6-12-07
Land Use Authority:	Review required by PC and CC
Future Routing:	City Council
Planner:	Sarah Carroll, Senior Planner

A. Executive Summary:

This is a request for review of a Concept Plan for VASA Fitness within the RC zone, to be located at 1523 North Redwood Road, on Lot 6 of the Walmart Subdivision Plat. The plans indicate a 15,000 square foot building with a 5,000 square foot mezzanine. Per Section 19.09.11, 120 parking stalls are required (for 20,000 square feet). The plans indicate 106 total parking stalls and the applicant is requesting a code amendment to the parking requirement for fitness centers under a separate application.

Recommendation:

Staff recommends that the Planning Commission conduct a public meeting and provide informal direction to the applicant and staff regarding the conceptual subdivision. No official motion or recommendation is provided for Concept Plans.

B. Background:

Lot 6 was created with the "Saratoga Wal-Mart Subdivision" plat that was recorded in 2007 (attached). The plat indicates that Lot 6 is 2.06 acres. A recent lot line adjustment between Lot 6 and Lot 8 was recorded on November 6, 2014 and reduced Lot 6 to 1.99 acres.

C. Specific Request:

This is a request for review of the Concept plan for VASA fitness, located in the RC zone.

D. Process:

Section 19.13.05 outlines the process for Concept Plans and states:

1. A Concept Plan application shall be submitted before the filing of an application for subdivision or Site Plan approval unless the subdivision was part of a previous Concept Plan application within the last two years and the application does not significantly deviate from the previous Concept Plan.
2. The Concept Plan review involves an informal conference with the developer and the City's Development Review Committee and an informal review of the plan by the Planning Commission and City Council. The developer shall receive comments from the Development Review Committee, Planning Commission, and City Council to guide the developer in the preparation of subsequent applications.
 - i. The Development Review Committee, Planning Commission, and City Council shall not take any action on the Concept Plan review.
 - ii. The Development Review Committee, Planning Commission, and City Council comments shall not be binding, but shall only be used for information in the preparation of the development permit application.

E. Community Review:

There is no requirement to notice concept plans because the comments received from the Planning Commission and City Council are not binding. Formal community interaction will occur once a formal public hearing is scheduled for site plan review.

F. General Plan:

The Land Use Map of the General Plan designates this property for Regional Commercial uses. The Land Use Element of the General Plan states "Regional Commercial areas shall be characterized by a variety of retail users including big box retail configured in developments that provide excellent vehicular access to and from major transportation facilities. Developments located in Regional Commercial areas shall be designed so as to create efficient, functional conglomerations of commercial activities."

Staff Conclusion: complies. The site and nearby properties are currently zoned RC. Nearby uses include Walmart, Zions Bank, T-Mobile, Dollar Cuts, Café Rio, O'Reilly Auto Parts, Panda Express, etc. The proposed access is off of a shared drive isle that has access onto West Commerce Drive, Redwood Road, and SR 73; the direct access points line up with access to adjacent businesses. The abutting commercial uses do not include a fitness center; thus, this business will contribute to the conglomeration of commercial activities. The proposed business location and proposed access locations will contribute to functional conglomerations of commercial activities by lining up with access to adjacent uses and increasing the variety of uses in this location.

G. Code Criteria:

The requirements for the RC zone are outlined in Section 19.04.22. The parking requirements are in Chapter 19.09 and the Site Plan requirements are in Chapter 19.14. Pertinent sections of these Chapters and sections are reviewed below.

Permitted or Conditional Uses: can comply. Section 19.04.07 lists all of the permitted and conditional uses allowed in the RC zone. The proposed fitness center is larger than 5,000 square feet and is thus a conditional use in the RC zone. A conditional use application is required with the site plan application.

Minimum Lot Sizes: complies. The minimum lot size in the RC zone is 20,000 square feet. The subject lot is approximately two acres.

Setbacks and Yard Requirements: up for discussion. Section 19.04.22 outlines the setbacks requirements for the RC zone.

- i. **Front:** Not less than twenty feet.

***Complies.** The front of the building is the north elevation and will face West Commerce Drive. The plans indicate a 20 foot setback.*

- ii. **Sides:** Thirty feet where adjacent to a residential or agricultural zone, twenty feet when adjacent to all other zones. The City Council may reduce the side setback to ten feet if in its judgment the reduction provides a more attractive and efficient use of the property.

***Up for discussion.** The applicant is requesting a side yard setback of 10 feet on the west side of the building. West of the subject site is a detention basin for Walmart that will remain as green space and is approximately 60 feet wide. This creates a buffer on the west side of the building and reduces the need for a 20 foot side setback.*

- iii. **Rear:** Twenty feet for all uses except where a rear yard is located adjacent to a residential or agricultural zone. In those cases, the rear yard shall be increased to thirty feet. In the event that the rear of a building faces an arterial or collector street, there shall be a setback of forty feet.

***Complies.** The rear of the building will face the proposed parking lot and will also provide the main access to the building. The setback exceeds 20 feet. The applicant has stated that the north side of the building will be designed with a front façade.*

- i. Exceptions: The City Council may reduce no more than one setback requirement by up to ten feet if in its judgment the reduction provides a more attractive and efficient use of the property.

***Complies.** The applicant is only requesting one exception.*

- ii. Other general requirements: In addition to the specific setback requirements noted above, no building shall be closer than five feet from any private road, driveway, or parking space. The intent of this requirement is to provide for building foundation landscaping and to provide protection to the building. Exceptions may be made for any part of the building that may contain an approved drive-up window.

***Complies.** The proposed building is further than five feet from the private drive to the east that provides access to the site.*

Structure Height: complies. No structure in this zone shall be taller than 50 feet. *The conceptual rear elevation is attached and indicates a height of 32 feet.*

Maximum Lot Coverage: complies. The maximum lot coverage in this zone is fifty percent. The proposed site is 1.99 acre. The proposed building footprint is 15,000 square feet (0.34 acres).

Minimum Building Size: complies. Individual structures within this zone shall be a minimum of 1,000 square feet above grade. The proposed building is 20,000 square feet above grade.

Development Standards: The following development standards shall apply to the Regional Commercial Zone:

- a. Architectural Review. The Planning Commission shall review the Site Plan and building elevations. The Planning Commission may offer recommendations for Architectural design of buildings and structures to assure compatibility with adjacent development and the vision of the Land Use Element of the General Plan.

***Can comply.** The conceptual rear elevation is attached for review and comment. All four elevations will be submitted with the site plan application.*

- b. Landscaping.
 - i. Required front yard areas, and other yard areas facing a public street, shall have a landscaped area of not less than twenty feet (or as reduced in Subsection 5.b. above) as approved through the Site Plan review process.
 - ii. There shall be a minimum of ten feet of landscaping between parking areas and side or rear property lines adjacent to agricultural and residential land uses.
 - iii. All landscaping shall be completed in accordance with the approved Site Plan and shall be installed prior to the issuance of a Certificate of Occupancy for the building.
 - iv. The Building Official may approve exceptions as seasonal conditions warrant.
 - v. Any proposed change to the approved landscaping plan will require an amended Site Plan approval.
 - vi. It shall be the responsibility of the property owner to maintain all approved landscaping in accordance with the approved Site Plan and in compliance with the requirements of Chapter 19.06, Landscaping.

Can Comply.

- i. The front yard area along West Commerce Drive will include not less than 20 feet of landscaping.*
- ii. The site is not adjacent to agricultural or residential land uses.*
- iii. The landscaping shall be inspected prior to issuance of a certificate of occupancy.*

Uses Within Buildings: Complies. This section requires all uses to be conducted entirely within an enclosed building except for those deemed by the City Council to be customarily and appropriately conducted outside such as automobile refueling stations and gas pumps. *The proposed business is a fitness center. No outdoor uses are proposed.*

Trash storage: Reviewed with Site Plan application. Section 19.14.04.5. requires trash storage areas to be comparable with the proposed building and surrounding structures. *This will be reviewed with the site plan application as this information is not required for concept plan review. The trash storage area is identified on the concept plan and appears to include three foot landscape buffers on both sides.*

Buffering/Screening Requirements: Can comply. This section requires fencing or landscaping to buffer uses in the RC zone that abut Agricultural or residential uses. This section also requires a minimum number of both deciduous and evergreen trees. *There are not any abutting agricultural or residential uses. Landscape requirements will be reviewed with the site plan application as this information is not required for concept plan review.*

Landscaping Requirements: complies. Twenty percent of the total project area is required to be landscaped and all sensitive lands shall be protected. *The plans indicate 21.2% of the site will be landscaped. No sensitive lands have been identified within the project area.*

Sensitive Lands: complies. Sensitive lands shall not be included in the base acreage when calculating the number of ERUs permitted in any development. *This site does not have any sensitive lands.*

Parking: up for discussion. Section 19.09.11 requires specific numbers of parking stalls based on specific land uses and requires 6 stalls per 1000 square feet for fitness centers. *The concept plan indicates 5.3 parking stalls per 1000 square feet. The applicant has indicated that this requirement exceeds the requirements in other Cities and exceeds their needs based on typical use at their other sites and have submitted a request for a code amendment to reduce this requirement to 5 stalls per 1,000 square feet.*

Landscaping in Parking Areas: can comply. Section 19.09.08 lists landscaping requirements for parking areas. *The plans appear to meet the requirements, but they will be reviewed in further detail with the site plan application.*

H. Recommendation and Alternatives:

No official action should be taken. The Planning Commission should provide general direction and input to help the developer prepare for formal Site Plan application.

Staff recommends the following:

1. All requirements of the City Engineer shall be met, including those listed in the attached report.
2. All requirements of the Fire Chief shall be met.
3. That the Planning Commission and City Council discuss the requested side yard reduction.
4. The proposed number of parking stalls does not comply with the current code and the applicant has submitted a code amendment application to reduce this requirement. This will be a separate item on the same agenda as this concept plan.

I. Exhibits:

1. Engineering Staff Report
2. Location Map
3. Saratoga Wal-mart Subdivision
4. Concept Site Plan
5. Conceptual Rear Elevation

City Council Staff Report

Author: Jeremy D. Lapin, City Engineer
Subject: VASA Fitness
Date: January 1, 2015
Type of Item: Concept Plan Review



Description:

A. Topic: The applicant has submitted a concept plan application. Staff has reviewed the submittal and provides the following recommendations.

B. Background:

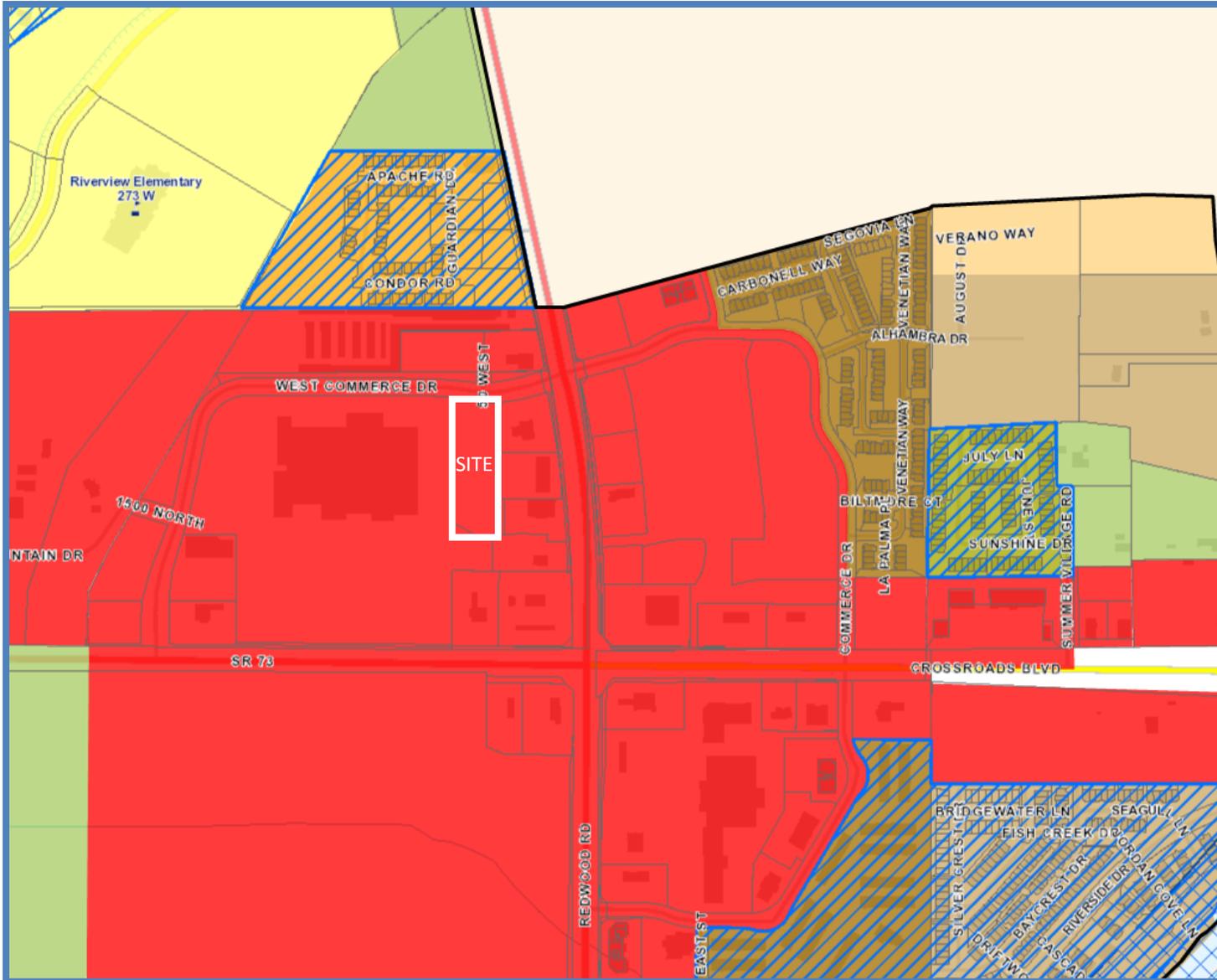
Applicant: HD Saratoga, LLC / Charlie Hammond
Request: Concept Plan
Location: 1523 N. Redwood Road
Acreage: 2.064 acres - 1 lot

C. Recommendation: Staff recommends the applicant address and incorporate the following items for consideration into the development of their project and construction drawings.

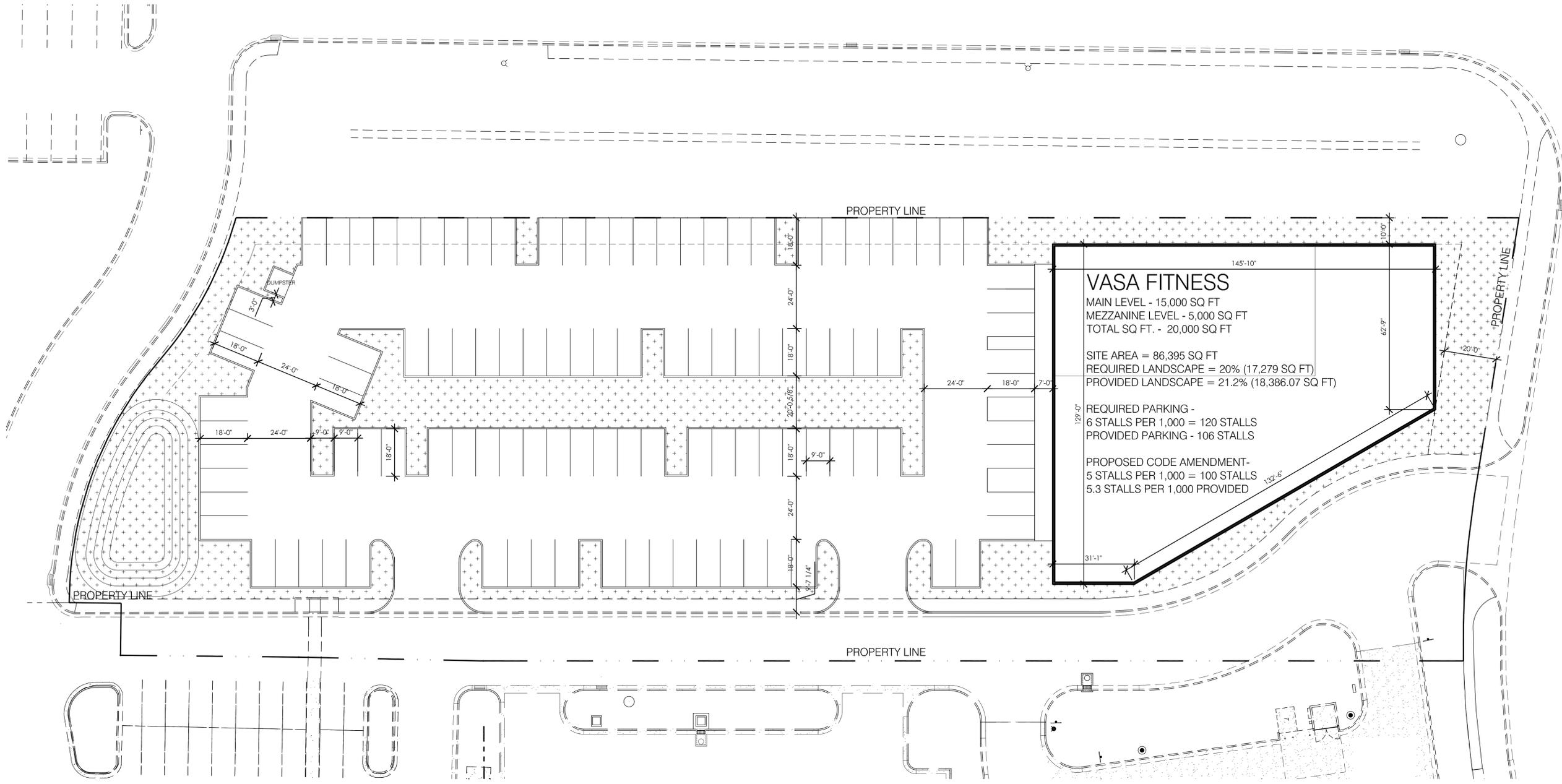
D. Proposed Items for Consideration:

- A. Prepare construction drawings as outlined in the City's standards and specifications and receive approval from the City Engineer on those drawings prior to receiving Final approval from the City Council.
- B. Consider and accommodate existing utilities, drainage systems, detention systems, and water storage systems into the project design. Access to existing facilities shall be maintained throughout the project.
- C. Comply with the Land Development Codes regarding the disturbance of 30%+ slopes.
- D. Incorporate a grading and drainage design that protects homes and buildings from upland flows.
- E. Project must meet the City Ordinance for Storm Water release (0.2 cfs/acre for all developed property) and all UPDES and NPDES project construction requirements. Water shall be cleaned to City Standards prior to discharge.

- F. Developer shall meet all applicable city ordinances and engineering conditions and requirements in the preparation of the Construction Drawings.
- G. Project bonding must be completed as approved by the City Engineer prior to recordation of plats.
- H. All review comments and redlines provided by the City Engineer are to be complied with and implemented into the construction drawings.
- I. All work to conform to the City of Saratoga Springs Standard Technical Specifications, most recent edition.
- J. Developer shall prepare and record easements to the City for all public utilities not located in a public right-of-way.
- K. Developer is required to ensure that there are no adverse effects to adjacent property owners and future homeowners due to the grading and construction practices employed during completion of this project.



ZONING / LOCATION MAP, PROPERTY IS ZONED RC



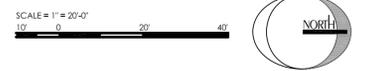
VASA FITNESS
 MAIN LEVEL - 15,000 SQ FT
 MEZZANINE LEVEL - 5,000 SQ FT
 TOTAL SQ FT. - 20,000 SQ FT

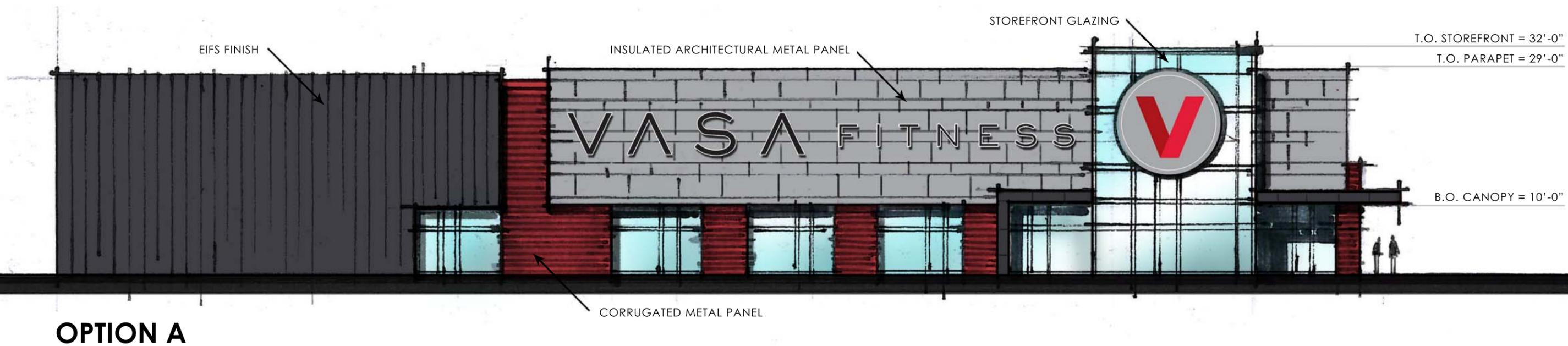
SITE AREA = 86,395 SQ FT
 REQUIRED LANDSCAPE = 20% (17,279 SQ FT)
 PROVIDED LANDSCAPE = 21.2% (18,386.07 SQ FT)

REQUIRED PARKING -
 6 STALLS PER 1,000 = 120 STALLS
 PROVIDED PARKING - 106 STALLS

PROPOSED CODE AMENDMENT -
 5 STALLS PER 1,000 = 100 STALLS
 5.3 STALLS PER 1,000 PROVIDED

VASA SARATOGA SITE PLAN





VASA FITNESS - CONCEPTUAL ELEVATIONS
SARTOGA SPRINGS, UTAH



City of Saratoga Springs
Planning Commission Meeting
January 8, 2015

Regular Session held at the City of Saratoga Springs City Offices
1307 North Commerce Drive, Suite 200, Saratoga Springs, Utah 84045

Planning Commission Minutes

Present:

Commission Members: Jeff Cochran, Jarred Henline, Sandra Steele, Kara North

Staff: Kimber Gabryszak, Sarah Carroll, Kevin Thurman, Jeremy Lapin, Nicolette Fike

Others: Charlie Hammond, Alan & Laurie Johnson, Rachel McKenzie, Blaine Hales, Dr. Brian McCune

Excused: Kirk Wilkins, Hayden Williamson

5. Public Hearing and Possible Recommendation: Revisions to the Land Development Code, Section 19.09.11, Required Parking.

Sarah Carroll presented the revisions. The applicant is requesting an amendment to reduce the required number of parking spaces for fitness centers. There was comparison to other cities the business was located in; they were all 5 per 1000 sq.ft. or less.

Charlie Hammond representing the developer commented that their peak business hours were different than peak hours for many other businesses, early morning and right after work, not generally a lunch or dinner time.

Public Hearing Open by Jeff Cochran

No input at this time.

Public Hearing Closed by Jeff Cochran

Jarred Henline had no issues with the code change.

Kara North appreciated having the comparisons to the other cities. She could see that 5 is not uncommon and would not be opposed.

Sandra Steele said she was opposed to it as it also includes the smaller fitness centers which don't have enough parking at this time. She asked the applicant if he was planning on putting in an elevator, if not it may be resolved.

Charlie Hammond answered that they had a mezzanine and were required to have an elevator.

Sandra Steele commented that they had discussed the needs of parking for businesses a few years ago and they found that fitness centers had the highest impact on parking. She thinks they are making a mistake to change it. If it had on-street parking or apt. buildings where people would be walking it may be different, but the majority of people would be driving and they will pull from Lehi, Eagle Mountain, and Bluffdale and they will need more parking.

Jeff Cochran did not really know how much parking was needed and appreciated staffs research. He asked if there was a concern that if another applicant took over the building, would they be under parked.

Sarah Carroll replied that it would depend on what would be proposed.

Kimber Gabryszak noted that they have spent a lot of time considering this and they recently put in place a change of use permit where if they didn't meet the requirement for parking they would have to find a way to meet the parking before approval.

Jeff Cochran asked the applicant if there were neighboring business they have contacted for shared stalls possibility.

Charlie Hammond responded that had and the restaurants are not in favor of it and Walmart has not responded. They have never seen that many stalls required in any other city they have developed in.

Jeff Cochran indicated that because of the work staff has done and shown tonight he is not opposed to the change.

Motion from Kara North, Based upon the evidence and explanations received today, I move to forward a positive recommendation to the City Council for the proposed amendment to Section 19.09.11 "Required Parking" to reduce the parking requirement for fitness centers from 6 stalls per 1,000 square feet to 5 stalls per 1,000 square feet, with the Findings and condition contained in the Staff Report. Seconded by Jarred Henline.
Aye: Jeffrey Cochran, Kara North, Jarred Henline. Nay: Sandra Steele. Motion carried 3-1.

6. Concept Plan for Vasa Fitness located at 1523 North Redwood Road, Charlie Hammond, applicant.

Sarah Carroll presented the Concept plan. They are requesting a setback reduction on the west side of the building. In this case there is a detention basin to the west that is a landscaped area. They are proposing a conceptual rear elevation which will be the entrance.

Sandra Steele asked the applicant what the distance from the lowest parapet to the roof was because they require all rooftop equipment be screened. She wanted to make him aware of it

Charlie Hammond said they put the roof on a slope with RTU's on the backside, so they are not visible from the street.

Sandra Steele asked if roof top equipment has an access from the inside. (Yes.) She asked that when he brings in the elevations that they show the percentage of each building material and give the lengths of the longer portions of each material to make sure they don't exceed the requirements. She thought the sign might exceed the height limit but won't know till they get the preliminary plat. She also noted that they need to have equal architectural treatment on all sides.

Kara North asked Sarah Carroll to explain the detention basin issue again to fully understand how the detention basin contributed to the setback reduction.

Sarah Carroll pulled up an aerial photo that showed the current detention basin with sod and trees, there will not be another building put within 20-40 feet of this property line.

Kara North noted setback reductions are not generally favored and thanked her for the clarification. She said generally she is impressed how they have made the transition from Gold's Gym to Vasa, she likes their facades and hopefully it will be an attractive benefit to our city.

Jarred Henline asked about the size of the facility.

Rachel McKenzie said this isn't an express version but it doesn't have pool or racquetball but has basic cardio and workout spaces. They are planning on opening as soon as they can.

Jarred Henline appreciated Commissioner Steele and Commissioner North's comments. Hopefully when they come back it will have everything they need to move forward.

Jeff Cochran asked staff about the detention basin on the plan, could those be combined with the larger current basin to perhaps increase parking.

Jeremy Lapin hadn't done much research on it but he thought the Walmart pond might not be down-stream enough to handle and also cleaning was sized to the one site and if they combined it might be hard. He said not to the west but possibly to the south or underground.

Jeff Cochran challenged the applicant to look at the parking again and see if they could possibly add a few more stalls.

Rachel McKenzie replied that the most efficient way to get more parking would be to have less drive, if they look at landscape as percentage wise, and eliminate some of the landscaping on the edge it might, but when they look into how to break it up they have more drives and lose more stall.

Jeff Cochran said as they come back he would encourage them to follow code to make the process easier. We are anxious to have a place like this in the community. We look forward to having you back.



City Council Memorandum

Author: Kimber Gabryszak, AICP
Memo Date: Tuesday, January 13, 2015
Meeting Date: Tuesday, January 20, 2015
Re: Riverbend Medical Conditional Use Permit and Site Plan

Background & Request

The applicant, Blaine Hales, is requesting approval of a CUP and Site Plan for the Riverbend Medical office building. The Planning Commission and City Council reviewed a concept plan in the fall of 2014, and the Planning Commission held a public hearing on January 8, 2015 and voted 3:1 to forward a positive recommendation to the City Council. The staff report, draft minutes, and the Report of Action from that meeting are attached. The Commission’s recommendation included several conditions of approval, including changes to the architecture. The applicant is working on these conditions and then will return to the Council for a decision, and Staff anticipates scheduling the decision for the February 3, 2015 Council meeting.

Process

There are a large number of items currently scheduled for the February 3, 2015 Council meeting. While architectural changes have not been finalized, staff has placed this item on the January 20, 2015 Council meeting for a work session in order to give the Council additional time to review and comment on the proposal and streamline the February 3, 2015 meeting. Staff requests comments and review on other items or issues with the application.

Recommendation

Staff recommends that the Council review the proposed site plan and CUP, and give staff and the applicant feedback on the proposal in preparation for a decision on February 3, 2015 or a later meeting.

Attachments

- A. Planning Commission Report dated January 8, 2015 (pages 2-36)
- B. Planning Commission Report of Action dated January 8, 2015 (pages 38-42)
- C. Colored Elevation Renderings (pages 43-46)
- D. Planning Commission Draft Minutes dated January 8, 2015 (pages 47-49)

(Please see page numbers on the left - page numbers on the right are pertinent only to the individual attachments.)



Site Plan and Conditional Use Permit

Riverbend Medical

January 8, 2015

Public Hearings

Table with 2 columns: Field Name and Value. Fields include Report Date, Applicant, Owner, Location, Major Street Access, Parcel Number(s) and size, General Plan Designation, Zone, Adjacent Zoning, Current Use, Adjacent Uses, Previous Meetings, Land Use Authority, Future Routing, and Planner.

A. Executive Summary:

The applicant, Blaine Hales on behalf of the property owner, is requesting approval of a Site Plan and Conditional Use Permit (CUP), for a ~9500 sq.ft. medical office building on a 1.6 acre parcel adjacent to Redwood Road in the Riverbend development.

Staff Recommendation:

Staff recommends that the Planning Commission conduct public hearings and take public comment, discuss the applications, and consider making a recommendation on the Site Plan and CUP applications to the City Council.

B. BACKGROUND:

The Riverbend commercial lots were approved in March of 2008 under the Riverbend Master Development Agreement (MDA). The property was zoned Mixed Use in anticipation of potential

mixed commercial, office, and residential development on the property, however the applicants wish to pursue only commercial.

Exhibit B-1 of the MDA requires the “southernmost mixed use building” to be constructed prior to any structures in Phase 4. The MDA was amended in July 2014 to extend the term and modify the remaining residential units from a townhome format to a two-family and three-family format; as part of that amendment, the mixed-use timeframe limitations were removed. Regardless, this building has been submitted for approval prior to or concurrently with the residential units in phase 4.

CONCEPT PLAN

The Planning Commission reviewed a concept plan for the proposed medical office on October 23, 2014 and the City Council reviewed the plan on November 18, 2014 (Exhibit 3). The City Council also approved a Rezone and General Plan Amendment to designate the property Neighborhood Commercial to facilitate the proposed use. Minutes from these meetings are attached (Exhibits 9 and 10).

UDC

The Urban Design Committee reviewed the application on November 7, 2014, at which time the architecture was reviewed more thoroughly. Their comments are below:

- White color – you can get too white. Ensure the white is not too glaring or stark. White can be reflective, hard to look at, e.g. white vinyl fences are glaring with sun on them. How will the white color look when things start rusting, dripping, showing water stains.
- Discussion on compatibility:
 - Compatible does not mean “the same”
 - The City should embrace some modern architecture
 - Scale is compatible
 - They do not want to see a large a larger version of the townhomes here
 - Times Square vs. this site – if this site gets ahead of Times Square in the process Times Square may have to be more compatible with this architecture
 - Variety can be a positive element in a City
- South/Rear elevation – concern that this elevation is too monotonous. Needs to be broken up through additional treatment.

The architect has since provided additional clarification:

- The white stucco was used to compliment and contrast with the other colors and materials used on the building. It communicates a clean, professional Health Care Facility, which has its own identity and recognition.
- We can add more rock to break the white.
- The rooftop mechanical will be concealed partially by the parapet walls. A screen will be around each unit. TBD
- All materials used will be located on each elevation.

C. SPECIFIC REQUEST:

The Site Plan is for an approximately 9596 sq.ft. medical office building with three separate units.

“Office, Medical” is a conditional use in the Neighborhood Commercial zone. The applicants have requested approval of a CUP along with the Site Plan.

D. PROCESS

Site Plan

Section 19.13 summarizes the processes for Site Plans, and 19.14 outlines the requirements for Site Plans.

The development review process for Site Plan approval involves a formal review of the request by the Planning Commission in a public hearing, with a formal recommendation forwarded to the City Council. The City Council will then formally approve or deny the site plan request in a public meeting.

Conditional Use

Sections 19.13 and 19.15 of the Code outline the process for new Conditional Uses, which follows the same process as a new Site Plan: public hearing and recommendation by the Planning Commission, and final action by the City Council.

E. COMMUNITY REVIEW:

The CUP and Site Plan applications have been noticed as public hearings in the *Daily Herald*, and mailed notice sent to all property owners within 300 feet at least 10 days prior to this meeting. As of the date of this report, no public input has been received.

F. GENERAL PLAN:

The site is designated as Neighborhood Commercial on the adopted Future Land Use Map. The goal and intent of this designation is below:

Neighborhood Commercial. The Neighborhood Commercial designation is intended to identify locations where small-scale neighborhood oriented commercial developments are to be located. These commercial developments are to provide goods and services that are used on a daily basis by the surrounding residents.

Tenant spaces in these areas shall be limited to 10,000 square feet. Neighborhood Commercial developments should be large enough to accommodate functioning traffic patterns but should not exceed 5 acres in size.

Parcels considered for this designation should be located in close proximity to residential areas where pedestrian activity between residents and the development is likely to occur. Improvements such as trails, seating and lighting that would help create gathering spaces and promote pedestrian activity are expected and shall be considered an essential part of developments in the Neighborhood Commercial areas.

Developments in these areas shall contain landscaping and recreational features as per the City’s Parks and Trails Element of the General Plan.

Staff analysis: Consistent. The applicant is requesting approval of a medical office development that would comply with the smaller building size and small-scale use as contemplated by the

Neighborhood Commercial land use designation. Trail connectivity and appropriate landscaping are proposed.

G. CODE CRITERIA:

19.04, Land Use Zones (reviewed according to NC zone) – **Complies**

- Use – medical office, Conditional Use in the zone.
- Setbacks – 25’ front/side/rear. 10’ reduction requested along Redwood Road. Complies if Council grants 10’ reduction.
- Lot width, depth, size, coverage – 100’ width/frontage, 50% coverage, 15,000 max size, complies
- Dwelling/Building size – maximum 15,000 sq.ft. per building. Complies at 9596 sq.ft.
- Height – 35’ maximum, complies
- Open Space / Landscaping – 25% required, 0.62 acres = ~44% provided
- Sensitive Lands – n/a
- Trash – provided

19.06, Landscaping and Fencing – **Complies with conditions**

- General Provisions
 - Automatic irrigation required
 - Sight triangles must be protected
 - All refuse areas (including dumpsters) must be screened
 - Tree replacement required if mature trees removed
- Landscaping Plan – provided
- Planting Standards & Design – complies
 - Tree size: complies. 2” caliper deciduous, 1.5” caliper decorative, 6’ height evergreen.
 - Shrub size: complies. Most are 5 gallon, exceeding the requirement for 25% to be 5 gallon.
 - Water conserving: complies. A number of drought tolerant species are proposed, and a large amount of rock beds with shrubs.
 - Rock limitation at shrub/tree base: complies. Mulch ring around trees and mulch area around shrub base provided.
- Amount - complies
 - Deciduous Trees: 7 for 15,000 sq.ft. plus 1 per additional 3000 sq.ft. of landscaped area.
 - $26,305 \text{ sq.ft.} = 7 + 3 = 10 \text{ trees}$
 - 26 provided
 - Evergreen Trees: 5 for 15,000 sq.ft. plus 1 per additional 3000 sq.ft. of landscaped area.
 - $26,305 \text{ sq.ft.} = 5 + 3 = 8$
 - 11 provided
 - Shrubs: 25 for 15,000 sq.ft. plus 1 per additional 3000 sq.ft. of landscaped area.
 - $26,305 = 25 + 3 = 28$
 - 148 provided
 - Turf: minimum of 25% required. 39.5% provided.
 - Planting and shrub beds: maximum of 75%. 60.5% provided.

- Fencing & Screening – **complies with condition to provide screening**
 - Opaque fence or wall required along eastern property line.
- 19.09, Off Street Parking – **Complies**
 - Dimensions – complies (9' x 18')
 - Accessible – complies
 - Provided
 - Landscaping – complies
 - Islands provided
 - 10' buffer / berm provided along exterior
 - 8' boundary strip provided along rest of parking area
 - Pedestrian Walkways & Accesses – complies
 - Site less than 75,000 sq. ft. so raised pedestrian walkways not required
 - Minimum Requirements – complies
 - Medical office requirement: 5 spaces per 1000 sq.ft.
 - 9596 sq.ft. = 48 stalls required
 - 58 stalls provided
- 19.11, Lighting: **Complies**
 - Parking lot fixture design: black, metal, decorative base, arm and bell shade
 - All fixtures: full cutoff
 - Lumen: complies with maximum level
- 19.14.03, Site Plan Development Standards: **Complies with conditions.**
 - Entire site included in site plan: complies.
 - Buffering and screening: complies with conditions. Solid fence or wall needed between residential and commercial sites.
 - Access requirements: complies with conditions requiring off-street loading space if deliveries are anticipated.
 - Utilities: complies.
 - Grading and drainage: complies.
 - Secondary Water System: complies.
 - Piping of Irrigation Ditches: n/a
 - Preliminary Condo Plat: n/a
- 19.14.04, Urban Design Committee: **Complies with conditions**
 - UDC meeting must be held prior to PC meeting. Complies.
 - Mechanical equipment shall be located or screened. Complies with condition to require screening.
 - Windows may be used as accents and trim; untreated metal prohibited. Complies as no untreated metal proposed.
 - Building lighting shielded and downward directed and no light trespass. Complies, lighting and photometric plans show acceptable light levels, and fixtures are shielded and downward directed.
 - Trash enclosure location, design, and shielding: complies with separation standard and is enclosed appropriately.

- Exterior materials of high quality: complies with condition that additional treatment be provided to rear of building.
- Landscaping shall comply with 19.06: complies. See analysis above.
- Parking Lot, Building, and Street Lighting shall comply with 19.11: complies. See analysis above

- **19.14.06.7 – Complies. See other specific code section analyses and exhibits.**
 - Considerations relating to traffic safety and congestion – see Engineer’s Report
 - Considerations relating to outdoor advertising – see signage section
 - Considerations relating to landscaping – see landscaping section
 - Considerations relating to buildings and site layout – see 19.04 section
 - The effect of the site development plan on the adequacy of the storm and surface water drainage – see Engineer’s Report
 - Adequate water pressure and fire flow – see Engineer’s report
 - Compliance with the General Plan, Code, and other regulations – see report Sections F & G

- 19.15, Conditional Use Permit.
 - The siting of the structure or use, and in particular:
 - the adequacy of the site to accommodate the proposed use or building and all related activities;
 - the location and possible screening of all outdoor activities;
 - the relation of the proposed building or use to any adjoining building with particular attention to protection of views, light, air, and peace and quiet;
 - the location and character of any display of goods and services; and
 - the size, nature, and lighting of any signs.

Staff analysis: complies. The proposed use is well below the maximum potential lot coverage percentage, well below maximum building size, and has provided extra parking to minimize impacts. No outdoor activities are proposed, no outdoor goods displayed, and all signage has been reviewed for compliance with the Sign Code.

 - Traffic circulation and parking, and in particular:
 - the type of street serving the proposed use in relation to the amount of traffic expected to be generated;
 - the adequacy, convenience, and safety of provisions for vehicular access and parking, including the location of driveway entrance and exits; and
 - the amount, timing, and nature of traffic generated by the proposed conditional use.

Staff analysis: complies. The proposal includes additional ADA parking as well as additional standard parking above and beyond the minimum requirements in the Code. Traffic circulation has been reviewed by the City Engineer and is sufficient.

 - The compatibility of the proposed conditional use with its environment, and in particular:
 - the number of customers or users and the suitability of the resulting activity level to the surrounding uses;
 - hours of operation;
 - adequacy of provisions for the control of any off-site effects such as noise, dust, odors, light, or glare, etc.;

- adequacy of provisions for protection of the public against any special hazards arising from the intended use;
 - the expected duration of the proposed building, whether temporary or permanent, and the setting of time limits when appropriate; and the degree to which the location of the particular use in the particular location can be considered a matter of public convenience and necessity.
 - *Staff analysis: complies. The road capacity is adequate for the anticipated vehicular impacts, and while vehicles will share the same access road as a residential neighborhood, the traffic generated by the use will not pass through this residential neighborhood. No additional detrimental impacts are anticipated.*
- The Conditional Use shall meet the following standards:
 - the use will not, under the circumstances of the particular case, be detrimental to the health, safety, or general welfare of persons residing or working in the vicinity, or injurious to property or improvements in the vicinity;
 - the use will be consistent with the intent of the land use ordinance and comply with the regulations and conditions specified in the land use ordinance for such use;
 - the use will be consistent with the character and purposes stated for the land use zone involved and with the adopted Land Use Element of the General Plan;
 - the use will not result in a situation which is cost ineffective, administratively infeasible, or unduly difficult to provide essential services by the City, including roads and access for emergency vehicles and residents, fire protection, police protection, schools and busing, water, sewer, storm drainage, and garbage removal; and
 - the proposed use will conform to the intent of the City of Saratoga Springs General Plan.

Staff analysis: complies. The use is consistent with the General Plan (Section F), and will not be detrimental to any persons. Increased impacts to City services will be negligible.

- When necessary, the land use authority may attach conditions to ensure compatibility with the surrounding area and to mitigate harmful effects. Such conditions may include the following:
 - additional parking;
 - water, sewer, and garbage facilities;
 - landscape screening to protect neighboring properties;
 - requirements for the management and maintenance of the facilities;
 - changes in layout or location of uses on the lot; and
 - any other condition the land use authority finds necessary to reasonably ensure that the proposed Conditional Use will comply with the standards noted above.

Staff analysis: not necessary to mitigate impacts. Adequate parking and water/sewer/garbage facilities are provided. Screening is provided. No changes in layout are necessary.

- The Land Use Authority shall make its decision based upon the facts presented for the record; expressions of support or protest alone shall not constitute the basis of approval or denial.

Staff analysis of 19.15: complies. All above items have been provided or addressed.

- 19.18, Signs. **Complies with modifications**
 - Monument sign: **complies**
 - Maximum height 7'6", height proposed 7'6"
 - Maximum display area 45 sq.ft., display area proposed 33 sq.ft.
 - Wall signs: **Complies with modifications**
 - 2 elevations permitted wall signs: complies. Only one façade is proposed to have signage.
 - One sign per tenant per elevation: complies with modification.
 - Each tenant is less than 9,999 sq.ft., thus each qualifies for one sign per elevation containing signage.
 - **Utah Valley Pediatrics proposes 2 signs; if the two signs are combined into one, this criterion will be met.**
 - Maximum size: 1 sq.ft. per 1 linear foot of each elevation. Elevation length ~107 feet. Total signage area 90.47 sq.ft.: overall complies.
 - Westlake Physical Therapy: 28.2 sq.ft.
 - Lakeview Family Medical: 26.9 sq.ft.
 - Utah Valley Pediatrics: 16 sq.ft. logo plus 19.37 sq.ft. letters, 35.37 sq.ft.
 - Maximum letter/graphic height: 3' (36 inches)
 - Westlake Physical Therapy: 28", complies
 - Lakeview Family Medical: 28", complies
 - Utah Valley Pediatrics: letters 27.75", **logo 48", too tall. Must be reduced to maximum of 36".**
 - Illumination: complies. Internally illuminations, with no visible light source.

H. Recommendation and Alternatives:

Staff recommends that the Planning Commission conduct a public hearing on the Site Plan and Conditional Use Permit, take public comment, discuss the applications, and then choose from the options outlined below:

Option 1, Positive Recommendations

"I move to forward positive recommendation to the City Council for the Riverbend Medical Site Plan and Conditional Use Permit, located on the ~1.63 parcel 51:508:0004, as identified in Exhibit 1 and proposed in Exhibits 4, 5, 6, and 7, with the Findings and Conditions in the staff report:"

Findings

1. The use is consistent with the General Plan Land Use Element, as articulated in Section F of the Staff report, which section is hereby incorporated by reference, as the proposed office use and scale are contemplated in the Neighborhood Commercial land use designation.
2. The Site Plan and Conditional Use comply with Section 19.04 of the Code, as articulated in Section G of the Staff report, which section is hereby incorporated by reference.
3. With modifications as conditions of approval, the Site Plan and Conditional Use comply with Section 19.06 of the Code, as articulated in Section G of the Staff report, which section is hereby incorporated by reference.

4. The Site Plan and Conditional Use comply with Section 19.09 of the Code, as articulated in Section G of the Staff report, which section is hereby incorporated by reference.
5. The Site Plan and Conditional Use comply with Section 19.11 of the Code, as articulated in Section G of the Staff report, which section is hereby incorporated by reference.
6. With modifications as conditions of approval, the Site Plan complies with Section 19.14 of the Code, as articulated in Section G of the Staff report, which section is hereby incorporated by reference.
7. The Conditional Use complies with Section 19.15 of the Code, as articulated in Section G of the Staff report, which section is hereby incorporated by reference.
8. With modifications as conditions of approval, the signage complies with Section 19.18 of the Code, as articulated in Section G of the Staff report, which section is hereby incorporated by reference.

Conditions:

1. All requirements of the City Engineer shall be met.
2. An opaque wall or fence of not less than six feet in height shall be erected between the existing residential development and the proposed site.
3. Loading space shall be provided, or verification that no deliveries are anticipated.
4. Additional architectural treatment shall be provided along the rear elevation to break up the façade and meet the requirement that all facades receive equal treatment.
5. The applicant shall work with the Riverbend HOA to finalize a maintenance agreement for the shared road.
6. The Utah Valley Pediatrics wall sign shall be reduced in graphic/letter height to 36" or less, and shall be combined into one sign of less than or equal to the maximum square footage.
7. Any conditions added by the Commission. _____
8. _____

Option 2, Continuance

"I move to **continue** the Site Plan and CUP to another meeting, with direction to the applicant and Staff on information and / or changes needed to render a decision, as follows:

1. _____
2. _____
3. _____

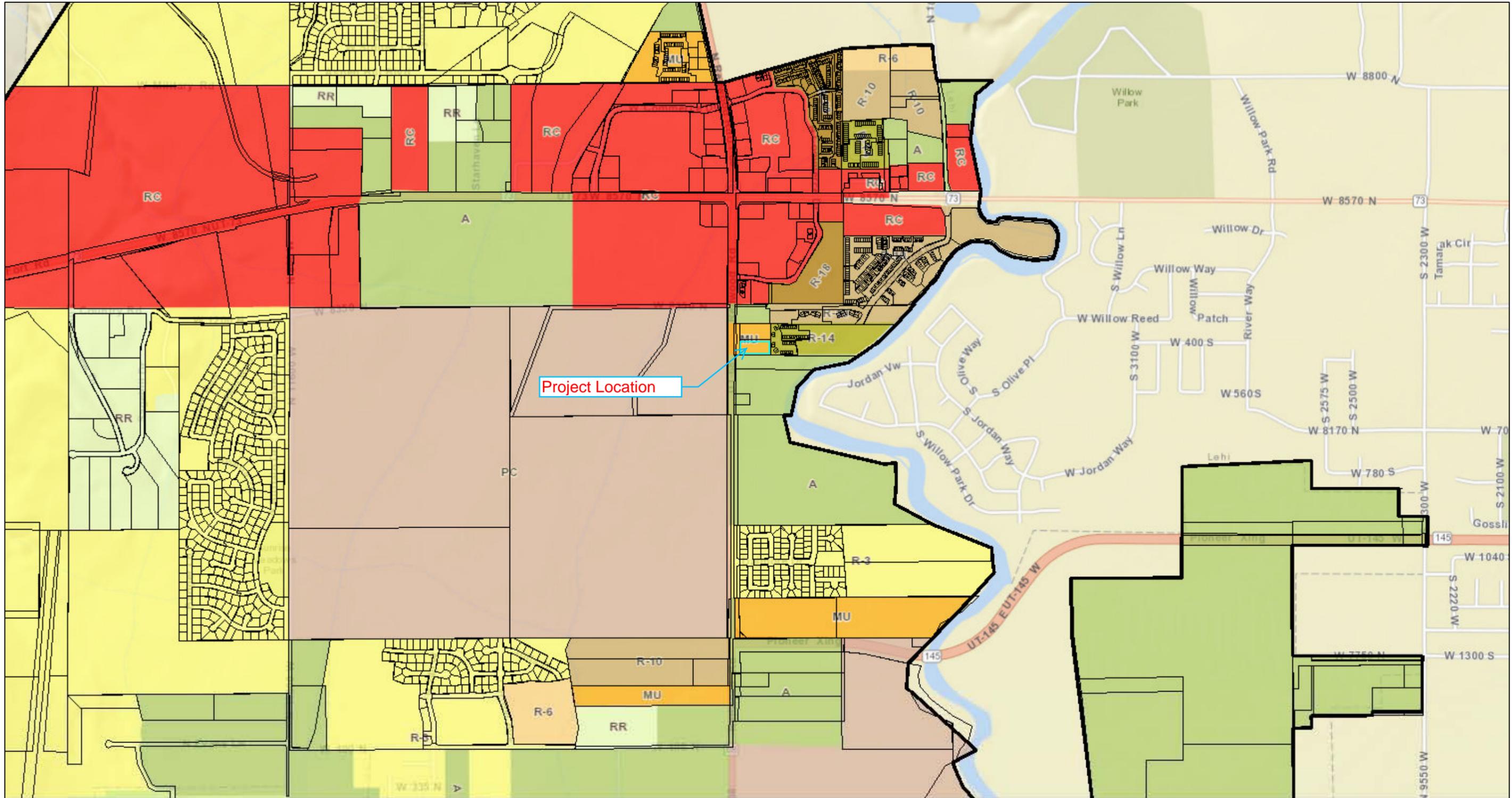
Option 3, Negative Recommendation

"I move to forward a negative recommendation to the City Council for the Riverbend Medical Site Plan and Conditional Use Permit, located on the ~1.63 parcel 51:508:0004, as identified in Exhibit 1 and proposed in Exhibit 4, with the Findings below:

1. The application does not comply with Code Section [19.04, 19.06, 19.09, 19.11, 19.13, 19.14, or 19.15) as articulated by the Commission:
 - a. _____
 - b. _____
 - c. _____

- I. Exhibits:**
1. Location & Zone Map (page 11)
 2. Aerial (page 12)
 3. Concept Plan (page 13)
 4. Site Plan (pages 14-23)
 - a. Cover
 - b. Demolition
 - c. Utility
 - d. Grading
 - e. Details
 - f. Context
 - g. Landscaping
 - h. Photometric
 - i. Lighting Fixtures / Details
 - j. Site Lighting Plan
 5. Elevations (pages 24-25)
 6. Signage Details (pages 26-29)
 7. Floor Plans (page 30)
 8. City Engineer's Report (pages 31-32)
 9. Planning Commission Minutes 10/23/2014 (pages 33-35)
 10. City Council Minutes 11/18/2014 (pages 36-37)

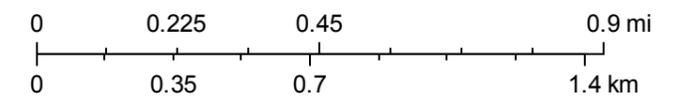
Zoning & Planning



October 15, 2014

1:18,056

- | | | |
|-------------------------------|-----------------------------------|--------------------------|
| City Parcels | R-3 - Low Density Residential | MU - Mixed Use |
| City Boundary | R-6 - Medium Density Residential | PC - Planned Community |
| A - Agricultural | R-10 - Medium Density Residential | RC - Regional Commercial |
| RA-5 | R-14 - High Density Residential | OW - Office Warehouse |
| RR - Rural Residential | R-18 - High Density Residential | |
| R-2 - Low Density Residential | NC - Neighborhood Commercial | |



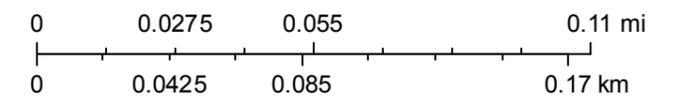
Sources: Esri, HERE, DeLorme, USGS, Intermap, increment P Corp., NRCAN, Esri Japan, METI, Esri China (Hong Kong), Esri (Thailand), TomTom, MapmyIndia, © OpenStreetMap contributors, and the GIS User Community



October 15, 2014

City Parcels

1:2,257

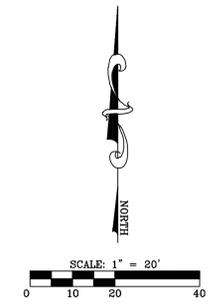


Source: Esri, DigitalGlobe, GeoEye, i-cubed, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AEX, Getmapping, Aerogrid, IGN, IGP, swisstopo, and the GIS User Community

SARATOGA SPRINGS PROFESSIONAL BUILDING

(LOT C-1 RIVERBEND COMMERCIAL PLAT)

Exhibit 3
Concept Plan



VICINITY MAP

LEI
A Utah Corporation
**ENGINEERS
SURVEYORS
PLANNERS**

3302 N. Main Street
Spanish Fork, UT 84660
Phone: 801.798.0555
Fax: 801.798.9393
office@lei-eng.com
www.lei-eng.com

TABLE OF CONTENTS

SHEET 1	CONCEPT PLAN
SHEET 2	EXISTING CONDITIONS

TABULATIONS

OVERALL AREA	1.38 ACRES
PERVIOUS AREA (OPEN SPACE)	0.61 ACRES (44%)
IMPERVIOUS AREA	0.56 ACRES (41%)
BUILDING AREA	0.21 ACRES (15%)
BUILDING SQ. FT.	9,596 SQ. FT.
PARKING REQ'D (5 PER 1000 SQ. FT.)	47 STALLS
PARKING PROVIDED	59 STALLS
REGULAR STALLS	53 STALLS
HANDICAP STALLS	3 STALLS
HANDICAP STALLS (PHYSICAL THERAPY)	3 STALLS
SENSITIVE LANDS	0.03 ACRES

- NOTES**
- ALL CONSTRUCTION TO BE IN ACCORDANCE WITH THE LATEST VERSION OF SARATOGA SPRINGS CITY STANDARDS AND SPECIFICATIONS.
 - CONTRACTOR TO VERIFY DEPTH AND LOCATION OF ALL UTILITIES SHOWN.
 - PRIOR TO COMMENCEMENT OF ANY WORK, A PRE-CONSTRUCTION MEETING WILL BE HELD WITH THE CITY ENGINEER, CHIEF BUILDING OFFICIAL, CITY INSPECTORS, THE CONTRACTOR, ALL SUBCONTRACTORS, AND THE PROPERTY OWNER.
 - ANY EXISTING SEPTIC SYSTEMS OR WELLS TO BE REMOVED/FILLED IN ACCORDANCE TO STATE STANDARDS.
 - AUTOMATIC IRRIGATION SYSTEM REQUIRED. TREE REPLACEMENT REQUIRED IF MATURE TREES ARE REMOVED.
 - ALL REFUSE AREAS (DUMPSTERS) MUST BE SCREENED.

LEGEND

EXISTING	
WATER METER	W-M
WATER VALVE	W-V
FIRE HYDRANT	F-H
SEWER	SS
SEWER MANHOLE	SS-M
STORM DRAIN	SD
STORM DRAIN MANHOLE	SD-M
STORM DRAIN CURB INLET	SD-C
PI	PI
PI VALVE	PI-V
FENCE	F
PROPOSED	
WATER	W
WATER VALVE	W-V
FIRE HYDRANT	F-H
SEWER	SS
SEWER MANHOLE	SS-M
STORM DRAIN	SD
STORM DRAIN MANHOLE	SD-M
STORM DRAIN CURB INLET	SD-C
PI	PI
PI VALVE	PI-V
SHED CURB & GUTTER	SCG
SENSITIVE LANDS AREA	SLA
FLOW ARROW	FA

REVISIONS

1	
2	
3	
4	
5	

LEI PROJECT #: 2014-1489
DRAWN BY: BAP
CHECKED BY: NKW
SCALE: 1" = 20'
DATE: 10/28/2014
SHEET 1

DEVELOPER / OWNER
BLAINE HALES
350 E CENTER ST. STE. 200
PROVO, UT. 84606
(801)377-7785

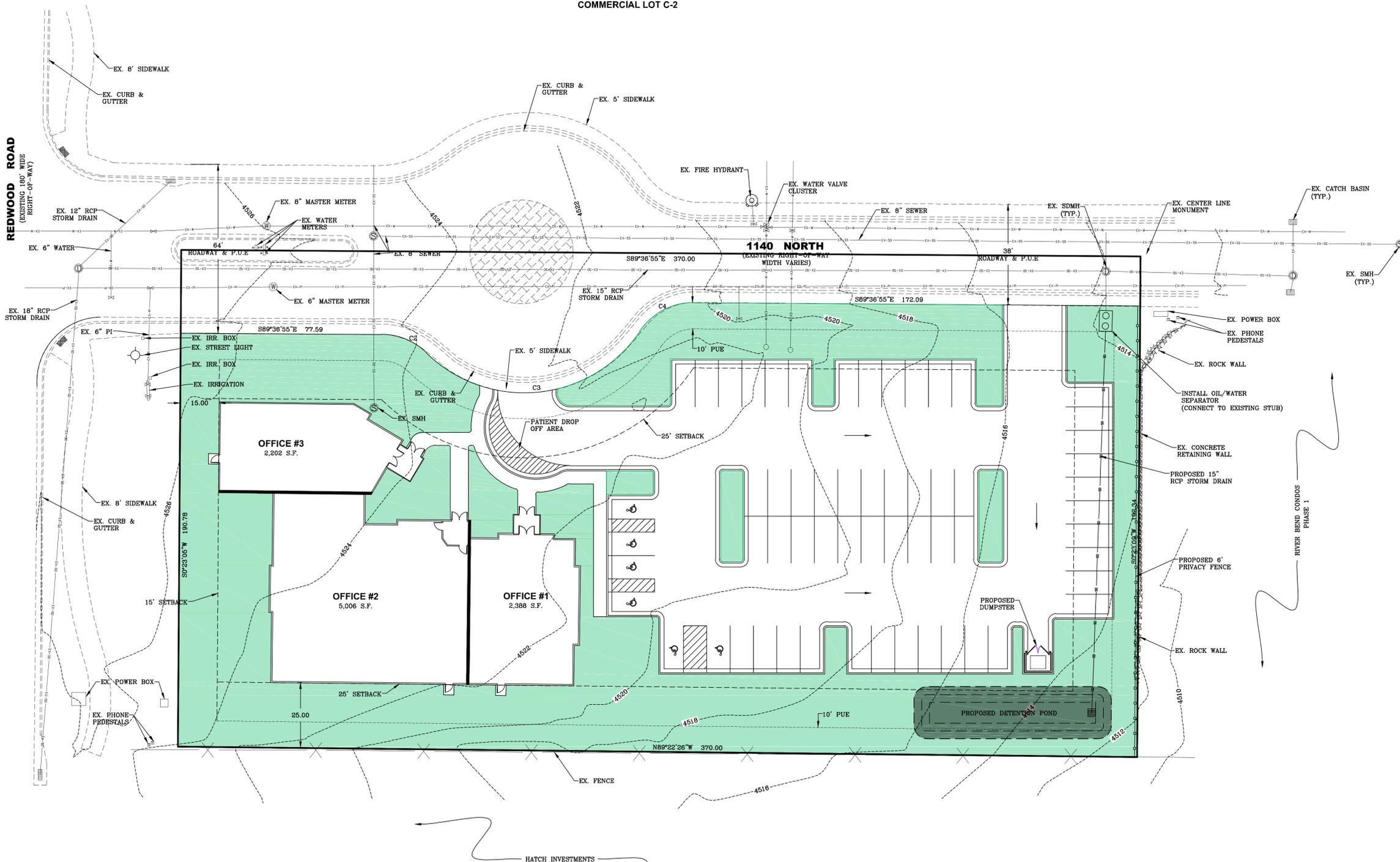
ENGINEER
LEI CONSULTING ENGINEERS
3302 NORTH MAIN
SPANISH FORK, UTAH 84660
(801)798-0555

PROJECT NAME
SARATOGA SPRINGS
PROFESSIONAL BUILDING LLC.

NOT FOR CONSTRUCTION

SARATOGA SPRINGS PROFESSIONAL BUILDING
SARATOGA SPRINGS, UTAH
CONCEPT PLAN

COMMERCIAL LOT C-2



CURVE TABLE

CURVE	RADIUS	DELTA	LENGTH	CHORD
C2	25.00	43°49'34"	19.12	N67°42'19"W 18.66
C3	54.00	99°58'44"	94.23	N84°13'03"E 82.72
C4	25.00	56°08'47"	24.50	S62°18'27"W 23.53

BOUNDARY DESCRIPTION

A portion of the Southwest Quarter of Section 14, Township 5 South, Range 1 West, Salt Lake Base & Meridian, located in Saratoga Springs, Utah, more particularly described as follows:
Beginning at a point located N0°37'34"E along the Quarter Section Line 876.11 feet and East 107.25 feet from the Center of Section 14, Township 5 South, Range 1 West, Salt Lake Base & Meridian; thence N0°23'05"E 190.78 feet; thence S89°36'55"E 370.00 feet thence S0°23'05"W 192.34 feet; thence N89°22'26"W 370.00 feet to the point of beginning.

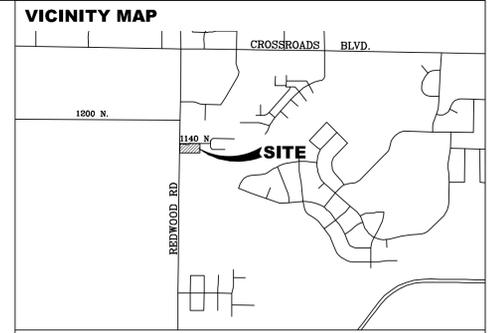
Contains: +1.38 Acres

U:\LAND DESKTOP\PROJECTS\2014\14-1489 BLAINE HALES SITE PLAN\DWG\14-1489 BLAINE HALES SITE PLAN 2 ADJUSTMENT.DWG 10/29/2014 4:11 PM

SARATOGA SPRINGS PROFESSIONAL BUILDING

(LOT C-1 RIVERBEND COMMERCIAL PLAT)

Exhibit 4
Proposed Site Plan



LEI
- A Utah Corporation -
**ENGINEERS
SURVEYORS
PLANNERS**
3302 N. Main Street
Spanish Fork, UT 84660
Phone: 801.798.0555
Fax: 801.798.9393
office@lei-eng.com
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TABLE OF CONTENTS

SHEET 1	COVER
SHEET 2	DEMOLITION PLAN
SHEET 3	UTILITY PLAN
SHEET 4	GRADING PLAN
SHEET 5	DETAILS
SHEET 6	CONTEXT/SITE ANALYSIS PLAN
LI	LANDSCAPE PLAN
II	IRRIGATION PLAN

TABULATIONS

OVERALL AREA	1.63 ACRES
EX. RIGHT-OF-WAY AREA	0.25 ACRES
SITE AREA	1.38 ACRES
PERVIOUS AREA (OPEN SPACE)	0.60 ACRES (43%)
IMPERVIOUS AREA (SITE)	0.57 ACRES (42%)
BUILDING AREA	0.21 ACRES (15%)

BUILDING SQ. FT.	9,596 SQ. FT.
PARKING REQ'D (5 PER 1000 SQ. FT.)	47 STALLS

PARKING PROVIDED	59 STALLS
REGULAR STALLS	53 STALLS
HANDICAP STALLS (ADA REQ'D)	3 STALLS
HANDICAP STALLS (PHYSICAL THERAPY REQ'D)	3 STALLS

SENSITIVE LANDS (DETENTION BASIN)	0.03 ACRES
-----------------------------------	------------

- NOTES**
- ALL CONSTRUCTION SHALL COMPLY TO THE STANDARD TECHNICAL SPECIFICATIONS AND DRAWINGS FOR THE CITY OF SARATOGA SPRINGS, UTAH. CONTRACTOR SHALL FIELD VERIFY LOCATIONS AND INVERT ELEVATIONS OF EXISTING STORM DRAIN STRUCTURES AND OTHER UTILITIES BEFORE STAKING OR CONSTRUCTING ANY NEW STORM DRAIN LINES.
 - PRIOR TO COMMENCEMENT OF ANY WORK, A PRE-CONSTRUCTION MEETING WILL BE HELD WITH THE CITY ENGINEER, CHIEF BUILDING OFFICIAL, CITY INSPECTORS, THE CONTRACTOR, ALL SUBCONTRACTORS, AND THE PROPERTY OWNER.
 - EXISTING UTILITIES HAVE BEEN NOTED TO THE BEST OF ENGINEERS KNOWLEDGE. IT IS OWNERS AND CONTRACTORS RESPONSIBILITY TO LOCATE UTILITIES IN FIELD AND NOTIFY ENGINEER AND CITY IF DISCREPANCIES EXIST.
 - THE CITY RESERVES THE RIGHT TO CONDUCT POST-INSTALLATION INSPECTIONS TO VERIFY COMPLIANCE WITH THE CITY'S REQUIREMENTS AND APPROVED LIGHTING PLAN COMMITMENTS, AND IF DEEMED APPROPRIATE BY THE CITY, TO REQUIRE REMEDIAL ACTION AT NO EXPENSE TO THE CITY.
 - ALL EXTERIOR LIGHTING SHALL MEET IESNA FULL-CUTOFF CRITERIA UNLESS OTHERWISE APPROVED BY THE CITY.
 - CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS AND LOCATION OF EXISTING UTILITIES PRIOR TO CONSTRUCTION.
 - ALL EXISTING FENCING WITHIN THE PROPOSED BOUNDARY TO BE REMOVED.
 - NO FLOOD PLAINS OR WETLANDS INDICATED BY FEMA WITHIN SITE LIMITS.
 - THE CITY RESERVES THE RIGHT TO CONDUCT POST-INSTALLATION INSPECTIONS TO VERIFY COMPLIANCE WITH THE CITY'S REQUIREMENTS AND APPROVED LIGHTING PLAN COMMITMENTS, AND IF DEEMED APPROPRIATE BY THE CITY, TO REQUIRE REMEDIAL ACTION AT NO EXPENSE TO THE CITY.
 - ALL EXTERIOR LIGHTING SHALL MEET IESNA FULL-CUTOFF CRITERIA UNLESS OTHERWISE APPROVED BY THE CITY.
 - PARKING LOT LIGHTS DESIGNED TO NOT SHINE ON THE CONDO PROJECT.
 - IRRIGATION PLAN TO BE PROVIDED FOLLOWING INITIAL COMMENTS FROM CITY ON THE LANDSCAPING PLAN.

LEGEND

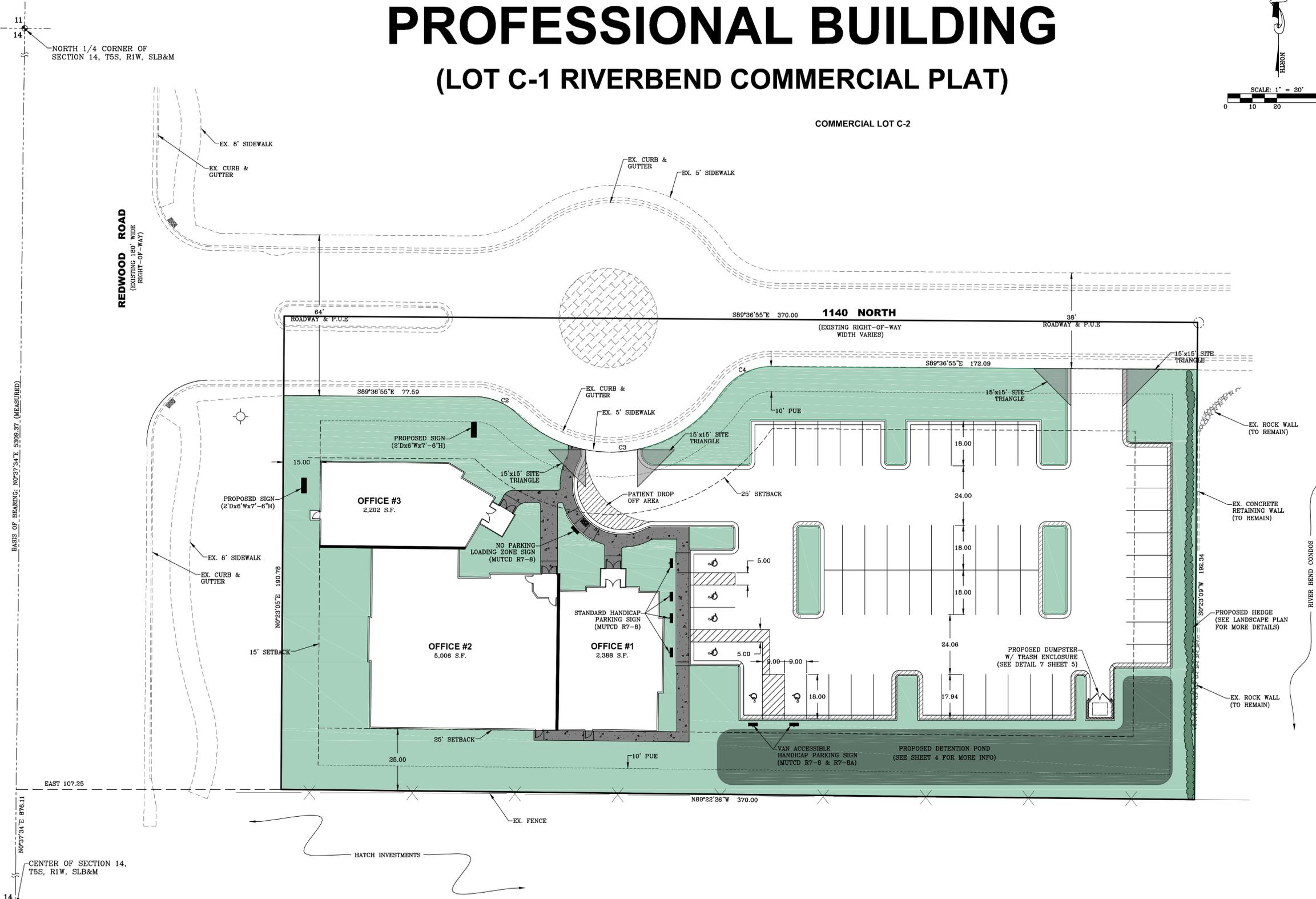
EXISTING	EXISTING	PROPOSED
WATER METER	W-M	W
WATER VALVE	EX-W	W
FIRE HYDRANT	EX-SS	SS
SEWER MANHOLE	EX-SD	SD
STORM DRAIN	EX-PI	PI
STORM DRAIN MANHOLE	EX-F	F
STORM DRAIN CURB INLET	EX-X	X
PI		
PI VALVE		
FENCE		
FLOW CURB & GUTTER		
SENSITIVE LANDS AREA		
NEW CONCRETE		
FLOW ARROW		

DEVELOPER / OWNER
BLAINE HALES
350 E CENTER ST. STE. 200
PROVO, UT 84606
(801)377-7785

ENGINEER
LEI CONSULTING ENGINEERS
3302 NORTH MAIN
SPANISH FORK, UTAH 84660
(801)798-0555

PROJECT NAME
SARATOGA SPRINGS
PROFESSIONAL BUILDING LLC.

PARKING STATEMENT
All applicable elements of section 19.09.07 with respect to accessible parking have been adhered to.



NORTH 1/4 CORNER OF SECTION 14, T5S, R1W, SLB&M

BASIS OF BEARING: N0°37'34"E 5909.37' (MEASURED)

N0°37'34"E 876.11'

CENTER OF SECTION 14, T5S, R1W, SLB&M

CURVE TABLE

CURVE	RADIUS	DELTA	LENGTH	CHORD
C2	25.00	43°49'34"	19.12	N67°42'19"W 18.66
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Contains: ±1.63 Acres

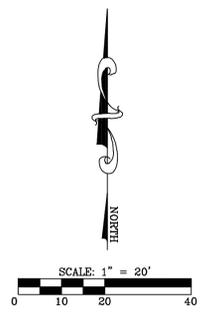
NOT FOR CONSTRUCTION

SARATOGA SPRINGS PROFESSIONAL BUILDING
SARATOGA SPRINGS, UTAH
COVER

REVISIONS

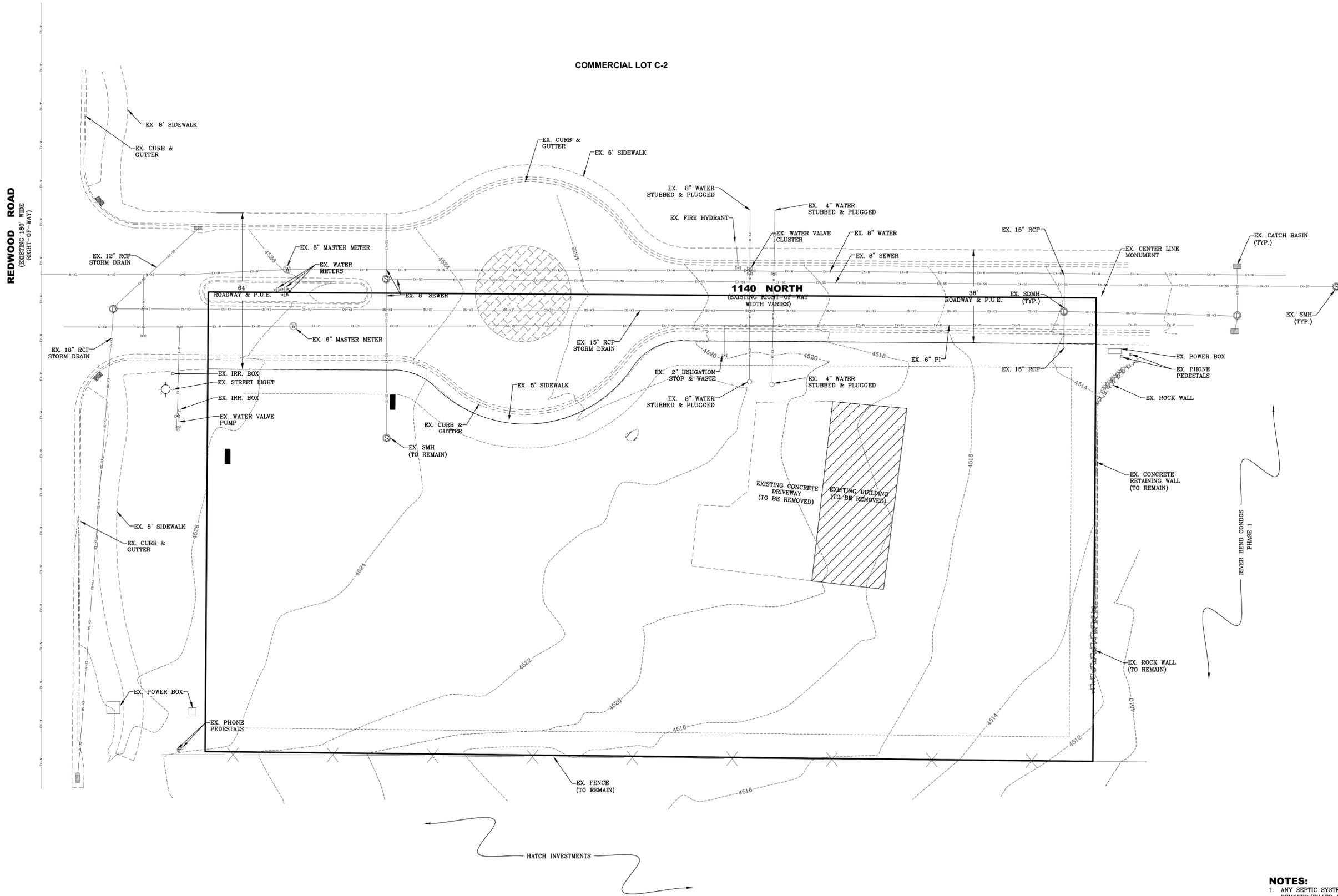
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LEI PROJECT #: 2014-1489
DRAWN BY: BAP
CHECKED BY: NKW
SCALE: 1" = 20'
DATE: 12/11/2014
SHEET 1
Page 14 of 37



NOT FOR
CONSTRUCTION

COMMERCIAL LOT C-2



SARATOGA SPRINGS PROFESSIONAL BUILDING
SARATOGA SPRINGS, UTAH
DEMOLITION PLAN

REVISIONS

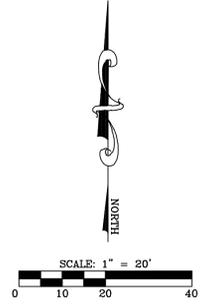
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LEI PROJECT #: 2014-1489
DRAWN BY: BAP
CHECKED BY: NKW
SCALE: 1" = 20'
DATE: 12/11/2014
SHEET

- NOTES:**
1. ANY SEPTIC SYSTEMS OR WELLS WILL NEED TO BE REMOVED/FILLED IN ACCORDANCE WITH STATE STANDARDS.
 2. CONTRACTOR TO VERIFY LOCATION OF EXISTING SEPTIC TANK & LEACH FIELD.

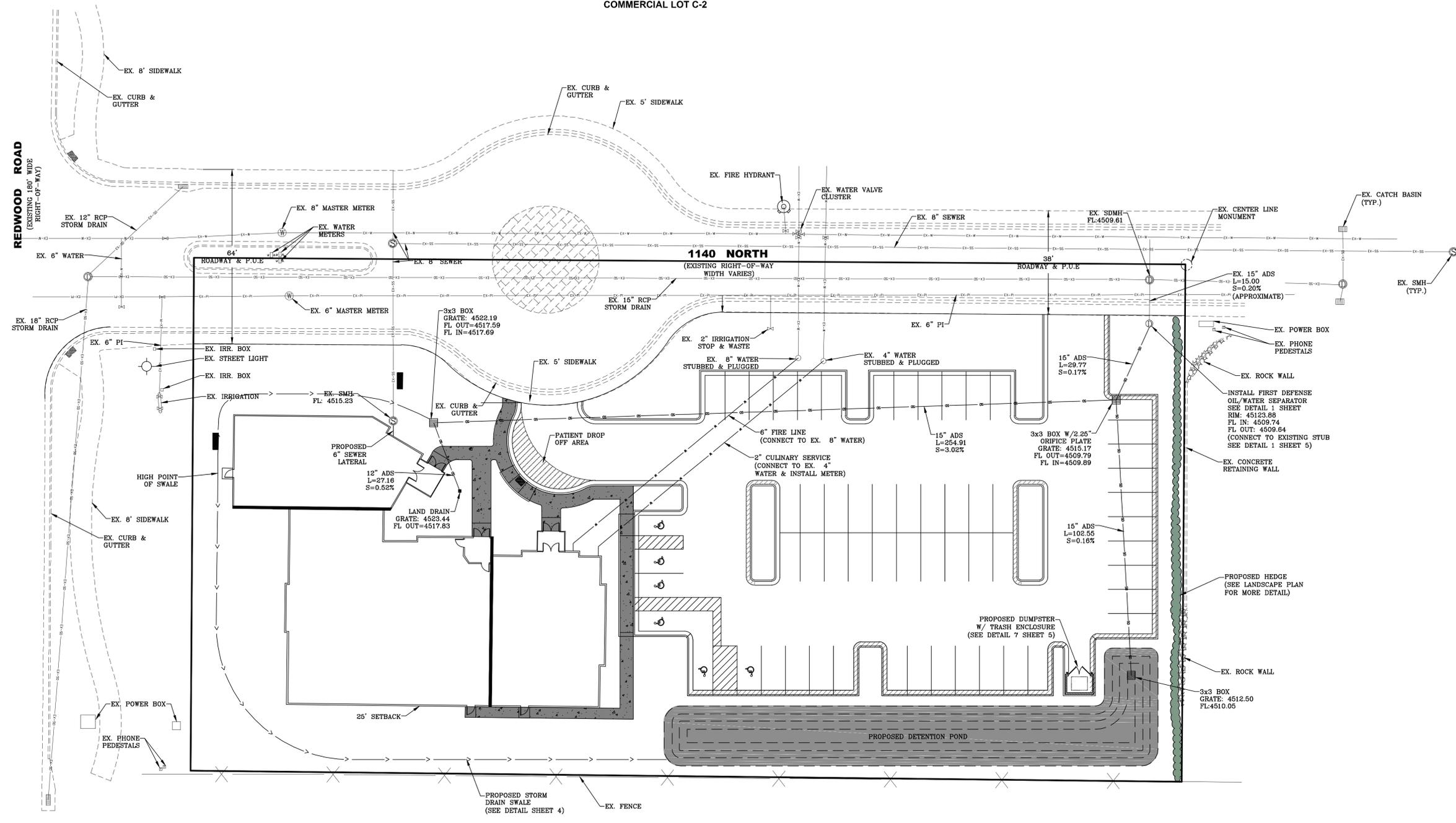
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4c



NOT FOR CONSTRUCTION

COMMERCIAL LOT C-2



SARATOGA SPRINGS PROFESSIONAL BUILDING
 SARATOGA SPRINGS, UTAH
UTILITY PLAN

REVISIONS	
1	
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LEI PROJECT #: 2014-1489
 DRAWN BY: BAP
 CHECKED BY: NKW
 SCALE: 1" = 20'
 DATE: 12/11/2014

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NOT FOR
CONSTRUCTION

SARATOGA SPRINGS PROFESSIONAL BUILDING
SARATOGA SPRINGS, UTAH

DETAILS

NO.	REVISIONS
1	
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LEI PROJECT #:
2014-1489
DRAWN BY:
BAP
CHECKED BY:
NKW
SCALE:
N.T.S.
DATE:
12/11/2014

SHEET

NOTES:

- DESIGNED FOR AASHTO HS-20 LOADING.
- DESIGNED ACCORDING TO ASTM C857-87 AND ASTM C858-83.
- ALL SUMPS TO BE GROUTED WITH FLOW CHANNELS FORMED INTO THE BOTTOM OF THE BOX TO MINIMIZE DEBRIS ACCUMULATION.
- BICYCLE SAFE GRATES ONLY. PROVIDE TYPE 13 "A" GRATE, D&L 1-3516, OR TYPE 16 "L" GRATE, D&L 1-3517.
- POUR CONCRETE COLLARS AROUND CIRCUMFERENCE OF PIPE ON EXTERIOR OF BOX.
- USE NON-SHRINK GROUT AROUND CIRCUMFERENCE OF PIPE ON INTERIOR OF BOX.

GRATES

ITEM	HT.	WT.
1	16"	13.500
2	13"	11.500
3	10"	9.500
4	8"	7.500
5	6"	5.500
6	4"	3.500

BASE

ITEM	HT.	WT.
1	16"	13.500
2	13"	11.500
3	10"	9.500
4	8"	7.500
5	6"	5.500
6	4"	3.500

STANDARD DETAILS
ST-6

NOTES:

REPLACEMENT IS REQUIRED IF ANY COMPONENT HAS ONE OR MORE OF THE CONDITIONS NOTED ABOVE. OTHERWISE, REPAIR SECTION UNDER THE DIRECTION OF THE CITY ENGINEER.

DEFECTIVE CONCRETE REPLACEMENT CRITERIA

DATE	REV	DATE BY	REVISIONS
APRIL 2014	1	ETL	ISSUED FOR PERMITS

STANDARD DETAILS
ST-6

NOTE:
MULTIPLE INLETS ARE POSSIBLE, BUT A 90° OR GREATER ANGLE BETWEEN ALL PIPES MUST BE MAINTAINED.

Parts List

ITEM	SIZE	DESCRIPTION
1	48 in	I.D. CONCRETE MANHOLE
2		INLET CHUTE (W/ FLOATABLES TRAP)
3		OUTLET CHUTE
4	18 in (MAX)	INLET PIPE (BY OTHERS)
5	18 in (MAX)	OUTLET PIPE (BY OTHERS)
6		HIGH FLOW BYPASS
7	30 in	FRAME AND GRATE OR SOLID COVER

EQUIPMENT PERFORMANCE

THE STORMWATER TREATMENT UNIT SHALL ADHERE TO THE HYDRAULIC PARAMETERS GIVEN IN THE CHART BELOW AND PROVIDE THE REMOVAL EFFICIENCIES AND STORAGE CAPACITIES AS FOLLOWS:

PEAK HYDRAULIC FLOW: 6.0 cfs
SEDIMENT STORAGE CAPACITY: 1 Cu. yd.
OIL STORAGE CAPACITY: 180 Gal

4' FIRST DEFENSE GENERAL CONFIGURATION

DATE: 09-28-11 PROJECT:
DRAWN: JM SCALE: 1/4" = 1'
CHECKED: PAGE: 1 OF 1

Hydro International
5101 W 91st

ADS
ADVANCED DESIGN SYSTEMS, INC.

TECHNICAL SERVICES
70 WOOD ROAD, SUITE 3
ROCKY HILL, CT 06067
P: 888-992-2894
F: 860-328-8401

STANDARD DETAILS
ST-2

3 GUTTER INLET BOX DETAIL

2 DEFECTIVE CONCRETE REPLACEMENT DETAIL

1 OIL/WATER SEPARATOR DETAIL

NOTES:

- ENCLOSURE SHALL BE 6' TALL MIN.
- ENCLOSURE DIMENSIONS MAY VARY DEPENDING UPON INTENDED USE.

RECEIVING BOLLARDS (TYP.)
TRASH ENCLOSURE
HEAVY DUTY CONCRETE REQ'D

REVISIONS

NO.	REVISIONS
1	
2	
3	
4	
5	

LEI PROJECT #:
2014-1489
DRAWN BY:
BAP
CHECKED BY:
NKW
SCALE:
N.T.S.
DATE:
12/11/2014

7 TRASH ENCLOSURE DETAIL

PERPENDICULAR PEDESTRIAN RAMP

PARALLEL PEDESTRIAN RAMP

SECTION B-B

SECTION C-C

NOTES:

- CONFIGURATION OF RAMPS AND LANDINGS MAY BE CHANGED BUT MUST MEET PEDESTRIAN RAMP DIMENSION AND SLOPE REQUIREMENTS. SPECIFIC SITE CONDITIONS WILL VARY. THE USE OF FLARES, CURB WALLS, ETC. ARE AT THE DISCRETION OF THE ENGINEER.
- PERPENDICULAR AND PARALLEL PEDESTRIAN RAMPS SHOWN ON THIS DRAWING ARE ACCEPTABLE FOR USE AT MID-BLOCK OR CORNER INSTALLATIONS. REFER TO STD DWG ST-5C, 5D AND ST-5C FOR EXAMPLES OF CORNER INSTALLATIONS.
- PROVIDE DETECTABLE WARNING SURFACE FOR FULL WIDTH OF RAMP, LANDING, OR CURB CUT. SEE DETAIL A, DWG SA, FOR DETECTABLE WARNING SURFACE DIMENSIONS.
- LOCATE DETECTABLE WARNING SURFACE SO THAT THE EDGE NEAREST THE STREET IS 6" TO 8" FROM THE CURB LINE.
- PROVIDE DETECTABLE WARNING SURFACE THAT CONTRASTS WITH ADJACENT WALKING SURFACE, EITHER LIGHT-ON-DARK OR DARK-ON-LIGHT. ACCEPTABLE COLORS INCLUDE: YELLOW.
- USE CLASS AA(A) CONCRETE.
- UNTREATED BASE COURSE UNDER ALL CONCRETE FLATWORK.

SLOPE TABLE

ITEM	MAX. RUNNING SLOPE	MAX. CROSS SLOPE
(1) LANDING	2% (1V:48H) (C)	2% (1V:48H) (C)
(2) RAMP	8.33% (1V:12H) (C)	2% (1V:48H) (C)
(3) TRANSITION	5% (1V:20H) (C)	2% (1V:48H) (C)
(4) SIDEWALK	2% (1V:48H)	2% (1V:48H)
(5) FLARE	10% (1V:10H)	--

EXCEPTION:
(1) SLOPE REQUIREMENTS DO NOT APPLY AT MID-BLOCK CROSSINGS.
(2) PARALLEL RAMPS ARE NOT REQUIRED TO EXCEED 15'-FEET IN LENGTH.
(3) CROSS SLOPE REQUIREMENT DOES NOT APPLY AT PERPENDICULAR RAMP MID-BLOCK CROSSINGS.

HANDICAP ACCESSIBLE RAMP

DATE	REV	DATE BY	REVISIONS
APRIL 2014	1	ETL	ISSUED FOR PERMITS

STANDARD DETAILS
ST-5B

6 HANDICAP ACCESSIBLE RAMP DETAIL

DRIVE APPROACH DIMENSIONS

DIMENSION	LENGTH ACCORDING TO ZONE
W	10'-0" MIN. RESIDENTIAL ZONES 20'-0" MAX. RESIDENTIAL ZONES 30'-0" MAX. COMMERCIAL/INDUSTRIAL ZONES
T	0'-6" RESIDENTIAL ZONES 0'-8" INDUSTRIAL/COMMERCIAL ZONES

SLOPE TABLE

DIMENSION	ZONE
(1)	2% MAX. RESIDENTIAL ZONE 6% MAX. INDUST. AND COMM. ZONE
(2)	3% MAX. RESIDENTIAL ZONE 6% MAX. INDUST. AND COMM. ZONE
(3)	1.5% MAX. RESIDENTIAL ZONE 6% MAX. INDUST. AND COMM. ZONE

NOTES:

- EDGE CONCRETE WITH 1/2" RADIUS EDGING TOOL.
- PLACE 1/2" EXPANSION JOINT BETWEEN DRIVEWAY APRON AND CURB AND IN THE DRIVEWAY CENTERLINE IF "W" IS GREATER THAN 20'. FILLER MATERIAL SHALL BE FULL DEPTH OF CONCRETE PLUS 1", WITH TOP SET FLUSH WITH TOP OF CONCRETE.
- USE UNTREATED ROADBASE UNDER CURB, GUTTER AND SIDEWALK. COMPACT TO 95% OF THE MAXIMUM DRY DENSITY.
- DIFFERENCE IN SLOPE OF DRIVEWAY RAMP AND THE SLOPE OF A LINE BETWEEN THE GUTTER AND A POINT ON THE ROADWAY 5' FROM THE FRONT EDGE OF THE GUTTER SHALL NOT EXCEED 15%. REDUCE DRIVEWAY RAMP SLOPE, NOT GUTTER SLOPE, WHERE REQUIRED.
- ALL CONCRETE SLABS WITH A LENGTH/WIDTH RATIO GREATER THAN 2:1 SHALL HAVE CONTRACTION JOINTS INSTALLED AS REQUIRED TO STAY WITHIN 2:1 RATIO.
- BACK EDGE OF SIDEWALK TO BE SET AT AN ELEVATION 2% HIGHER THAN THE TOP BACK OF CURB.
- SIDEWALK TO BE A MINIMUM OF 5 FEET WIDE UNLESS OTHERWISE SPECIFIED.
- MATERIALS, CONSTRUCTION, AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH CITY'S STANDARD SPECIFICATIONS.

FLARE DRIVEWAY APPROACH

DATE	REV	DATE BY	REVISIONS
APRIL 2014	1	ETL	ISSUED FOR PERMITS

STANDARD DETAILS
ST-4

5 FLARED DRIVEWAY APPROACH DETAIL

RESIDENTIAL 30" HIGH BACK CURB AND GUTTER
FOR USE ON ARTERIALS & COLLECTORS

COMMERCIAL 30" HIGH BACK CURB AND GUTTER
FOR USE ON ARTERIALS & COLLECTORS

RESIDENTIAL 24" HIGH BACK CURB AND GUTTER
FOR USE IN LOCAL & MINOR COLLECTORS

COMMERCIAL 24" HIGH BACK CURB AND GUTTER
FOR USE IN LOCAL & MINOR COLLECTORS

6" CURB WALL

FALL-OUT CURB AND GUTTER

NOTES:

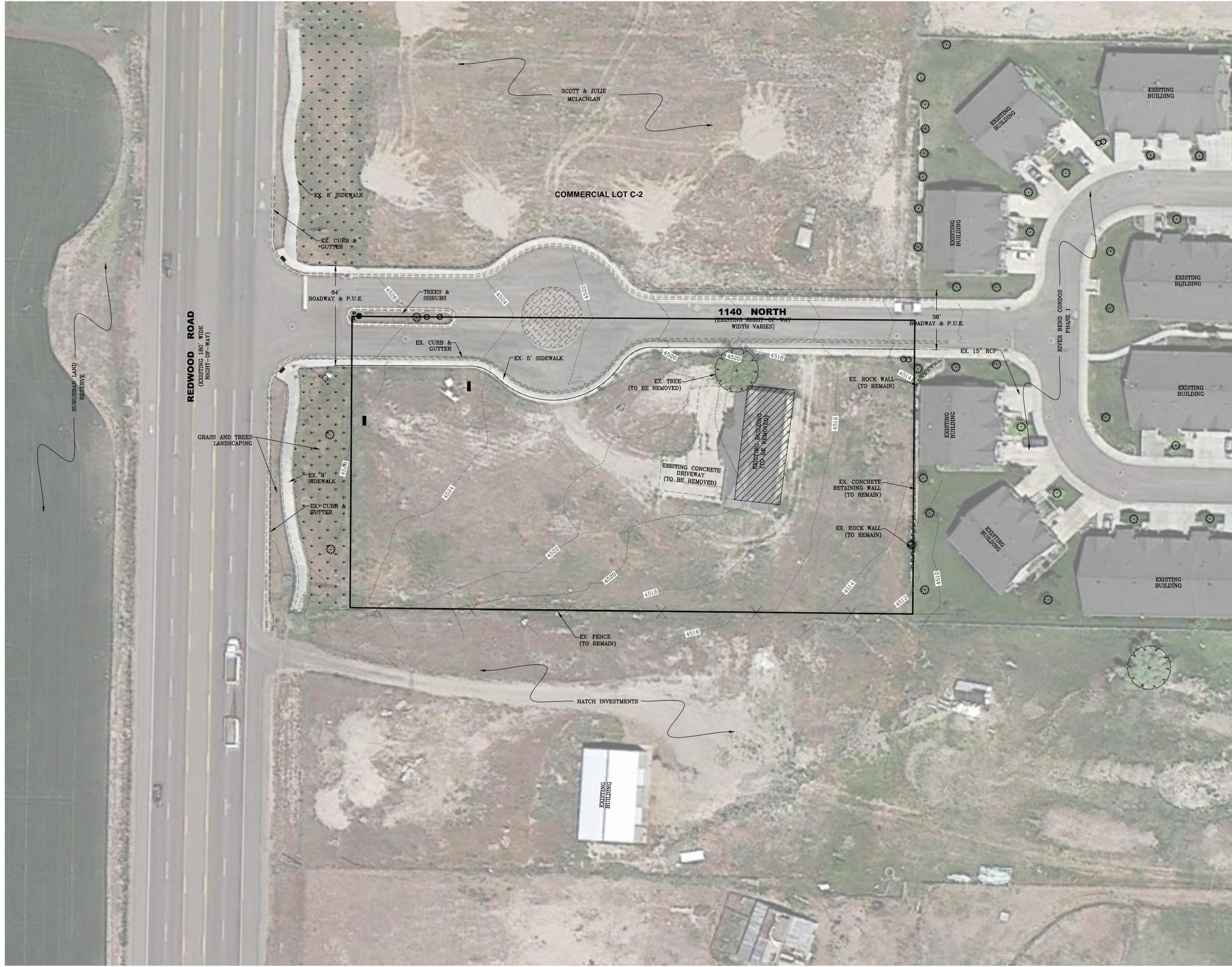
- EDGE CONCRETE WITH 1/2" RADIUS EDGING TOOL.
- PLACE 1/2" EXPANSION JOINT BETWEEN DRIVEWAY APRON AND CURB AND IN THE DRIVEWAY CENTERLINE IF "W" IS GREATER THAN 20'. FILLER MATERIAL SHALL BE FULL DEPTH OF CONCRETE PLUS 1", WITH TOP SET FLUSH WITH TOP OF CONCRETE.
- USE UNTREATED ROADBASE UNDER CURB, GUTTER AND SIDEWALK. COMPACT TO 95% OF THE MAXIMUM DRY DENSITY.
- DIFFERENCE IN SLOPE OF DRIVEWAY RAMP AND THE SLOPE OF A LINE BETWEEN THE GUTTER AND A POINT ON THE ROADWAY 5' FROM THE FRONT EDGE OF THE GUTTER SHALL NOT EXCEED 15%. REDUCE DRIVEWAY RAMP SLOPE, NOT GUTTER SLOPE, WHERE REQUIRED.
- ALL CONCRETE SLABS WITH A LENGTH/WIDTH RATIO GREATER THAN 2:1 SHALL HAVE CONTRACTION JOINTS INSTALLED AS REQUIRED TO STAY WITHIN 2:1 RATIO.
- BACK EDGE OF SIDEWALK TO BE SET AT AN ELEVATION 2% HIGHER THAN THE TOP BACK OF CURB.
- SIDEWALK TO BE A MINIMUM OF 5 FEET WIDE UNLESS OTHERWISE SPECIFIED.
- MATERIALS, CONSTRUCTION, AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH CITY'S STANDARD SPECIFICATIONS.

CURB & GUTTER DETAILS

DATE	REV	DATE BY	REVISIONS
APRIL 2014	1	ETL	ISSUED FOR PERMITS

STANDARD DETAILS
ST-2

4 CURB & GUTTER DETAILS



4f



LEI
 - A Utah Corporation -
ENGINEERS
SURVEYORS
PLANNERS
 3302 N. Main Street
 Spanish Fork, UT 84660
 Phone: 801.798.0555
 Fax: 801.798.9393
 office@lei-eng.com
 www.lei-eng.com

NOT FOR
 CONSTRUCTION

SARATOGA SPRINGS PROFESSIONAL BUILDING
 SARATOGA SPRINGS, UTAH
CONTEXT/SITE ANALYSIS PLAN

LEGEND

	LARGE TREE
	SMALL TREE
	PINE TREE
	SHRUBS
	GRASS

REVISIONS

1	
2	
3	
4	
5	
6	

LEI PROJECT #: 2014-1489
 DRAWN BY: BAP
 CHECKED BY: NKW
 SCALE: 1" = 20'
 DATE: 12/11/2014

U:\LAND DESKTOP PROJECTS\2014\14-1489 BLAINE HALES SITE PLAN\DWG\14-1489 BLAINE HALES SITE PLANNING 12/10/2014 4:59 PM

4h

DRAWN BY LRM

SITE PHOTOMETRIC PLAN



3520 N UNIVERSITY AVENUE #200, PROVO UT 84604 | 801-377-5303 | WWW.HARRIS-ARCHITECTURE.COM

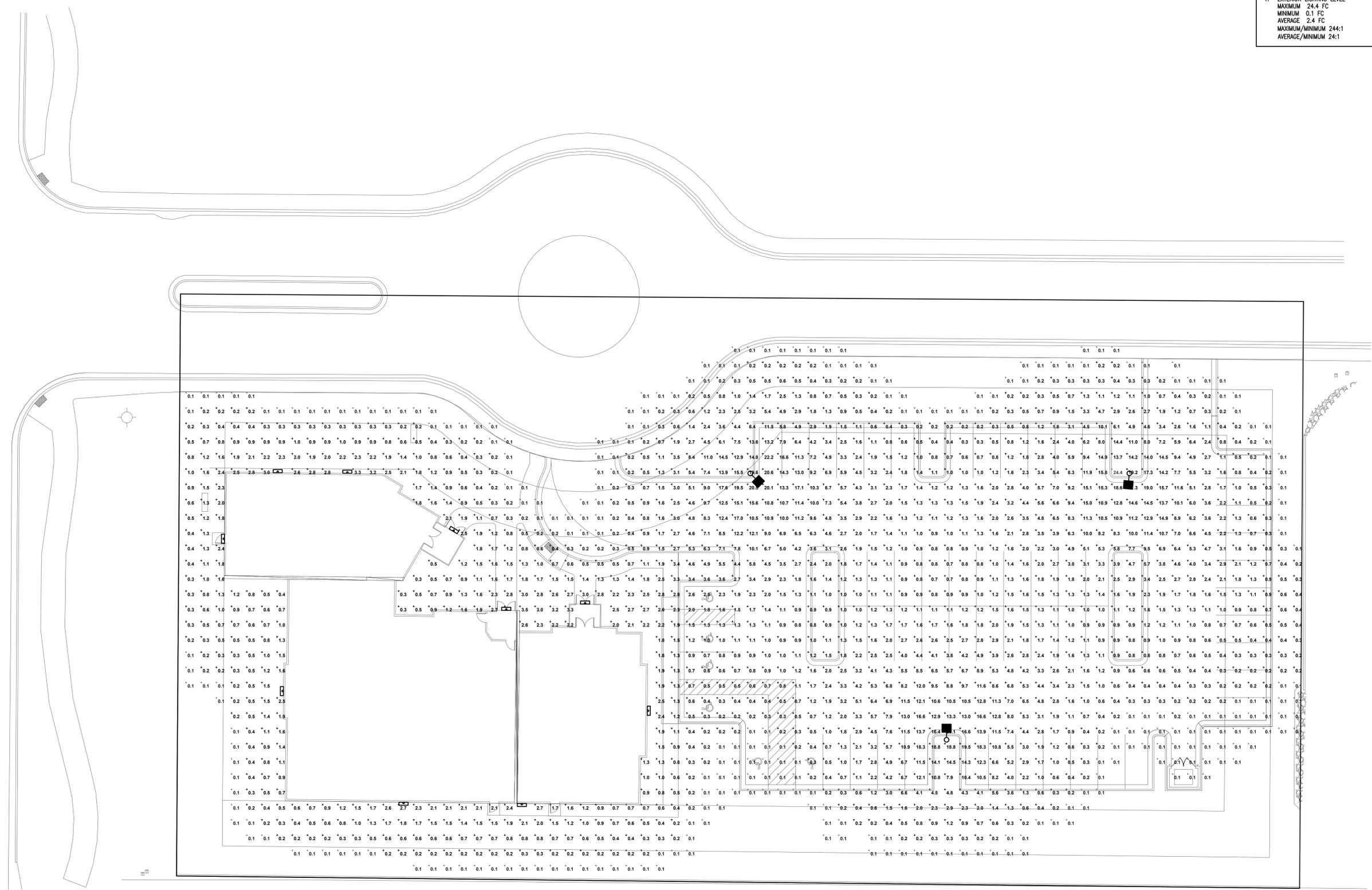
RIVERBEND OFFICE COMPLEX

12/23/2014

E301

ELECTRICAL GENERAL NOTES:

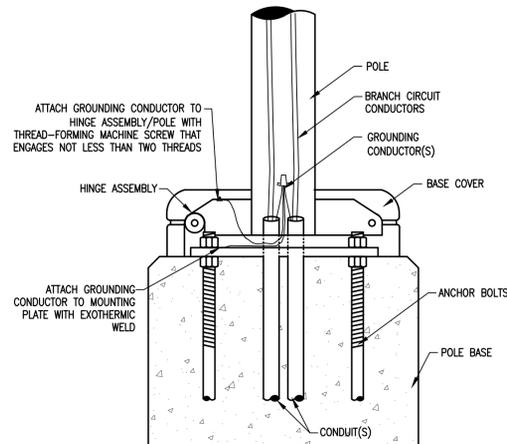
- 1. EXTERIOR LIGHTING LEVEL
 - MAXIMUM 24.4 FC
 - MINIMUM 0.1 FC
 - AVERAGE 2.4 FC
 - MAXIMUM/MINIMUM 244:1
 - AVERAGE/MINIMUM 24:1



RE
ROYAL ENGINEERING
 ELECTRICAL MECHANICAL
 2385 SOUTH STATE SUITE 100 PROVO, UTAH 84606
 PHONE: 801.376.2228 FAX: 801.376.2676
 COPYRIGHT © JOB# J14381.00 DATE PLOTTED: 12/23/2014

THESE DRAWINGS OR ANY PARTS THEREOF, AS INSTRUMENTS OF SERVICE, REMAIN THE PROPERTY OF THE ARCHITECTS AND MAY NOT BE REPRODUCED OR USED ON OTHER WORK WITHOUT THEIR WRITTEN CONSENT.

PLOT DATE: 12/23/2014 Z:\Projects\14\14381\00\14381 ELEC ALL.dwg



POLE LIGHT GROUNDING DETAIL

SCALE: NONE

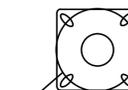
KEYED NOTES:

◆ POLE BASE DEPTH BELOW GRADE SHALL BE 10% OF POLE HEIGHT PLUS 3 FEET (APPROX. 5 FT)

GENERAL NOTES:

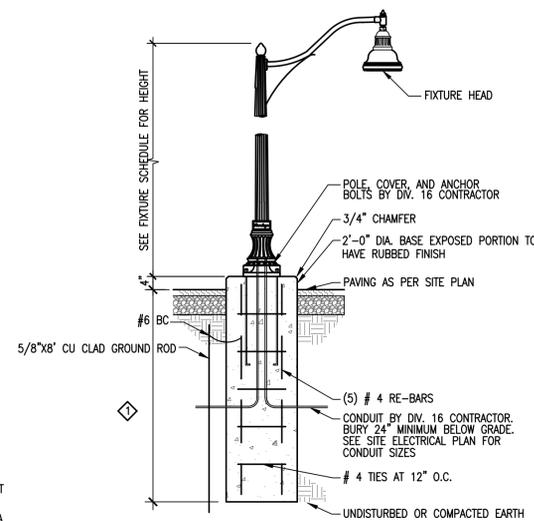
1. ALSO REFERENCE CITY DETAILS LP.2 AND LP.2b.

4 Bolts at 90 Degrees 3/4" Dia x 18" Long x 3" Hook Bolts to have a 3.5" projection out of the concrete. BOLTS TO BE GALVANIZED



ANCHOR BASE DETAIL 12" BOLT
CIRCLE 7/8" x 1" HOLES TO ACCOMMODATE UP TO 3/4" DIA BOLT

SCALE: NONE

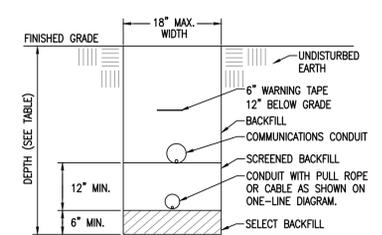


POLE BASE DETAIL

SCALE: NONE

LOCATION DESCRIPTION	DEPTH
BELOW CONCRETE SLAB (NOT TRAFFIC)	14 INCHES
BELOW TRAFFIC SURFACES	34 INCHES
PARKING LOT (PAVED OR NON-PAVED)	34 INCHES
OTHER LOCATIONS	28 INCHES
UTILITY SECONDARY	34 INCHES*
UTILITY PRIMARY	48 INCHES*

(SEE NEC TABLE 300.5)
* VERIFY ALL DIMENSIONS WITH LOCAL POWER COMPANY STANDARDS AND SPECIFICATIONS.

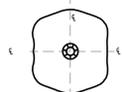


TRENCHING DETAIL

SCALE: NTS

ELECTRICAL KEYED NOTES:

◆ ORIENTATION OF FIXTURE INDICATES ORIENTATION OF OPTICS NOT ORIENTATION OF POLE FIXTURE HEAD. FIXTURE HEAD ORIENTATION SHALL BE DETERMINED BY OWNER OR CITY. CONTRACTOR SHALL FIELD ROTATE OPTICS AS INDICATED.



TYPE V



RE
ROYAL ENGINEERING
ELECTRICAL MECHANICAL
2885 SOUTH STATE SUITE 100 PROVO, UTAH 84606
PHONE: 801.376.2228 FAX: 801.376.2676
COPYRIGHT © JOB# J14381.00 DATE PLOTTED: 12/23/2014

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4j

DRAWN BY LRM

SITE LIGHTING PLAN

HARRIS ARCHITECTURE

RIVERBEND OFFICE COMPLEX

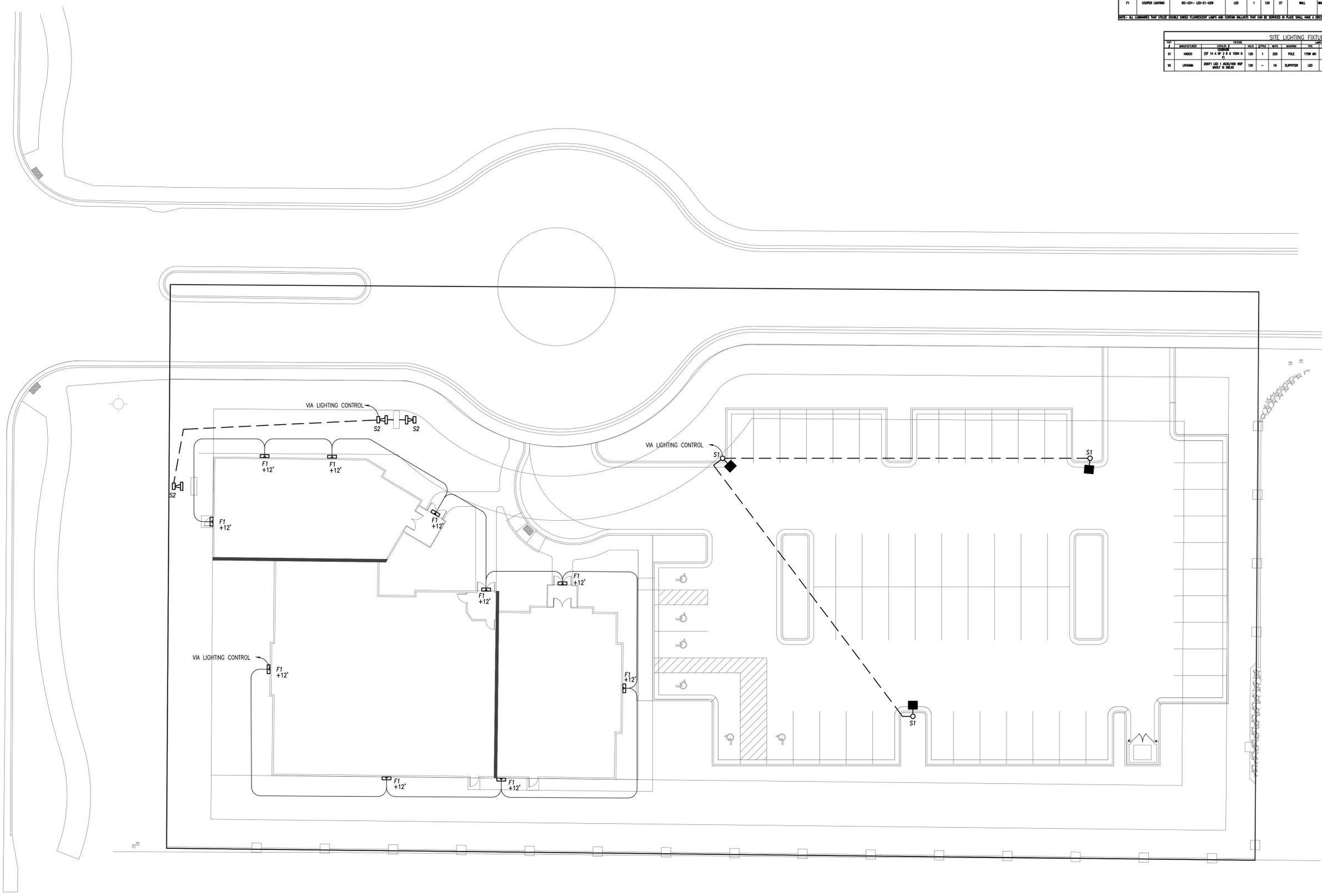
12/23/2014

E300

LIGHT FIXTURE SCHEDULE									
FIXTURE NUMBER	FIXTURE MANUFACTURER	FIXTURE DESCRIPTION / MODEL	LUMENS	TYPE	SIZE	HEIGHT	SPACING	REMARKS	NOTES
F1	COOPER LIGHTING	85-001-LED-61-001	130	LED	1	130	27"	WALL MOUNTED LED EXTERIOR WALL SPOKE FIXTURE	

SITE LIGHTING FIXTURE SCHEDULE										
ID	MANUFACTURER	MODEL	TYPE	SIZE	HEIGHT	SPACING	REMARKS	NOTES	STATUS	
S1	HACO	DP 14 A OF 3 X 6 150W G 0	POLE	150W	175W	1	MONITOR BODIES	10'	10'-0" TO 10'-6" (MIN) 10'-0" TO 10'-6" (MAX) 10'-0" TO 10'-6" (MIN) 10'-0" TO 10'-6" (MAX)	AS SHOWN
S2	LEONARDO	DSPT LED 1 100W/10K WPT	SUBMITTER	100	10	10	10	10	10	10

NOTE: ALL LUMINAIRES THAT UTILIZE DOUBLE ENDED FLUORESCENT CANNONS AND COMBINATION BALLASTS THAT CAN BE REPAIRED IN PLACE SHALL HAVE A DOCUMENTED REPAIR AS REQUIRED BY 2011 IBC 105.13.3 (2011)



RE
ROYAL ENGINEERING
 ELECTRICAL MECHANICAL
 2385 SOUTH STATE SUITE 100 PROVO, UTAH 84606
 PHONE: 801.376.2228 FAX: 801.376.2676
 12/23/14
 COPYRIGHT © JOB# J14381.00 DATE PLOTTED: 12/23/2014

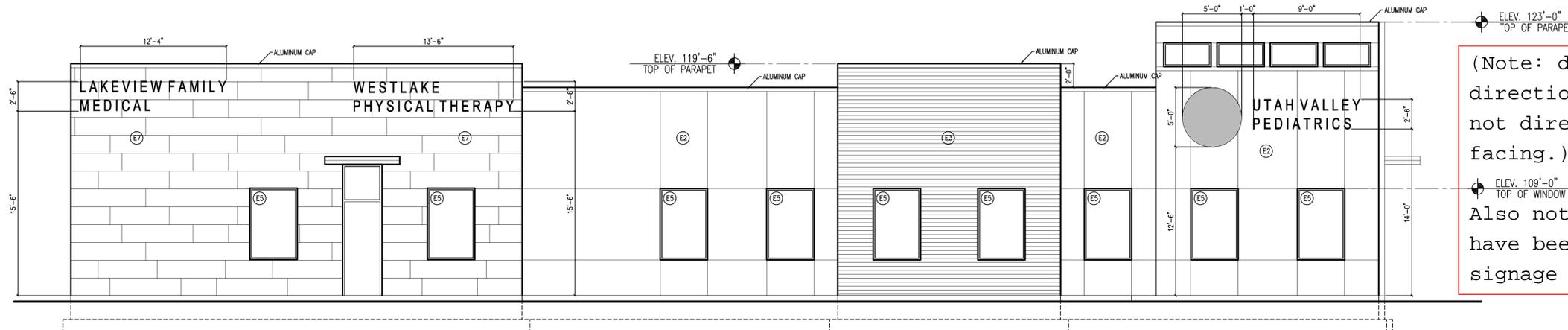
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PLOT DATE: 12/23/2014 Z:\Projects\14\14381\100\14381 ELEC ALL.dwg

Exhibit 5
Elevations

(Note: directions refer to direction viewer is facing, not direction elevation is facing.)

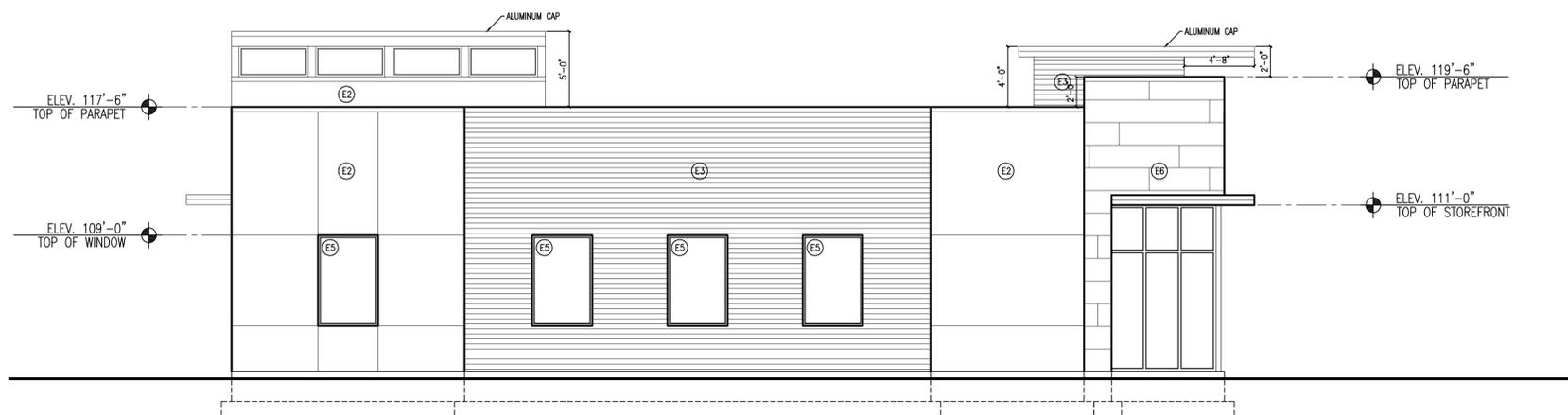
Also note: sign dimensions have been modified per signage exhibit.



SIGN 1 - 22.9 SQ. FT.
SIGN 2 - 26.0 SQ. FT.
SIGN 3 - 41.1 SQ. FT.
TOTAL 90.0 SQ. FT.

3 EAST ELEVATION
SCALE: 1/8" = 1'-0"

EXTERIOR FINISH SCHEDULE	
E1	STONE-#1200TW CRAFT SPLIT MODULAR, CREATIVE MINES
E2	STUCCO-#330 ULTRA WHITE, SYNERGY
E3	PORCELAIN TILE-#RIDGE AV16 9x36, RIDGE AV08 6X36 RANDOM INSTALL, ACACIA VALLEY, DAL TILE
E4	STORE FRONT-CLEAR ALUMINUM
E5	WINDOWS-CLEAR ALUMINUM
E6	WALL PANEL 1-YELLOW, FIBER CEMENT, NICHHA ILLUMINATION SERIES
E7	WALL PANEL 2-RED, FIBER CEMENT, NICHHA ILLUMINATION SERIES



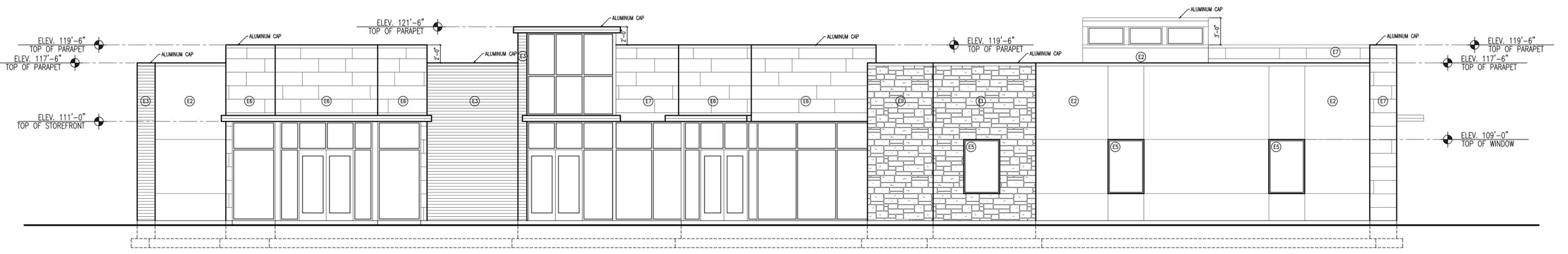
EXTERIOR FINISH SCHEDULE	
E1	STONE-#1200TW CRAFT SPLIT MODULAR, CREATIVE MINES
E2	STUCCO-#330 ULTRA WHITE, SYNERGY
E3	PORCELAIN TILE-#RIDGE AV16 9x36, RIDGE AV08 6X36 RANDOM INSTALL, ACACIA VALLEY, DAL TILE
E4	STORE FRONT-CLEAR ALUMINUM
E5	WINDOWS-CLEAR ALUMINUM
E6	WALL PANEL 1-YELLOW, FIBER CEMENT, NICHHA ILLUMINATION SERIES
E7	WALL PANEL 2-RED, FIBER CEMENT, NICHHA ILLUMINATION SERIES

4 WEST ELEVATION
SCALE: 1/8" = 1'-0"

PRELIMINARY - NOT FOR CONSTRUCTION

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PLOT DATE: 12/28/2014 Q:\ACAD\PROJECTS\RIVERBEND\BLAINE HALES\WORKING\RENDER\A2.1.FE.dwg

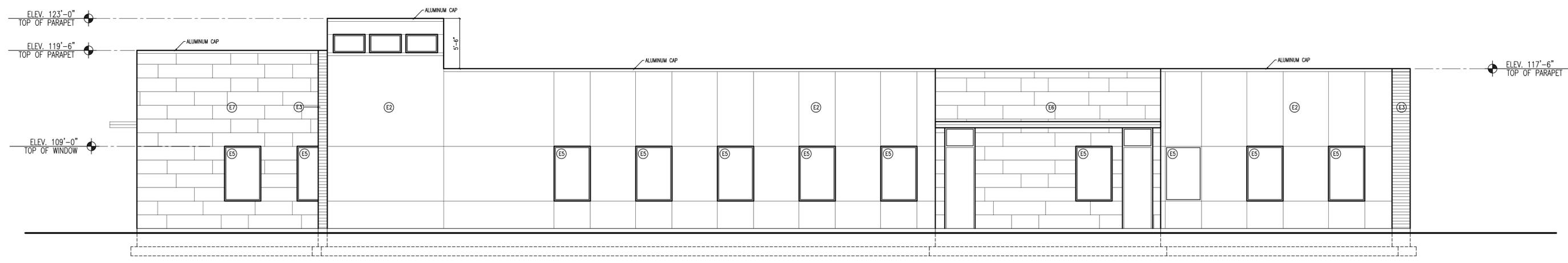
THESE DRAWINGS OR ANY PARTS THEREOF, AS INSTRUMENTS OF SERVICE, REMAIN THE PROPERTY OF THE ARCHITECTS AND MAY NOT BE REPRODUCED OR USED ON OTHER WORK WITHOUT THEIR WRITTEN CONSENT.
PLOT DATE: 12/20/2014 Q:\CAD\PROJECTS\RIVERBEND - BLAINE HALES\WORKING\RENDER\A2.1.rvt



EXTERIOR FINISH SCHEDULE

E1	STONE-#1200TW CRAFT SPLIT MODULAR, CREATIVE MINES
E2	STUCCO-#330 ULTRA WHITE, SYNERGY
E3	PORCELAIN TILE-#RIDGE AV16 9x36, RIDGE AV08 6X36 RANDOM INSTALL, ACACIA VALLEY, DAL TILE
E4	STORE FRONT-CLEAR ALUMINUM
E5	WINDOWS-CLEAR ALUMINUM
E6	WALL PANEL 1-YELLOW, FIBER CEMENT, NICHHA ILLUMINATION SERIES
E7	WALL PANEL 2-RED, FIBER CEMENT, NICHHA ILLUMINATION SERIES

1 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



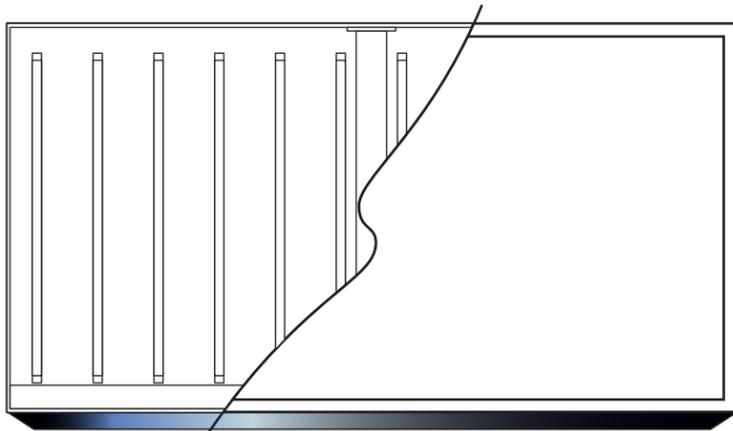
EXTERIOR FINISH SCHEDULE

E1	STONE-#1200TW CRAFT SPLIT MODULAR, CREATIVE MINES
E2	STUCCO-#330 ULTRA WHITE, SYNERGY
E3	PORCELAIN TILE-#RIDGE AV16 9x36, RIDGE AV08 6X36 RANDOM INSTALL, ACACIA VALLEY, DAL TILE
E4	STORE FRONT-CLEAR ALUMINUM
E5	WINDOWS-CLEAR ALUMINUM
E6	WALL PANEL 1-YELLOW, FIBER CEMENT, NICHHA ILLUMINATION SERIES
E7	WALL PANEL 2-RED, FIBER CEMENT, NICHHA ILLUMINATION SERIES

2 NORTH ELEVATION
SCALE: 1/8" = 1'-0"

PRELIMINARY - NOT FOR CONSTRUCTION

Exhibit 6
Signage



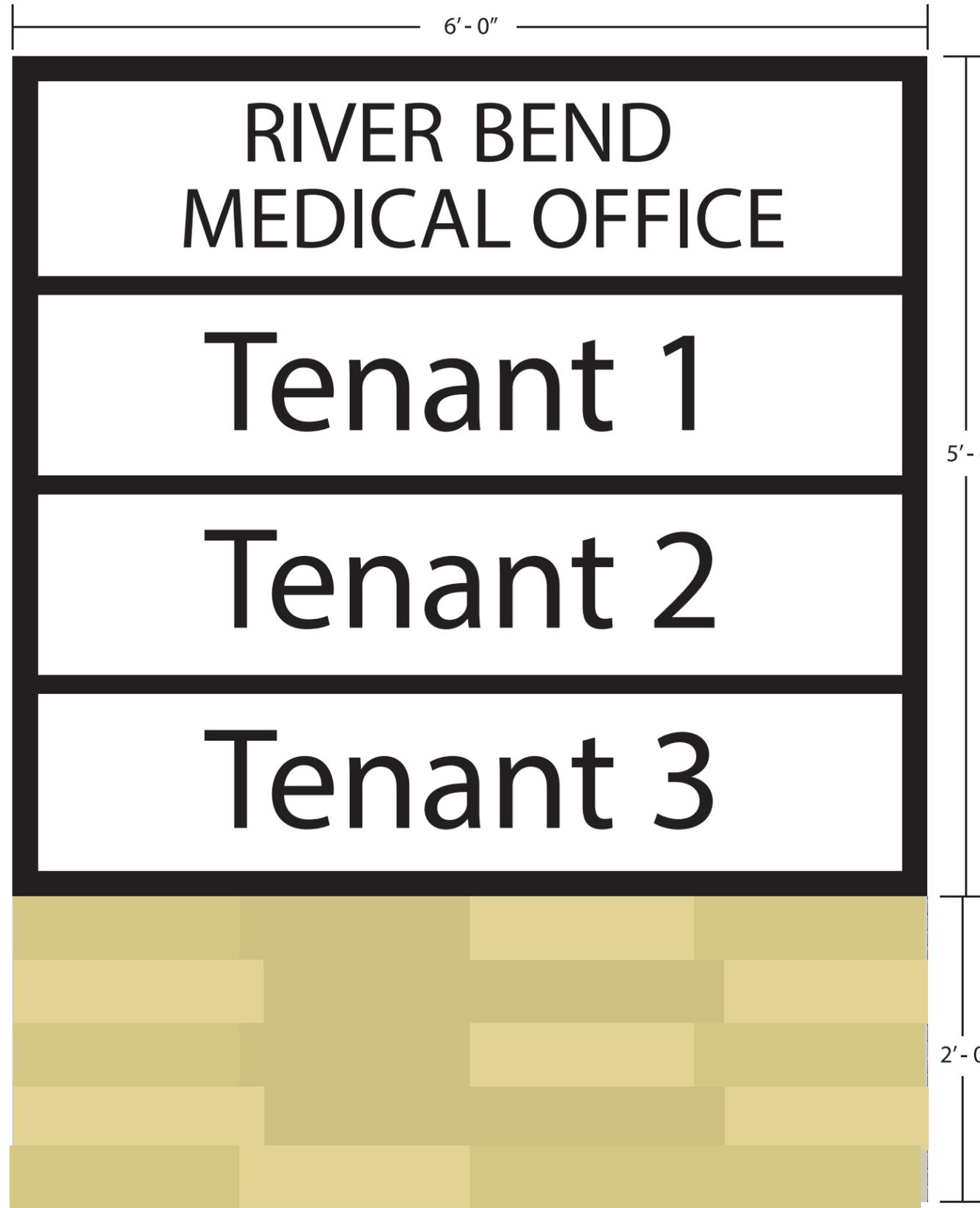
SPECIFICATIONS FOR FABRICATION AND INSTALLATION:

- Internally illuminated cabinet built to UL specifications
- Quantity: One (1)
- Overall length of sign: 6' - 0"
- Overall height of sign: 7' - 6"
- Depth of signage: 2' - 0"
- Total square feet: 45
- Retainer size: 2"
- Face type: Polycarbonate with digitally printed vinyl graphics
- Mounting method: Brick Base (done by someone other than Creative Signs)
- Illuminated with high output fluorescent lamps/ballasts (12" centers)
- Primary electrical requirement: 120 volt (installed by someone other than creative signs) Timer or photo-cell (installed by creative signs)

ELECTRICAL NOTES

Sign Company DOES NOT provide primary electrical to sign. Power to the sign must be done by a licensed electrical contractor or licensed electrician. Each sign must have:

1. A minimum of one dedicated 120V 20A circuit
2. Junction box installed within 6 feet of sign
3. Three wires: Line, Ground, Neutral



JOB NAME:

River Bend Medical Office

INSTALL ADDRESS:

Saratoga Springs

BILLING ADDRESS:

Saratoga Springs

CONTACT NAME:

Blaine Hales

PHONE:

801-360-9178

DATE:

12-22-14

DESIGN NUMBER:

SALES PERSON:

DESIGNER:

Natalie Taylor

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CUSTOMER APPROVAL:

X _____

SALES PERSON SIGNATURE:

X _____

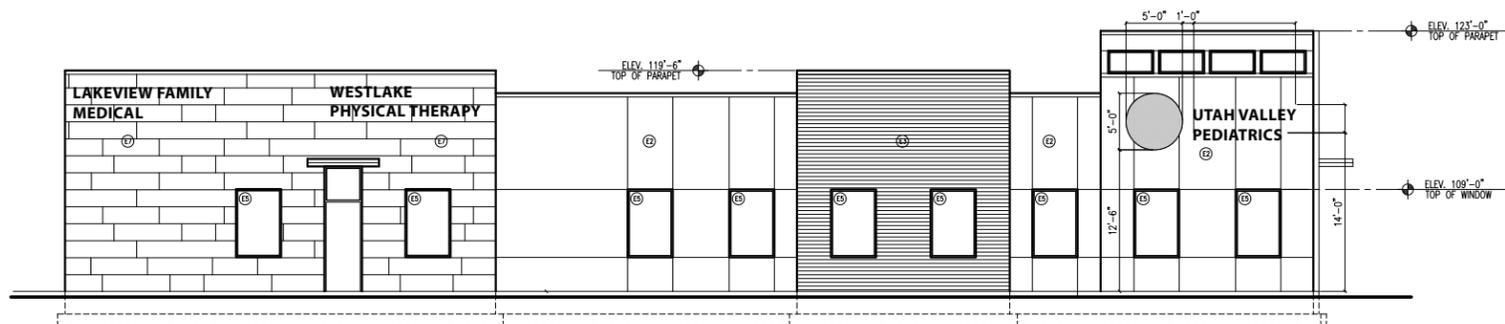
DATE: _____



WESTLAKE PHYSICAL THERAPY

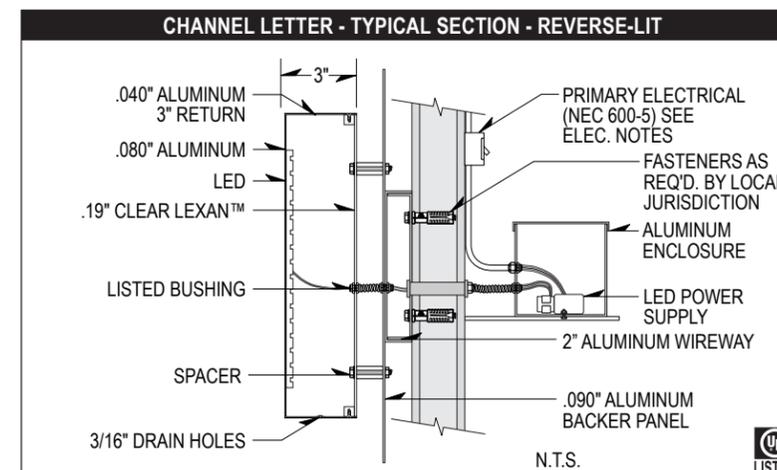
28"

145"



INTERNALLY ILLUMINATED REVERSE-LIT CHANNEL LETTERS:

- Overall Height: 28"**
- Overall Length: 145"**
- Total Sq. Ft.: 28.2**
- Face: Black**
- Returns: Black**
- Trim Cap: Black**
- Illumination: LED Illuminated**



ELECTRICAL NOTES
 Sign Company DOES NOT provide primary electrical to sign. Power to the sign must be done by a licensed electrical contractor or licensed electrician. Each sign must have:
 1. A minimum of one dedicated 120V 20A circuit
 2. Junction box installed within 6 feet of sign
 3. Three wires: Line, Ground, Neutral

JOB NAME:

Riverbend Medical

INSTALL ADDRESS:

Saratoga Springs

BILLING ADDRESS:

Saratoga Springs

CONTACT NAME:

Blaine Hales

PHONE:

801-377-7785

DATE:

12-30-14

DESIGN NUMBER:

SALES PERSON:

DESIGNER:

Natalie Taylor

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CUSTOMER APPROVAL:

X

SALES PERSON SIGNATURE:

X

DATE:



JOB NAME:

Riverbend Medical

INSTALL ADDRESS:

Saratoga Springs

BILLING ADDRESS:

Saratoga Springs

CONTACT NAME:

Blaine Hales

PHONE:

801-377-7785

DATE:

12-30-14

DESIGN NUMBER:

SALES PERSON:

DESIGNER:

Natalie Taylor

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CUSTOMER APPROVAL:

X

SALES PERSON SIGNATURE:

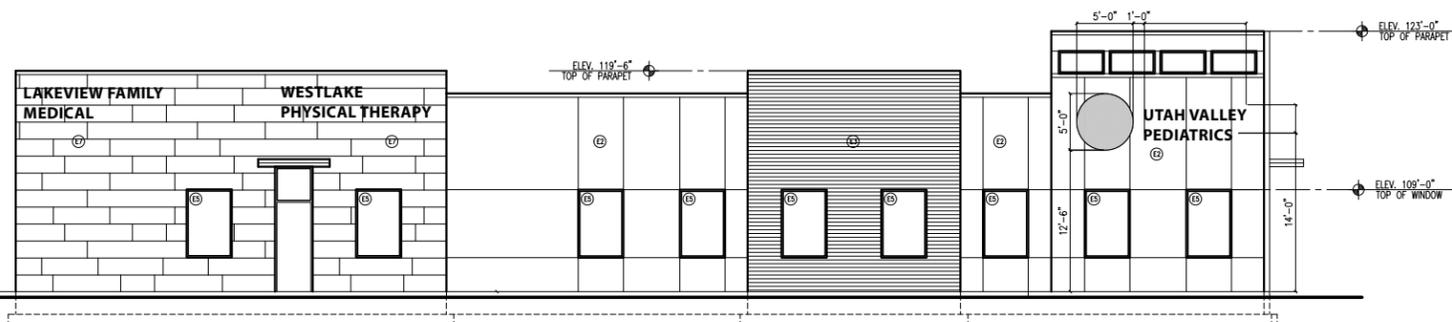
X

DATE:

LAKEVIEW FAMILY MEDICAL

28"

138.4"



LAKEVIEW FAMILY MEDICAL

Night View:

INTERNALLY ILLUMINATED REVERSE-LIT CHANNEL LETTERS:

Overall Height: 28"

Overall Length: 138.4"

Total Sq. Ft.: 26.9

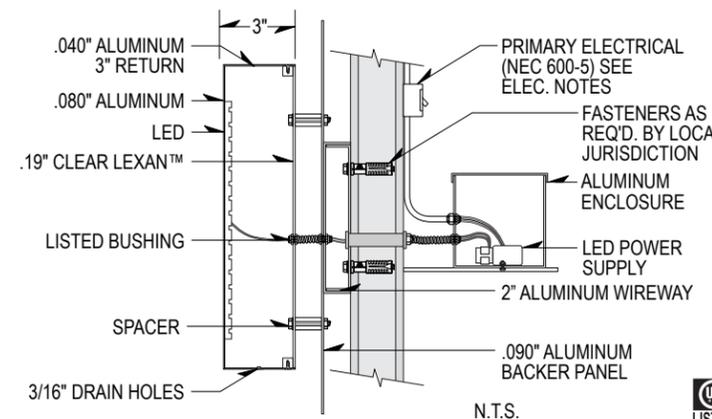
Face: Black

Returns: Black

Trim Cap: Black

Illumination: LED Illuminated

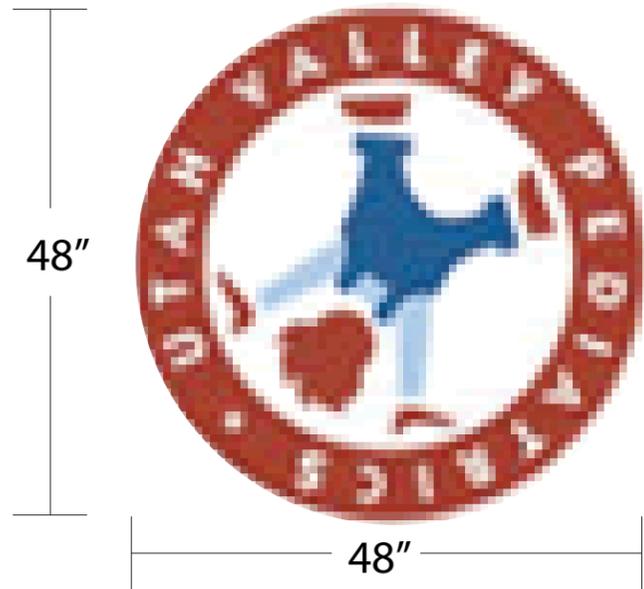
CHANNEL LETTER - TYPICAL SECTION - REVERSE-LIT



ELECTRICAL NOTES

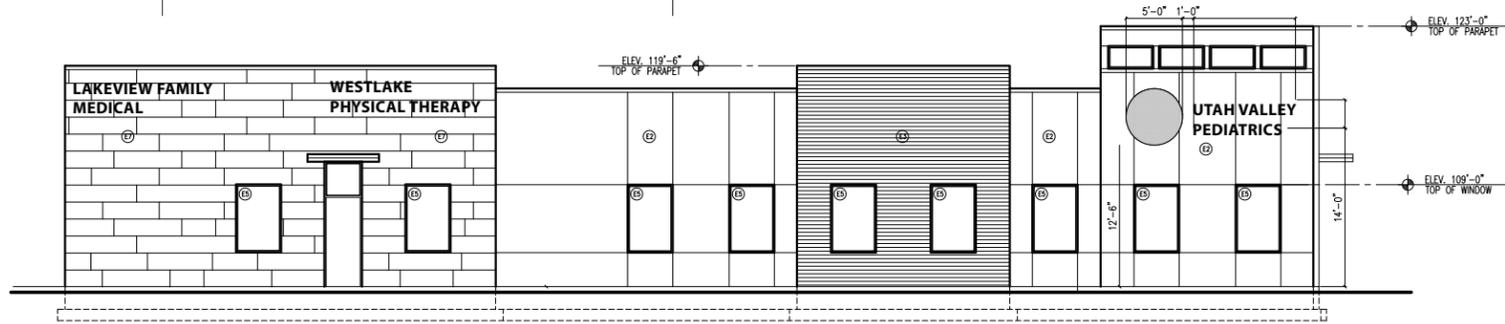
Sign Company DOES NOT provide primary electrical to sign. Power to the sign must be done by a licensed electrical contractor or licensed electrician. Each sign must have:

1. A minimum of one dedicated 120V 20A circuit
2. Junction box installed within 6 feet of sign
3. Three wires: Line, Ground, Neutral



**UTAH VALLEY
PEDIATRICS**

100.5" (Overall Length)
27.75" (Overall Height)



JOB NAME:

Riverbend Medical

INSTALL ADDRESS:

Saratoga Springs

BILLING ADDRESS:

Saratoga Springs

CONTACT NAME:

Blaine Hales

PHONE:

801-377-7785

DATE:

12-30-14

DESIGN NUMBER:

SALES PERSON:

DESIGNER:

Natalie Taylor

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CUSTOMER APPROVAL:

X

SALES PERSON SIGNATURE:

X

DATE:

INTERNALLY ILLUMINATED REVERSE-LIT CHANNEL LETTERS:

Overall Height: 27.75"

Overall Length: 100.5"

Total Sq. Ft.: 19.37

Face: Black

Returns: Black

Trim Cap: Black

Illumination: LED Illuminated

INTERNALLY ILLUMINATED REVERSE-LIT CHANNEL LOGO:

Overall Height: 48"

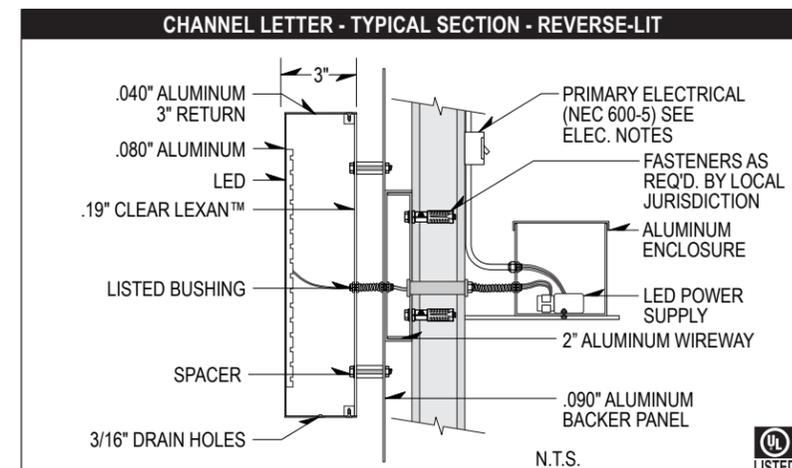
Overall Length: 48"

Total Sq. Ft.: 16

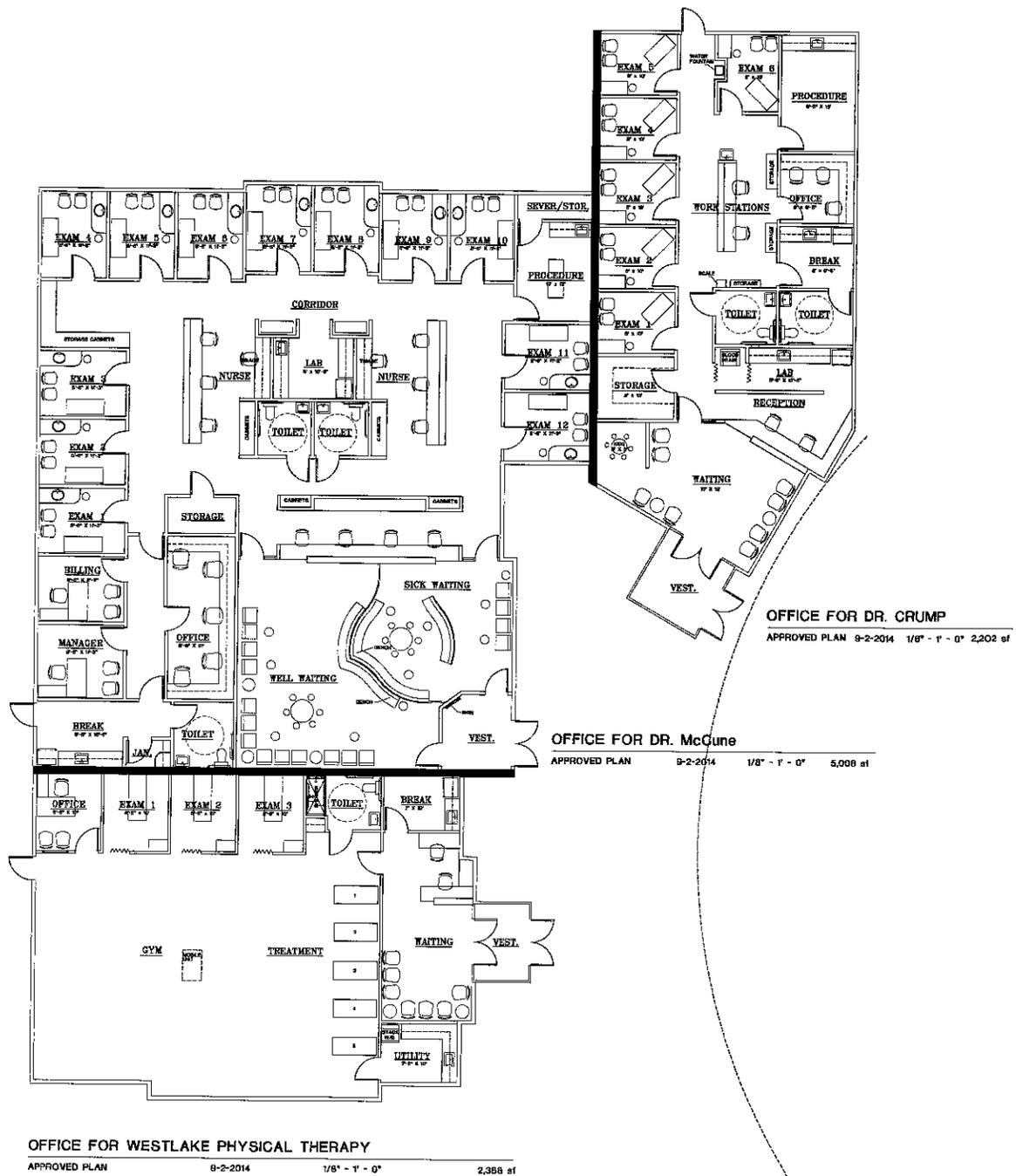
Face: Blue/White/Orange

Returns: Black

Illumination: LED Illuminated



ELECTRICAL NOTES
 Sign Company DOES NOT provide primary electrical to sign. Power to the sign must be done by a licensed electrical contractor or licensed electrician. Each sign must have:
 1. A minimum of one dedicated 120V 20A circuit
 2. Junction box installed within 6 feet of sign
 3. Three wires: Line, Ground, Neutral



RIVERBEND OFFICES

SARATOGA, UTAH 9-2-2014 1/8" - 1'-0" HARRIS ARCHITECTURE

City Council Staff Report

Author: Jeremy D. Lapin, City Engineer
Subject: Riverbend Medical
Date: January 8, 2015
Type of Item: Site Plan Approval



Description:

A. Topic: The Applicant has submitted a Site Plan application. Staff has reviewed the submittal and provides the following recommendations.

B. Background:

Applicant: Blaine Hales
Request: Site Plan Approval
Location: Riverbend Commercial, 41 E. 1140 N.
Acreage: 1.626 Acres – 1 Lot

C. Recommendation: Staff recommends the approval of Site Plan subject to the following conditions:

D. Conditions:

- A. Meet all engineering conditions and requirements in the construction of the project. Review and inspection fees must be paid and a bond posted as per the City's Development Code prior to any construction being performed on the project. Impact and water fees are due when pulling the building permit.
- B. All review comments and redlines provided by the City Engineer are to be complied with and implemented with the approved construction drawings.
- C. Developer must secure water rights as required by the City Engineer, City Attorney, and development code.
- D. Submit easements for all public utilities not located in the public right-of-way.
- E. Developer is required to ensure that there are no adverse effects to adjacent properties due to the grading practices employed during construction of these plats.
- F. Project must meet the City Ordinance for Storm Water release (0.2 cfs/acre for all developed property) and all UPDES and NPDES project construction requirements.

- G. Final plans shall include an Erosion Control Plan that complies with all City, UPDES and NPDES storm water pollution prevention requirements.
- H. All work to conform to the City of Saratoga Springs Standard Technical Specifications, most recent edition.
- I. Developer may be required by the Saratoga Springs Fire Chief to perform fire flow tests prior to final plat approval and prior to the commencement of the warranty period.
- J. Submittal of a Mylar and electronic version of the as-built drawings in AutoCAD format to the City Engineer is required prior acceptance of site improvements and the commencement of the warranty period.
- K. Developer shall remove all existing wells and septic systems within the site in accordance with State standards.
- L. Developer shall protect the existing retaining wall along the east property line.
- M. Lighting plan shall comply with the City's Land Development Code and Engineering Standards and Specifications.

Hayden Williamson wouldn't want to make it a condition, just a suggestion. He thanked them for the phase changes. He feels that we have the HOA vs. the City discussion a lot. He doesn't want to take care of every open space but doesn't want to force every development to be an HOA.

Scott Langford said the general policy was anything over 5 acres was easier for the city to maintain. He feels this follows that guideline.

Kimber Gabryszak noted that they have been having that discussion internally and are working to draft amendments to the code to be clear for what they are looking for on amenities and will be bringing that forward in the near future.

Sandra Steele likes that they are agreeing to do the sod. She is always concerned with native grasses because it becomes a weed problem. She asked what we require for detention basins, was it native or could it be sod.

Jeremy Lapin said they actually prefer sod for detention basis, debris basins were different. This has 2 debris and one detention. Sod would do well in the detention area.

Sandra Steele thought if they put sod in that basin she feels it would be quite a large area that would be usable for the residents. It might be a good size that would not be as hard for the city to maintain. She thinks if they take out the native along the south corridor and sod the basin it would be good.

Jeremy Lapin thinks the areas along the south would be hard for the parks department to get to. He would suggest only the detention basin on the East.

Sandra Steele thinks where there are larger lots that there is a certain amount of recreation on their own lots. It might be nice to have a bench along so parents can sit and watch their kids but any further improvements she doesn't know if that is necessary. She will let council decide on the maintenance. She wanted to add a condition that they not have final plat approval until they had secondary water.

Jeff Cochran asked Paul Linford to comment on his landscaping thoughts.

Paul Linford noted that there is a marketing issue here, the last thing they want is something to not be appealing. If they finish they would want to put some benches in and things to make it appealing. He thinks if they can get to the areas with lawn mowers they would sod them, it's not that much more cost than other native grasses they would have to plant. It comes down to working with staff and making it look great for marketing.

Jeff Cochran asked if staff had a position on maintenance.

Scott Langford noted that it might be nice for the applicant to look at grading and details that would make an efficient design for user and maintenance standpoints. If they could modify condition 5 to be more flexible so they have time to work with them before it comes to City Council and he would have a better understanding to present at that time.

Kimber Gabryszak noted that the city weighs the benefit to the overall community as well as the residents in that particular neighborhood. It's a significant cost over time, about \$5000 an acre/year but this, with a trail corridor and over all access, they could look into maintaining it.

Jeff Cochran reviewed discussion. Driveways, open space, street naming

Motion by Kara North that Based upon the evidence and explanations received today, I move that the Planning Commission forward a positive recommendation to the City Council to approve the Beacon Point Preliminary Subdivision Plat on approximately 63.64 acres of property as shown in Exhibit 2 and generally located at 4300 South Redwood Road, with the findings and conditions listed in the staff report. With the following clarifications or revisions: with the exclusion of condition 5, that being removed; and that applicant work with staff with respect to open space and whether that meets the recreational needs of the residents; that the applicant work with staff to revise the street naming issues that are not currently in compliance with City Code; and that the final plat not be recorded until secondary water issue is resolved; and that driveways that are shared must have a private driveway with a minimum length of 20 feet between the shared driveways in compliance with section 19.09.11 of City Code. Seconded by Sandra Steele. Aye: Sandra Steele, Hayden Williamson, Jeffrey Cochran, Kirk Wilkins, Kara North. Motion passed unanimously.

8. Public Hearing and Possible Recommendation: Concept Plan, General Plan Amendment, and Rezone and for Riverbend Medical located at 41 East 1140 North, Blaine Hales, applicant.

Kimber Gabryszak presented the plan. The property was zoned Mixed Use in anticipation of potential mixed commercial, office, and residential development on the property; however, the applicants wish to pursue only commercial. The elevations will be going back to the Urban Design Committee. She reviewed code compliance. Comments from the Riverview HOA were forwarded to the Planning Commission. Staff is recommending that a positive recommendation be given.

Blaine Hales, for applicant, noted they are mainly just trying to put a medical office on this site. He spoke on the setback requests; he thought there may have been an error when the original owner dedicated the area to the city, they gave too much. They took some measurements from the UDOT right of way and they are back 43 ft. they are 56 feet from the road. They thought, easier than trying to negotiate with the city, how about they make the setback a little less deep at that point which would create the same purpose. In this specific zone it hadn't been included and that is why he is asking for this. He is asking for 15ft. which would be equal to the other zones, but would be ok with 10 ft. They don't need more land; they are just trying to get the building a little closer to the street for visibility.

Public Hearing Open by Jeff Cochran

Alan Johnson, representing Riverbend HOA. the issue is on 1150 N. there is an island and they want to know who would be responsible for maintaining it and right now no one is maintaining it. Also, on 1140 N. being a public access, they asked who is responsible for snow removal. There is a wall that separates the residences with the property proposed here, the townhouses are lower than the grade and the wall is leaning over and they are asking builder not to put any heavy equipment along that wall.

Laurie Johnson noted that their home backs up to these two properties. In 2007 the owners said the house would be removed at that time and it still hasn't been removed. She hopes they will look out for the residences of Riverbend. She considers that the area has become the slums of the city and every bit of help that can come from the city or developer is appreciated. The home sales are being dropped because of it and she hopes the city can help.

Blaine Hales noted he had contacted the seller/developer and was told that he was maintaining the island and the road but as soon as it's done developing it would all go to the HOA and they would take care of it. Mr. Hales is ready to take their share of the responsibility.

Public Hearing Closed by Jeff Cochran

Sandra Steele feels neighborhood commercial is a good fit here. She feels this design elevation does not fit with the neighborhood. She thinks they could look at being more compatible with the neighborhood. She thinks the trash collector needs more space. She asked if anyone on the staff looked at the designing guidelines.

Lynn Lomond, Architect was present and they had wanted the building to be professional looking with its own identity.

Sandra Steele said they still had to follow the design guidelines; she wants him to look closer at it. She said if they are having physical therapy the ADA required that 20% of the parking needs to be accessible that means 3 parking spaces just for that office. She will let them work that out. She thinks the parking spots may be too far away for accessible spaces.

Hayden Williamson didn't really have any comments; he would ask that they do their best to follow the code requirements.

Kirk Wilkins agrees that Neighborhood Commercial is a good fit here. He asked if the medical office would be part of the HOA.

Blaine Hales said it was in beneficial interest to both parties to participate in it.

Kirk Wilkins would like to hear feedback on the roof lines.

Lynn Lomond, Architect. They consider this a professional medical building and that it needs to have its own identity. It's not a strip mall; they don't want it to blend in so well that it doesn't stick out a little as a medical professional building, also so that they can find it quickly. They think the colors will make it look more fun, especially for pediatrics. They see a lot of medical buildings that have more architectural design to them.

Kirk Wilkins asked what the hours of operation were.

Brian McCune, M.D. said there would be potential for after-hours but it would be within constraints of Residential Commercial.

Kirk Wilkins asked what would prevent lights of cars from splashing on the neighborhood. He asked if they may be taking care of the wall that was falling down.

Blaine Hales said they thought they had been asked to put up a wall and they were planning on that. He hadn't worked with the falling wall and wasn't sure on that.

Kirk Wilkins asked if we could put a condition in or just ask them to work with the neighborhood. He worried that if they brought the setback forward and the Road needed widened that it might be too close.

Blaine Hales explained that the property line was already so far set back that if the roadways widened that they would have to tear out other office buildings along the road before they ever got as far back as them.

Kimber Gabryszak noted that to separate the zone there could be an effective screen; she defined it from the code.

Kirk Wilkins asked if they were amenable to that.

Blaine Hales said he thought it was already on the plan.

Kara North said that she forwarded the notes from the HOA to the City staff. She is a resident of that development. She thanked the developer for coming to this area. She likes the plans and the distinction they want to make, she is ok with that design. With respect to fencing and lighting she recommends they work to meet code. She is ok with the 15' setback because of the wide space. She is not surprised that the prior developer did not take care of things. They appreciate them coming in.

Jeff Cochran asked about snow removal and wasn't it a responsibility of the HOA?

Jeremy Lapin said they are not aware of any existing maintenance requirement but they recommend that an agreement be worked out with the HOA and new developer.

Jeff Cochran is in favor of the rezone and thinks it makes good sense. He has no concerns with the building; he thinks it's just fine.

Sandra Steele thinks the building somewhere else would be great but that our code is so specific on this area and we should address the code and why we don't think it should comply.

Kara North noted that 'compatible' is subjective and that the interior of their units are extremely modern and that their design is similar to what has been approved elsewhere.

Sandra Steele thinks there are some very specific 'shalls' in the code that should be followed.

Jeff Cochran encouraged them to take all their feedback and work with staff to comply with the code.

Motion by Kara North, I move to forward positive recommendation to the City Council for the General Plan Amendment and Rezone of the ~1.63 parcel 51:508:0004 from Mixed Use to Neighborhood Commercial, as identified in Exhibit 1, with the Findings and Conditions listed in the staff report. Seconded by Hayden Williamson Aye: Sandra Steele, Hayden Williamson, Jeffrey Cochran, Kirk Wilkins, Kara North. Motion passed unanimously.

9. Public Hearing and Possible Recommendation: Revisions to the Land Development Code (Section 19.04, Neighborhood Commercial Setbacks).

Kimber Gabryszak reviewed the revision to the code.

Hayden Williamson asked what was standard in the rest of the code.

Kimber Gabryszak said the only other thing consistent was 10' the setback being reduced varies widely and that they are requesting this be 15 feet, there is a range of setbacks with a 10' exception.

Blaine Hales said it doesn't require them to ever allow it; it just gives them the option so if they feel it is worthy they can do that. He would like to have the 15' setback.

Public Hearing Open by Jeff Cochran

No public input at this time.

Public Hearing Closed by Jeff Cochran

Sandra Steele said we need to remember we are not just changing it for this property. She feels to give this extra 5 feet, then others will request it. She thinks to continue with the 10' as in the other areas would be more appropriate.

Councilwoman Call is not comfortable with any more than 58 until approval from FFSL.
Councilman Willden said we make it an approval subject to that instead of bringing it back?
Kevin Thurman didn't think it would be a problem.
Aric Jensen is alright with that.

Motion by Councilwoman Call to approve the amendment to the Riverbend MDA, increasing the maximum density from 58 units to 62 units, provided that proof of ownership and a settlement with FFSL be provided to staff and all meeting all setbacks. Second by Councilman Poduska, Aye: Councilman Willden, Councilwoman Call, Councilman Poduska. Nay: Councilwoman Baertsch Motion passes 3-1.

Motion by Councilman Willden to approve the Riverbend Preliminary Plat and siteplan with the findings and conditions in the Staff report, modifying condition #1 from 62 to 61 units and incorporating the previous condition that the additional units are subject to proof of ownership and also incorporating the additional conditions from the Planning Commission. Seconded by Councilwoman Call. Aye: Councilman Willden, Councilwoman Call, Councilman Poduska Nay: Councilwoman Baertsch Motion passes 3-1.

A five minute break was taken at this time.

6. Public Hearing: General Plan Amendment and Rezone for Riverbend Medical located at 41 East 1140 North, West of Redwood Road, Blaine Hales, applicant.

a. Ordinance 14-27 (11-18-14): An ordinance of the City of Saratoga Springs, Utah, adopting amendments to the City of Saratoga Springs' Official Zoning Map for certain real property (Riverbend Medical); instructing the City staff to amend the City Zoning Map and other Official Zoning records of the City; and establishing an effective date.

Kimber Gabryszak presented the Plan amendment and rezone. due to a parcel dedicated to the city that was larger than needed this property is already set back several extra feet from Redwood Road, they are requesting a reduced setback because of that. She reviewed staff recommendations. Planning Commission recommended that it be 10' exception to be consistent. She reviewed UDC comments.

Public Hearing – Opened by Mayor Miller

Jennifer Klingensmith wanted to thank Council for working to oppose the prison in Saratoga.

Laurie Johnson had a concern from the HOA that there is a wall along the East of this property that is

leaning and they are concerned that no heavy equipment is used along this wall that will make it fall.

They are concerned what type of fence and what type of lighting will be done and if it will shine in residences.

Public Hearing - Closed by Mayor Miller

Blaine Hales said they were willing to work with the HOA and that if something happens to the wall they will take care of it. They are not sure exactly what they will do along the fence, perhaps a hedge. They are excited and they think this building is needed in the community and they're ready to go.

Councilman Poduska was on the Urban Design Committee and they all liked the plan. He doesn't have a problem changing the zoning. It seems the simplest way to fix the problem.

Councilman Willden did not have any concerns with the rezone request. As for the concept plan it looks great. He knows they would fix things, like the wall, but could we add it as a condition to help the owners. He likes the idea of a hedge.

Kimber Gabryszak noted it could be added when it came back for a site plan.

Councilwoman Baertsch appreciated that they worked with the neighbors and staff. They, as Council and staff, discussed what would be the best thing to do for this situation. They feel this is an area they can

make this change through zoning and change to the Code. She is ok with the architecture. She thinks the hedge will be a fantastic buffer. Overall, it's a good project.

Councilwoman Call agrees with everything else and thinks it's a great product.

3
4 **Motion by Councilman Willden to approve Ordinance 14-27 (11-18-14): An ordinance of the City of**
5 **Saratoga Springs, Utah, adopting amendments to the City of Saratoga Springs' Official Zoning**
6 **Map for certain real property (Riverbend Medical); instructing the City staff to amend the City**
7 **Zoning Map and other Official Zoning records of the City; and establishing an effective date**
8 **including all findings and conditions and direct staff to amend the ordinance to include the general**
9 **plan amendment. Second Councilwoman Baertsch. Aye: Councilman Willden, Councilwoman**
10 **Baertsch, Councilwoman Call, Councilman Poduska Motion passed unanimously.**

1
2 7. **Concept Plan for Riverbend Medical located at 41 East 1140 North, Blaine Hales, applicant.**
3 Discussion under item 6.

4
5 8. **Public Hearing: Revisions to the City of Saratoga Springs Land Development Code. (Section 19.04,**
6 **Neighborhood Commercial Setbacks)**

7 a. **Ordinance 14-28 (11-18-14): An Ordinance of the City of Saratoga Springs, Utah, adopting**
8 **amendments to the Saratoga Springs Land Development Code and establishing an effective date.**
9 Kimber Gabryszak said this was a request to add the exception to allow council to reduce one setback
10 requirement. She noted some recommended changes by Planning Commission and Staff.

1 **Public Hearing – Opened** by Mayor Miller – no input at this time.

2 **Public Hearing - Closed** by Mayor Miller

3
4 Motion by Councilwoman Call to approve Ordinance 14-28 (11-18-14): An Ordinance of the City of
5 Saratoga Springs, Utah, adopting amendments to the Saratoga Springs Land Development Code and
6 establishing an effective date. Second Councilman Poduska.

7 Councilwoman Baertsch noted to include the additional conditions Kimber Gabryszak included tonight,
8 “The setback reductions does not increase the building footprint on the site, and The setback is along
9 a collector or arterial frontage, and The setback does not abut residentially developed or zoned
10 property.”

1 Amended motion to include the conditions accepted by Councilwoman Call and Councilman Poduska.
2 Kevin Thurman had some additional concerns with the footprint that were then discussed.

3 **Wording was changed on the document shown on screen: iv. Exceptions: the City Council may**
4 **reduce no more than one setback requirement by up to ten feet if:**

5 **a) The setback is along a collector or arterial frontage, and**

6 **b) The setback does not abut residentially developed or zoned property.**

7
8 **New Motion by Councilwoman Call to approve Ordinance 14-28 (11-18-14): An Ordinance of the City**
9 **of Saratoga Springs, Utah, adopting amendments to the Saratoga Springs Land Development Code**
10 **and establishing an effective date with the findings on the screen. Seconded by Councilman**
11 **Poduska. Aye: Councilman Willden, Councilwoman Baertsch, Councilwoman Call, Councilman**
12 **Poduska Motion passed unanimously.**

13 Policy Meeting Adjourned at 9:40p.m

14 December 2, 2014
15 Date of Approval



16 [Signature]
17 Mayor Jim Miller

ATTACHMENT B

Saratoga Springs City
Planning Commission

Report of Action

TYPE OF ITEM

Concept Discussion	_____
Preliminary Plat	_____
For Discussion Only	_____
Site Plan	_____ X _____
Rezone	_____
Ordinance	_____
General Plan	_____
Code Amendment	_____
Plat Amendment	_____
Road Vacation	_____
Conditional Use	_____ X _____
Development Agmt.	_____
Minor Subdivision	_____
Other	_____

Meeting Date: January 8, 2015

ITEM #7. Riverbend Medical CUP and Site Plan

Jeff Cochran was present as Chair.

ACTION OF PLANNING COMMISSION

The following action was taken by the Planning Commission on the above-described item:

Positive Recommendation with Conditions

STAFF PRESENTATION

The Staff Report to the Planning Commission provides details of the facts of the case and the Staff's analysis, conclusions, and recommendations. Key points addressed in the Staff's presentation to the Planning Commission included the following:

- See Staff Report

CONCERNS RAISED BY PUBLIC

Any comments received prior to completion of the Staff Report are addressed in the Staff Report to the Planning Commission. Key issues raised in verbal comments received subsequent to the Staff Report or public comment during the public hearing included the following:

- Lori Johnson, 1151 N 80 East, Riverbend
 - Originally talking about a wrought iron fence on top of the wall, not safe. Slippery day, a car could drop right over the wall into a little back yard. Also car lights going into homes. Plan now only shows shrubs. Also, ambiguous language about how to work out the road maintenance. HOA does not have much money.

APPLICANT PRESENTATION

Key points addressed in the applicant's presentation to the Planning Commission included the following:

- Blaine Hales:
 - Originally discussed a fence, then a hedge, then told by City that the statute requires a fence. Also hedges. Current plan now has a fence.

- Discussed issues with location of fence along property line, and potential for fence to be set back a few feet. Will need an agreement with the HOA to avoid legal issues in the future on boundaries.

PLANNING COMMISSION DISCUSSION

Key points discussed by the Planning Commission included the following:

- Sandra Steele
 - Compatibility is important in Code as it is mentioned many times. Has seen a lot of rock in nearby developments. Standards for compatibility include windows, materials, and others. Code does not specify how many items to comply with, so would be ok if only one is met. Incorporating more rock of a similar color as nearby would be compatible.
 - Concerned with lack of equal treatment to all sides of the building.
 - Primary entrances are required to face the primary street.
 - Building articulation used in areas open to public view. There are some walls that may not meet this requirement.
 - Only 4 colors allowed, counted 5.
 - Percentage of building materials has not been provided, which is a requirement of the Site Plan application.
 - Also no dimensions on buildings. Read from Code regarding site plan considerations, including design standards. Need percentages and dimensions.
- Kara North
 - Asked applicant if they plan on working with HOA to shore up the wall. (*Applicant: discussed working with HOA to avoid damage.*)
 - Agrees with Commissioner Steele's comments, but is ok with the architecture.
- Jarred Henline
 - Requested clarification on the façade length issue (*Staff: facades over 60' in length need a façade shift or architectural treatment to break up the linear façade.*)
 - Suggested conditions to address requirements of the design standards and materials.
- Jeff Cochran
 - Also left lacking in information.
 - The existing rock wall is on which property? Asked how to mitigate the impacts to the wall. After discussion, settled on an additional condition.
- Additional discussion on design standards resulted in additional conditions for percentages, shifts, and colors.

MOTION

Commissioner North made the following motion: "I move to forward positive recommendation to the City Council for the Riverbend Medical Site Plan and Conditional Use Permit, located on the ~1.63 acre parcel 51:508:0004, as identified in Exhibit 1 and proposed in Exhibits 4, 5, 6, and 7, with the Findings and Conditions in the staff report as well as the additional conditions added by the Commission:

Findings

1. The use is consistent with the General Plan Land Use Element, as articulated in Section F of the Staff report, which section is hereby incorporated by reference, as the proposed office use and scale are contemplated in the Neighborhood Commercial land use designation.
2. The Site Plan and Conditional Use comply with Section 19.04 of the Code, as articulated in

- Section G of the Staff report, which section is hereby incorporated by reference.
3. With modifications as conditions of approval, the Site Plan and Conditional Use comply with Section 19.06 of the Code, as articulated in Section G of the Staff report, which section is hereby incorporated by reference.
 4. The Site Plan and Conditional Use comply with Section 19.09 of the Code, as articulated in Section G of the Staff report, which section is hereby incorporated by reference.
 5. The Site Plan and Conditional Use comply with Section 19.11 of the Code, as articulated in Section G of the Staff report, which section is hereby incorporated by reference.
 6. With modifications as conditions of approval, the Site Plan complies with Section 19.14 of the Code, as articulated in Section G of the Staff report, which section is hereby incorporated by reference.
 7. The Conditional Use complies with Section 19.15 of the Code, as articulated in Section G of the Staff report, which section is hereby incorporated by reference.
 8. With modifications as conditions of approval, the signage complies with Section 19.18 of the Code, as articulated in Section G of the Staff report, which section is hereby incorporated by reference.

Conditions:

1. All requirements of the City Engineer shall be met.
2. An opaque wall or fence of not less than six feet in height shall be erected between the existing residential development and the proposed site.
3. Loading space shall be provided, or verification that no deliveries are anticipated.
4. Additional architectural treatment shall be provided along the rear elevation to break up the façade and meet the requirement that all facades receive equal treatment.
5. The applicant shall work with the Riverbend HOA to finalize a maintenance agreement for the shared road prior to issuance of any certificates of occupancy.
6. The Utah Valley Pediatrics wall sign shall be reduced in graphic/letter height to 36" or less, and shall be combined into one sign of less than or equal to the maximum square footage.
7. All mechanical equipment shall be screened.
8. The address shall be added to the monument sign.
9. A façade shift or additional materials shall be added to the south façade in compliance with the design standards.
10. Percentages of building materials and number of colors on each elevation shall be provided to the council in compliance with the design standards, page 3.6, prior to the Council meeting.
11. The location of the existing rock wall shall be determined; if the wall is on the Riverbend commercial property it shall be stabilized.
12. Any conditions added by the Commission. _____
13. _____

Commissioner Henline seconded the motion.

VOTE (3 TO 1)

Jeff Cochran	AYE
Sandra Steele	NAY
Kara North	AYE

Jarred Henline

AYE



Saratoga Springs City Planning Commission - Chairman

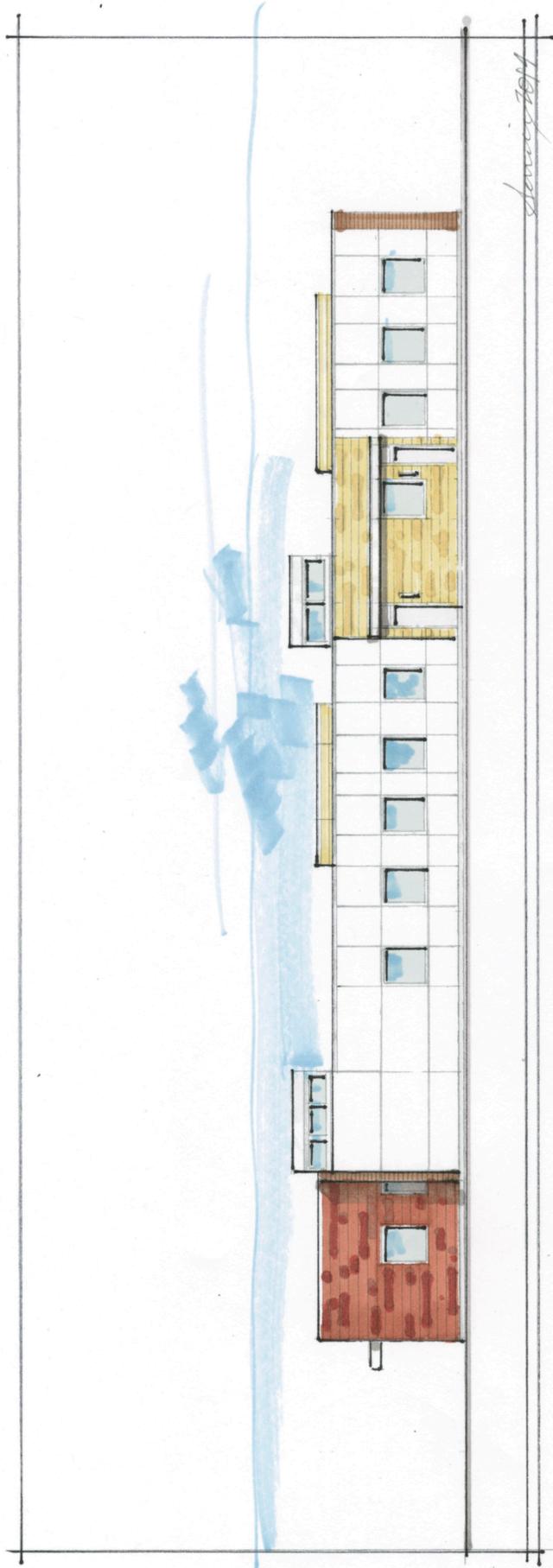
Exhibit 1: Staff Report Dated January 8, 2015

ATTACHMENT C



RIVERBEND MEDICAL OFFICE BUILDING





RIVERBEND MEDICAL OFFICE BUILDING





RIVERBEND MEDICAL OFFICE BUILDING





RIVERBEND MEDICAL OFFICE BUILDING



ATTACHMENT D

Jarred Henline appreciated Commissioner Steele and Commissioner North's comments. Hopefully when they come back it will have everything they need to move forward.

Jeff Cochran asked staff about the detention basin on the plan, could those be combined with the larger current basin to perhaps increase parking.

Jeremy Lapin hadn't done much research on it but he thought the Walmart pond might not be down-stream enough to handle and also cleaning was sized to the one site and if they combined it might be hard. He said not to the west but possibly to the south or underground.

Jeff Cochran challenged the applicant to look at the parking again and see if they could possibly add a few more stalls.

Rachel McKenzie replied that the most efficient way to get more parking would be to have less drive, if they look at landscape as percentage wise, and eliminate some of the landscaping on the edge it might, but when they look into how to break it up they have more drives and lose more stall.

Jeff Cochran said as they come back he would encourage them to follow code to make the process easier. We are anxious to have a place like this in the community. We look forward to having you back.

7. Public Hearing and Possible Recommendation: Conditional Use and Site Plan for Riverbend Medical located at 41 East 1140 North, west of Riverbend Development, Blaine Hales, applicant.

Kimber Gabryszak presented the Site plan. She noted the elevations on the plan were situated in the direction you were looking at, not the direction they faced. She reviewed code compliance. She noted the condition that they work with Riverbend HOA to finalize a maintenance agreement. Kimber would recommend that they add a condition about the fence.

Public Hearing Open by Jeff Cochran

Lori Johnson said when they first started this they were talking about putting a fence right above the leaning wall, that has disappeared from the plans. She is concerned that a car may accidentally go off the wall or lights would shine in the buildings. She is concerned about the condition that it comes to an HOA agreement to take care of the road. They don't have much money sitting in the HOA.

Public Hearing Closed by Jeff Cochran

Blaine Hales responded that originally they had discussed putting a fence, then just a hedge along that side and the city told them they had to have a fence, they do have a fence now on the plans. The new plan including a fence was resubmitted recently. The engineer told him that the parking lot would slope away from the adjoining property so water will run away from the fence and if a car rolled it would roll back into the parking lot. They are concerned about the fencing because the neighbors have a rock wall along the property line and he is worried that putting a fence up would mess with the unstable wall. Also if they put a fence inside the property line they are worried that they would need some kind of agreement with the adjacent owners to avoid any legal issues with boundaries in the future.

Sandra Steele noted that compatibility is important; it is mentioned in the Code many times. She was hoping to see a color board which was not brought in tonight. She has seen rock in nearby buildings that she thinks they could incorporate easily to be more compatible. All building sides need to have equal treatment and she doesn't think they meet that. She reviewed the architectural standards. Since the building materials have not been provided and they did not give any dimensions on the buildings they cannot decide if they meet requirements. She noted that she can see 5 colors but only 4 major colors are allowed.

Blaine Hales said he has brought all these things into an engineer and feels that they have everything they asked for.

There may have been some breakdown in communication, Kimber had the most recent digital information and had not seen what was brought in.

Sandra Steele noted 19.14.06, several of those were met and she noted they needed to consider compliance to City Architectural standards. 19.18.08 iii - She also noted the monument sign needed the street number.

She asked what the dimension from the shortest parapet to the roof would be and if they had an interior access. (Yes.) It looked like some were higher than others and she is concerned that the rooftop equipment won't be screened from view.

Kara North thought it was previously said that they would work with the HOA to shore up the wall.

Blaine Hales recalled that they had said they would work to not disturb it.

Kara North thought the staff had done a great job and agreed with the conditions in the report. She agreed with the majority of the comments Sandra Steele made but she does like what they have as far as the elevations are concerned. She would say an additional condition be added that the finalization of the HOA be in place before a Certificate of Occupation is given.

Jarred Henline clarified that Sandra Steele was saying they couldn't even make a decision tonight because they hadn't been given the appropriate information.

Kimber Gabryszak said they do comply with the height, she has measured it. There is side that is not in compliance and would need to add an architectural treatment.

Blaine Hales commented that it was one of the conditions that they do more rock treatment on the rear because it shows up on the other sides, the architect says he is planning on doing that and they will make sure it's not an issue.

Jarred Henline asked if they could put a condition on that they comply with that before it heads to Council. also there needs to be a condition that there is a privacy fence in there, that there needs to be an agreement with HOA prior to certificate of occupancy, that a façade shift or additional articulation needs to be added to the South wall, and that the percentage of the design materials match and meet the compliance of the City. With those he would be ok with forwarding it.

Jeff Cochran appreciates the comments, he felt there was information lacking but it sounds like it was provided in some sort. Most of his questions were answered but he is asking whose property the existing wall is on.

Blaine Hales replied that it's on both, some places on theirs and some on ours.

Jeff Cochran said where it's a wall in poor condition how do they protect it and not cause further problems.

Blaine Hales said they are willing to do something to find a good answer, he isn't sure what the answer is but he doesn't feel they should bear all the cost for it.

Jeff Cochran hates to sweep this issue under the rug but doesn't know how to best mitigate it.

Kara North thought they could potential add a condition that they meet with the HOA to discuss option for a joint resolution.

Kimber Gabryszak would recommend more of a determination based on whose property the wall is on.

Kevin Thurman says it's a Conditional Use permit and if this creates adverse impacts on neighboring properties then they can place a Reasonable Condition on the Conditional Use. The law does say reasonable and talks about that the impacts have to be detrimental. You could make it a condition that they address it before it comes to the Council stage.

Jeff Cochran thought that they could put a condition on it that the applicant determines who owns the fence and a potential mitigation based on findings.

Kevin Thurman said yes they could do that but it sounds like a lot of it will be addressed by the engineering standards.

Jeremy Lapin commented that his use does not affect the wall, the wall is inconvenient but he isn't causing it to be a worse condition. They are not allowed to discharge water on the neighboring parcel and they have a landscape buffer.

Further discussion was held on design standards and additional conditions to cover concerns Commission Steele addressed earlier.

Motion from Kara North to Forward a positive recommendation to the City Council for the Riverbend Medical Site Plan and Conditional Use Permit, located on the approximately 1.63 acres of parcel 51:508:0004, as identified in Exhibit 1 and proposed in Exhibits 4, 5, 6, and 7, with the Findings and Conditions contained in the staff report as well as the additional conditions with the addition to number 5 that the applicant shall work with the Riverbend HOA to finalize a maintenance agreement for the shared road prior to issuance of any certificates of occupancy. And the additional conditions: that all mechanical equipment shall be screened; that address shall be added to the monument sign; that a façade shift or additional materials shall be added to the south façade in compliance with the design standards; Percentages of building materials on each elevation shall be provided to the Council in compliance with the design standards, page 3.6 prior to the Council meeting; Location of the existing rock wall shall be determined; if the wall is on the Riverbend commercial property it shall be stabilized. Second from Jarred Henline.

Kimber Gabryszak did not write a condition to address the colors so she suggested adding that. "The percentages of building materials and **number of colors** on each elevation shall be provided to the Council. . ."

Kara North **accepted the amendment**

Jarred Henline **accepted the amendment**

Sandra Steele noted that nothing was said about the elevation to the west looking like a primary entrance.

Aye: Jeffrey Cochran, Kara North, Jarred Henline. Nay: Sandra Steele. Motion carried 3-1.

8. Public Hearing and Possible Decision: Plat Amendment for Lot 37 in the Aspen Hills subdivision located at 1641 North Lyndi Lane, Kevin Tenney, applicant.

Kimber Gabryszak presented the plat amendment. She noted they had seen a code amendment related to this. She reviewed code criteria and staff recommendation. They added a condition that a signature block for each utility shall be added to the plat, and signed prior to recordation.

Public Hearing Open by Jeff Cochran

No public input at this time.

Public Hearing Closed by Jeff Cochran

Jarred Henline wondered how they know what utility companies are really there.

Kimber Gabryszak said it's really only the ones we know about.

Kevin Thurman said there are no utilities where they have dug the swimming pool, the only ones we know about are in the 5' and it is the City that owns the public utility easement, we don't need the utility company's permission, but we could add their signature line to the plat if they would like to play it safe. Jarred Henline commented that if we know there is nothing there and they don't own it than why would we need to require the signature blocks.

Kimber Gabryszak said it was because of some issues with release letters but since we know there aren't utilities in the area if they come later they will see the new plat with 5' utility easements.

Kevin Thurman thought it would be safer to leave it. They should be ok to not require it though, the hole has been dug and we know there is nothing there.

Jarred Henline would say to take off condition number 4 if it's not really needed.

Kara North does not have issues with it and is indifferent to condition 4.

Sandra Steele is uncomfortable with the way the letters are written, what would they do if they needed to come in with a bulldozer?

Jeremy Lapin commented that if they were bringing in large equipment, even with a 10' easement that would require fences be torn down. But a 5' pue is not uncommon to have. Is the concern that they won't sign it? Could they change it to an attempt to have them sign it?

Sandra Steele is concerned for potential owners, the signatures add a little bit of comfort.

Jeremy Lapin noted you could change it to show a 5' encroachment area and notify future homeowners that the area is at potential future risk.

Jeff Cochran thinks the utilities won't sign it and waive their right if given the option. The companies would need to do due diligence and find the most recent plat if they needed to come in.

Kevin Thurman says they don't have to sign the plat but we have to notify them. We are taking a bit of risk but not a huge one, we know there aren't any utilities there, they don't have veto power over a subdivision plat and we could send them a notification.

Jarred Henline thought we could send a notification that if they object they need to send notice in 14 days or something. If there is no opposition then it could be recorded. If there is opposition the homeowners could work on it.

Kevin Thurman noted on a plat there is an owner's dedication which dedicates the pue's to the City not the public utilities, other companies have to have franchise agreements to use them. Our franchise agreements require them to give owners notice before working in pue's, written and telephone.

City Council Memorandum

Author: Kimber Gabryszak, AICP
Memo Date: Wednesday, January 14, 2015
Meeting Date: Tuesday, January 20, 2015
Re: Wildflower Rezone, General Plan Amendment, and Community Plan

Background & Request

The applicant is requesting approval of a General Plan Amendment and Rezone to change the designations of the property to Planned Community (PC), and also a Community Plan (CP) to master plan the ~795 acre property for residential and commercial uses. The CP lays out general densities and configurations, however future approvals must be obtained prior to construction, including Village Plans and subdivision plats.

The Planning Commission held a public hearing on November 13, 2014 and forwarded a positive recommendation with a 4:1 vote to the Council for the General Plan Amendment and Rezone to Planned Community, and the CP. A report of action was provided in the last Council report.

The City Council held a public hearing on December 2, 2014 and voted to table the application pending additional information concerning the acquisition of property by UDOT for the future Mountain View Corridor (MVC), as well as other changes to the CP. The Council also held a work session on December 16, 2014, and gave additional feedback on information and changes needed to render a decision.

Changes to the Community Plan

In response to the Council direction on December 2 and December 16, 2014, the applicants have made changes to pages 28, 29, and 59 (attached). UDOT and DAI have also provided information concerning the appraisals and purchase agreement for additional clarification.

UDOT and MVC ROW

Staff met with the applicant and UDOT on Tuesday, January 13, 2015 to discuss the MVC purchase and proposed density transfer. Both DAI and UDOT have ordered independent appraisals, however there is an approximate \$5,000,000 difference between the two appraisals. Both appraisals estimated a range of damages with and without a density transfer. The UDOT appraisal reflecting damages without a density transfer (the high end of the range) and the DAI appraisal reflecting damages with a density transfer (the low end of the range) end up at approximately the same amount of damages.

As a result, UDOT and DAI have agreed upon a purchase price, based on the low end of the DAI appraisal and the high end of the UDOT appraisal. In order for DAI to accept this purchase price, they are asking the City to grant a maximum density reflecting an average of 3 units per acre across the entire residential portion of the development, including the MVC acreage.

UDOT has also stated that the MVC project will be placed on the upcoming MAG (Mountainland Association of Governments) calendar for funding consideration. Priority is typically given to projects in which the Right of Way has already been acquired; as a result, if the MVC purchase is finalized, it is likely that the timeframe for construction will be significantly shortened.

Recommendation

Staff recommends that the Council review and discuss the requested density and conceptual layout, changes to the plan since the December 16, 2014 work session, and information regarding the UDOT acquisition.

The tabled decision for the GP, Rezone, and CP has been scheduled for the February 3, 2015 Council meeting.

Attachments

- A. City Council Draft Minutes, December 2, 2015 (pages 3-7)
- B. City Council Minutes, December 16, 2015 (pages 8-10)
- C. Changed pages of Community Plan (pages 11-13)
- D. Complete Community Plan (via Dropbox)

1
2 Councilman Willden appreciated the efforts the developer has made to accommodate the Council's requests.
3 He appreciates that these are HOA parks but that he is including parking. He is for approving the
4 preliminary plat.

5 Councilwoman Baertsch asked for clarification on the fence along Redwood rd.

6 Mike Kelly said they are proposing a 4' high berm and a 4' high fence.

7 Councilman McOmer asked with the HOA if they are going to allow a bigger fence.

8 Mike Kelly responded that no, it should be sufficient.

9 Councilwoman Baertsch appreciated all the work they had done. She is not in favor of maintaining the trail
10 area.

11 Kevin Thurman thought it had been the City's policy to maintain the sidewalk part of the trails.

12 Council felt they needed more clarification on that issue, they were aware of some areas where they did not.

13 Councilman McOmer thought that consistency was needed with fencing and trails throughout the city. With
14 the 4' berm and fence he thinks that is fine. He wants to see where the trail ends up and wants to make
15 sure there are eyes on the trail. He is concerned that the berm may block the trail view. He believes that
16 tot-lots get very little use; he thought more regional type parks were better. He appreciates the parking,
17 and feels the neighbors will be appreciative that people aren't parking in front of their homes. Make sure
18 around the trail parking that there is nice landscaping, not native weed area. He was appreciative of all
19 that the applicant has done.

20 Councilwoman Call is fine with the 4' berm and 4' fence. She commented that many parcels adjacent to them
21 have a more wrought iron style fence; they may want to consider that to make the look more uniform.

22 The flag lots are concerning but staff has not expressed any major concern so she is ok with that. She
23 also appreciates the platform playground being replaced. She is sad to see the restroom go away, even
24 though it is a smaller development and HOA, little ones need to use the restroom and it's hard to take
25 kids home to use the restroom.

26 Councilman Poduska appreciated the work the developer has put forth. He noted this is prime land in
27 Saratoga Springs so he was concerned when some of the amenities were refused. He recommends the
28 conditions put forth in order to produce a high quality product.

29 Councilman Willden requested that they revisit the maintenance of the trails.

30 Kevin Thurman noted they had two options to accept the maintenance or require a public access on the trail.

31 Council considered different areas where they maintained the trail. It is mainly on a development case by
32 case basis. There are some segments the city maintains some that HOA's maintain.

33
34 **Motion by Councilwoman Baertsch that the City Council approve the Mallard Bay Preliminary Plat,**
35 **located at approximately 2800-3000 South Redwood Road, Holmes Homes, applicant, including all**
36 **Staff findings and conditions. Modifying condition #3 to say that the Redwood rd. and Lakeshore 8'**
37 **trail ownership and maintenance be with the HOA unless precluded by other agreements, and that**
38 **there be a public access included on those. That condition #7 be changed from a 20 ft. gazebo with**
39 **built in benches to show that they have changed that back to a second pavilion. And condition 4 that**
40 **the 4' berm and 4' semi-private fence along Redwood road is acceptable and that the Lakeshore split**
41 **rail fence is acceptable as well. And the condition #8 as newly submitted is accepted for 18 parking**
42 **spots. Seconded by Councilman McOmer.**

43 **Aye: Councilman Willden, Councilwoman Baertsch, Councilman McOmer, Councilwoman Call,**
44 **Councilman Poduska Motion passed unanimously.**

45
46 **4. Public Hearing and Possible Recommendation on the Rezone, General Plan Amendment and**
47 **Community Plan for Wildflower located 1 mile west of Redwood Road on SR 73 and west of Harvest**
48 **Hills Development, DAI/Nathan Shipp, applicant.**

49 **a. Ordinance 14-29 (12-2-14): An Ordinance of the City of Saratoga Springs, Utah, adopting**
50 **amendments to the City of Saratoga Springs' Official Zoning Map for certain real property**
51 **(Wildflower); instructing the City staff to amend the City Zoning Map and other official zoning**
52 **records of the City; and establishing an effective date.**

53 **b. Motion to approve or deny the Community Plan, or to table the decision.**

54 Kimber Gabryszak presented the Community Plan and General Plan amendment. Of note was that UDOT
55 has proposed Mountain View Corridor through the middle of this Development. The applicant is
56 requesting that the density from that acreage be shifted to the remainder of the property. She reviewed
57 public input and Planning Commission input. At this time there is not any double dipping with UDOT
58 buying the property. They have three alternatives depending on how UDOT proceeds with the MVC
59 area.

60 Mark Christensen noted they had included those options because UDOT has not come through yet. And it
61 provides a view to residents and the City of what might happen.

62 Councilman McOmber does not like option C but thinks A and B are fair. He doesn't think the developer
63 should lose the value of the density they have already been given especially if the state forces them to
64 take lower prices. We need MVC so we need to make sure we are straight forward to the developer and
65 residents and he would give that density if needed. We need to look at the ways to make it work.

66 Kimber Gabryszak continued with the proposed plan. She addressed Residential, Commercial and Open
67 space numbers. They are going with ERU's so they can plan for churches and schools. The Regional
68 Commercial zone will remain the same. The applicant has put limitations on the maximum percentage of
69 smaller lots allowed in various phases, or pods. There will be future village plans and subdivisions
70 brought forward for approval with more details. She reviewed new changes to the conditions.

71 Kevin Thurman commented that the Community Plan needs to be consistent with the City's adopted Capital
72 Facility and Impact Fee Condition as in the Engineer's report. There is a development agreement that he
73 has not approved yet, we do not want to imply approval of that agreement tonight.

74 Nathan Shipp for applicant appreciated the work they have been able to do with city staff. They have spent
75 time in this last process working with Harvest Hills neighborhood and HOA, Camp Williams, UDOT,
76 and the City. They wanted to do what makes the most sense. MVC was a large impact into their original
77 plans. They would like some flexibility to be able to still provide the amenities to the neighborhood and
78 city. They have left the plans on the east of MVC and took the 344 displaced lots and proposed to add
79 some higher density to the South west area of the plan, nearer to the Regional commercial area. They feel
80 the Community Plan is the best way to bring this to the City. They don't have a final agreement with
81 UDOT and are trying to work with them and feel they have come up, along with staff, a clear way to
82 address what may happen. Within the commercial area they are looking to preserve the SR73 corridor
83 area also.

84 Brian Flamm was also present to help address questions from the Council.

85 Mark Christensen noted that they had been asking for an appraisal from UDOT for some time now and they
86 have yet to disclose an appraisal to them, either with or without a density on it.

87 Nathan Shipp said they are trying to find a way to move forward and still preserve the space for MVC. He
88 addressed that they have limited smaller lot sizes in different pods and have tried to make sure that they
89 are obligated to fulfil what they have shown.

90 Councilwoman Call asked how the minimum lot sizes were calculated.

91 Brian Flamm responded that it was done mainly on a case by case basis based on the housing types in each
92 pod.

93 Nathan Shipp said they were trying to balance between a contractual obligation and flexibility for anticipated
94 open space and changes that might need to be.

95 Councilwoman Call would like to open public hearing and then they could take all the input to further digest
96 and bring it back in a work session.

97 Nathan Shipp added a graphic that helped to show comparisons of densities to Harvest Hills.

98 Mark Christensen added that there will also need to be schools and churches that will need to be factored in
99 the future.

100 Jeremy Lapin noted that ERU's for a church were about 3-5 the highest was the High School at about 50.

101 **Public Input – Opened** by Mayor Miller

102 Jennifer Klingonsmith appreciated the additional clarity from the developer. She had some concerns on
103 the transfer of density and that they are working the 144 acres into the rest of the area. It doesn't
104 match the 10,000 square.feet lots in a true R3. The land is zoned R3 and he should be able to get a
105 fair amount for the land. She thinks the surrounding neighborhood properties and schools pay the
106

07 real price. If UDOT cannot pay fair price for the land they should consider building the MVC further
08 to the west. Please consider refusing the request for multi family dwelling. This area already has a lot
09 of high density housing, and this can double it. She appreciates that they have moved the high
10 density areas further away from Harvest Hills but it will still impact the demographics and schools,
11 traffic and property values. Proposition. 6 forces the city to show that only 7% of the city are
12 attached homes or stamped units. She hopes the city council does not set aside the city's wishes by
13 passing a development with 40% multifamily units. Grandfathering should not be allowed since the
14 application was not approved earlier. She asks that they reject this plan. She referenced Legacy
15 Farms and how it changed from what it was expected to begin with. She believes the smaller lots are
16 not necessary. She sees many larger lots that back up to Bangeter in the north. She believes the
17 product they have brought tonight is a great jumping off point. Please keep it in line with an R3 zone.

18 Jeff Cochran commented that he appreciated the applicant coming to the city. He is concerned with
19 density. He feels that currently Proposition. 6 limits are being exceeded. Approving this will further
20 exceed those limits. There is some denser planning coming forward already. He feels in a well
21 planned community there is some room for multi-family units. But this more than doubles the
22 number of high density units in this area. He is concerned that the high density housing is all
23 clustered mainly in this area of the city. He thinks any good developer will do a Performa and he
24 thinks that it is the developer's responsibility to negotiate a fair price with UDOT, it is not the City's
25 responsibility to make up the difference. He does not think this furthers the City's purposes of the
26 Land Use and Dev. Plan. He noted 19.17.4 and 19.17.6.

27 Erica Groneman asked how this would affect the prison.

28 Council noted this is not the property the prison is proposed to be on. It is just to the East of that parcel.

29 Rachel Cochran thanked them for public comment time. She is frustrated with the imbalance of the high
30 density areas in the city. So much of it is in the North. This does not meet the intent of Proposition 6.
31 She is frustrated that they knew MVC was coming and that the developer needs to deal with UDOT.
32 We should be adding more low density to this area of the city. She wanted to know what the actual
33 density was without MVC being included in the area. She asked them not to approve putting all the
34 extreme high density in one spot. It should all be one community.

35 B.J. Rosenham was concerned with why we needed to be fair to the developer, as a landowner we all
36 have risk, it shouldn't be transferred to everyone else. They should try to get the R3 price from
37 UDOT before anything is approved. He doesn't think that all the density should be transferred to the
38 area because of whatever UDOT does. It should remain R3 throughout. He appreciates what is being
39 done but thinks it can be done better.

40 Quinten Klingonsmith said keeping this R3 will improve our quality of life. It keeps with the clear
41 message voters made. To approve this is not a good idea. Recently Legacy Farms shows us what can
42 happen. Troubling is the goal to transfer density, it comes at an expense of residents currently in the
43 city. This is really a change from lower to higher density. They should negotiate for R3 zone prices.
44 If there is a public taking, let's not have it residents vs. developer losing value, it should be UDOT
45 taking that loss.

46 Davy Marshall, noted they had a lot of commercial development already in this area. There is none
47 further south. If they want more high density put it further south. Not all right there.

48 Derrick Isaacson asked would it be appropriate for the city to influence UDOT to give a fair price to the
49 developer.

50 **Public Input - Closed** by Mayor Miller

51
52 Nathan Shipp appreciated the comments and asked if Council had questions.

53
54 Councilwoman Call would like to go through Council and have just high level concerns and come back with
55 a work session to get into the details.

56 Councilwoman Baertsch asked what the mixed use area is; it seems odd outside by itself.

57 Nathan Shipp said they did not have a specific use for that area at this time. It was a separate parcel at this
58 time and it would need to be brought in later under a site plan.

59 Councilwoman Baertsch noted that technically Prop. 6 did not talk about densities. She ran some numbers
60 and what they proposed is overall lower density number of houses than what this is. Prop 6 does talk
61 about types of houses and she is concerned with the clustering of that density. That is a massive amount
62 of that altogether. If they accepted this she would rather see that spread out. As far as the overall, Harvest
63 Hills is not R3 either, it's an R3 PUD. This plan is missing larger half acre/acre lots. In the JLUS area
64 they want nothing bigger than 2 units per acre. As for other items she is not ok with the 5' setbacks on
65 both sides of the houses. She still has questions about the density transfers. If she would do the plan
66 without the MVC they would still have to build a lot of roads that would take out some of that area. She
67 appreciates the move to ERU's. They might be able to do some sort of hybrid where houses are not just
68 shoved out further because a church goes in. She would like to study the item further before they approve
69 it.

70 Councilman McOmber thought it was important to show that the development has truer R3 than Harvest
71 Hills does now. There will be added Open space. They believe in having like communities near like
72 communities and he feels it is important that they look at the density that is like density to existing.
73 Having all the high density in one space is concerning. If there was more space to spread those
74 apartments out it would be a superior product. Consider spreading it out through the development. With
75 the MVC, it was on the Master plan earlier and they knew it was coming. UDOT should not force them
76 to sell it at agriculture value, it should be at and R3 zone. With the density it is feathering west and Eagle
77 Mountain has high density coming close to this area. We need to be cognizant that Eagle Mountain has
78 no problem putting high density and industrial right on our boarder and we don't want to lose this land to
79 Eagle Mountain and get a worse product. We need to do the best we can to feather that high density to
80 lower towards Harvest Hills. We don't want to push these developers to choose a neighbor that doesn't
81 have a problem with zero lot lines or industrial and smaller lot sizes. They could put some townhomes in
82 the northern area perhaps. He thinks the larger lots should not be right near the freeway. He recommends
83 that their roads go over the MVC, not under to keep the MVC low down. He thinks they could have
84 gotten something from Council today but they don't want to make a sloppy decision.

85 Councilwoman Call agrees with Councilwoman Baertsch on missing larger lots in the plan. She doesn't like
86 5' setbacks; and on the lot reductions, perhaps 10% reduction rather than 25%. She shares the same
87 concern with ERU's and dispersing higher density. She is having trouble with the quantity of the density.
88 She thinks without MVC the plan looked like less units, around 900.

89 Nathan Shipp said they calculate the density before open space is taken out.

90 Councilwoman Call understands that he needs some flexibility and she would like to give that without giving
91 a PC zone. As it looks right now, it's too high of density.

92 Councilman Poduska believes they will have the freeway built. He doesn't agree with Harvest Hills wanting
93 to be surrounded by R3 when they don't have that large of neighborhoods themselves. He doesn't have a
94 real problem with the proposed density as it matches what is surrounding. He thinks it will be hard to
95 have the community feel with a freeway going through the middle. He suggests dividing the community
96 into two separate projects. Perhaps they could feather out the density from the freeway out, with smaller
97 lots near the freeway. That may help to spread out the density more.

98 Councilman Willden knows that the developer is being challenged with this project. He appreciates the
99 feathering idea and having the concentrations on the west side of the freeway. He noted that many people
100 in Harvest Hills bought property with the understanding that R3 would be next to them.

101
102 Nathan Shipp said they have been working on this for over 18 months. They will have lots of opportunities to
103 discuss details as the village plans come. They have motivation to make sure it's done right on the front
104 end.

105
106 Councilman McOmber commented that they normally don't have a meeting coming on in the next few
107 weeks; he would be willing to have a work session in a few weeks. He doesn't think it's fair to make
108 them wait until January.

109
110 **Motion from Councilwoman Call to table the Ordinance 14-29 (12-2-14): An Ordinance of the City of**
111 **Saratoga Springs, Utah, adopting amendments to the City of Saratoga Springs' Official Zoning**

12 **Map for certain real property (Wildflower); instructing the City staff to amend the City Zoning**
13 **Map and other official zoning records of the City; and establishing an effective date. And to Table**
14 **the Community Plan, inviting applicant to come back in a few weeks with for a work session.**
15 **Second from Councilman Willden.**

16 **Aye: Councilman Willden, Councilwoman Baertsch, Councilman McOmber, Councilwoman Call,**
17 **Councilman Poduska Motion passed unanimously.**

18
19 Council agreed to meet with applicant in two weeks.

20
21 **5. Potential Acceptance of The Springs Annexation petition for further consideration located west of the**
22 **proposed Wildflower project, approximately 1000 North 1000 West, adjacent to the south border of**
23 **Camp Williams, Western States Venture, applicant.**

24 Kimber Gabryszak presented the request for annexation. They are asking for an amendment to the zone map
25 and General Plan land use map. This is just for the city to consider accepting the petition for further
26 consideration. There would be further process to approve or deny the annexation.

27
28 Councilman McOmber asked Legal Counsel if they are allowed to talk about the densities tonight.

29 Kevin Thurman replied that it's a legislative decision right now, at some time further they would have to
30 have that discussion, when it's annexed they will attach a zone to it.

31 Councilwoman Call said if they do nothing after 14 days it automatically goes through the process.

32 Councilman McOmber wanted to talk to what the densities might be. He alluded to earlier comments where
33 this property is situated, along a power corridor and next to Eagle Mountain industrial. For him that
34 creates a natural feather buffer to what Eagle Mountain has put right next to this. We have to look at the
35 view of feathering the densities, higher next to shops and industrial. With this annexation he thinks that
36 they need to allow the higher density, especially to keep the prison out. This is the better option.

37 Councilwoman Call encouraged the applicant to work with the Staff and Council and welcomed them to the
38 city.

39 Councilman Poduska recommends that they consider this annexation and go forward.

40 Councilman Willden echoes Councilman McOmber's comments about feathering this out; it makes sense
41 and will line up. He would much rather have this as high density rather than a prison.

42 Councilwoman Baertsch is willing to go through the process of looking at this annexation.

43 Mayor Miller thanked them for the application and looked forward to going through this process.

44
45 **Motion from Councilwoman Baertsch to accept the Annexation petition for further consideration for**
46 **the Springs, located approximately 1000 North 1000 West, adjacent to the south border of Camp**
47 **Williams, Western States Venture, applicant. Second from Councilman McOmber**

48 **Aye: Councilman Willden, Councilwoman Baertsch, Councilman McOmber, Councilwoman Call,**
49 **Councilman Poduska Motion passed unanimously.**

50
51 **6. Motion to enter into closed session for the purchase, exchange, or lease of property, pending or reasonably**
52 **imminent litigation, the character, professional competence, or physical or mental health of an individual.**

53
54 **Councilwoman Call made a motion to enter into closed session for the purchase, exchange, or lease of**
55 **property, pending or reasonably imminent litigation, the character, professional competence, or**
56 **physical or mental health of an individual. Seconded by Councilwoman Baertsch.**

57 **Aye: Councilman McOmber, Councilwoman Baertsch, Councilman Willden, Councilman Poduska**
58 **and Councilwoman Call. Motion passed unanimously**

59
60 Meeting Adjourn to Closed Session 9:45 p.m.

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Work Session held at the City of Saratoga Springs City Offices
1307 North Commerce Drive, Suite 200, Saratoga Springs, Utah 84045

Work Session Minutes

Present:

Mayor: Jim Miller
Council Members: Michael McOmber, Shellie Baertsch, Rebecca Call, Stephen Willden, Bud Poduska
Staff: Mark Christensen, Kimber Gabryszak, Kyle Spencer, Kevin Thurman, Nicolette Fike
Others: Chris Porter, Travis Daley, Phil Cook, Jen Klingonsmith, Quinton Klingonsmith, Krisel Travis, Boyd Martin, Kevin Ballard, Greg Haws, Joe Kemmerer, Nathan Shipp

Call to Order – 6:05 p.m.

1. Discussion of the Wildflower Rezone, General Plan Amendment, and Community Plan located 1 mile west of Redwood Road on SR73 and west of Harvest Hills Development, Dai/Nathan Shipp, applicant.

Nathan Shipp introduced the project.

Phil Cook, a Real Estate appraiser, talked about how they valued the property when a government agency needs to acquire property. They follow the same rules as if they were looking at an eminent domain action with a before and after process. They went through as if there were no project (as a straight R3) State law says the agency acquiring the land has to pay at least the value of the land. There may also be severance damages, a value loss to the remaining land by reason of the project. There may also be benefits. One negative associated with this road is that there is no time set for construction. The property owner is going to incur costs up front that they may not have if the project was more eminent. A benefit may be if the density that is in this roadway area gets transferred to the remaining property. He noted that it's not fair for the government to pay for the added valued, alternatively if value is depressed it isn't fair to sell it at a discount. They have to follow the scope of the project rule. Also as if it's a hypothetical buyer and seller.

Phil Cook helped answer questions about the costs from the Council members. He indicated that any benefit from a transfer of density in this corridor to the remaining property it could offset in whole or part the value of the severance damages.

Mark Christensen stated that the issue is, do we want to participate and help facilitate the costs to the state by transferring densities? If not, the state will need to purchase the property with the damages. What is your willingness to participate? Does some transfer make sense?

Councilman McOmber appreciates the clarifications. He clarified that by us transferring the densities, it helps offset the severance that UDOT would have to pay. The MVC land is getting paid for at market value, we are looking at offsetting the severance. He doesn't want to double dip on the corridor itself, but the corridor diminishes the value of the surrounding land, that is what we are looking at helping with. We are trying to figure out how we can help minimize the impact of the surrounding land.

Phil Cook they are not made whole unless they get paid for value of land and for the reduction in the value of the land they don't take.

Mark Christensen said if we are willing to participate than UDOT would be thrilled. If we don't participate than UDOT has to solve the issues of timing and where the corridor would go. Theirs is a question of what level we participate.

Councilman McOmber asked what is the ERU severance to the surrounding area.

Phil Cook said conceptually there is not a 1-1 correlation. Higher density is worth more.

Councilman McOmber would like the numbers so they can make a clearer decision. They want to work well with UDOT.

4 Mark Christensen said fundamentally, are we willing to enter into the 3 way partnership, are we willing to take
5 on some of those damages.

6 Councilman Poduska said we should work together in cooperative effort. He can see where UDOT benefits from
7 a lower price. He can see where DAI would benefit from a higher density. The City will benefit from
8 freeway access. He has some pushback on density, but the city would benefit from the number of rooftops
9 allowing greater commercial to come in. He is in favor of some level of participation.

0 Councilwoman Call taking just the rest of the property without MVC it could have an impact on the Planned
1 Community zone. If they include and MVC in zoning then it could fall in the Planned Community, but if that
2 land is excluded, according to current code, it could not as code requires contiguous acreage. With density
3 transfer itself, she appreciates effort to work with everyone to get the numbers. Her quick numbers at
4 \$25,000 per unit would be just below 11 million dollars, she doesn't know if there is 11 million dollars' worth
5 of damages there. She doesn't think that is a number she is comfortable with, without the appraisals. She has
6 hesitation with the way the density transfer lays out. She doesn't know if all of the open space would fit in
7 open space definition for 30%. At this point she doesn't know enough information, she is willing to
8 cooperate but doesn't know to what level she would be willing to compensate. Outside of the road, the
9 density is too high, the numbers just don't work. The road does provide a regional benefit, not just to
0 Saratoga Springs, so she doesn't think all the compensation needs to come from Saratoga Springs.

1 Councilman McOmber does believe in the cooperation and working together to make things happen. The MVC
2 is in the ideal alignment but it does impact this development. When we figure out the amount he thinks they
3 can work it out with the 3 entities. He does think this section benefits Saratoga Springs because it dead ends
4 there. He is not interested in doing any additional value over the severance. He wants to see this development
5 happen and to see the freeway come through. We can make this work together and make it a highlight in the
6 City.

7 Councilwoman Baertsch asked that the UDOT representative talk to us about where they are in the purchase
8 process.

9 Joe Kemmerer for UDOT, said they are not trying to withhold information from the city, they have been working
0 with DAI on property values and appraisals. They are getting close to having agreed values and are looking
1 at possible land exchange. When they get there they will share that information. They are looking forward to
2 the Tri-party agreement.

3 Councilwoman Baertsch is amenable to a tri-party agreement but she would like to see the land exchange first.
4 She mentioned several parcels in the area that UDOT owns in the area. This is looking at our future growth.
5 If that is not possible she is amenable to looking at the tri-party agreement. She asked if he is looking at just
6 the value of the land or at severances also.

7 Joe Kemmerer said they have started with 7 properties and have come down to 3. In this case it would likely be
8 in corridor preservation funds as they do not have eminent domain with a funded project yet. Historically 1/3
9 of funds go to r/w acquisition, 1/3 to fund project, and 1/3 to design. If they had this piece it makes it more
0 likely to move along a project.

1 Councilwoman Baertsch had the same question as Councilwoman Call as far as the PC zone and how that would
2 work with the Code. She would be looking at transferring the densities to offset the severance, not the entire
3 fee of the roadway. The proposed trail through open space to the school, it may not be feasible, it's a very
4 steep hill. She still thinks he would be better at taking high density along the corridor rather than
5 concentrated. She would like to see more of the larger lots. She would like to see more about the commercial
6 area. If they are considering it a PC zone they need to see how that ties in. She is willing to do tri-party
7 agreement if necessary but prefers UDOT to take care of it through land swap and it needs to be done on
8 ERU's of severance and not the whole value of the Corridor.

9 Councilman Willden appreciates the explanations from tonight. He is willing to cooperate but doesn't think the
0 city should foot the whole bill through density transfers. Our residents help foot UDOT's bill through taxes.
1 We can participate but not at the whole 433 units. He is questioning if it really would be 433 units with the
2 road cut out.

3 Kimber Gabryszak said it's based on the acreage; she didn't go through and count on the overlay.

4 Councilman Willden thinks they need to figure out what it would actually be, than figure out a percentage from
5 there.

6 Councilman McOmber isn't willing to do any of the 433, just enough to offset the severance.

Kevin Thurman thinks they are saying that they are assuming this would be three units per acre. It may be overvalued.

Councilman Willden agreed with Councilman McOmber. We aren't at the right starting point yet. He is not ok to transferring density to the east side of the freeway at all.

Mayor Miller echoed a lot of the comments; he would be interested in the tri-partnership.

Councilwoman Call stated that they would like to see the pre-severance and post severance appraisals and work from there.

Mayor Miller would like Councilman Willden and Councilman McOmber to work with him and staff.

Nathan Shipp had other components besides density he would like feedback on. He heard concern about where to place extra density. As they look at where they place it, he wanted feedback on where to put it. They met with Jeremy Lapin and discussed the Master Transportation plan and they can see the main road tying in to the west. They talked about where the tanks and water storage have gone and it will need to be amended they are proposing the road come through commercial to help facilitate that area, they have ended up with a major collector in the area where the town homes were to be located. It's splitting what was 400 units of town homes into three lots.

Councilwoman Call would like to get a staff report to see how many units really could have fit with open space etc. in the MVC area. She does not understand the area designated as 12 units per acre. If 1500 square foot living spaces were constructed with all of the other requirements she is skeptical that they could be constructed as townhomes but rather would take on a condominium or stacked product feel.

Nathan Shipp was willing to commit that it wouldn't go stacked.

Councilwoman Call it's unfair to talk about where the density is going when they don't know what it will be for sure. She discussed reducing the brackets on square footages with the applicant previously.

Nathan Shipp said they have shrunk the brackets and have made the lots larger, they will continue to work with the city on that. The table in the packet is not updated.

Councilman McOmber appreciates that he is tightening up the brackets, which shows him they are willing to work with the Council. He likes the idea of the road and ravine breaking up the townhomes. He is happy they are willing to lock into no stacked condos. His concern is the created densities. With the 18 units per acre, whatever the negotiation is with the density, He thinks the best thing is to work those along the MVC and not have larger lots backing the freeway. There would be ways to make it work, keeping it on the west side.

Councilwoman Call on the west side where there are amazing view lots. Don't compromise those lots with town homes.

Applicant said they are working on those. They want those view lots on both sides of the road. They are also working with the typography of the land.

Councilman McOmber feels they can figure it out but they don't know yet. They are willing to work in tri-party agreement

Mark Christensen thinks they need to nail down what the numbers are before we get into design details.

Councilwoman Call made some calculations; she was surprised by the numbers. It makes her feel a little more comfortable.

Nathan Shipp said they have a meeting with Alpine School District for school sites.

Mark Christensen noted he had spoken with the church site selectors and they are starting those conversations. It may be two to three stakes in the area. They do want to preserve several of those areas.

Nathan Shipp they had looked at a closer view and noted there are areas where there are smaller open spaces needed. They have added language to the plan to better conform to existing city code. They have tightened larger ranges of lot sizes, and changed other things to conform to code. They take pride in the communities that they build. They have referenced a project in Bluffdale that the residents have been very happy with, especially with the parks. They want to do a great job here.

Councilman McOmber said in terms of parks they would love to talk to the applicant about our visions for the City when it gets to that point.

Mayor Miller thanked him for his time and letting them ask questions.

Councilwoman Call asked if they had an estimated timeline to get proposals for severance appraisals. (He thought they could get back tomorrow with that.) They are looking forward to the road that will benefit our community. They appreciate the relationship they have had with UDOT.

General Development Standards - Single Family Dwellings

Setbacks

Front Yard: 15' min.

Front Access Garage: 20' min.

Rear Yard: 10' min.

Side Yard: Varies by Neighborhood Type

Required lot widths between 45'-50': 5'/10'

Required lot widths at 60': 8'/16'

Required lot widths between 70'-80': 8'/20'

Corner Lots:

Front Yard: 15' min.

Front Access Garage: 20' min.

Side Access Garage: 20' min.

Building Height: 35' maximum height measured at the vertical distance from the average finished grade surface at the building wall to the highest point of the coping of a flat roof or the deck line of a mansard roof; or the mean height level between eaves and ridge for gable, hip, or gambrel roofs.

Lot Size: Varies by neighborhood. See table on page 29.

Lot Width: Lot width varies by neighborhood. See table on page 29.

Lot Frontage: 35' min.

Lots adjacent to Harvest Hills: Lots adjacent to the Harvest Hills neighborhood shall be equal to the average lot width of the adjacent Harvest Hills Neighborhood.

Lot Coverage: 50% max.

Minimum Dwelling Size: To be determined at Village Plan.

General Development Standards - Accessory Structures Requiring a Building Permit

Setbacks

Front Yard: Same as Primary Structure

Side Yard: 5' min.

Rear Yard: 5' min.

Corner: Same as Primary Structure

Distance from any dwelling unit: 5' min.

Height: As per Saratoga Springs Municipal Code



Neighborhood Breakdown

Single Family Neighborhoods	Proposed Percentages	Min. Lot Width at Front Setback	Typical Range of Lot Sizes	Side Yard Setbacks
Neighborhood 1	Max 10% of lots 6,000 - 8,000 sq. ft.	60	8,000 - 14,000	6'/12'
Neighborhood 2	Max 10% of lots 8,000 - 9,000 sq. ft.	70	9,000 - 14,000	8'/20'
Neighborhood 3	Max 20% of lots 4,500 - 5,000 sq. ft.	45	4,500-7,000	5'/10'
Neighborhood 4	Max 20% of lots 4,500 - 5,000 sq. ft.	45	4,500-7000	5'/10'
Neighborhood 5	Max 10% of lots 4,500 - 5,000 sq. ft.	45	4,500 - 8,000	5'/10'
Neighborhood 6	Max 10% of lots 7,000-8,000 sq. ft.	45	8,000-11,000	8'/16'
Neighborhood 7	N/A	45	4,500 - 7,000	5'/10'
Neighborhood 9	N/A	45	5,500 - 7,500	5'/10'
Neighborhood 13	N/A	45	5,000 - 8,000	5'/10'
Neighborhood 14	Max 20% of lots 5,000 - 8,000 sq. ft.	50	6,000 - 10,000	5'/10'
Neighborhood 15	Max 20% of lots 5,000 - 8,000 sq. ft.	50	6,000 - 11,000	5'/10'
Neighborhood 16	Max 20% of lots 6,000 - 7,000 sq. ft.	60	7,000 - 11,000	8'/16'
Neighborhood 17	Max 20% of lots 5,000 - 6,000 sq. ft.	50	6,000 - 9,000	5'/10'
Neighborhood 18	Max 10% of lots 8,000 - 9,000 sq. ft.	80	9,000-20,000	8'/20'



Utilities and Thoroughfare Plan

The Wildflower Community Plan's design started with the knowledge that both Saratoga Springs and UDOT desired to bisect the property with the Mountain View Corridor. To assist in incorporating these roads and thoroughfares into the project's landscape theme and identity street names will come from Utah wildflowers. Some Utah wild flowers include:

- Bellflower
- Bluebell
- Buttercup
- Clover
- Honeysuckle
- Paintbrush
- Yarrow
- Violet

These names will strengthen the community theme and assist in cognitive mapping and project identity. Ideally each Village Plan will share a specific theme that will assist in wayfinding for residents and visitors. Exhibit eight portrays Saratoga Springs City standard cross sections.

Transportation

A transportation plan shown in the Wildflower Traffic Impact Study, located in the Thoroughfare Plan section, will show a network of thoroughfares identifying wayfinding elements, entrance monumentation and traffic calming elements, incorporating multimodal transportation elements that focus on sustainable and well-designed pedestrian oriented neighborhoods and thoroughfares. See Exhibit Eleven for an example of a Three-Lane System Collector, a Local Street and a Minor Arterial Road. All arterial and collector roads identified in Exhibit Ten are to be included as system improvements in the City's impact fees facilities plan.

Hales Engineering conducted a traffic study of the project area in May 2014. See Exhibit Ten for a Trip Generation Table (Pg.21) The traffic analysis was performed weekday morning (7:00 – 9:00a.m.) and afternoon (4:00 to 6:00p.m.) peak period traffic counts at the following intersections:

