



Planning Commission Meeting
Thursday, January 8, 2015
Meeting held at the Saratoga Springs City Offices
1307 North Commerce Drive, Suite 200, Saratoga Springs

AGENDA

One or more members of the Commission may participate electronically in this meeting.

Regular Session commencing at 6:30 P.M.

Regular Meeting

1. Pledge of Allegiance.
2. Roll Call.
3. Public Input – Time has been set aside for any person to express ideas, concerns, comments, questions or issues that are not listed on the agenda. Comments are limited to three minutes.
4. Approval of the Planning Commission meeting schedule for 2015.
5. Public Hearing and Possible Recommendation: Revisions to the Land Development Code, Section 19.09.11, Required Parking. Presented by Sarah Carroll.
6. Concept Plan for Vasa Fitness located at 1523 North Redwood Road, Charlie Hammond, applicant. Presented by Sarah Carroll.
7. Public Hearing and Possible Recommendation: Conditional Use and Site Plan for Riverbend Medical located at 41 East 1140 North, west of Riverbend Development, Blaine Hales, applicant. Presented by Kimber Gabryszak.
8. Public Hearing and Possible Decision: Plat Amendment for Lot 37 in the Aspen Hills subdivision located at 1641 North Lyndi Lane, Kevin Tenney, applicant. Presented by Kimber Gabryszak.
9. Approval of Reports of Action.
10. Approval of Minutes:
 1. December 11, 2014.
11. Commission Comments.
12. Director's Report.
13. Adjourn.

*Public comments are limited to three minutes. Please limit repetitive comments.

In compliance with the Americans with Disabilities Act, individuals needing special accommodations (including auxiliary communicative aids and services) during this meeting should notify the City Recorder at 766-9793 at least one day prior to the meeting.

2015

Annual Notice of Regular Meeting Schedule for the City of Saratoga Springs

Planning Commission

Held at the City of Saratoga Springs City Hall located at 1307 North Commerce Drive,
Suite 200, Saratoga Springs, Utah

Thursday, January 8, 2015

Thursday, January 22, 2015

Thursday, February 12, 2015

Thursday, February 26, 2015

Thursday, March 12, 2015

Thursday, March 26, 2015

Thursday, April 9, 2015

Thursday, April 23, 2015

Thursday, May 14, 2015

Thursday, May 28, 2015

Thursday, June 11, 2015

Thursday, June 25, 2015

Thursday, July 9, 2015

Thursday, July 23, 2015

Thursday, August 13, 2015

Thursday, August 27, 2015

Thursday, September 10, 2015

Thursday, September 24, 2015

Thursday, October 8, 2015

Thursday, October 22, 2015

Thursday, November 12, 2015

Thursday, December 10, 2015



**Code Amendment
19.09.11 – Required Parking
January 8, 2015
Public Hearing**

Report Date: December 24, 2014
Applicant: Charlie Hammond with HD Saratoga, LLC
Land Use Authority: City Council
Future Routing: Public hearing(s) with City Council
Author: Sarah Carroll, Senior Planner

A. Executive Summary:

The applicant is requesting amendments to Section 19.09.11. “Required Parking” to reduce the requirements for fitness centers. The applicant is proposing that the City reduce the requirement from 6 spaces per 1,000 square feet to 5 spaces per 1,000 square feet and have indicated that other cities where they have constructed require 5 spaces per 1,000 square feet or less.

Recommendation:

Staff recommends that the Planning Commission conduct a public hearing, take public comment, discuss the proposed amendments, and choose from the options in Section H of this report. Options include a positive recommendation with or without modifications, a negative recommendation, or continuance.

B. Background: The Land Development Code currently requires 6 stalls per 1,000 square feet for fitness centers. The applicant has constructed fitness centers in other locations in Utah and has indicated that this requirement is higher than other cities where they have constructed. The table below indicates cities where VASA Fitness (formerly Gold’s Gym) is located, along with the respective parking requirement and the amount the applicant provided.

Gym Location	SQ. FT.	City Parking Requirement	REQUIRED STALLS	PROVIDED STALLS
Riverton	45,708	1 space per 200 sq. ft. (5:1000)	229	238 (5.2:1000)
Brickyard (SLC)	23,240	3 stalls per 1000 sq ft (3:1000)	70	117 (5:1000)
South Jordan	19,812	5 stalls per 1000 sq ft (5:1000)	99	102 (5.15:1000)
Tooele	34,770	1 space per 300 sq ft (3.3:1000)	115	191 (5.5:1000)
Sandy	59,877	5 stalls per 1000 sq ft (5:1000)	299	299

Additional research indicates the following requirements for nearby cities:

City	Land Use	Required stalls per 1,000 sq. ft.	Stalls required for a 20,000 sq. ft. building
Saratoga Springs	Fitness Center	6 per 1,000	120
Eagle Mountain	Commercial, over 10,000 sq. ft.	5 per 1,000	100
Provo	Health Clubs	5 per 1,000	100
Orem	Gymnasium and Athletic Club	4 per 1,000	80
Bluffdale	Health Club	5 per 1,000	100
West Jordan	Fitness Center	6.66 per 1,000	133
Draper	Recreation/Entertainment Indoor	3 per 1,000	60
	OR	OR	OR
	Personal Instruction Service	5 per 1,000	100

C. Specific Request:

This is a request to amend Section 19.09.11, “Required Parking” to reduce the requirement for fitness centers from 6 stalls per 1,000 square feet to 5 stalls per 1,000 square feet.

D. Process: Section 19.17.03 of the Code outlines the process for an amendment:

1. The Planning Commission shall review the petition and make its recommendation to the City Council within thirty days of the receipt of the petition.
Complies. The application was received on December 16, 2014, and the hearing is January 8, 2015.
2. The Planning Commission shall recommend adoption of proposed amendments only where it finds the proposed amendment furthers the purpose of the Saratoga Springs Land Use Element of the General Plan and that changed conditions make the proposed amendment necessary to fulfill the purposes of this Title.
Complies. Please see Sections F and G of this report.
3. The Planning Commission and City Council shall provide the notice and hold a public hearing as required by the Utah Code. For an application which concerns a specific parcel of property, the City shall provide the notice required by Chapter 19.13 for a public hearing.
Complies. Please see Section E of this report. After the Planning Commission recommendation, a public hearing will be scheduled with the City Council.
4. For an application which does not concern a specific parcel of property, the City shall provide the notice required for a public hearing except that notice is not required to be sent to property owners directly affected by the application or to property owners within 300 feet of the property included in the application.
Complies. Please see Section E of this report.

E. Community Review: Per Section 19.17.03 of the City Code, this item has been noticed as a public hearing in the *Daily Herald*; while the request is by one property owner, these amendments

are City-wide and no mailed notice was required. As of the date of this report, no public input has been received.

A public hearing with the City Council has been scheduled and will be noticed for January 20, 2015.

F. General Plan:

Land Use Element

The General Plan has stated goals of responsible growth management, the provision of orderly and efficient development that is compatible with both the natural and built environment, establishment of a strong community identity in the City of Saratoga Springs, and implementation of ordinances and guidelines to assure quality of development.

Staff conclusion: consistent

The parking requirements are important to growth management and orderly and efficient development. The current parking requirement for fitness centers is 6 per 1,000 square feet which is more than the applicant has provided at facilities that they have recently constructed or expanded in other cities in Utah such as Riverton, Salt Lake City, South Jordan, Tooele, and Sandy. Additional research by staff indicates that many nearby cities require 5 stalls per 1,000 square feet. The applicant provided data collected throughout the day on Thursday October 16, 2014 reflecting the number of hourly visits at their South Jordan location which is a 20,000 square foot building. On that day the busiest times of day were 5:00 a.m. and 5:00 p.m., with 77 visitors. If each visitor drove a car at the peak times, this equates to a demand for 77 stalls for a 20,000 square foot building OR 3.86 stalls per 1,000 square feet.

The goals and objectives of the General Plan are not negatively affected by the proposed amendments, community goals will be met, and community identity will be maintained.

G. Code Criteria:

Code amendments are a legislative decision; therefore the City Council has significant discretion when considering changes to the Code.

The criteria for an ordinance (Code) change are outlined below, and act as guidance to the Council in making a decision, and to the Commission in making a recommendation. Note that the criteria are not binding.

19.17.04 Consideration of General Plan, Ordinance, or Zoning Map Amendment

The Planning Commission and City Council shall consider, but not be bound by, the following criteria when deciding whether to recommend or grant a general plan, ordinance, or zoning map amendment:

1. The proposed change will conform to the Land Use Element and other provisions of the General Plan;

Consistent. See Section F of this report.

2. the proposed change will not decrease nor otherwise adversely affect the health, safety, convenience, morals, or general welfare of the public;

Consistent. The amendment will result in fitness centers that are not over-parked and will not adversely affect the health, safety, convenience, morals, or general welfare of the public.

3. the proposed change will more fully carry out the general purposes and intent of this Title and any other ordinance of the City; and

Consistent. The stated purposes of the Code are found in section 19.01.04:

1. The purpose of this Title, and for which reason it is deemed necessary, and for which it is designed and enacted, is to preserve and promote the health, safety, morals, convenience, order, fiscal welfare, and the general welfare of the City, its present and future inhabitants, and the public generally, and in particular to:
 - a. encourage and facilitate the orderly growth and expansion of the City;
 - b. secure economy in governmental expenditures;
 - c. provide adequate light, air, and privacy to meet the ordinary or common requirements of happy, convenient, and comfortable living of the municipality's inhabitants, and to foster a wholesome social environment;
 - d. enhance the economic well-being of the municipality and its inhabitants;
 - e. facilitate adequate provisions for transportation, water, sewer, schools, parks, recreation, storm drains, and other public requirements;
 - f. prevent the overcrowding of land, the undue concentration of population, and promote environmentally friendly open space;
 - g. stabilize and conserve property values;
 - h. encourage the development of an attractive and beautiful community; and
 - i. promote the development of the City of Saratoga Springs in accordance with the Land Use Element of the General Plan.

The amendment is to reduce the parking requirement for fitness centers so that it is more consistent with parking requirements in neighboring cities and does not create an over-abundance of unused parking stalls.

4. in balancing the interest of the petitioner with the interest of the public, community interests will be better served by making the proposed change.

Consistent. The proposed change will modify the parking requirement for fitness centers so it is similar to what neighboring cities require.

H. Recommendation / Options:

Staff recommends that the Planning Commission conduct a public hearing, discuss any public input received, and choose from the options below.

Option A – Positive Recommendation

Possible Motion:

“Based upon the evidence and explanations received today, I move to forward a **positive** recommendation to the City Council for the proposed amendment to Section 19.09.11 “Required Parking” to reduce the parking requirement for fitness centers from 6 stalls per 1,000 square feet to 5 stalls per 1,000 square feet, with the Findings below:

Findings:

1. The amendments are consistent with Section 19.17.04.1, General Plan, as outlined in Sections F and G of this report and incorporated herein by reference, by supporting the goals and policies of the General Plan.
2. The amendments are consistent with Section 19.17.04.2 as outlined in Section G of this report and incorporated herein by reference, and will not decrease nor otherwise adversely affect the health, safety, convenience, morals, or general welfare of the public.
3. The amendments are consistent with Section 19.17.04.3 as outlined in Section G of this report and incorporated herein by reference.
4. The amendments are consistent with Section 19.17.04.4 as outlined in Section G of this report, and incorporated herein by reference.

Option B – Continuance

Possible Motion:

“I move to continue the amendments to Section 19.09.11 of the Code to a future meeting and request the following information:

Option C – Negative Recommendation

Possible Motion:

“Based upon the evidence and explanations received today, I move to forward a **negative** recommendation to the City Council for the proposed amendment to Section 19.09.11 “Required Parking” to reduce the parking requirement for fitness centers from 6 stalls per 1,000 square feet to 5 stalls per 1,000 square feet, with the Findings below:

Findings

1. The amendments do not comply with Section 19.17.04(1), General Plan, as articulated by the Commission: _____
2. The amendments do not comply with Section 19.17.04, sub paragraphs 2, 3, and/or 4 as articulated by the Commission: _____
3. _____
4. _____
5. _____

I. Exhibits:

1. Proposed change to ordinance
2. Applicant request letter and research

Exhibit 1

19.09.11. Required Minimum Parking by Zone.

Fitness Center (5,000 sq. ft. or less)	€ <u>5</u> stalls per 1000 sq. ft.
Fitness Center (5001 sq.ft. or larger)	€ <u>5</u> stalls per 1000 sq. ft.



December 16, 2014

City of Saratoga Springs
1307 N. Commerce Dr. #200
Saratoga Springs, UT 84045

To whom it my concern,

It is at the request of VASA Fitness, for the City of Saratoga Springs, to consider a code amendment change for the required parking stall for a fitness center to be changed from 6 stalls per 1,000 sq ft to 5 stalls per 1,000 sq ft. In the 30 years VASA Fitness has been operating as Gold's Gym in Utah, it has been determined through extensive studies that the optimum parking ratio for a gym facility to be 5 stalls per thousand, as evident in the attached parking ratios provided. In addition for our 18 locations in the state of Utah, every governmental jurisdiction has a parking code requirement for our use of 5 stalls per 1,000 sq ft.

A handwritten signature in blue ink, appearing to read 'Scott Felsted'.

Scott Felsted
VASA Fitness President

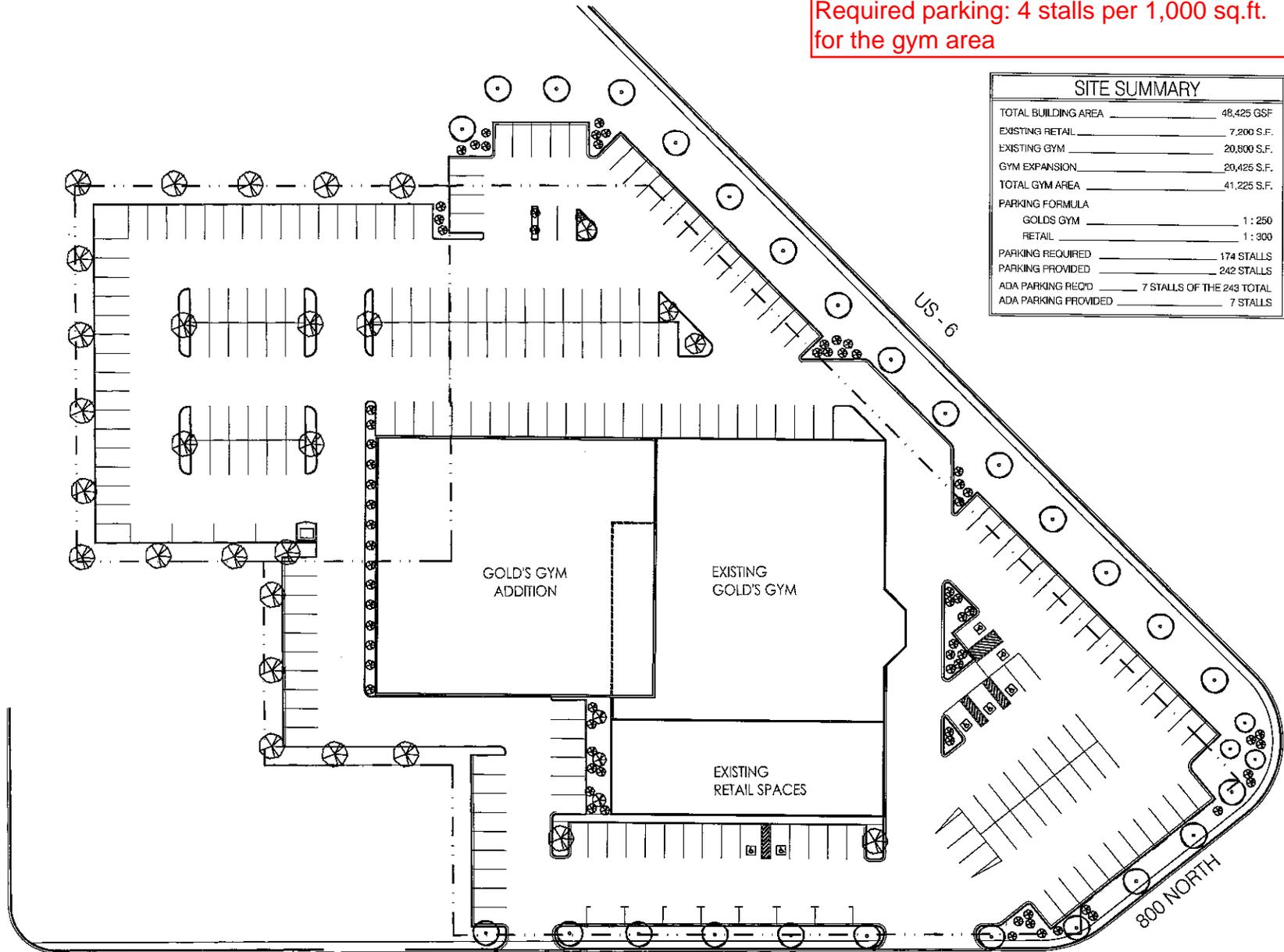


Exhibit 2:
Hourly visits at South Jordan Location
Thursday 10/16/14
Facility is 20,000 square feet

Exhibit 2, data provided by applicant from recent build or expansion of sites, included on page 1 of staff report

Gym Location	SQ. FT.	City Parking Requirement	REQUIRED STALLS	PROVIDED STALLS
Riverton	45,708	1 space per 200 sq. ft. (5:1000)	229	238 (5.2:1000)
Brickyard (SLC)	23,240	3 stalls per 1000 sq ft (3:1000)	70	117 (5:1000)
South Jordan	19,812	5 stalls per 1000 sq ft (5:1000)	99	102 (5.15:1000)
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Sandy	59,877	5 stalls per 1000 sq ft (5:1000)	299	299

Exhibit 2, Spanish Fork Expansion
 Required parking: 4 stalls per 1,000 sq.ft.
 for the gym area



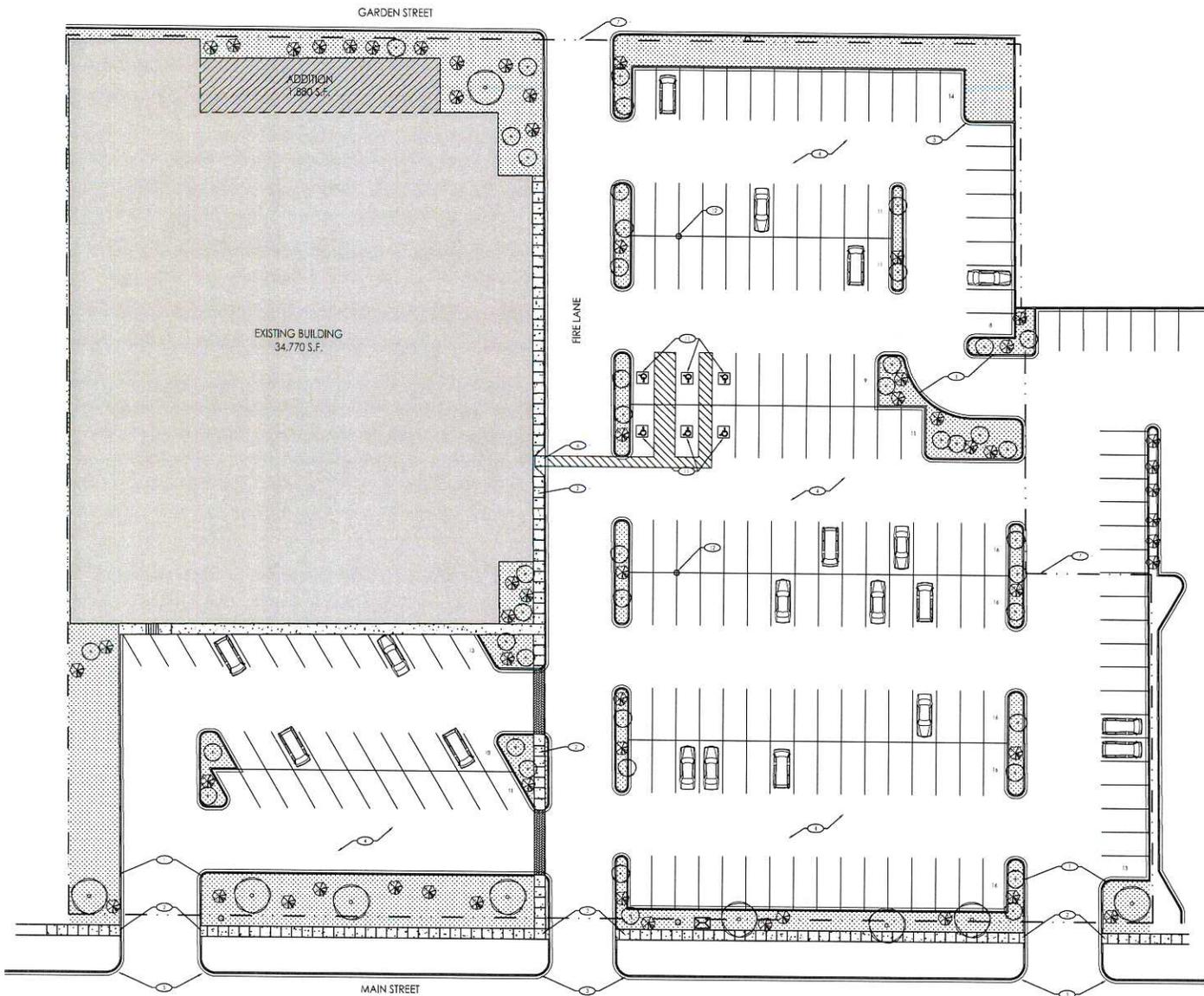
SITE SUMMARY	
TOTAL BUILDING AREA	48,425 GSF
EXISTING RETAIL	7,200 S.F.
EXISTING GYM	20,800 S.F.
GYM EXPANSION	20,425 S.F.
TOTAL GYM AREA	41,225 S.F.
PARKING FORMULA	
GOLDS GYM	1 : 250
RETAIL	1 : 300
PARKING REQUIRED	174 STALLS
PARKING PROVIDED	242 STALLS
ADA PARKING REQ'D	7 STALLS OF THE 243 TOTAL
ADA PARKING PROVIDED	7 STALLS

GOLD'S GYM SPANISH FORK ADDITION

SITE PLAN

SCALE : 1" = 20'-0"

Exhibit 2: Tooele expansion
Required Parking: 3.33 stalls per 1,000 sq. ft.



SHEET NOTES:

- LANDSCAPING
- CONCRETE SIDEWALK
- CONCRETE CURB & CURB
- ASPHALT PARKING AREA - SEE CIVIL DRAWINGS
- DRINKING ENCLOSURE - SEE DETAILS 1 & 2(A&B)
- ACCESSIBLE RAMP - SEE CIVIL DRAWINGS
- TREE OF LANDSCAPE REFERENCE
- DETENTION POND - SEE CIVIL DRAWINGS
- TRANSFORMER PAD - SEE ELECTRICAL DRAWINGS
- ADA PARKING SIGN - SEE DETAIL 4(A&B)
- ADA PARKING STALL - SEE DETAIL 3(A&B)
- LIGHT POLE

GENERAL NOTES:

- A. SEE CIVIL DRAWINGS FOR CURB AND PARKING OF DRIVEWAYS.
- B. SEE CIVIL DRAWINGS FOR LOCATION OF FIRE HYDRANTS & LOCATION OF FIRE LIGHTING.
- C. SEE ELECTRICAL DRAWINGS FOR LOCATION OF SITE LIGHTING.

SITE DATA:

TOTAL SITE AREA	177,870 S.F.
BUILDING AREA	36,660 S.F.
PARKING AREA	76,200 S.F.
TOTAL LANDSCAPED AREA	13,000 S.F. (10.0%)
LANDSCAPED AREA NEW/IN-PARKING AREA	4,300 S.F. (3.0%)
TOTAL PARKING SPACES	100 SPACES (3.3 SPACES / 1,000 S.F.)

SITE PLAN
SCALE: 1/16" = 1'-0"



THE RICHARDSON DESIGN PARTNERSHIP, L.L.C.
 140 SOUTH 400 EAST
 SALT LAKE CITY, UTAH 84143
 P: 801.333.4444
 F: 801.333.6666
 WWW.RDPARTNERSHIP.COM

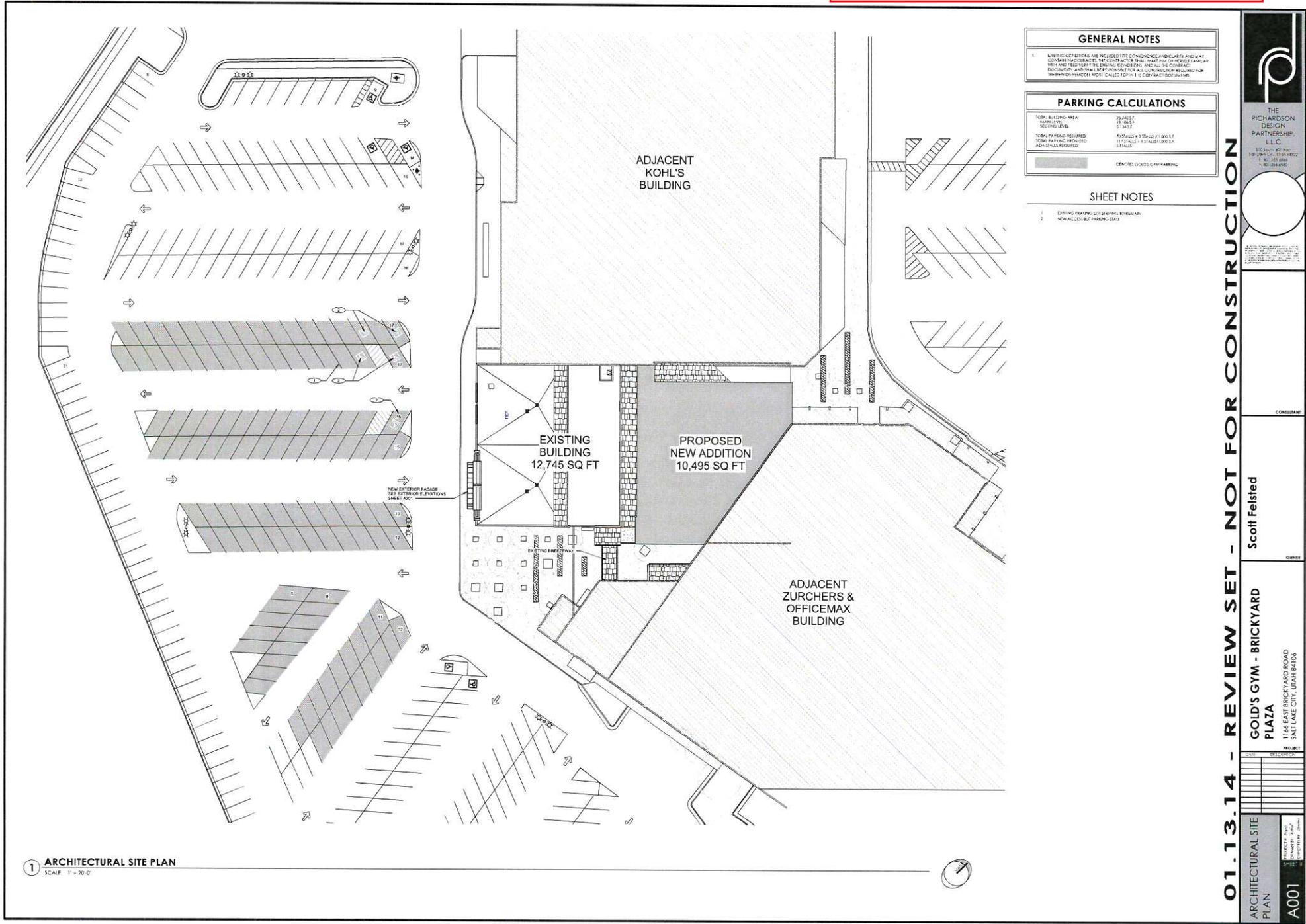
GOLD'S GYM
 1000 WEST 1000 SOUTH
 SALT LAKE CITY, UTAH 84119
 (801) 466-1234

DATE	DESCRIPTION

SITE PLAN
 PROJECT # 07-0001
 DRAWING # 001
 DATE 07-15-10
 SCALE 1/16" = 1'-0"

A001

SLC, Brickyard Plaza expansion
Required Parking: 3 stalls per 1,000 sq. ft.



GENERAL NOTES	
1. EXISTING CONDITIONS ARE INDICATED FOR CONFORMANCE AND CLARITY AND MAY NOT BE SHOWN TO SCALE. THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND SHALL BE RESPONSIBLE FOR ALL CONSTRUCTION REQUIREMENTS FOR THE NEW OR MODIFIED WORK CALLED OUT IN THE CONTRACT DOCUMENTS.	

PARKING CALCULATIONS	
TOTAL BUILDING AREA	23,240 SQ FT
AREA - 1ST FLOOR	18,105 SQ FT
AREA - 2ND FLOOR	5,135 SQ FT
TOTAL PARKING REQUIRED	70 STALLS * 3 STALLS / 1,000 SQ FT
TOTAL PARKING PROVIDED	113 STALLS * 1.57 (ASLT) / 1,000 SQ FT
ADDITIONAL STALLS REQUIRED	43 STALLS

NOTE: GUESTS ONLY PARKING

SHEET NOTES	
1	EXISTING PARKING LOTS STOPPING TO REMAIN
2	NEW ACCESSIBLE PARKING STALL

1 ARCHITECTURAL SITE PLAN
 SCALE: 1" = 20' 0"

01.13.14 - REVIEW SET - NOT FOR CONSTRUCTION

 <p>THE RICHARDSON DESIGN PARTNERSHIP, L.L.C.</p> <p>1105 SOUTH 400 WEST 1ST FLOOR, SUITE 100, SALT LAKE CITY, UT 84143 P: 801.253.6846 F: 801.253.6300</p>	<p>CONSULTANT</p>
<p>Scott Felsted</p>	<p>OWNER</p>
<p>GOLD'S GYM - BRICKYARD PLAZA</p> <p>1166 EAST BRICKYARD ROAD SALT LAKE CITY, UTAH 84106</p>	<p>PROJECT</p>
<p>A001</p>	<p>DATE</p> <p>DESCRIPTION</p>



**Concept Plan
VASA Fitness
January 8, 2014
Public Meeting**

Report Date:	December 24, 2014
Project Request / Type	Concept Plan
Applicant:	HD Saratoga, LLC / Charlie Hammond
Location:	~1523 North Redwood Road
Major Street Access:	Redwood Road
Parcel Number(s) and size:	66:242:0006, ~2 acres
General Plan Designation:	Regional Commercial
Zone:	Regional Commercial (RC)
Adjacent Zoning:	Regional Commercial (RC)
Current Use:	Vacant
Adjacent Uses:	Walmart, Zions Bank, T-Mobile, Dollar Cuts, Café Rio, O'Reilly Auto Parts, Panda Express
Previous Meetings:	Walmart Final Plat was approved 6-12-07
Land Use Authority:	Review required by PC and CC
Future Routing:	City Council
Planner:	Sarah Carroll, Senior Planner

A. Executive Summary:

This is a request for review of a Concept Plan for VASA Fitness within the RC zone, to be located at 1523 North Redwood Road, on Lot 6 of the Walmart Subdivision Plat. The plans indicate a 15,000 square foot building with a 5,000 square foot mezzanine. Per Section 19.09.11, 120 parking stalls are required (for 20,000 square feet). The plans indicate 106 total parking stalls and the applicant is requesting a code amendment to the parking requirement for fitness centers under a separate application.

Recommendation:

Staff recommends that the Planning Commission conduct a public meeting and provide informal direction to the applicant and staff regarding the conceptual subdivision. No official motion or recommendation is provided for Concept Plans.

B. Background:

Lot 6 was created with the "Saratoga Wal-Mart Subdivision" plat that was recorded in 2007 (attached). The plat indicates that Lot 6 is 2.06 acres. A recent lot line adjustment between Lot 6 and Lot 8 was recorded on November 6, 2014 and reduced Lot 6 to 1.99 acres.

C. Specific Request:

This is a request for review of the Concept plan for VASA fitness, located in the RC zone.

D. Process:

Section 19.13.05 outlines the process for Concept Plans and states:

1. A Concept Plan application shall be submitted before the filing of an application for subdivision or Site Plan approval unless the subdivision was part of a previous Concept Plan application within the last two years and the application does not significantly deviate from the previous Concept Plan.
2. The Concept Plan review involves an informal conference with the developer and the City's Development Review Committee and an informal review of the plan by the Planning Commission and City Council. The developer shall receive comments from the Development Review Committee, Planning Commission, and City Council to guide the developer in the preparation of subsequent applications.
 - i. The Development Review Committee, Planning Commission, and City Council shall not take any action on the Concept Plan review.
 - ii. The Development Review Committee, Planning Commission, and City Council comments shall not be binding, but shall only be used for information in the preparation of the development permit application.

E. Community Review:

There is no requirement to notice concept plans because the comments received from the Planning Commission and City Council are not binding. Formal community interaction will occur once a formal public hearing is scheduled for site plan review.

F. General Plan:

The Land Use Map of the General Plan designates this property for Regional Commercial uses. The Land Use Element of the General Plan states "Regional Commercial areas shall be characterized by a variety of retail users including big box retail configured in developments that provide excellent vehicular access to and from major transportation facilities. Developments located in Regional Commercial areas shall be designed so as to create efficient, functional conglomerations of commercial activities."

Staff Conclusion: complies. The site and nearby properties are currently zoned RC. Nearby uses include Walmart, Zions Bank, T-Mobile, Dollar Cuts, Café Rio, O'Reilly Auto Parts, Panda Express, etc. The proposed access is off of a shared drive isle that has access onto West Commerce Drive, Redwood Road, and SR 73; the direct access points line up with access to adjacent businesses. The abutting commercial uses do not include a fitness center; thus, this business will contribute to the conglomeration of commercial activities. The proposed business location and proposed access locations will contribute to functional conglomerations of commercial activities by lining up with access to adjacent uses and increasing the variety of uses in this location.

G. Code Criteria:

The requirements for the RC zone are outlined in Section 19.04.22. The parking requirements are in Chapter 19.09 and the Site Plan requirements are in Chapter 19.14. Pertinent sections of these Chapters and sections are reviewed below.

Permitted or Conditional Uses: can comply. Section 19.04.07 lists all of the permitted and conditional uses allowed in the RC zone. The proposed fitness center is larger than 5,000 square feet and is thus a conditional use in the RC zone. A conditional use application is required with the site plan application.

Minimum Lot Sizes: complies. The minimum lot size in the RC zone is 20,000 square feet. The subject lot is approximately two acres.

Setbacks and Yard Requirements: up for discussion. Section 19.04.22 outlines the setbacks requirements for the RC zone.

- i. **Front:** Not less than twenty feet.

***Complies.** The front of the building is the north elevation and will face West Commerce Drive. The plans indicate a 20 foot setback.*

- ii. **Sides:** Thirty feet where adjacent to a residential or agricultural zone, twenty feet when adjacent to all other zones. The City Council may reduce the side setback to ten feet if in its judgment the reduction provides a more attractive and efficient use of the property.

***Up for discussion.** The applicant is requesting a side yard setback of 10 feet on the west side of the building. West of the subject site is a detention basin for Walmart that will remain as green space and is approximately 60 feet wide. This creates a buffer on the west side of the building and reduces the need for a 20 foot side setback.*

- iii. **Rear:** Twenty feet for all uses except where a rear yard is located adjacent to a residential or agricultural zone. In those cases, the rear yard shall be increased to thirty feet. In the event that the rear of a building faces an arterial or collector street, there shall be a setback of forty feet.

***Complies.** The rear of the building will face the proposed parking lot and will also provide the main access to the building. The setback exceeds 20 feet. The applicant has stated that the north side of the building will be designed with a front façade.*

- i. Exceptions: The City Council may reduce no more than one setback requirement by up to ten feet if in its judgment the reduction provides a more attractive and efficient use of the property.

***Complies.** The applicant is only requesting one exception.*

- ii. Other general requirements: In addition to the specific setback requirements noted above, no building shall be closer than five feet from any private road, driveway, or parking space. The intent of this requirement is to provide for building foundation landscaping and to provide protection to the building. Exceptions may be made for any part of the building that may contain an approved drive-up window.

***Complies.** The proposed building is further than five feet from the private drive to the east that provides access to the site.*

Structure Height: complies. No structure in this zone shall be taller than 50 feet. *The conceptual rear elevation is attached and indicates a height of 32 feet.*

Maximum Lot Coverage: complies. The maximum lot coverage in this zone is fifty percent. The proposed site is 1.99 acre. The proposed building footprint is 15,000 square feet (0.34 acres).

Minimum Building Size: complies. Individual structures within this zone shall be a minimum of 1,000 square feet above grade. The proposed building is 20,000 square feet above grade.

Development Standards: The following development standards shall apply to the Regional Commercial Zone:

- a. Architectural Review. The Planning Commission shall review the Site Plan and building elevations. The Planning Commission may offer recommendations for Architectural design of buildings and structures to assure compatibility with adjacent development and the vision of the Land Use Element of the General Plan.

***Can comply.** The conceptual rear elevation is attached for review and comment. All four elevations will be submitted with the site plan application.*

- b. Landscaping.
 - i. Required front yard areas, and other yard areas facing a public street, shall have a landscaped area of not less than twenty feet (or as reduced in Subsection 5.b. above) as approved through the Site Plan review process.
 - ii. There shall be a minimum of ten feet of landscaping between parking areas and side or rear property lines adjacent to agricultural and residential land uses.
 - iii. All landscaping shall be completed in accordance with the approved Site Plan and shall be installed prior to the issuance of a Certificate of Occupancy for the building.
 - iv. The Building Official may approve exceptions as seasonal conditions warrant.
 - v. Any proposed change to the approved landscaping plan will require an amended Site Plan approval.
 - vi. It shall be the responsibility of the property owner to maintain all approved landscaping in accordance with the approved Site Plan and in compliance with the requirements of Chapter 19.06, Landscaping.

Can Comply.

- i. The front yard area along West Commerce Drive will include not less than 20 feet of landscaping.*
- ii. The site is not adjacent to agricultural or residential land uses.*
- iii. The landscaping shall be inspected prior to issuance of a certificate of occupancy.*

Uses Within Buildings: Complies. This section requires all uses to be conducted entirely within an enclosed building except for those deemed by the City Council to be customarily and appropriately conducted outside such as automobile refueling stations and gas pumps. *The proposed business is a fitness center. No outdoor uses are proposed.*

Trash storage: Reviewed with Site Plan application. Section 19.14.04.5. requires trash storage areas to be comparable with the proposed building and surrounding structures. *This will be reviewed with the site plan application as this information is not required for concept plan review. The trash storage area is identified on the concept plan and appears to include three foot landscape buffers on both sides.*

Buffering/Screening Requirements: Can comply. This section requires fencing or landscaping to buffer uses in the RC zone that abut Agricultural or residential uses. This section also requires a minimum number of both deciduous and evergreen trees. *There are not any abutting agricultural or residential uses. Landscape requirements will be reviewed with the site plan application as this information is not required for concept plan review.*

Landscaping Requirements: complies. Twenty percent of the total project area is required to be landscaped and all sensitive lands shall be protected. *The plans indicate 21.2% of the site will be landscaped. No sensitive lands have been identified within the project area.*

Sensitive Lands: complies. Sensitive lands shall not be included in the base acreage when calculating the number of ERUs permitted in any development. *This site does not have any sensitive lands.*

Parking: up for discussion. Section 19.09.11 requires specific numbers of parking stalls based on specific land uses and requires 6 stalls per 1000 square feet for fitness centers. *The concept plan indicates 5.3 parking stalls per 1000 square feet. The applicant has indicated that this requirement exceeds the requirements in other Cities and exceeds their needs based on typical use at their other sites and have submitted a request for a code amendment to reduce this requirement to 5 stalls per 1,000 square feet.*

Landscaping in Parking Areas: can comply. Section 19.09.08 lists landscaping requirements for parking areas. *The plans appear to meet the requirements, but they will be reviewed in further detail with the site plan application.*

H. Recommendation and Alternatives:

No official action should be taken. The Planning Commission should provide general direction and input to help the developer prepare for formal Site Plan application.

Staff recommends the following:

1. All requirements of the City Engineer shall be met, including those listed in the attached report.
2. All requirements of the Fire Chief shall be met.
3. That the Planning Commission and City Council discuss the requested side yard reduction.
4. The proposed number of parking stalls does not comply with the current code and the applicant has submitted a code amendment application to reduce this requirement. This will be a separate item on the same agenda as this concept plan.

I. Exhibits:

1. Engineering Staff Report
2. Location Map
3. Saratoga Wal-mart Subdivision
4. Concept Site Plan
5. Conceptual Rear Elevation

City Council Staff Report

Author: Jeremy D. Lapin, City Engineer
Subject: VASA Fitness
Date: January 1, 2015
Type of Item: Concept Plan Review



Description:

A. Topic: The applicant has submitted a concept plan application. Staff has reviewed the submittal and provides the following recommendations.

B. Background:

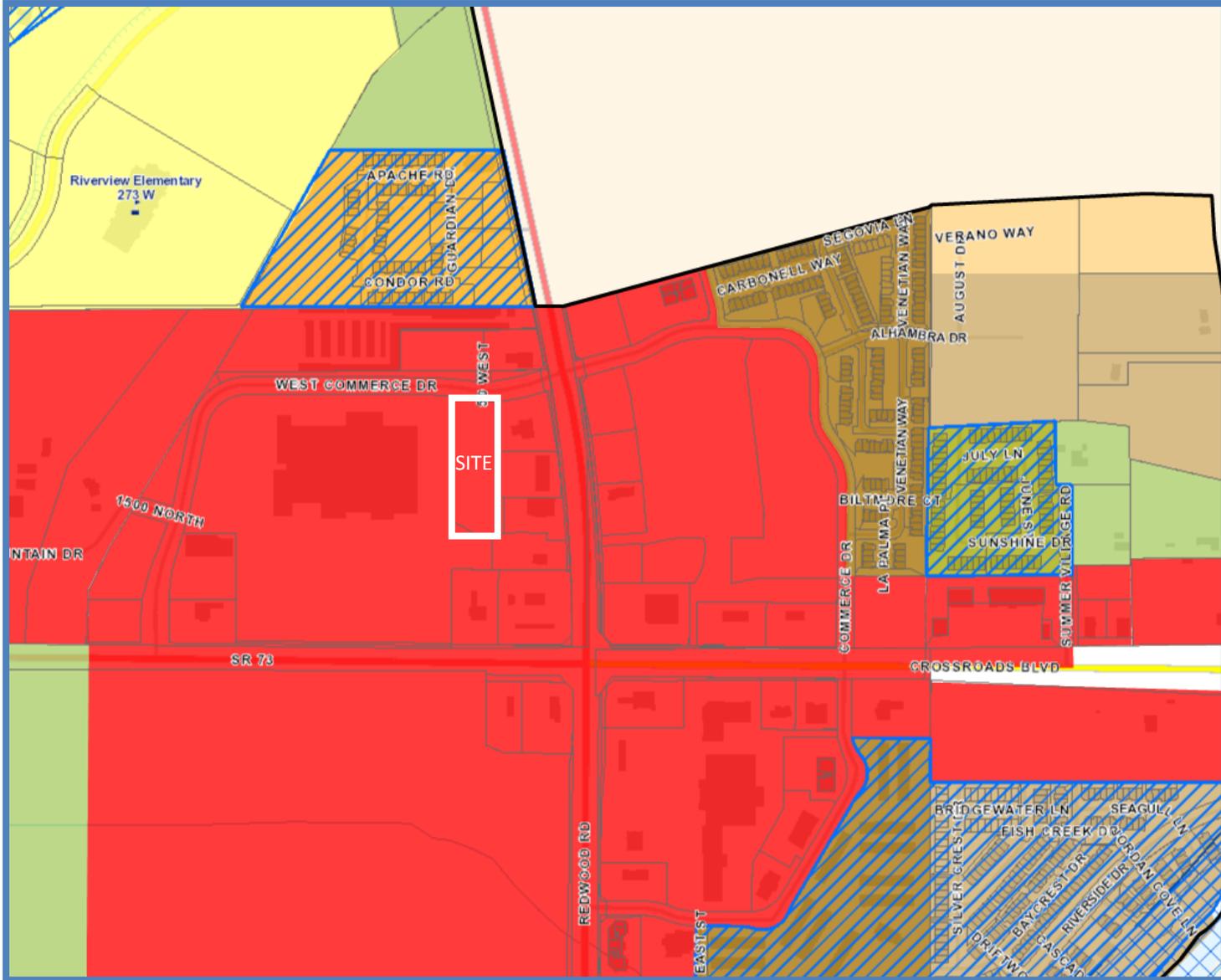
Applicant: HD Saratoga, LLC / Charlie Hammond
Request: Concept Plan
Location: 1523 N. Redwood Road
Acreage: 2.064 acres - 1 lot

C. Recommendation: Staff recommends the applicant address and incorporate the following items for consideration into the development of their project and construction drawings.

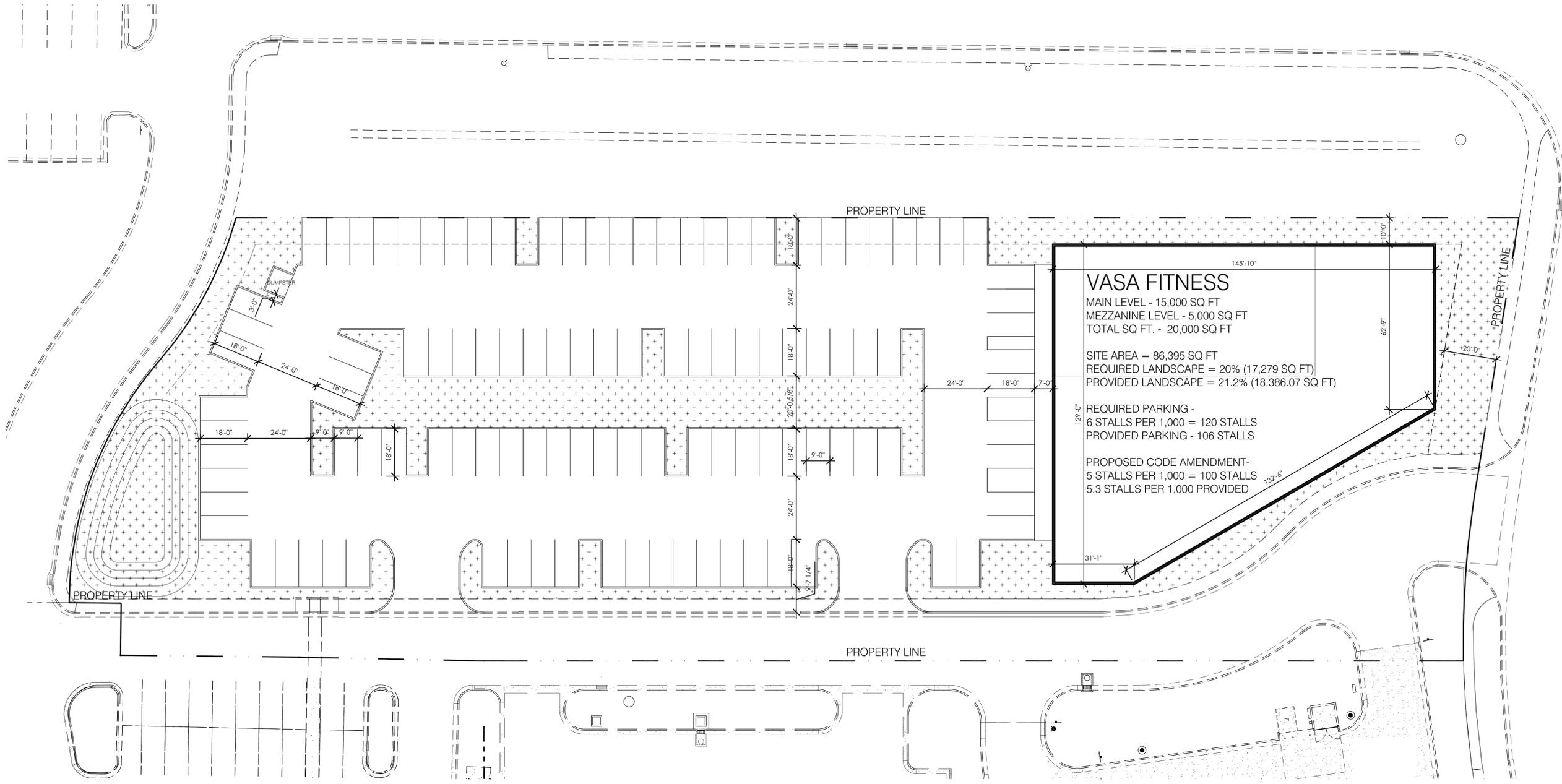
D. Proposed Items for Consideration:

- A. Prepare construction drawings as outlined in the City's standards and specifications and receive approval from the City Engineer on those drawings prior to receiving Final approval from the City Council.
- B. Consider and accommodate existing utilities, drainage systems, detention systems, and water storage systems into the project design. Access to existing facilities shall be maintained throughout the project.
- C. Comply with the Land Development Codes regarding the disturbance of 30%+ slopes.
- D. Incorporate a grading and drainage design that protects homes and buildings from upland flows.
- E. Project must meet the City Ordinance for Storm Water release (0.2 cfs/acre for all developed property) and all UPDES and NPDES project construction requirements. Water shall be cleaned to City Standards prior to discharge.

- F. Developer shall meet all applicable city ordinances and engineering conditions and requirements in the preparation of the Construction Drawings.
- G. Project bonding must be completed as approved by the City Engineer prior to recordation of plats.
- H. All review comments and redlines provided by the City Engineer are to be complied with and implemented into the construction drawings.
- I. All work to conform to the City of Saratoga Springs Standard Technical Specifications, most recent edition.
- J. Developer shall prepare and record easements to the City for all public utilities not located in a public right-of-way.
- K. Developer is required to ensure that there are no adverse effects to adjacent property owners and future homeowners due to the grading and construction practices employed during completion of this project.



ZONING / LOCATION MAP, PROPERTY IS ZONED RC



VASA FITNESS
 MAIN LEVEL - 15,000 SQ FT
 MEZZANINE LEVEL - 5,000 SQ FT
 TOTAL SQ FT. - 20,000 SQ FT

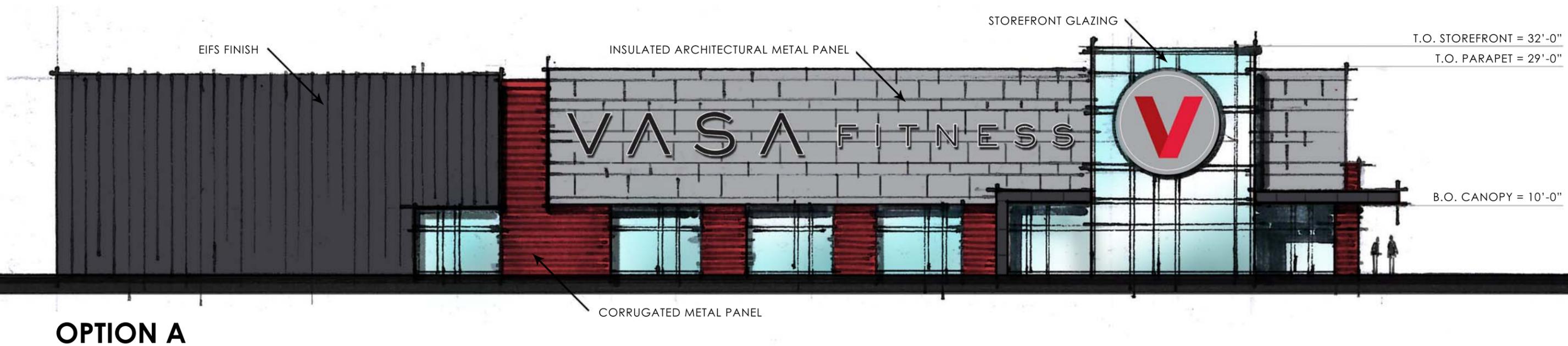
SITE AREA = 86,395 SQ FT
 REQUIRED LANDSCAPE = 20% (17,279 SQ FT)
 PROVIDED LANDSCAPE = 21.2% (18,386.07 SQ FT)

REQUIRED PARKING -
 6 STALLS PER 1,000 = 120 STALLS
 PROVIDED PARKING - 106 STALLS

PROPOSED CODE AMENDMENT -
 5 STALLS PER 1,000 = 100 STALLS
 5.3 STALLS PER 1,000 PROVIDED

VASA SARATOGA SITE PLAN





VASA FITNESS - CONCEPTUAL ELEVATIONS
SARTOGA SPRINGS, UTAH





Site Plan and Conditional Use Permit

Riverbend Medical

January 8, 2015

Public Hearings

Report Date:	Wednesday, December 31, 2014
Applicant:	Blaine Hales
Owner (if different):	Saratoga Springs Professional Building, LLC
Location:	Riverbend Commercial, 41 E. 1140 N.
Major Street Access:	Redwood
Parcel Number(s) and size:	51:508:0004, 1.63 Acres
General Plan Designation:	Mixed Use
Zone:	Mixed Use
Adjacent Zoning:	Agriculture, R-14, R-18
Current Use:	Vacant
Adjacent Uses:	Residential, Vacant
Previous Meetings:	Riverbend MDA Extension approved June, 2014 Riverbend Commercial Plat approved March 11, 2008
Land Use Authority:	City Council
Future Routing:	CC
Planner:	Kimber Gabryszak

A. Executive Summary:

The applicant, Blaine Hales on behalf of the property owner, is requesting approval of a Site Plan and Conditional Use Permit (CUP), for a ~9500 sq.ft. medical office building on a 1.6 acre parcel adjacent to Redwood Road in the Riverbend development. Both a Rezone and General Plan Amendment to change the property to Neighborhood Commercial were approved on November 18, 2014; a Concept Plan for the proposed use was also reviewed at that time.

Staff Recommendation:

Staff recommends that the Planning Commission conduct public hearings and take public comment, discuss the applications, and consider making a recommendation on the Site Plan and CUP applications to the City Council. Options include a positive recommendation as proposed or with modifications, negative recommendation, or continuance, as outlined in Section H of this report.

B. BACKGROUND:

The Riverbend commercial lots were approved in March of 2008 under the Riverbend Master Development Agreement (MDA). The property was zoned Mixed Use in anticipation of potential

mixed commercial, office, and residential development on the property, however the applicants wish to pursue only commercial.

Exhibit B-1 of the MDA requires the “southernmost mixed use building” to be constructed prior to any structures in Phase 4. The MDA was amended in July 2014 to extend the term and modify the remaining residential units from a townhome format to a two-family and three-family format; as part of that amendment, the mixed-use timeframe limitations were removed. Regardless, this building has been submitted for approval prior to or concurrently with the residential units in phase 4.

CONCEPT PLAN

The Planning Commission reviewed a concept plan for the proposed medical office on October 23, 2014 and the City Council reviewed the plan on November 18, 2014 (Exhibit 3). The City Council also approved a Rezone and General Plan Amendment to designate the property Neighborhood Commercial to facilitate the proposed use. Minutes from these meetings are attached (Exhibits 9 and 10).

UDC

The Urban Design Committee reviewed the application on November 7, 2014, at which time the architecture was reviewed more thoroughly. Their comments are below:

- White color – you can get too white. Ensure the white is not too glaring or stark. White can be reflective, hard to look at, e.g. white vinyl fences are glaring with sun on them. How will the white color look when things start rusting, dripping, showing water stains.
- Discussion on compatibility:
 - Compatible does not mean “the same”
 - The City should embrace some modern architecture
 - Scale is compatible
 - They do not want to see a large a larger version of the townhomes here
 - Times Square vs. this site – if this site gets ahead of Times Square in the process Times Square may have to be more compatible with this architecture
 - Variety can be a positive element in a City
- South/Rear elevation – concern that this elevation is too monotonous. Needs to be broken up through additional treatment.

The architect has since provided additional clarification:

- The white stucco was used to compliment and contrast with the other colors and materials used on the building. It communicates a clean, professional Health Care Facility, which has its own identity and recognition.
- We can add more rock to break the white.
- The rooftop mechanical will be concealed partially by the parapet walls. A screen will be around each unit. TBD
- All materials used will be located on each elevation.

C. SPECIFIC REQUEST:

The Site Plan is for an approximately 9596 sq.ft. medical office building with three separate units.

“Office, Medical” is a conditional use in the Neighborhood Commercial zone. The applicants have requested approval of a CUP along with the Site Plan.

D. PROCESS

Site Plan

Section 19.13 summarizes the processes for Site Plans, and 19.14 outlines the requirements for Site Plans.

The development review process for Site Plan approval involves a formal review of the request by the Planning Commission in a public hearing, with a formal recommendation forwarded to the City Council. The City Council will then formally approve or deny the site plan request in a public meeting.

Conditional Use

Sections 19.13 and 19.15 of the Code outline the process for new Conditional Uses, which follows the same process as a new Site Plan: public hearing and recommendation by the Planning Commission, and final action by the City Council.

E. COMMUNITY REVIEW:

The CUP and Site Plan applications have been noticed as public hearings in the *Daily Herald*, and mailed notice sent to all property owners within 300 feet at least 10 days prior to this meeting. As of the date of this report, no public input has been received.

F. GENERAL PLAN:

The site is designated as Neighborhood Commercial on the adopted Future Land Use Map. The goal and intent of this designation is below:

Neighborhood Commercial. The Neighborhood Commercial designation is intended to identify locations where small-scale neighborhood oriented commercial developments are to be located. These commercial developments are to provide goods and services that are used on a daily basis by the surrounding residents.

Tenant spaces in these areas shall be limited to 10,000 square feet. Neighborhood Commercial developments should be large enough to accommodate functioning traffic patterns but should not exceed 5 acres in size.

Parcels considered for this designation should be located in close proximity to residential areas where pedestrian activity between residents and the development is likely to occur. Improvements such as trails, seating and lighting that would help create gathering spaces and promote pedestrian activity are expected and shall be considered an essential part of developments in the Neighborhood Commercial areas.

Developments in these areas shall contain landscaping and recreational features as per the City’s Parks and Trails Element of the General Plan.

Staff analysis: Consistent. The applicant is requesting approval of a medical office development that would comply with the smaller building size and small-scale use as contemplated by the

Neighborhood Commercial land use designation. Trail connectivity and appropriate landscaping are proposed.

G. CODE CRITERIA:

19.04, Land Use Zones (reviewed according to NC zone) – **Complies**

- Use – medical office, Conditional Use in the zone.
- Setbacks – 25’ front/side/rear. 10’ reduction requested along Redwood Road. Complies if Council grants 10’ reduction.
- Lot width, depth, size, coverage – 100’ width/frontage, 50% coverage, 15,000 max size, complies
- Dwelling/Building size – maximum 15,000 sq.ft. per building. Complies at 9596 sq.ft.
- Height – 35’ maximum, complies
- Open Space / Landscaping – 25% required, 0.62 acres = ~44% provided
- Sensitive Lands – n/a
- Trash – provided

19.06, Landscaping and Fencing – **Complies with conditions**

- General Provisions
 - Automatic irrigation required
 - Sight triangles must be protected
 - All refuse areas (including dumpsters) must be screened
 - Tree replacement required if mature trees removed
- Landscaping Plan – provided
- Planting Standards & Design – complies
 - Tree size: complies. 2” caliper deciduous, 1.5” caliper decorative, 6’ height evergreen.
 - Shrub size: complies. Most are 5 gallon, exceeding the requirement for 25% to be 5 gallon.
 - Water conserving: complies. A number of drought tolerant species are proposed, and a large amount of rock beds with shrubs.
 - Rock limitation at shrub/tree base: complies. Mulch ring around trees and mulch area around shrub base provided.
- Amount - complies
 - Deciduous Trees: 7 for 15,000 sq.ft. plus 1 per additional 3000 sq.ft. of landscaped area.
 - $26,305 \text{ sq.ft.} = 7 + 3 = 10 \text{ trees}$
 - 26 provided
 - Evergreen Trees: 5 for 15,000 sq.ft. plus 1 per additional 3000 sq.ft. of landscaped area.
 - $26,305 \text{ sq.ft.} = 5 + 3 = 8$
 - 11 provided
 - Shrubs: 25 for 15,000 sq.ft. plus 1 per additional 3000 sq.ft. of landscaped area.
 - $26,305 = 25 + 3 = 28$
 - 148 provided
 - Turf: minimum of 25% required. 39.5% provided.
 - Planting and shrub beds: maximum of 75%. 60.5% provided.

- Fencing & Screening – **complies with condition to provide screening**
 - Opaque fence or wall required along eastern property line.
- 19.09, Off Street Parking – **Complies**
 - Dimensions – complies (9' x 18')
 - Accessible – complies
 - Provided
 - Landscaping – complies
 - Islands provided
 - 10' buffer / berm provided along exterior
 - 8' boundary strip provided along rest of parking area
 - Pedestrian Walkways & Accesses – complies
 - Site less than 75,000 sq. ft. so raised pedestrian walkways not required
 - Minimum Requirements – complies
 - Medical office requirement: 5 spaces per 1000 sq.ft.
 - 9596 sq.ft. = 48 stalls required
 - 58 stalls provided
- 19.11, Lighting: **Complies**
 - Parking lot fixture design: black, metal, decorative base, arm and bell shade
 - All fixtures: full cutoff
 - Lumen: complies with maximum level
- 19.14.03, Site Plan Development Standards: **Complies with conditions.**
 - Entire site included in site plan: complies.
 - Buffering and screening: complies with conditions. Solid fence or wall needed between residential and commercial sites.
 - Access requirements: complies with conditions requiring off-street loading space if deliveries are anticipated.
 - Utilities: complies.
 - Grading and drainage: complies.
 - Secondary Water System: complies.
 - Piping of Irrigation Ditches: n/a
 - Preliminary Condo Plat: n/a
- 19.14.04, Urban Design Committee: **Complies with conditions**
 - UDC meeting must be held prior to PC meeting. Complies.
 - Mechanical equipment shall be located or screened. Complies with condition to require screening.
 - Windows may be used as accents and trim; untreated metal prohibited. Complies as no untreated metal proposed.
 - Building lighting shielded and downward directed and no light trespass. Complies, lighting and photometric plans show acceptable light levels, and fixtures are shielded and downward directed.
 - Trash enclosure location, design, and shielding: complies with separation standard and is enclosed appropriately.

- Exterior materials of high quality: complies with condition that additional treatment be provided to rear of building.
- Landscaping shall comply with 19.06: complies. See analysis above.
- Parking Lot, Building, and Street Lighting shall comply with 19.11: complies. See analysis above
- **19.14.06.7 – Complies. See other specific code section analyses and exhibits.**
 - Considerations relating to traffic safety and congestion – see Engineer’s Report
 - Considerations relating to outdoor advertising – see signage section
 - Considerations relating to landscaping – see landscaping section
 - Considerations relating to buildings and site layout – see 19.04 section
 - The effect of the site development plan on the adequacy of the storm and surface water drainage – see Engineer’s Report
 - Adequate water pressure and fire flow – see Engineer’s report
 - Compliance with the General Plan, Code, and other regulations – see report Sections F & G
- 19.15, Conditional Use Permit.
 - The siting of the structure or use, and in particular:
 - the adequacy of the site to accommodate the proposed use or building and all related activities;
 - the location and possible screening of all outdoor activities;
 - the relation of the proposed building or use to any adjoining building with particular attention to protection of views, light, air, and peace and quiet;
 - the location and character of any display of goods and services; and
 - the size, nature, and lighting of any signs.

Staff analysis: complies. The proposed use is well below the maximum potential lot coverage percentage, well below maximum building size, and has provided extra parking to minimize impacts. No outdoor activities are proposed, no outdoor goods displayed, and all signage has been reviewed for compliance with the Sign Code.
 - Traffic circulation and parking, and in particular:
 - the type of street serving the proposed use in relation to the amount of traffic expected to be generated;
 - the adequacy, convenience, and safety of provisions for vehicular access and parking, including the location of driveway entrance and exits; and
 - the amount, timing, and nature of traffic generated by the proposed conditional use.

Staff analysis: complies. The proposal includes additional ADA parking as well as additional standard parking above and beyond the minimum requirements in the Code. Traffic circulation has been reviewed by the City Engineer and is sufficient.
 - The compatibility of the proposed conditional use with its environment, and in particular:
 - the number of customers or users and the suitability of the resulting activity level to the surrounding uses;
 - hours of operation;
 - adequacy of provisions for the control of any off-site effects such as noise, dust, odors, light, or glare, etc.;

- adequacy of provisions for protection of the public against any special hazards arising from the intended use;
 - the expected duration of the proposed building, whether temporary or permanent, and the setting of time limits when appropriate; and the degree to which the location of the particular use in the particular location can be considered a matter of public convenience and necessity.
 - *Staff analysis: complies. The road capacity is adequate for the anticipated vehicular impacts, and while vehicles will share the same access road as a residential neighborhood, the traffic generated by the use will not pass through this residential neighborhood. No additional detrimental impacts are anticipated.*
- The Conditional Use shall meet the following standards:
 - the use will not, under the circumstances of the particular case, be detrimental to the health, safety, or general welfare of persons residing or working in the vicinity, or injurious to property or improvements in the vicinity;
 - the use will be consistent with the intent of the land use ordinance and comply with the regulations and conditions specified in the land use ordinance for such use;
 - the use will be consistent with the character and purposes stated for the land use zone involved and with the adopted Land Use Element of the General Plan;
 - the use will not result in a situation which is cost ineffective, administratively infeasible, or unduly difficult to provide essential services by the City, including roads and access for emergency vehicles and residents, fire protection, police protection, schools and busing, water, sewer, storm drainage, and garbage removal; and
 - the proposed use will conform to the intent of the City of Saratoga Springs General Plan.

Staff analysis: complies. The use is consistent with the General Plan (Section F), and will not be detrimental to any persons. Increased impacts to City services will be negligible.

- When necessary, the land use authority may attach conditions to ensure compatibility with the surrounding area and to mitigate harmful effects. Such conditions may include the following:
 - additional parking;
 - water, sewer, and garbage facilities;
 - landscape screening to protect neighboring properties;
 - requirements for the management and maintenance of the facilities;
 - changes in layout or location of uses on the lot; and
 - any other condition the land use authority finds necessary to reasonably ensure that the proposed Conditional Use will comply with the standards noted above.

Staff analysis: not necessary to mitigate impacts. Adequate parking and water/sewer/garbage facilities are provided. Screening is provided. No changes in layout are necessary.

- The Land Use Authority shall make its decision based upon the facts presented for the record; expressions of support or protest alone shall not constitute the basis of approval or denial.

Staff analysis of 19.15: complies. All above items have been provided or addressed.

- 19.18, Signs. **Complies with modifications**
 - Monument sign: **complies**
 - Maximum height 7’6”, height proposed 7’6”
 - Maximum display area 45 sq.ft., display area proposed 33 sq.ft.
 - Wall signs: **Complies with modifications**
 - 2 elevations permitted wall signs: complies. Only one façade is proposed to have signage.
 - One sign per tenant per elevation: complies with modification.
 - Each tenant is less than 9,999 sq.ft., thus each qualifies for one sign per elevation containing signage.
 - **Utah Valley Pediatrics proposes 2 signs; if the two signs are combined into one, this criterion will be met.**
 - Maximum size: 1 sq.ft. per 1 linear foot of each elevation. Elevation length ~107 feet. Total signage area 90.47 sq.ft.: overall complies.
 - Westlake Physical Therapy: 28.2 sq.ft.
 - Lakeview Family Medical: 26.9 sq.ft.
 - Utah Valley Pediatrics: 16 sq.ft. logo plus 19.37 sq.ft. letters, 35.37 sq.ft.
 - Maximum letter/graphic height: 3’ (36 inches)
 - Westlake Physical Therapy: 28”, complies
 - Lakeview Family Medical: 28”, complies
 - Utah Valley Pediatrics: letters 27.75”, **logo 48”, too tall. Must be reduced to maximum of 36”.**
 - Illumination: complies. Internally illuminations, with no visible light source.

H. Recommendation and Alternatives:

Staff recommends that the Planning Commission conduct a public hearing on the Site Plan and Conditional Use Permit, take public comment, discuss the applications, and then choose from the options outlined below:

Option 1, Positive Recommendations

“I move to forward positive recommendation to the City Council for the Riverbend Medical Site Plan and Conditional Use Permit, located on the ~1.63 parcel 51:508:0004, as identified in Exhibit 1 and proposed in Exhibits 4, 5, 6, and 7, with the Findings and Conditions in the staff report:”

Findings

1. The use is consistent with the General Plan Land Use Element, as articulated in Section F of the Staff report, which section is hereby incorporated by reference, as the proposed office use and scale are contemplated in the Neighborhood Commercial land use designation.
2. The Site Plan and Conditional Use comply with Section 19.04 of the Code, as articulated in Section G of the Staff report, which section is hereby incorporated by reference.
3. With modifications as conditions of approval, the Site Plan and Conditional Use comply with Section 19.06 of the Code, as articulated in Section G of the Staff report, which section is hereby incorporated by reference.

4. The Site Plan and Conditional Use comply with Section 19.09 of the Code, as articulated in Section G of the Staff report, which section is hereby incorporated by reference.
5. The Site Plan and Conditional Use comply with Section 19.11 of the Code, as articulated in Section G of the Staff report, which section is hereby incorporated by reference.
6. With modifications as conditions of approval, the Site Plan complies with Section 19.14 of the Code, as articulated in Section G of the Staff report, which section is hereby incorporated by reference.
7. The Conditional Use complies with Section 19.15 of the Code, as articulated in Section G of the Staff report, which section is hereby incorporated by reference.
8. With modifications as conditions of approval, the signage complies with Section 19.18 of the Code, as articulated in Section G of the Staff report, which section is hereby incorporated by reference.

Conditions:

1. All requirements of the City Engineer shall be met.
2. An opaque wall or fence of not less than six feet in height shall be erected between the existing residential development and the proposed site.
3. Loading space shall be provided, or verification that no deliveries are anticipated.
4. Additional architectural treatment shall be provided along the rear elevation to break up the façade and meet the requirement that all facades receive equal treatment.
5. The applicant shall work with the Riverbend HOA to finalize a maintenance agreement for the shared road.
6. The Utah Valley Pediatrics wall sign shall be reduced in graphic/letter height to 36" or less, and shall be combined into one sign of less than or equal to the maximum square footage.
7. Any conditions added by the Commission. _____
8. _____

Option 2, Continuance

"I move to **continue** the Site Plan and CUP to another meeting, with direction to the applicant and Staff on information and / or changes needed to render a decision, as follows:

1. _____
2. _____
3. _____

Option 3, Negative Recommendation

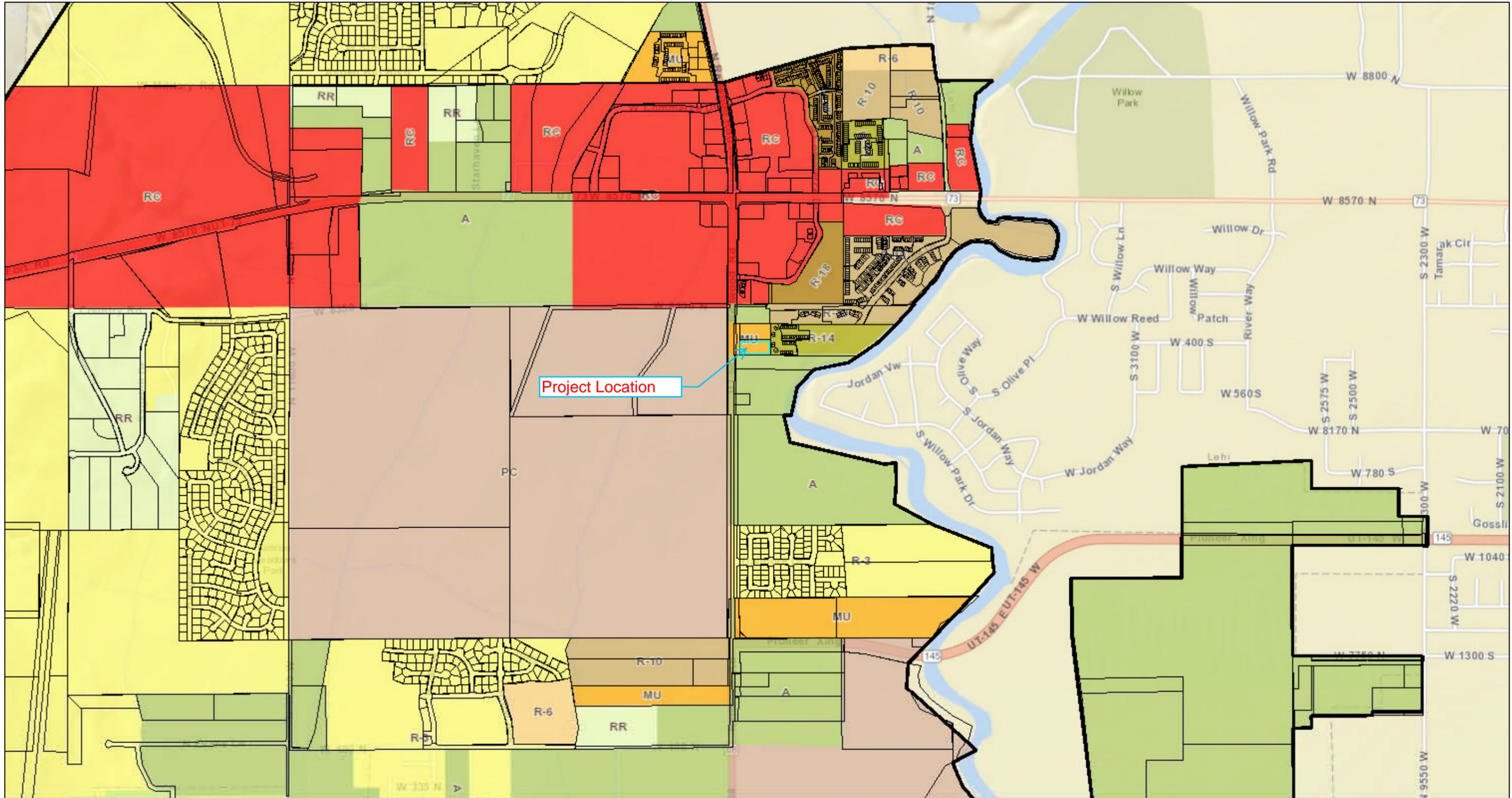
"I move to forward a negative recommendation to the City Council for the Riverbend Medical Site Plan and Conditional Use Permit, located on the ~1.63 parcel 51:508:0004, as identified in Exhibit 1 and proposed in Exhibit 4, with the Findings below:

1. The application does not comply with Code Section [19.04, 19.06, 19.09, 19.11, 19.13, 19.14, or 19.15) as articulated by the Commission:
 - a. _____
 - b. _____
 - c. _____

I. Exhibits:

1. Location & Zone Map (page 11)
2. Aerial (page 12)
3. Concept Plan (page 13)
4. Site Plan (pages 14-23)
 - a. Cover
 - b. Demolition
 - c. Utility
 - d. Grading
 - e. Details
 - f. Context
 - g. Landscaping
 - h. Photometric
 - i. Lighting Fixtures / Details
 - j. Site Lighting Plan
5. Elevations (pages 24-25)
6. Signage Details (pages 26-29)
7. Floor Plans (page 30)
8. City Engineer's Report (pages 31-32)
9. Planning Commission Minutes 10/23/2014 (pages 33-35)
10. City Council Minutes 11/18/2014 (pages 36-37)

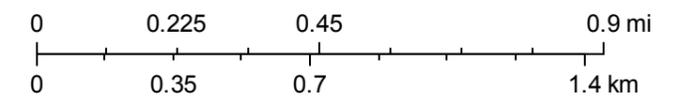
Zoning & Planning



October 15, 2014

1:18,056

- | | | |
|-------------------------------|-----------------------------------|--------------------------|
| City Parcels | R-3 - Low Density Residential | MU - Mixed Use |
| City Boundary | R-6 - Medium Density Residential | PC - Planned Community |
| A - Agricultural | R-10 - Medium Density Residential | RC - Regional Commercial |
| RA-5 | R-14 - High Density Residential | OW - Office Warehouse |
| RR - Rural Residential | R-18 - High Density Residential | |
| R-2 - Low Density Residential | NC - Neighborhood Commercial | |



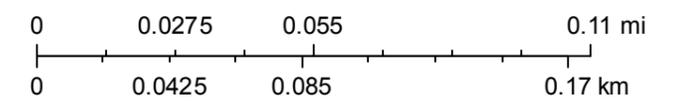
Sources: Esri, HERE, DeLorme, USGS, Intermap, increment P Corp., NRCAN, Esri Japan, METI, Esri China (Hong Kong), Esri (Thailand), TomTom, MapmyIndia, © OpenStreetMap contributors, and the GIS User Community



October 15, 2014

City Parcels

1:2,257

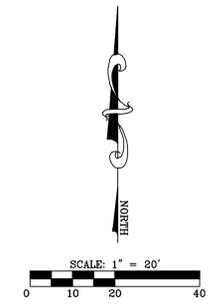


Source: Esri, DigitalGlobe, GeoEye, i-cubed, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AEX, Getmapping, Aerogrid, IGN, IGP, swisstopo, and the GIS User Community

SARATOGA SPRINGS PROFESSIONAL BUILDING

(LOT C-1 RIVERBEND COMMERCIAL PLAT)

Exhibit 3
Concept Plan



VICINITY MAP

TABLE OF CONTENTS

SHEET 1 CONCEPT PLAN
SHEET 2 EXISTING CONDITIONS

TABULATIONS

OVERALL AREA	1.38 ACRES
PERVIOUS AREA (OPEN SPACE)	0.61 ACRES (44%)
IMPERVIOUS AREA	0.56 ACRES (41%)
BUILDING AREA	0.21 ACRES (15%)

BUILDING SQ. FT. 9,596 SQ. FT.
PARKING REQ'D (5 PER 1000 SQ. FT.) 47 STALLS

PARKING PROVIDED 59 STALLS
REGULAR STALLS 53 STALLS
HANDICAP STALLS 3 STALLS
HANDICAP STALLS (PHYSICAL THERAPY) 3 STALLS

SENSITIVE LANDS 0.03 ACRES

NOTES

- ALL CONSTRUCTION TO BE IN ACCORDANCE WITH THE LATEST VERSION OF SARATOGA SPRINGS CITY STANDARDS AND SPECIFICATIONS.
- CONTRACTOR TO VERIFY DEPTH AND LOCATION OF ALL UTILITIES SHOWN.
- PRIOR TO COMMENCEMENT OF ANY WORK, A PRE-CONSTRUCTION MEETING WILL BE HELD WITH THE CITY ENGINEER, CHIEF BUILDING OFFICIAL, CITY INSPECTORS, THE CONTRACTOR, ALL SUBCONTRACTORS, AND THE PROPERTY OWNER.
- ANY EXISTING SEPTIC SYSTEMS OR WELLS TO BE REMOVED/FILLED IN ACCORDANCE TO STATE STANDARDS.
- AUTOMATIC IRRIGATION SYSTEM REQUIRED. TREE REPLACEMENT REQUIRED IF MATURE TREES ARE REMOVED.
- ALL REFUSE AREAS (DUMPSTERS) MUST BE SCREENED.

LEGEND

EXISTING

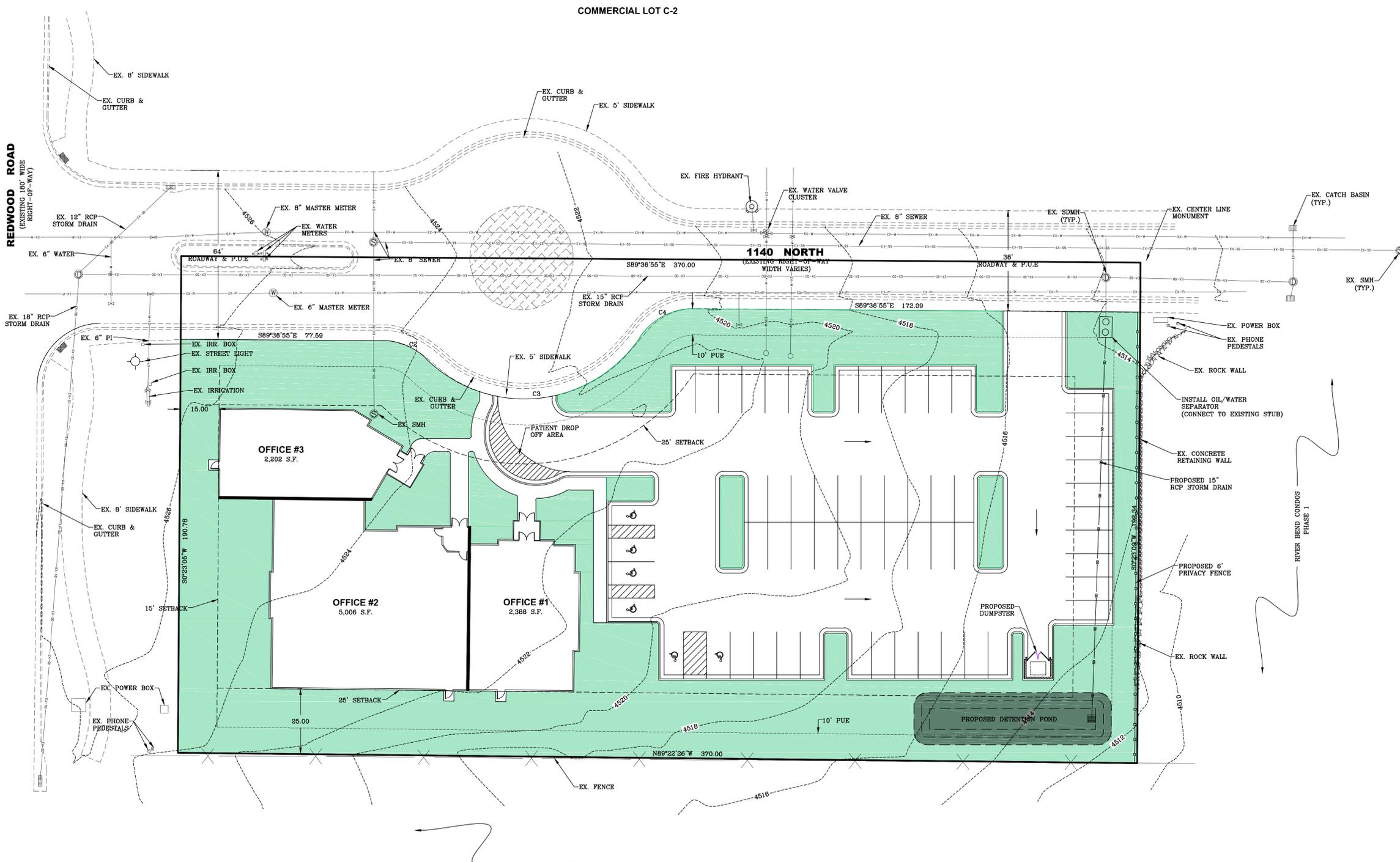
- WATER METER
- WATER VALVE
- FIRE HYDRANT
- SEWER
- SEWER MANHOLE
- STORM DRAIN
- STORM DRAIN MANHOLE
- STORM DRAIN CURB INLET
- PI
- PI VALVE
- FENCE

PROPOSED

- WATER
- WATER VALVE
- FIRE HYDRANT
- SEWER
- SEWER MANHOLE
- STORM DRAIN
- STORM DRAIN MANHOLE
- STORM DRAIN CURB INLET
- PI
- PI VALVE
- SHED CURB & GUTTER
- SENSITIVE LANDS AREA
- FLOW ARROW

NOT FOR CONSTRUCTION

SARATOGA SPRINGS PROFESSIONAL BUILDING
SARATOGA SPRINGS, UTAH
CONCEPT PLAN



CURVE TABLE

CURVE	RADIUS	DELTA	LENGTH	CHORD
C2	25.00	43°49'34"	19.12	N67°42'19"W 18.66
C3	54.00	99°58'44"	94.23	N84°13'03"E 82.72
C4	25.00	56°08'47"	24.50	S62°18'27"W 23.53

BOUNDARY DESCRIPTION

A portion of the Southwest Quarter of Section 14, Township 5 South, Range 1 West, Salt Lake Base & Meridian, located in Saratoga Springs, Utah, more particularly described as follows:
Beginning at a point located N0°37'34"E along the Quarter Section Line 876.11 feet and East 107.25 feet from the Center of Section 14, Township 5 South, Range 1 West, Salt Lake Base & Meridian; thence N0°23'05"E 190.78 feet; thence S89°36'55"E 370.00 feet thence S0°23'05"W 192.34 feet; thence N89°22'26"W 370.00 feet to the point of beginning.

Contains: +1.38 Acres

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DEVELOPER / OWNER
BLAINE HALES
350 E CENTER ST. STE. 200
PROVO, UT. 84606
(801)377-7785

ENGINEER
LEI CONSULTING ENGINEERS
3302 NORTH MAIN
SPANISH FORK, UTAH 84660
(801)798-0555

PROJECT NAME
SARATOGA SPRINGS
PROFESSIONAL BUILDING LLC.

REVISIONS

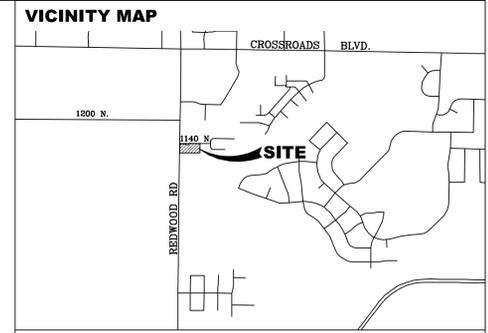
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LEI PROJECT #: 2014-1489
DRAWN BY: BAP
CHECKED BY: NKW
SCALE: 1" = 20'
DATE: 10/28/2014
SHEET 1

SARATOGA SPRINGS PROFESSIONAL BUILDING

(LOT C-1 RIVERBEND COMMERCIAL PLAT)

Exhibit 4
Proposed Site Plan



LEI
- A Utah Corporation -
**ENGINEERS
SURVEYORS
PLANNERS**
3302 N. Main Street
Spanish Fork, UT 84660
Phone: 801.798.0555
Fax: 801.798.9393
office@lei-eng.com
www.lei-eng.com

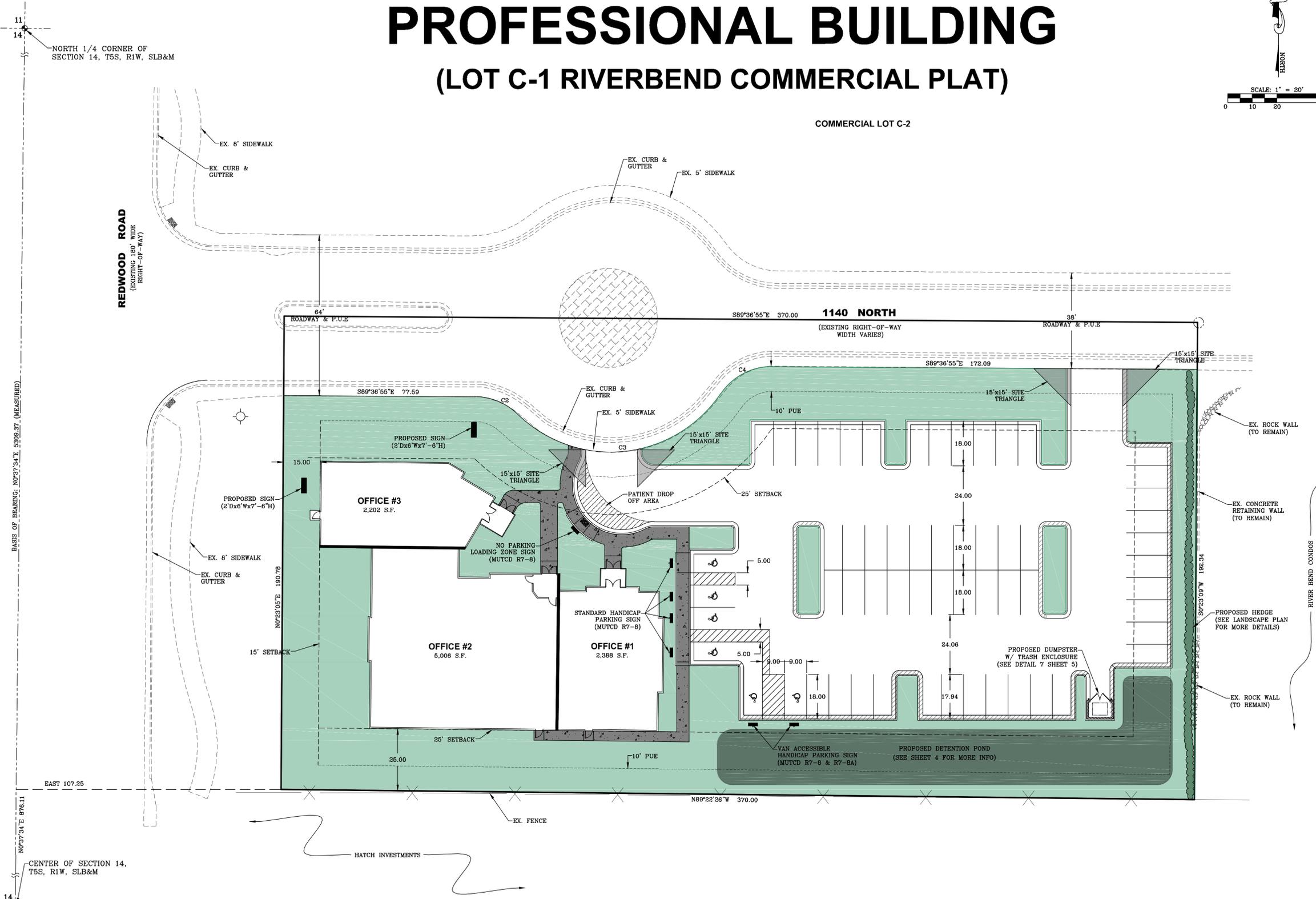
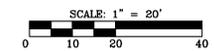


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SHEET 1	COVER
SHEET 2	DEMOLITION PLAN
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SHEET 4	GRADING PLAN
SHEET 5	DETAILS
SHEET 6	CONTEXT/SITE ANALYSIS PLAN
LI	LANDSCAPE PLAN
II	IRRIGATION PLAN

TABULATIONS

OVERALL AREA	1.63 ACRES
EX. RIGHT-OF-WAY AREA	0.25 ACRES
SITE AREA	1.38 ACRES
PERVIOUS AREA (OPEN SPACE)	0.60 ACRES (43%)
IMPERVIOUS AREA (SITE)	0.57 ACRES (42%)
BUILDING AREA	0.21 ACRES (15%)
BUILDING SQ. FT.	9,596 SQ. FT.
PARKING REQ'D (5 PER 1000 SQ. FT.)	47 STALLS
PARKING PROVIDED	59 STALLS
REGULAR STALLS	53 STALLS
HANDICAP STALLS (ADA REQ'D)	3 STALLS
HANDICAP STALLS (PHYSICAL THERAPY REQ'D)	3 STALLS
SENSITIVE LANDS (DETENTION BASIN)	0.03 ACRES

- NOTES**
- ALL CONSTRUCTION SHALL COMPLY TO THE STANDARD TECHNICAL SPECIFICATIONS AND DRAWINGS FOR THE CITY OF SARATOGA SPRINGS, UTAH. CONTRACTOR SHALL FIELD VERIFY LOCATIONS AND INVERT ELEVATIONS OF EXISTING STORM DRAIN STRUCTURES AND OTHER UTILITIES BEFORE STAKING OR CONSTRUCTING ANY NEW STORM DRAIN LINES.
 - PRIOR TO COMMENCEMENT OF ANY WORK, A PRE-CONSTRUCTION MEETING WILL BE HELD WITH THE CITY ENGINEER, CHIEF BUILDING OFFICIAL, CITY INSPECTORS, THE CONTRACTOR, ALL SUBCONTRACTORS, AND THE PROPERTY OWNER.
 - EXISTING UTILITIES HAVE BEEN NOTED TO THE BEST OF ENGINEERS KNOWLEDGE. IT IS OWNERS AND CONTRACTORS RESPONSIBILITY TO LOCATE UTILITIES IN FIELD AND NOTIFY ENGINEER AND CITY IF DISCREPANCIES EXIST.
 - THE CITY RESERVES THE RIGHT TO CONDUCT POST-INSTALLATION INSPECTIONS TO VERIFY COMPLIANCE WITH THE CITY'S REQUIREMENTS AND APPROVED LIGHTING PLAN COMMITMENTS, AND IF DEEMED APPROPRIATE BY THE CITY, TO REQUIRE REMEDIAL ACTION AT NO EXPENSE TO THE CITY.
 - ALL EXTERIOR LIGHTING SHALL MEET IESNA FULL-CUTOFF CRITERIA UNLESS OTHERWISE APPROVED BY THE CITY.
 - CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS AND LOCATION OF EXISTING UTILITIES PRIOR TO CONSTRUCTION.
 - ALL EXISTING FENCING WITHIN THE PROPOSED BOUNDARY TO BE REMOVED.
 - NO FLOOD PLAINS OR WETLANDS INDICATED BY FEMA WITHIN SITE LIMITS.
 - THE CITY RESERVES THE RIGHT TO CONDUCT POST-INSTALLATION INSPECTIONS TO VERIFY COMPLIANCE WITH THE CITY'S REQUIREMENTS AND APPROVED LIGHTING PLAN COMMITMENTS, AND IF DEEMED APPROPRIATE BY THE CITY, TO REQUIRE REMEDIAL ACTION AT NO EXPENSE TO THE CITY.
 - ALL EXTERIOR LIGHTING SHALL MEET IESNA FULL-CUTOFF CRITERIA UNLESS OTHERWISE APPROVED BY THE CITY.
 - PARKING LOT LIGHTS DESIGNED TO NOT SHINE ON THE CONDO PROJECT.
 - IRRIGATION PLAN TO BE PROVIDED FOLLOWING INITIAL COMMENTS FROM CITY ON THE LANDSCAPING PLAN.

LEGEND

EXISTING	EXISTING	PROPOSED
WATER METER	W-M	W
WATER VALVE	EX-W	W
FIRE HYDRANT	EX-SS	SS
SEWER	EX-SS	SS
SEWER MANHOLE	EX-SS	SS
STORM DRAIN	EX-SD	SD
STORM DRAIN MANHOLE	EX-SD	SD
STORM DRAIN CURB INLET	EX-SD	SD
PI	EX-PI	PI
PI VALVE	EX-PI	PI
FENCE	EX-F	F
FLOW CURB & GUTTER	EX-CG	CG
SENSITIVE LANDS AREA	EX-SL	SL
NEW CONCRETE	EX-NC	NC
FLOW ARROW	EX-FA	FA

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SPANISH FORK, UTAH 84660
(801)798-0555

PROJECT NAME
SARATOGA SPRINGS PROFESSIONAL BUILDING LLC.

PARKING STATEMENT
All applicable elements of section 19.09.07 with respect to accessible parking have been adhered to.

CURVE TABLE

CURVE	RADIUS	DELTA	LENGTH	CHORD
C2	25.00	43°49'34"	19.12	N87°42'19"W 18.86
C3	54.00	99°58'44"	94.23	N84°13'03"E 82.72
C4	25.00	56°08'47"	24.50	S62°16'27"W 23.53

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Contains: ±1.63 Acres

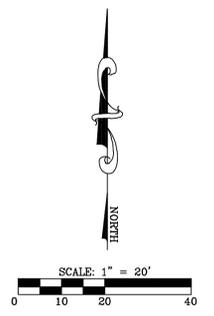
NOT FOR CONSTRUCTION

SARATOGA SPRINGS PROFESSIONAL BUILDING
SARATOGA SPRINGS, UTAH
COVER

REVISIONS

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LEI PROJECT #: 2014-1489
DRAWN BY: BAP
CHECKED BY: NKW
SCALE: 1" = 20'
DATE: 12/11/2014
SHEET 1
Page 14 of 37



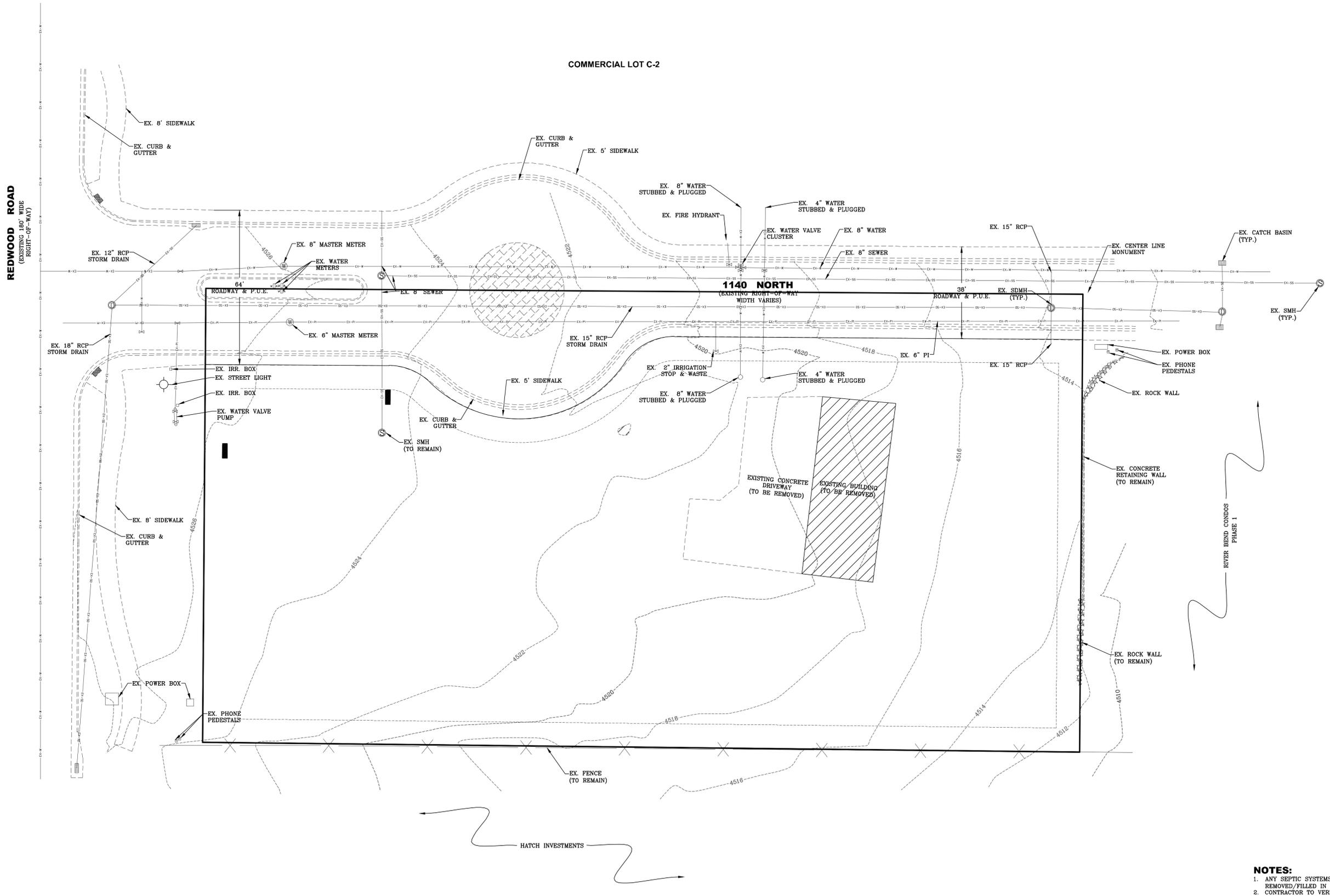
NOT FOR CONSTRUCTION

SARATOGA SPRINGS PROFESSIONAL BUILDING
 SARATOGA SPRINGS, UTAH
DEMOLITION PLAN

REVISIONS	
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LEI PROJECT #:	2014-1489
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CHECKED BY:	NKW
SCALE:	1" = 20'
DATE:	12/11/2014
SHEET	

COMMERCIAL LOT C-2



- NOTES:**
1. ANY SEPTIC SYSTEMS OR WELLS WILL NEED TO BE REMOVED/FILLED IN ACCORDANCE WITH STATE STANDARDS.
 2. CONTRACTOR TO VERIFY LOCATION OF EXISTING SEPTIC TANK & LEACH FIELD.

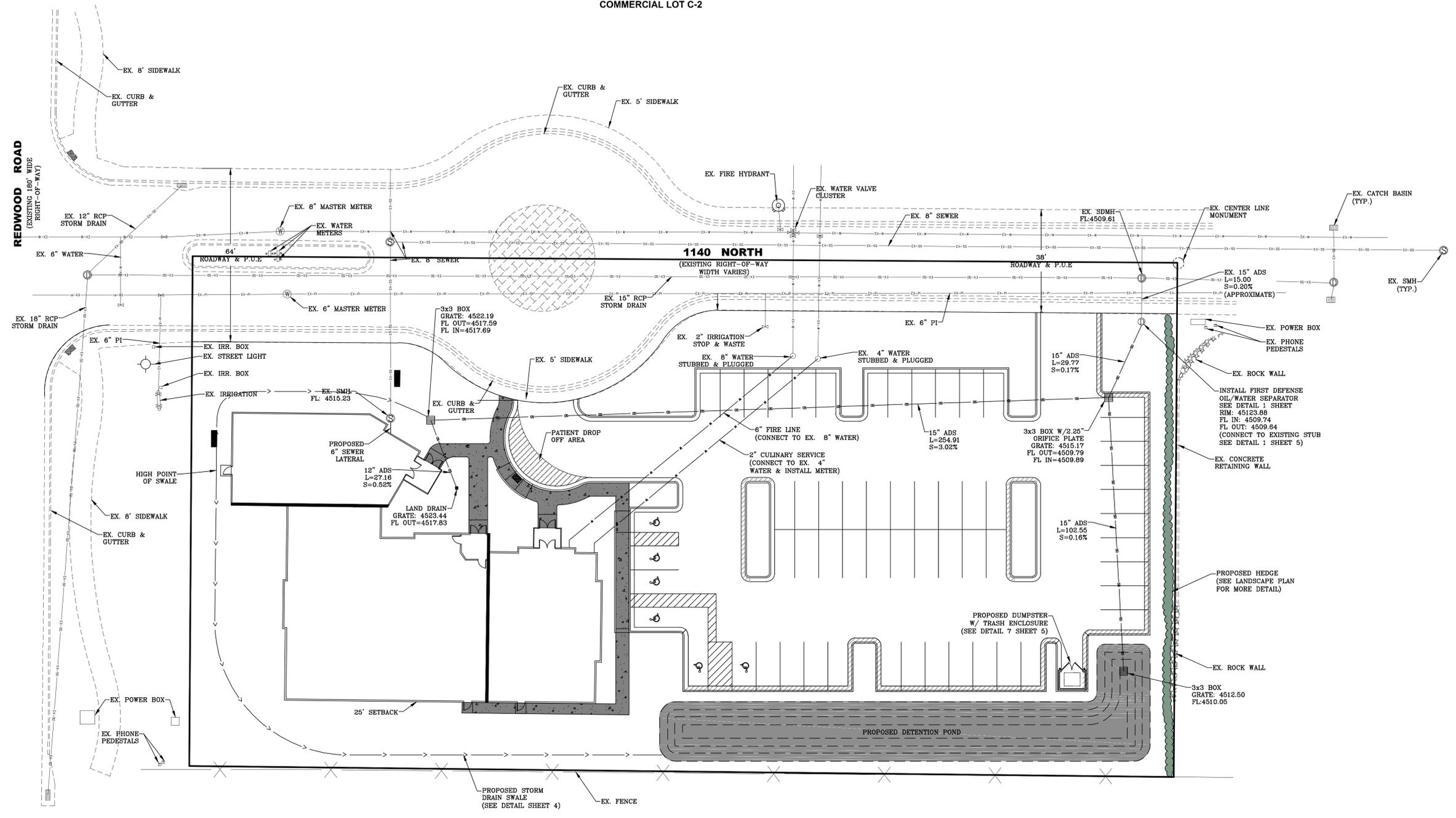
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NOT FOR CONSTRUCTION

COMMERCIAL LOT C-2



SARATOGA SPRINGS PROFESSIONAL BUILDING
 SARATOGA SPRINGS, UTAH
UTILITY PLAN

REVISIONS	
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 CHECKED BY: NKW
 SCALE: 1" = 20'
 DATE: 12/11/2014

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SARATOGA SPRINGS PROFESSIONAL BUILDING SARATOGA SPRINGS, UTAH

DETAILS

Table with 2 columns: REVISIONS, COMMENTS. Contains 5 revision entries.

LEI PROJECT #: 2014-1489 DRAWN BY: BAP CHECKED BY: NKW SCALE: N.T.S. DATE: 12/11/2014 SHEET

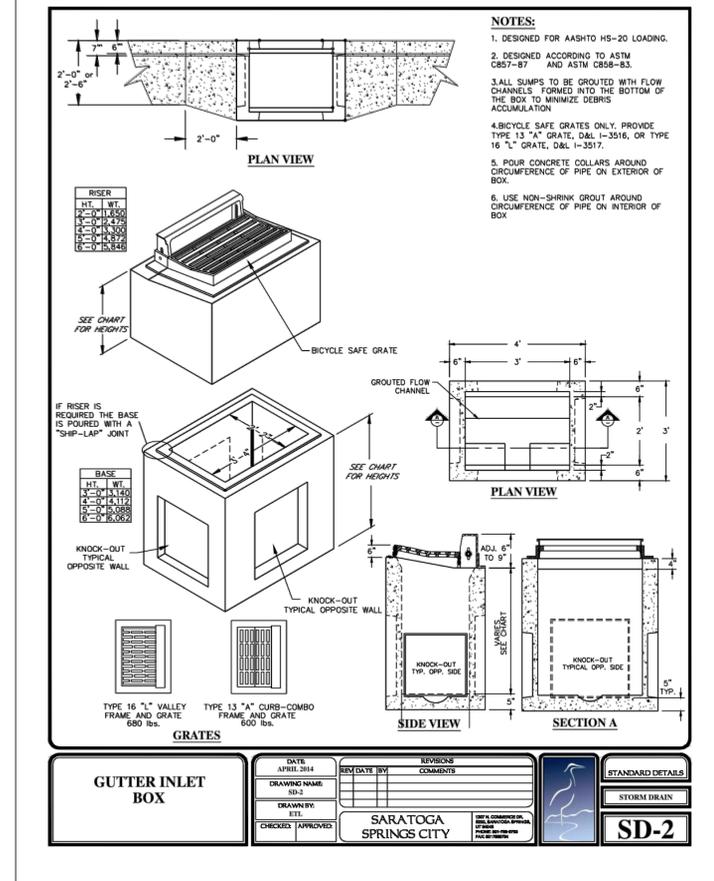


Table with 2 columns: DATE, REVISIONS. Includes drawing name, date, and revision comments for the gutter inlet box detail.

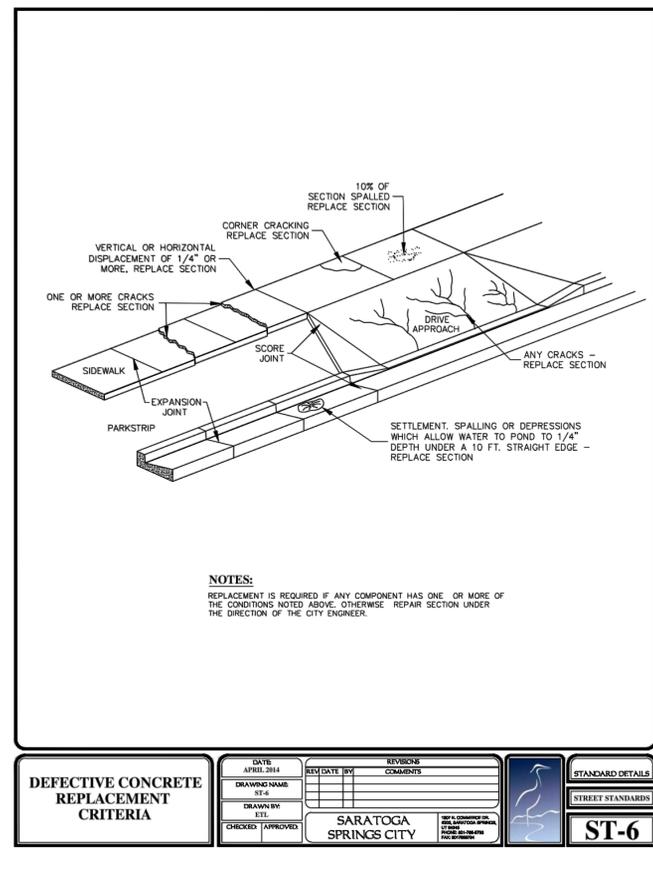


Table with 2 columns: DATE, REVISIONS. Includes drawing name, date, and revision comments for the defective concrete replacement criteria.

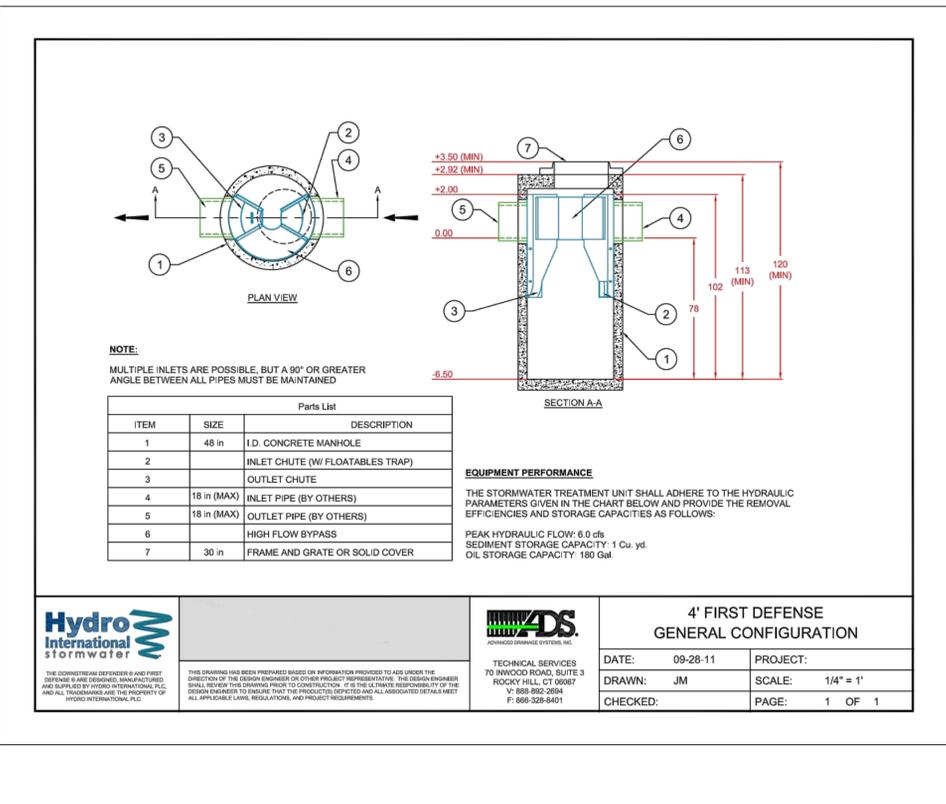
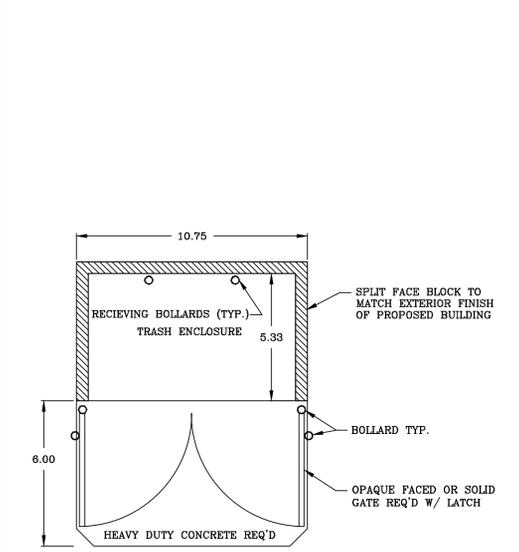


Table with 2 columns: DATE, REVISIONS. Includes drawing name, date, and revision comments for the oil/water separator detail.

3 GUTTER INLET BOX DETAIL

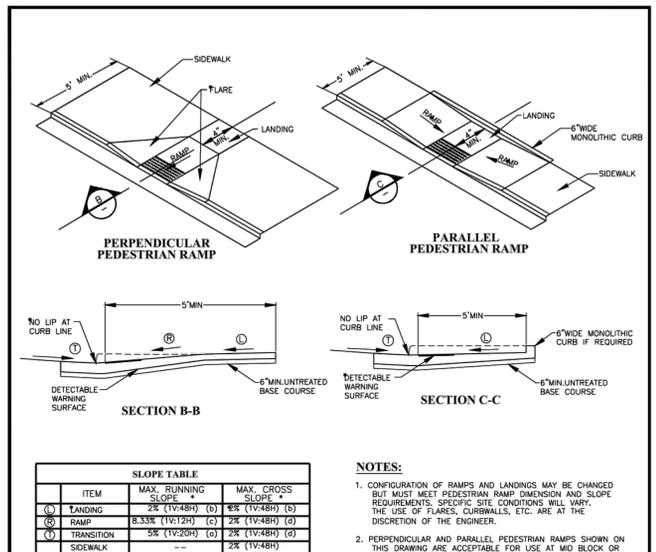
2 DEFECTIVE CONCRETE REPLACEMENT DETAIL

1 OIL/WATER SEPARATOR DETAIL



NOTES: 1. ENCLOSURE SHALL BE 6' TALL MIN. 2. ENCLOSURE DIMENSIONS MAY VARY DEPENDING UPON INTENDED USE.

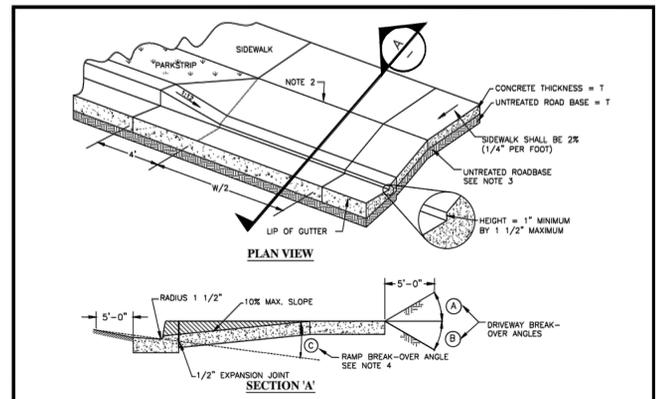
7 TRASH ENCLOSURE DETAIL



NOTES: 1. CONFIGURATION OF RAMPS AND LANDINGS MAY BE CHANGED BUT MUST MEET PEDESTRIAN RAMP DIMENSION AND SLOPE REQUIREMENTS...

Table with 2 columns: DATE, REVISIONS. Includes drawing name, date, and revision comments for the handicap accessible ramp detail.

6 HANDICAP ACCESSIBLE RAMP DETAIL



NOTES: 1. EDGE CONCRETE WITH 1/2" RADIUS EDGING TOOL. 2. PLACE 1/2" EXPANSION JOINT BETWEEN DRIVEWAY APRON AND CURB...

Table with 2 columns: DATE, REVISIONS. Includes drawing name, date, and revision comments for the flared driveway approach detail.

5 FLARED DRIVEWAY APPROACH DETAIL

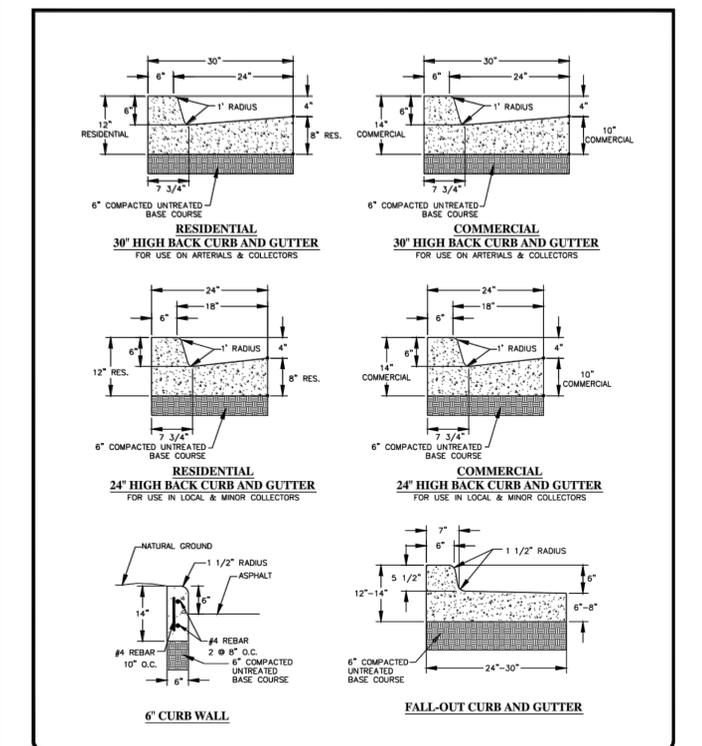
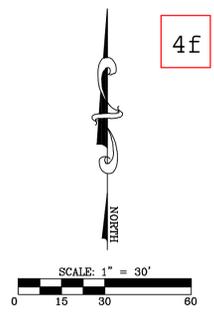
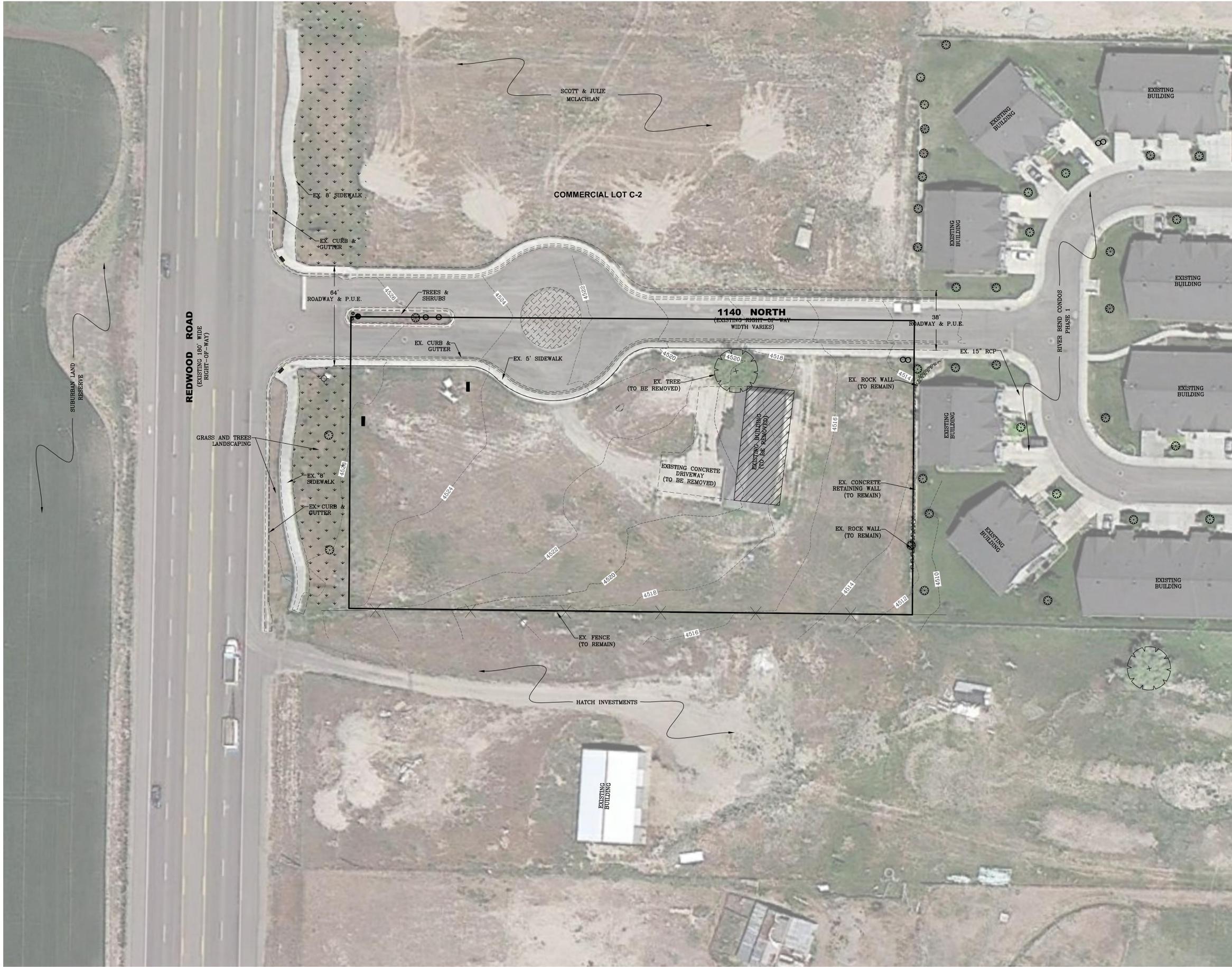


Table with 2 columns: DATE, REVISIONS. Includes drawing name, date, and revision comments for the curb & gutter details.

4 CURB & GUTTER DETAILS



4f

LEI
 - A Utah Corporation -
ENGINEERS
SURVEYORS
PLANNERS
 3302 N. Main Street
 Spanish Fork, UT 84660
 Phone: 801.798.0555
 Fax: 801.798.9393
 office@lei-eng.com
 www.lei-eng.com

NOT FOR
 CONSTRUCTION

SARATOGA SPRINGS PROFESSIONAL BUILDING
 SARATOGA SPRINGS, UTAH
CONTEXT/SITE ANALYSIS PLAN

LEGEND

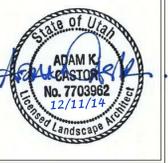
	LARGE TREE
	SMALL TREE
	PINE TREE
	SHRUBS
	GRASS

REVISIONS

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LEI PROJECT #:
2014-1489
 DRAWN BY:
BAP
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NKW
 SCALE:
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 DATE:
12/11/2014

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SARATOGA SPRINGS PROFESSIONAL BUILDING
 SARATOGA SPRINGS, UTAH
LANDSCAPE PLAN

PLANT MATERIALS SCHEDULE

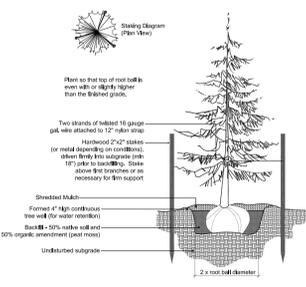
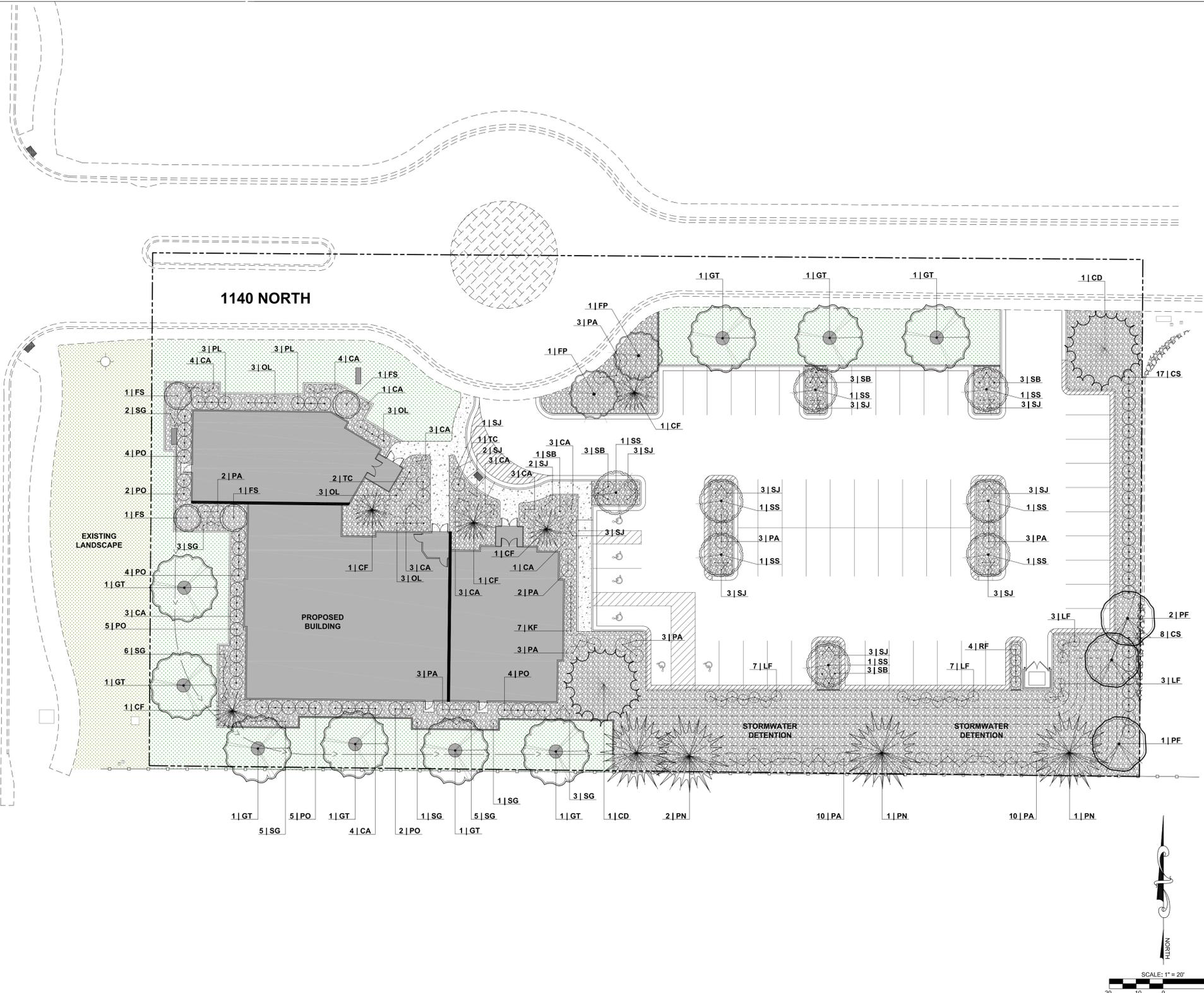
SCIENTIFIC NAME	COMMON NAME	SIZE	QTY.
TREES			
CD	Quercus douglasii	6'-8'	2
CF	Quercus douglasii 'Karl Fuchse'	6'-8'	5
FP	Quercus laevis	1.5' cal.	2
FS	Fagus sylvatica 'Dawson Purple'	8'-10'	4
GT	Quercus macrocarpa 'Skyline'	2' cal.	9
HC	Malus 'Prairie Fire'	2' cal.	3
MS	Malus 'Spring Snow'	2' cal.	8
PL	Pinus rigida	6'-7'	4
SHRUBS			
CA	Cornus alba 'Variegata'	Kory Haki Dogwood	#5
CS	Cornus sericea 'Ballifol'	Redtwigged Dogwood	#5
CD	Cotoneaster dammeri 'Lowfast'	Cotoneaster	#5
NI	Nerandus	Nerandus	#5
OL	Physocarpus opulifolius 'Summer Wine'	Physocarpus	#5
OL	Prunus laurocerasus 'Otto Luyken'	English Laurel	#5
PL	Phoradendron leucocarpum	Shiloh Laurel	36" x 48"
RF	Rhamnus fraxinea columnaris	Tall Hedge Buckthorn	#5
SB	Spiraea bumalda 'Anthony Waterer'	Spiraea	#5
SJ	Spiraea japonica 'Magic Carpet'	Spiraea	#5
TC	Taxus cuspidata densiformis	Japanese Yew	#5
GRASSES			
CA	Calamagrostis acutiflora 'Avalanche'	Feather Reed Grass	#1
FC	Calamagrostis acutiflora 'Karl Foerster'	Feather Reed Grass	#1
SG	Panicum virgatum 'Shenandoah'	Switch Grass	#1
Total: 148			

• Indicates water-wise (drought tolerant) species

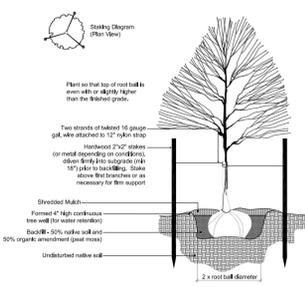
LANDSCAPE MATERIALS LEGEND

- Lawn Area - 10,400.0 sq. ft. (29.5%)**
Lawn areas shall be a hydrosed mix or soil. Hydrosed mix shall match City standard and shall be applied to a prepared base of six inches (6") of screened top soil. Cut soil shall be applied to a prepared base of four inches (4") of screened top soil. Apply hydrosed or soil once irrigation and finish grading has been completed. All lawn areas shall be 100% irrigated with pop-up spray heads and rotors.
- Decorative Rock Area - 15,900.0 sq. ft. (60.5%)**
Decorative rock areas shall include planter beds within the open space and landscaped parking along Talus Blvd. Planter beds should be constructed with twelve inches (12") of screened top soil for planting and shall be two to three inch (2"-3") Southern rock blend. Apply decorative rock to a depth of four inches (4"). Prior to install of decorative rock, DeWitt Pro-Seed Sinter shall be applied to the planter beds. All trees within decorative rock areas shall be watered by point-source drip irrigation.
- Natural Bark Mulch Area - 180.0 sq. ft.**
Natural bark mulch areas shall include tree rings around deciduous and conifer trees within lawn areas. See Tree Planting note #12.
- Concrete Mow Curb - 500.0 lin. ft.**
Concrete mow strip shall be six inch (6" x 6") flat concrete curbing, stained light brown to complement decorative rock mulch. Concrete mow strip shall be installed once finish grading has been completed, but prior to installation of plant materials and soil.

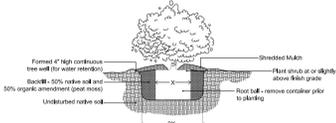
- TREE PLANTING NOTES:**
- All deciduous trees shown on this Landscape Plan shall be two and one-half inch caliper (2.5" cal.) balled and burlapped nursery stock. Balled and burlapped trees showing obvious signs of damage to the root ball and/or trunk shall not be acceptable.
 - All conifer trees shown on this Landscape Plan shall be six to seven feet (6' - 7') in height, balled and burlapped nursery stock. Balled and burlapped trees showing obvious signs of damage to the root ball and/or trunk shall not be acceptable.
 - Tree holes shall be dug two times (2x) the diameter of the root ball and only as deep as the root ball.
 - Tree root ball shall be at least twelve (12") inches in diameter per each one (1") inch of tree caliper and at least eighteen (18") inches deep. Root ball shall be wrapped tightly with no loose parts.
 - Tree should be set in the center of the hole and stood upright. The root flare should be visible and located at, or slightly above, finished ground level. The root flare should never be below finished ground level.
 - Trees shall only be lifted by the wire basket. Never lift trees by grasping trunk or limbs, or by attaching any type of sling or chains.
 - Do not remove the wire basket from balled and burlapped trees during planting. Bend the top wire loops down into hole after cutting wire or rope from around the tree trunk.
 - Once the hole has been backfilled two thirds (2/3) the depth, cut and remove the top third of burlap.
 - Remove all strings, rope, stakes, taping, tagging, and any other such items.
 - Backfill hole with excavated material and compact only enough to hold tree in place. Never use mechanical compaction. Top soil, mulch, or peat moss may be added to excavated material if high quantities of clay soils are present, but should not completely replace excavated material. Backfill material should cover root flare slightly, but should not be piled against trunk.
 - Water generously to soak entire root ball and backfill material. Additional backfill material may need to be added as soil settles below root flare.
 - Form a mulch ring around the base of the tree. Mulch ring shall be five feet (5') in diameter and three (3") to (4") inches deep. Do not pile excessive mulch or decorative rock around tree trunks.
- SHRUB PLANTING NOTES:**
- All shrubs shown on this Landscape Plan shall be five gallon (5G) containerized nursery stock.
 - Holes should be dug at least twice the diameter of the root ball and only as deep as the root ball.
 - Remove plant from the container, lightly rub all sides of the root ball to expose ends of roots, and place in the center of the hole. The top of the root ball should be at finished ground level.
 - Backfill the hole with parent material. Top soil or soil mix may be added to parent material, but should not replace parent material.
 - Compact soil enough to hold plant in place. Never use mechanical compaction.
 - Generously water to soak entire root ball and backfill. A soil water ring should be formed around the outside of the root ball. Backfill material may need to be added after material has settled.
 - Mulch shall be added to a depth of three (3") to four (4") inches and at least twice the width of the root ball.
 - For weed barrier cut a hole for the plant at least one and a half (1.5) times the diameter of the root ball to allow room for the plant to expand and grow naturally.



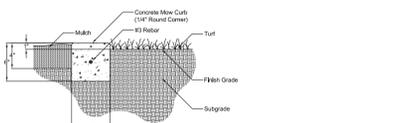
DETAIL LP-01.1
CONIFER TREE PLANTING DETAIL
 NO SCALE



DETAIL LP-01.2
DECIDUOUS TREE DETAIL
 NO SCALE



DETAIL LP-01.3
SHRUB PLANTING DETAIL
 NO SCALE



DETAIL LP-01.4
CONCRETE MOW CURB DETAIL
 NO SCALE

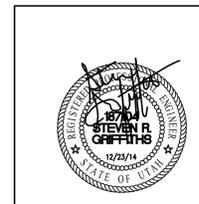
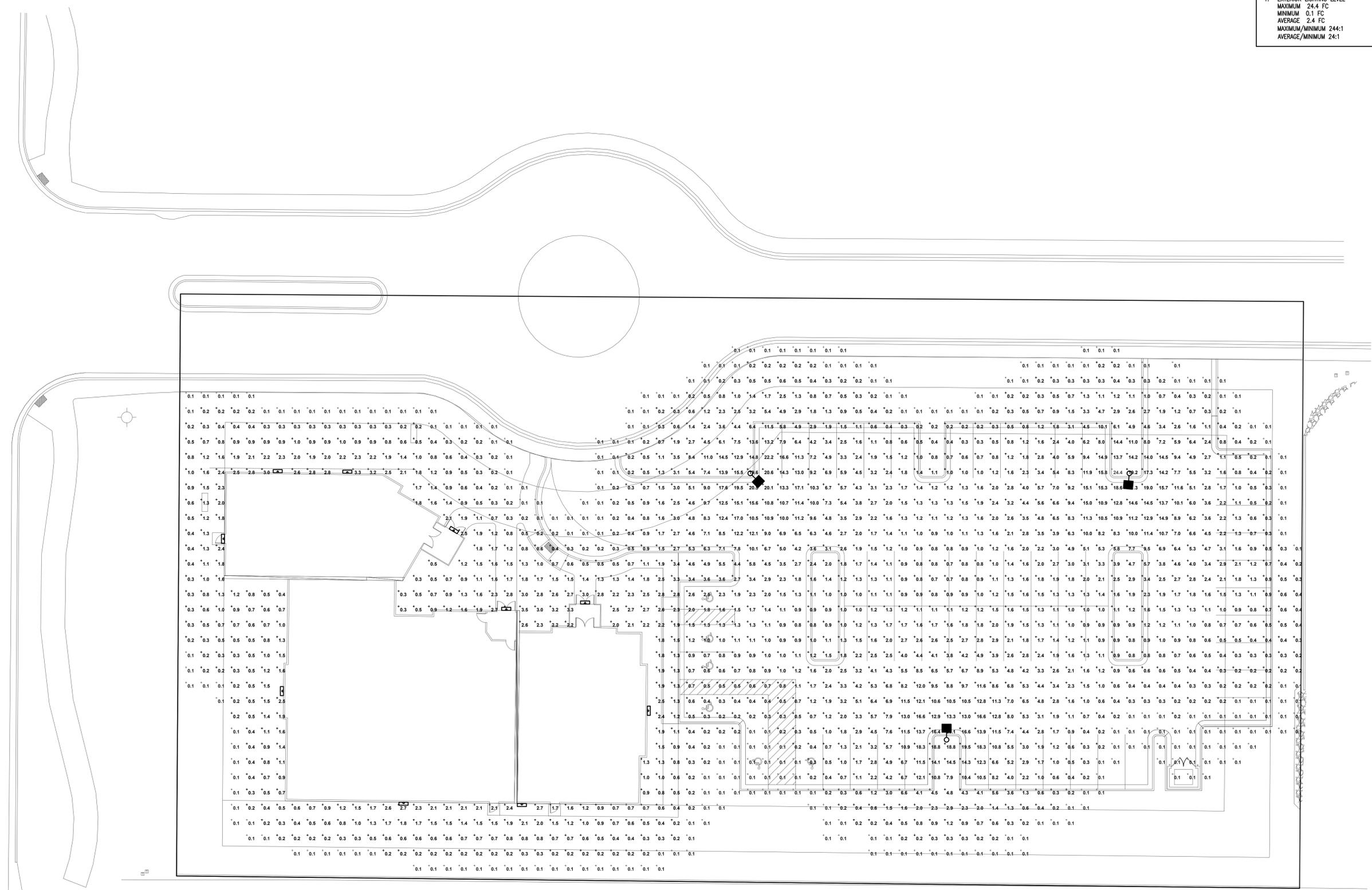
REVISIONS

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LEI PROJECT #:
2014-1489
 DRAWN BY:
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 CHECKED BY:
AKK
 SCALE:
1" = 20'
 DATE:
12/11/2014

ELECTRICAL GENERAL NOTES:

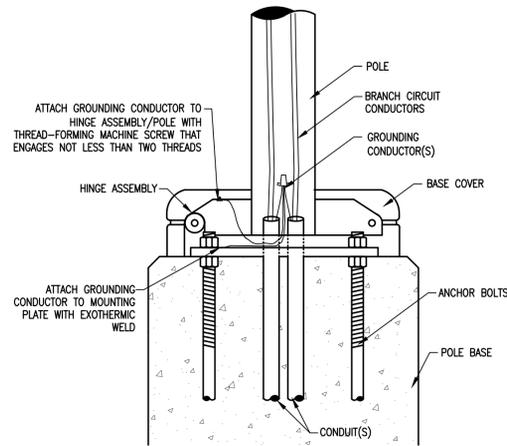
- 1. EXTERIOR LIGHTING LEVEL
 - MAXIMUM 24.4 FC
 - MINIMUM 0.1 FC
 - AVERAGE 2.4 FC
 - MAXIMUM/MINIMUM 244:1
 - AVERAGE/MINIMUM 24:1



RE
ROYAL ENGINEERING
 ELECTRICAL MECHANICAL
 2385 SOUTH STATE SUITE 100 PROVO, UTAH 84606
 PHONE: 801.376.2228 FAX: 801.376.2676
 COPYRIGHT © JOB# J14381.00 DATE PLOTTED: 12/23/2014

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 PLOT DATE: 12/23/2014 Z:\Projects\14\14381\00\14381 ELEC ALL.dwg



POLE LIGHT GROUNDING DETAIL

SCALE: NONE

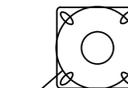
KEYED NOTES:

◆ POLE BASE DEPTH BELOW GRADE SHALL BE 10% OF POLE HEIGHT PLUS 3 FEET (APPROX. 5 FT)

GENERAL NOTES:

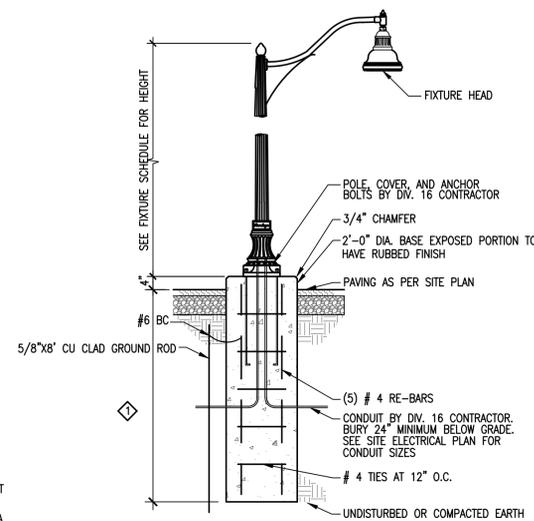
1. ALSO REFERENCE CITY DETAILS LP.2 AND LP.2b.

4 Bolts at 90 Degrees 3/4" Dia x 18" Long x 3" Hook Bolts to have a 3.5" projection out of the concrete. BOLTS TO BE GALVANIZED



ANCHOR BASE DETAIL 12" BOLT
CIRCLE 7/8" x 1" HOLES TO ACCOMMODATE UP TO 3/4" DIA BOLT

SCALE: NONE

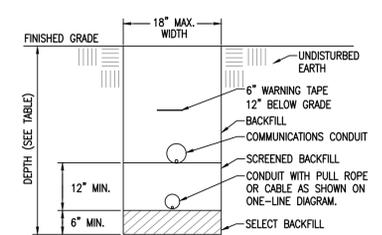


POLE BASE DETAIL

SCALE: NONE

LOCATION DESCRIPTION	DEPTH
BELOW CONCRETE SLAB (NOT TRAFFIC)	14 INCHES
BELOW TRAFFIC SURFACES	34 INCHES
PARKING LOT (PAVED OR NON-PAVED)	34 INCHES
OTHER LOCATIONS	28 INCHES
UTILITY SECONDARY	34 INCHES*
UTILITY PRIMARY	48 INCHES*

(SEE NEC TABLE 300.5)
* VERIFY ALL DIMENSIONS WITH LOCAL POWER COMPANY STANDARDS AND SPECIFICATIONS.

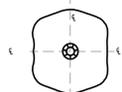


TRENCHING DETAIL

SCALE: NTS

ELECTRICAL KEYED NOTES:

◆ ORIENTATION OF FIXTURE INDICATES ORIENTATION OF OPTICS NOT ORIENTATION OF POLE FIXTURE HEAD. FIXTURE HEAD ORIENTATION SHALL BE DETERMINED BY OWNER OR CITY. CONTRACTOR SHALL FIELD ROTATE OPTICS AS INDICATED.



TYPE V

SCALE: NONE



RE
ROYAL ENGINEERING
ELECTRICAL MECHANICAL
2885 SOUTH STATE SUITE 100 PROVO, UTAH 84606
PHONE: 801.376.2228 FAX: 801.376.2678
COPYRIGHT © JOB# J14381.00 DATE PLOTTED: 12/23/2014

THESE DRAWINGS OR ANY PARTS THEREOF, AS INSTRUMENTS OF SERVICE, REMAIN THE PROPERTY OF THE ARCHITECTS AND MAY NOT BE REPRODUCED OR USED ON OTHER WORK WITHOUT THEIR WRITTEN CONSENT. PLOT DATE: 12/23/2014 Z:\Projects\14\14381\000\14381 ELEC ALL.dwg

4j

DRAWN BY LRM

SITE LIGHTING PLAN

HARRIS ARCHITECTURE

RIVERBEND OFFICE COMPLEX

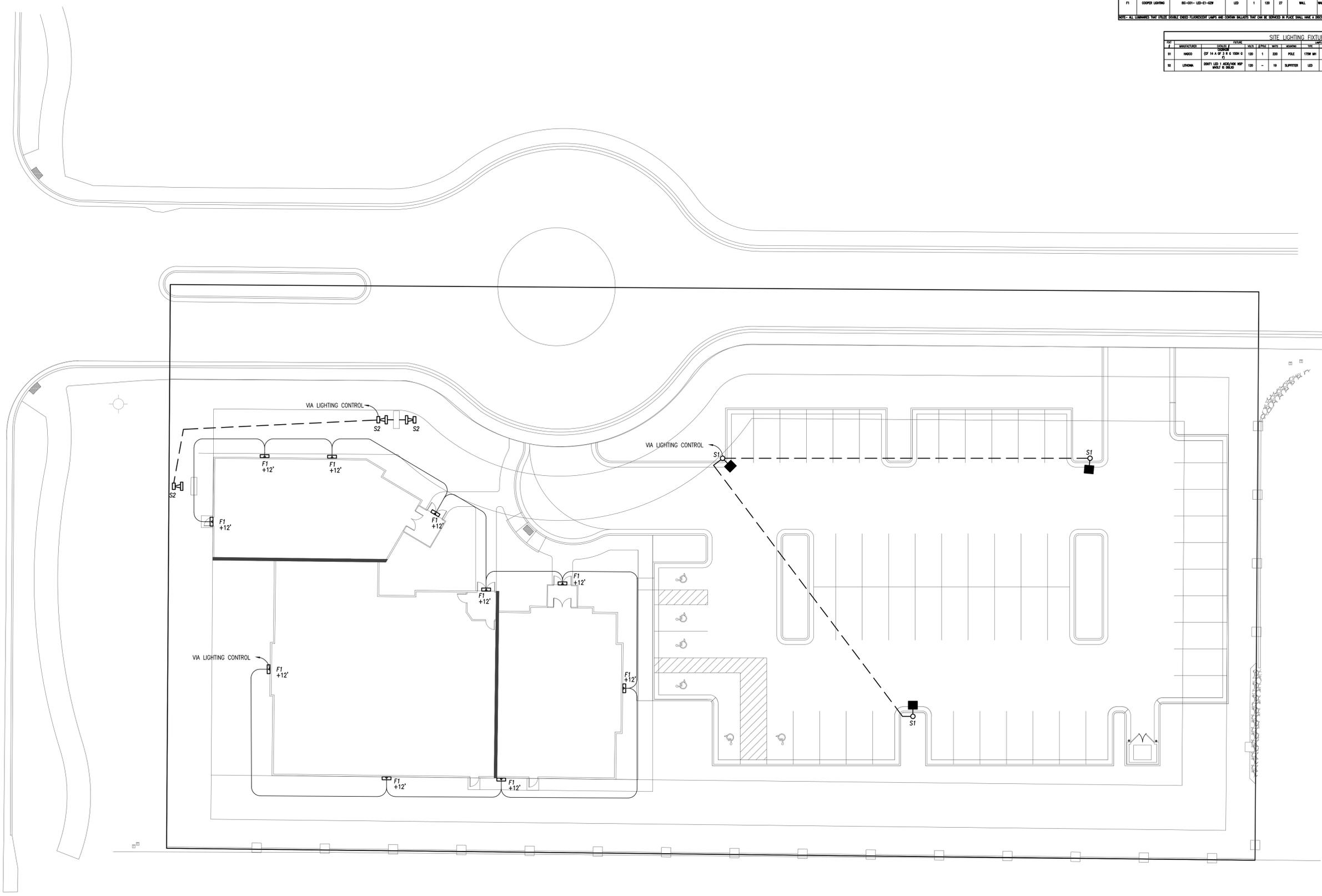
12/23/2014

E300

LIGHT FIXTURE SCHEDULE									
FIXTURE NUMBER	FIXTURE MANUFACTURER	FIXTURE DESCRIPTION / MODEL	LUMENS	TYPE	SIZE	HEIGHT	SPACING	REMARKS	NOTES
F1	COOPER LIGHTING	85-001-LED-61-001	130	LED	1	130	27"	WALL MOUNTED LED EXTERIOR WALL SPOKE FIXTURE	

SITE LIGHTING FIXTURE SCHEDULE										
ID	MANUFACTURER	MODEL	TYPE	SIZE	HEIGHT	SPACING	REMARKS	NOTES	STATUS	
S1	HACO	DP 14 A OF 3 X 6 150W G 0	POLE	150W	175W	1	MONITOR BODIES	10'	10'-0" x 14'-0" x 10'-0" (10' x 14' x 10')	REMOVED
S2	LEONARDO	100T LED 1 100W/100W WIP	SUPPLIER	100W	100W	1	WIP	10'	10'-0" x 14'-0" x 10'-0" (10' x 14' x 10')	REMOVED

NOTE: ALL LUMINAIRES THAT UTILIZE DOUBLE ENDED FLUORESCENT CANNONS AND CONTAIN BALLASTS THAT CAN BE REMOVED IN PLACE SHALL HAVE A DOCUMENTED HEIGHT AS REQUIRED BY 2011 IBC 1013.3 (10)



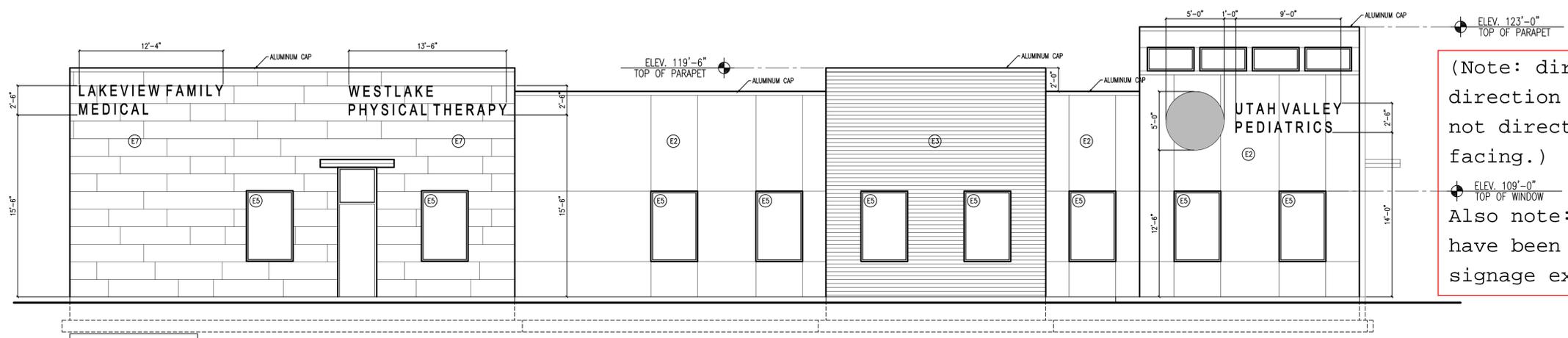
RE
ROYAL ENGINEERING
 ELECTRICAL MECHANICAL
 2385 SOUTH STATE SUITE 100 PROVO, UTAH 84606
 PHONE: 801.376.2228 FAX: 801.376.2676
 12/23/14
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PLOT DATE: 12/23/2014 Z:\Projects\14\14381\00\14381 ELEC ALL.dwg

Exhibit 5
Elevations

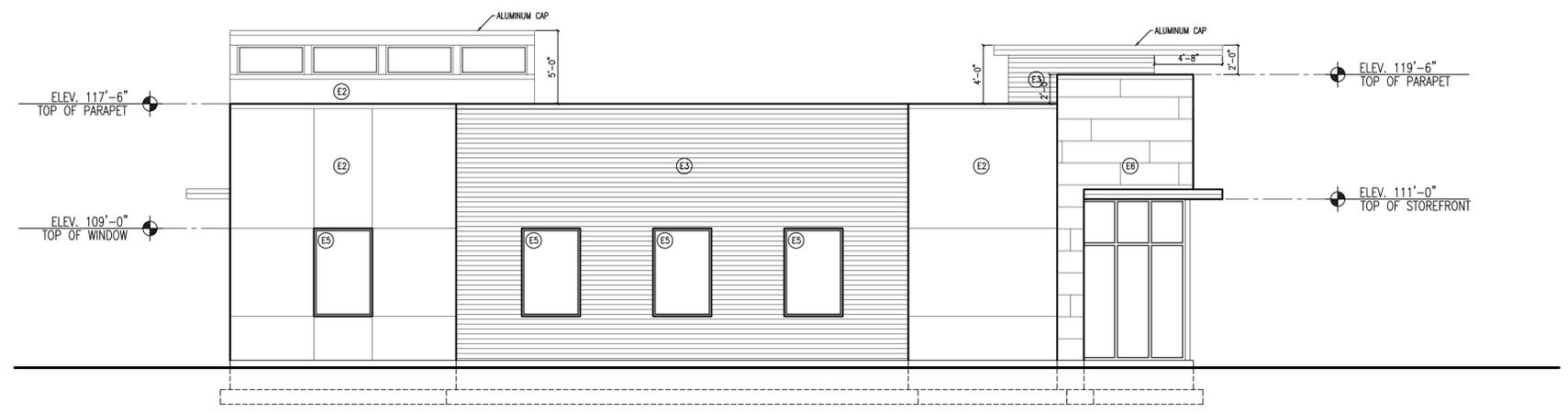
(Note: directions refer to direction viewer is facing, not direction elevation is facing.)
Also note: sign dimensions have been modified per signage exhibit.



SIGN 1 - 22.9 SQ. FT.
SIGN 2 - 26.0 SQ. FT.
SIGN 3 - 41.1 SQ. FT.
TOTAL 90.0 SQ. FT.

3 EAST ELEVATION
SCALE: 1/8" = 1'-0"

EXTERIOR FINISH SCHEDULE	
E1	STONE-#1200TW CRAFT SPLIT MODULAR, CREATIVE MINES
E2	STUCCO-#330 ULTRA WHITE, SYNERGY
E3	PORCELAIN TILE-#RIDGE AV16 9x36, RIDGE AV08 6X36 RANDOM INSTALL, ACACIA VALLEY, DAL TILE
E4	STORE FRONT-CLEAR ALUMINUM
E5	WINDOWS-CLEAR ALUMINUM
E6	WALL PANEL 1-YELLOW, FIBER CEMENT, NICHHA ILLUMINATION SERIES
E7	WALL PANEL 2-RED, FIBER CEMENT, NICHHA ILLUMINATION SERIES



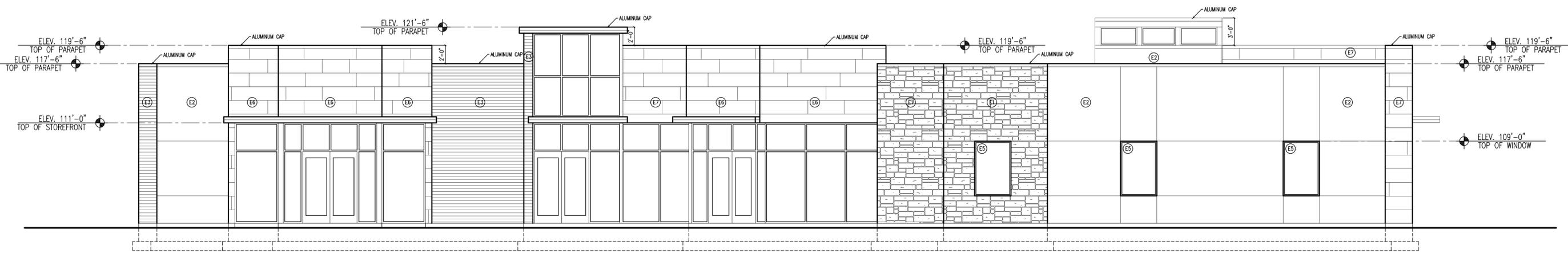
EXTERIOR FINISH SCHEDULE	
E1	STONE-#1200TW CRAFT SPLIT MODULAR, CREATIVE MINES
E2	STUCCO-#330 ULTRA WHITE, SYNERGY
E3	PORCELAIN TILE-#RIDGE AV16 9x36, RIDGE AV08 6X36 RANDOM INSTALL, ACACIA VALLEY, DAL TILE
E4	STORE FRONT-CLEAR ALUMINUM
E5	WINDOWS-CLEAR ALUMINUM
E6	WALL PANEL 1-YELLOW, FIBER CEMENT, NICHHA ILLUMINATION SERIES
E7	WALL PANEL 2-RED, FIBER CEMENT, NICHHA ILLUMINATION SERIES

4 WEST ELEVATION
SCALE: 1/8" = 1'-0"

PRELIMINARY - NOT FOR CONSTRUCTION

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PLOT DATE: 12/20/2014 Q:\CAD\PROJECTS\RIVERBEND - BLAINE HALES\WORKING\RENDER\A2.1.rvt

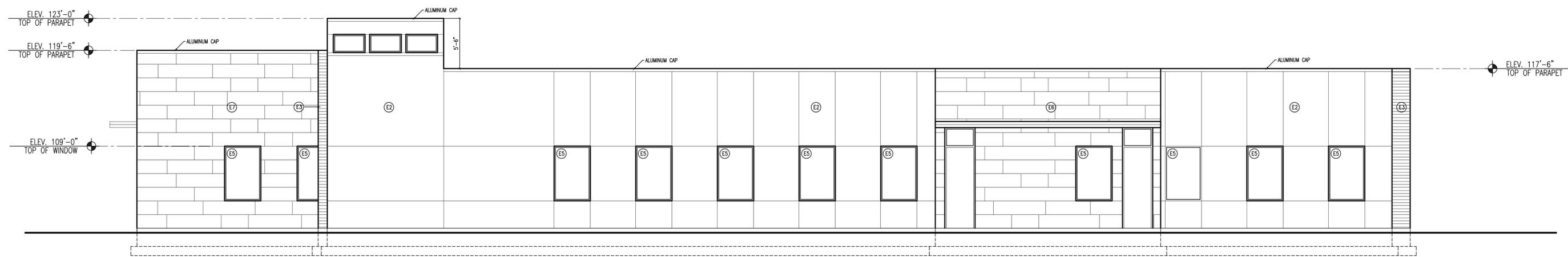
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PLOT DATE: 12/20/2014 Q:\CAD\PROJECTS\RIVERBEND - BLAINE HALES\WORKING\RENDER\A2.1.rvt



EXTERIOR FINISH SCHEDULE

E1	STONE-#1200TW CRAFT SPLIT MODULAR, CREATIVE MINES
E2	STUCCO-#330 ULTRA WHITE, SYNERGY
E3	PORCELAIN TILE-#RIDGE AV16 9x36, RIDGE AV08 6X36 RANDOM INSTALL, ACACIA VALLEY, DAL TILE
E4	STORE FRONT-CLEAR ALUMINUM
E5	WINDOWS-CLEAR ALUMINUM
E6	WALL PANEL 1-YELLOW, FIBER CEMENT, NICHHA ILLUMINATION SERIES
E7	WALL PANEL 2-RED, FIBER CEMENT, NICHHA ILLUMINATION SERIES

1
SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



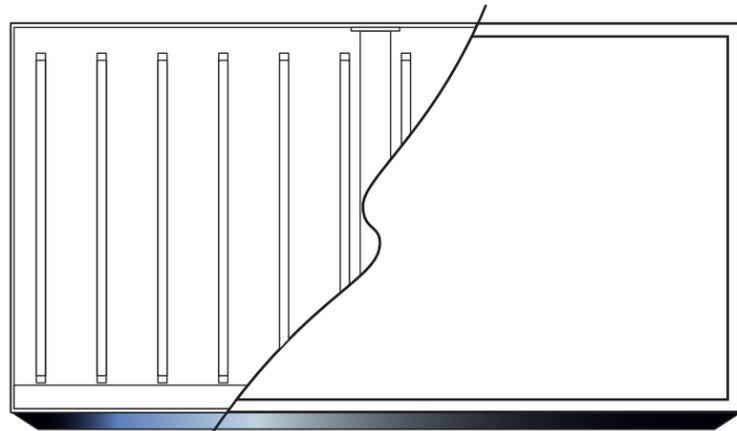
EXTERIOR FINISH SCHEDULE

E1	STONE-#1200TW CRAFT SPLIT MODULAR, CREATIVE MINES
E2	STUCCO-#330 ULTRA WHITE, SYNERGY
E3	PORCELAIN TILE-#RIDGE AV16 9x36, RIDGE AV08 6X36 RANDOM INSTALL, ACACIA VALLEY, DAL TILE
E4	STORE FRONT-CLEAR ALUMINUM
E5	WINDOWS-CLEAR ALUMINUM
E6	WALL PANEL 1-YELLOW, FIBER CEMENT, NICHHA ILLUMINATION SERIES
E7	WALL PANEL 2-RED, FIBER CEMENT, NICHHA ILLUMINATION SERIES

2
NORTH ELEVATION
SCALE: 1/8" = 1'-0"

PRELIMINARY - NOT FOR CONSTRUCTION

Exhibit 6
Signage



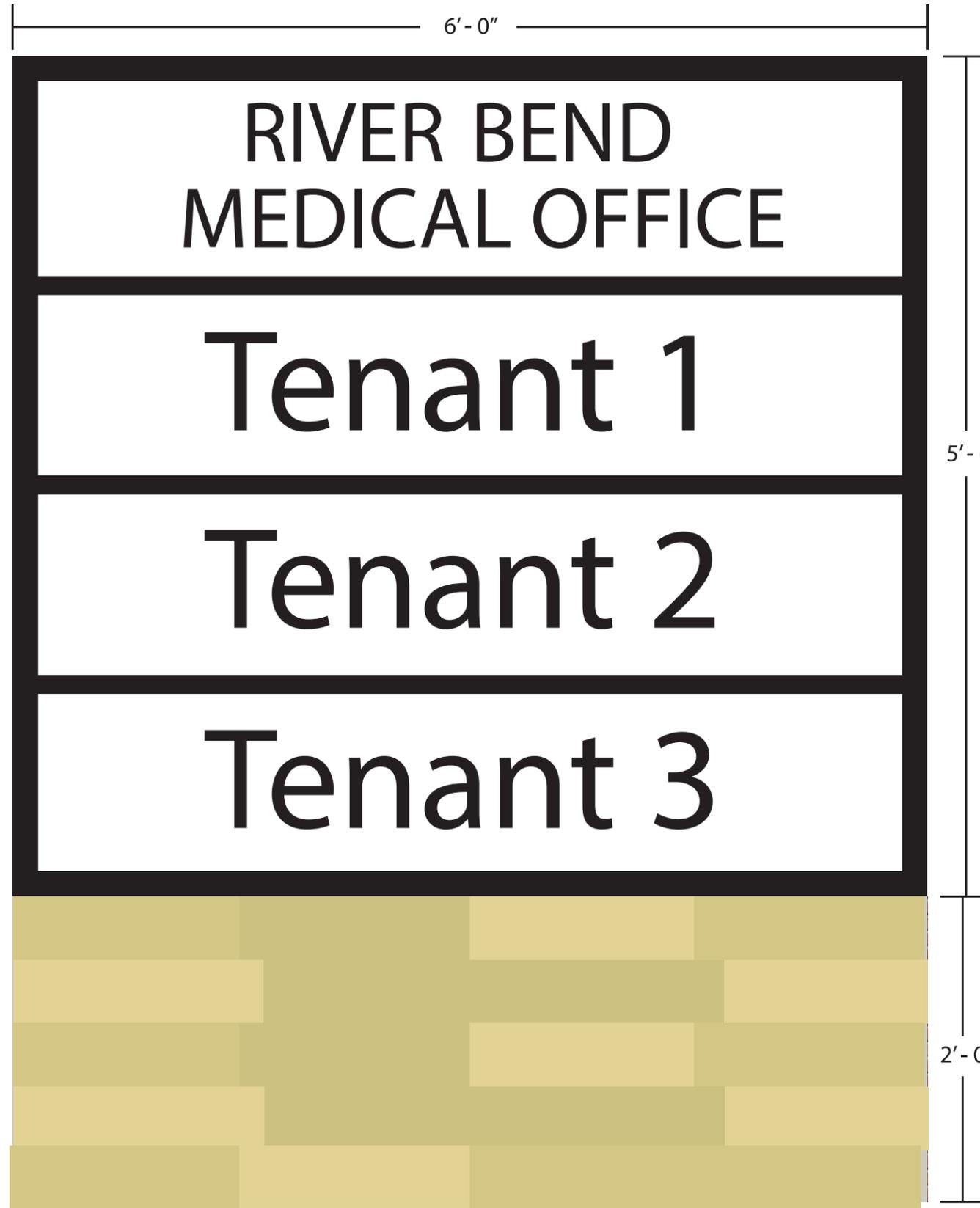
SPECIFICATIONS FOR FABRICATION AND INSTALLATION:

- Internally illuminated cabinet built to UL specifications
- Quantity: One (1)
- Overall length of sign: 6' - 0"
- Overall height of sign: 7' - 6"
- Depth of signage: 2' - 0"
- Total square feet: 45
- Retainer size: 2"
- Face type: Polycarbonate with digitally printed vinyl graphics
- Mounting method: Brick Base (done by someone other than Creative Signs)
- Illuminated with high output fluorescent lamps/ballasts (12" centers)
- Primary electrical requirement: 120 volt (installed by someone other than creative signs) Timer or photo-cell (installed by creative signs)

ELECTRICAL NOTES

Sign Company DOES NOT provide primary electrical to sign. Power to the sign must be done by a licensed electrical contractor or licensed electrician. Each sign must have:

1. A minimum of one dedicated 120V 20A circuit
2. Junction box installed within 6 feet of sign
3. Three wires: Line, Ground, Neutral



JOB NAME:

River Bend Medical Office

INSTALL ADDRESS:

Saratoga Springs

BILLING ADDRESS:

Saratoga Springs

CONTACT NAME:

Blaine Hales

PHONE:

801-360-9178

DATE:

12-22-14

DESIGN NUMBER:

SALES PERSON:

DESIGNER:

Natalie Taylor

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CUSTOMER APPROVAL:

X _____

SALES PERSON SIGNATURE:

X _____

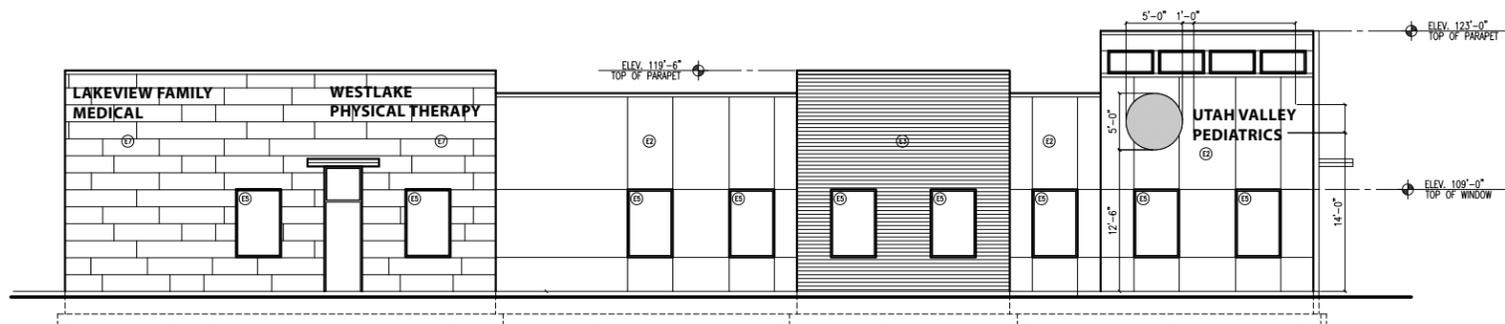
DATE: _____



WESTLAKE PHYSICAL THERAPY

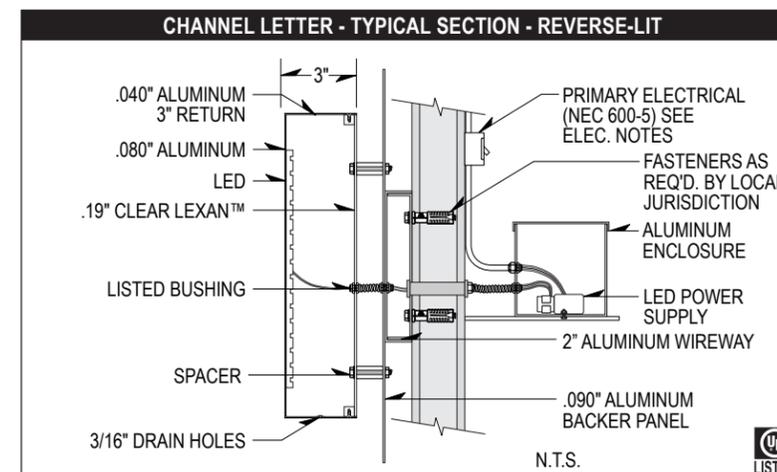
28"

145"



INTERNALLY ILLUMINATED REVERSE-LIT CHANNEL LETTERS:

- Overall Height: 28"**
- Overall Length: 145"**
- Total Sq. Ft.: 28.2**
- Face: Black**
- Returns: Black**
- Trim Cap: Black**
- Illumination: LED Illuminated**



ELECTRICAL NOTES

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1. A minimum of one dedicated 120V 20A circuit
2. Junction box installed within 6 feet of sign
3. Three wires: Line, Ground, Neutral

JOB NAME:

Riverbend Medical

INSTALL ADDRESS:

Saratoga Springs

BILLING ADDRESS:

Saratoga Springs

CONTACT NAME:

Blaine Hales

PHONE:

801-377-7785

DATE:

12-30-14

DESIGN NUMBER:

SALES PERSON:

DESIGNER:

Natalie Taylor

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CUSTOMER APPROVAL:

X

SALES PERSON SIGNATURE:

X

DATE:



JOB NAME:

Riverbend Medical

INSTALL ADDRESS:

Saratoga Springs

BILLING ADDRESS:

Saratoga Springs

CONTACT NAME:

Blaine Hales

PHONE:

801-377-7785

DATE:

12-30-14

DESIGN NUMBER:

SALES PERSON:

DESIGNER:

Natalie Taylor

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CUSTOMER APPROVAL:

X

SALES PERSON SIGNATURE:

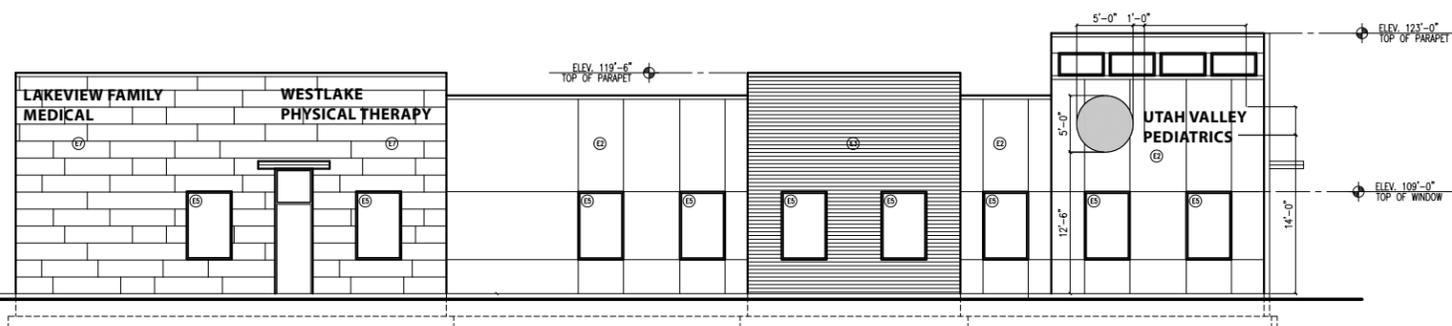
X

DATE:

LAKEVIEW FAMILY MEDICAL

28"

138.4"



LAKEVIEW FAMILY MEDICAL

Night View:

INTERNALLY ILLUMINATED REVERSE-LIT CHANNEL LETTERS:

Overall Height: 28"

Overall Length: 138.4"

Total Sq. Ft.: 26.9

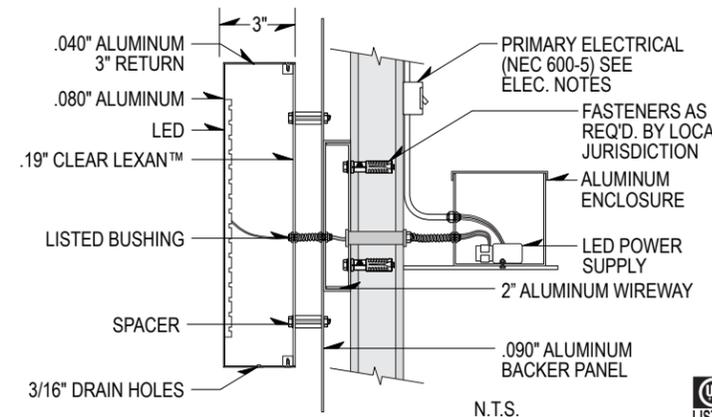
Face: Black

Returns: Black

Trim Cap: Black

Illumination: LED Illuminated

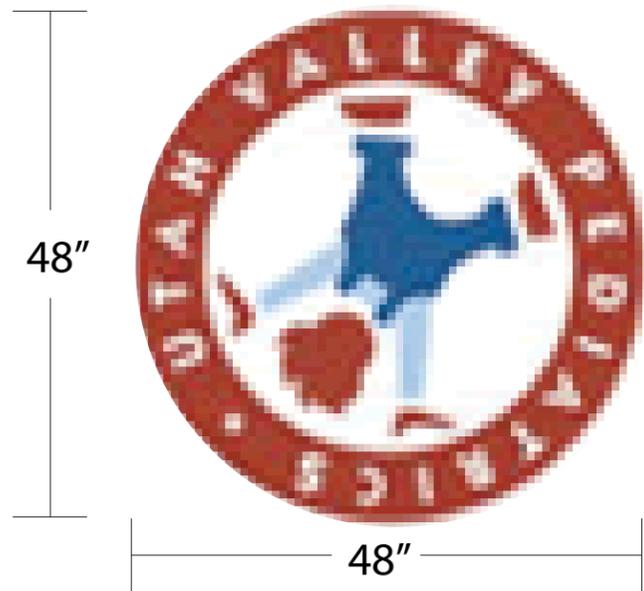
CHANNEL LETTER - TYPICAL SECTION - REVERSE-LIT



ELECTRICAL NOTES

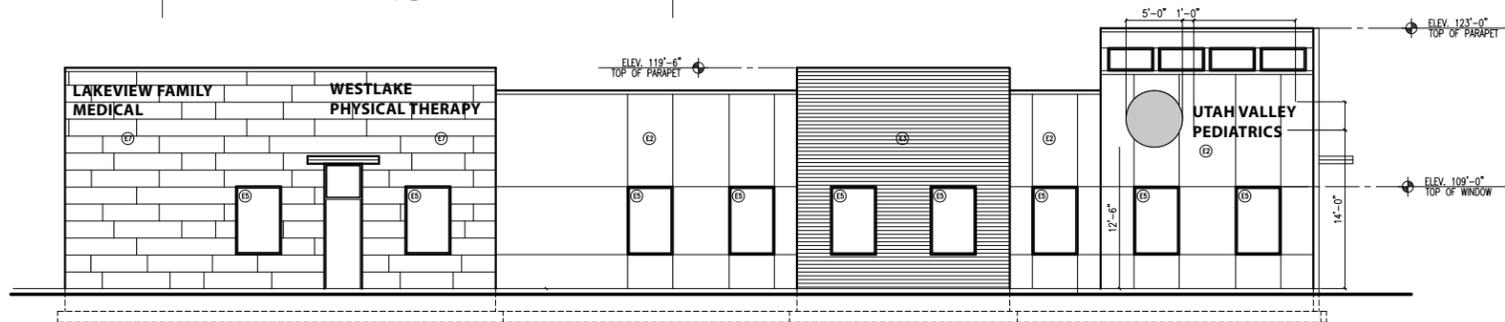
Sign Company DOES NOT provide primary electrical to sign. Power to the sign must be done by a licensed electrical contractor or licensed electrician. Each sign must have:

1. A minimum of one dedicated 120V 20A circuit
2. Junction box installed within 6 feet of sign
3. Three wires: Line, Ground, Neutral



**UTAH VALLEY
PEDIATRICS**

100.5" (Overall Length)
27.75" (Overall Height)



JOB NAME:
Riverbend Medical

INSTALL ADDRESS:
Saratoga Springs

BILLING ADDRESS:
Saratoga Springs

CONTACT NAME:
Blaine Hales

PHONE:
801-377-7785

DATE:
12-30-14

DESIGN NUMBER:

SALES PERSON:

DESIGNER:
Natalie Taylor

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CUSTOMER APPROVAL:

X _____

SALES PERSON SIGNATURE:

X _____

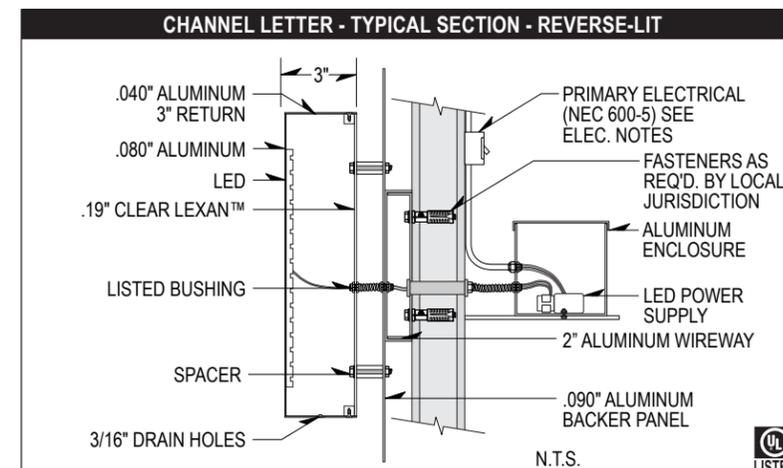
DATE: _____

INTERNALLY ILLUMINATED REVERSE-LIT CHANNEL LETTERS:

Overall Height: 27.75"
Overall Length: 100.5"
Total Sq. Ft.: 19.37
Face: Black
Returns: Black
Trim Cap: Black
Illumination: LED Illuminated

INTERNALLY ILLUMINATED REVERSE-LIT CHANNEL LOGO:

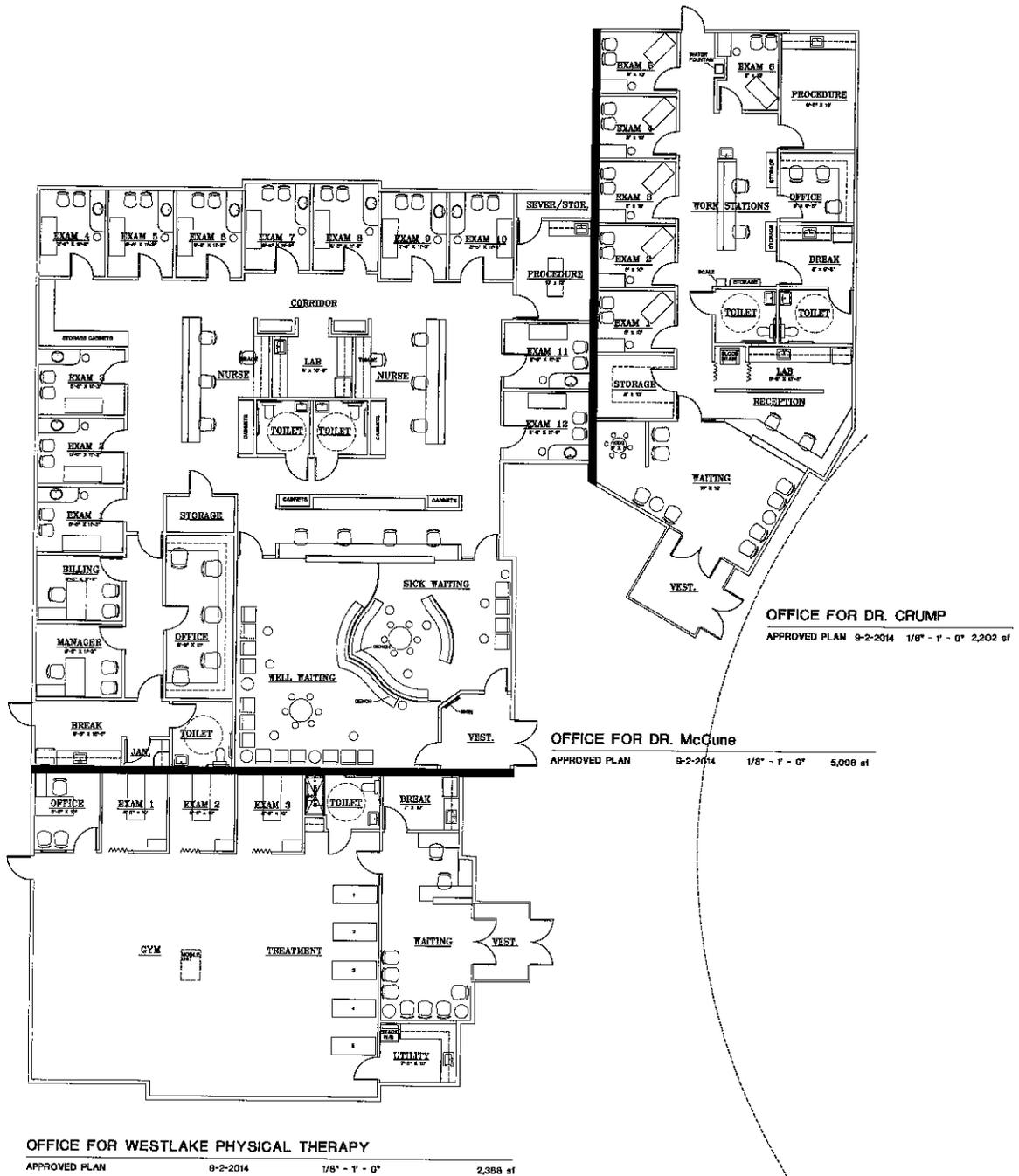
Overall Height: 48"
Overall Length: 48"
Total Sq. Ft.: 16
Face: Blue/White/Orange
Returns: Black
Illumination: LED Illuminated



ELECTRICAL NOTES

Sign Company DOES NOT provide primary electrical to sign. Power to the sign must be done by a licensed electrical contractor or licensed electrician. Each sign must have:

1. A minimum of one dedicated 120V 20A circuit
2. Junction box installed within 6 feet of sign
3. Three wires: Line, Ground, Neutral



RIVERBEND OFFICES

SARATOGA, UTAH 9-2-2014 1/8" - 1'-0" HARRIS ARCHITECTURE

City Council Staff Report

Author: Jeremy D. Lapin, City Engineer
Subject: Riverbend Medical
Date: January 8, 2015
Type of Item: Site Plan Approval



Description:

A. Topic: The Applicant has submitted a Site Plan application. Staff has reviewed the submittal and provides the following recommendations.

B. Background:

Applicant: Blaine Hales
Request: Site Plan Approval
Location: Riverbend Commercial, 41 E. 1140 N.
Acreage: 1.626 Acres – 1 Lot

C. Recommendation: Staff recommends the approval of Site Plan subject to the following conditions:

D. Conditions:

- A. Meet all engineering conditions and requirements in the construction of the project. Review and inspection fees must be paid and a bond posted as per the City's Development Code prior to any construction being performed on the project. Impact and water fees are due when pulling the building permit.
- B. All review comments and redlines provided by the City Engineer are to be complied with and implemented with the approved construction drawings.
- C. Developer must secure water rights as required by the City Engineer, City Attorney, and development code.
- D. Submit easements for all public utilities not located in the public right-of-way.
- E. Developer is required to ensure that there are no adverse effects to adjacent properties due to the grading practices employed during construction of these plats.
- F. Project must meet the City Ordinance for Storm Water release (0.2 cfs/acre for all developed property) and all UPDES and NPDES project construction requirements.

- G. Final plans shall include an Erosion Control Plan that complies with all City, UPDES and NPDES storm water pollution prevention requirements.
- H. All work to conform to the City of Saratoga Springs Standard Technical Specifications, most recent edition.
- I. Developer may be required by the Saratoga Springs Fire Chief to perform fire flow tests prior to final plat approval and prior to the commencement of the warranty period.
- J. Submittal of a Mylar and electronic version of the as-built drawings in AutoCAD format to the City Engineer is required prior acceptance of site improvements and the commencement of the warranty period.
- K. Developer shall remove all existing wells and septic systems within the site in accordance with State standards.
- L. Developer shall protect the existing retaining wall along the east property line.
- M. Lighting plan shall comply with the City's Land Development Code and Engineering Standards and Specifications.

Hayden Williamson wouldn't want to make it a condition, just a suggestion. He thanked them for the phase changes. He feels that we have the HOA vs. the City discussion a lot. He doesn't want to take care of every open space but doesn't want to force every development to be an HOA.

Scott Langford said the general policy was anything over 5 acres was easier for the city to maintain. He feels this follows that guideline.

Kimber Gabryszak noted that they have been having that discussion internally and are working to draft amendments to the code to be clear for what they are looking for on amenities and will be bringing that forward in the near future.

Sandra Steele likes that they are agreeing to do the sod. She is always concerned with native grasses because it becomes a weed problem. She asked what we require for detention basins, was it native or could it be sod.

Jeremy Lapin said they actually prefer sod for detention basis, debris basins were different. This has 2 debris and one detention. Sod would do well in the detention area.

Sandra Steele thought if they put sod in that basin she feels it would be quite a large area that would be usable for the residents. It might be a good size that would not be as hard for the city to maintain. She thinks if they take out the native along the south corridor and sod the basin it would be good.

Jeremy Lapin thinks the areas along the south would be hard for the parks department to get to. He would suggest only the detention basin on the East.

Sandra Steele thinks where there are larger lots that there is a certain amount of recreation on their own lots. It might be nice to have a bench along so parents can sit and watch their kids but any further improvements she doesn't know if that is necessary. She will let council decide on the maintenance. She wanted to add a condition that they not have final plat approval until they had secondary water.

Jeff Cochran asked Paul Linford to comment on his landscaping thoughts.

Paul Linford noted that there is a marketing issue here, the last thing they want is something to not be appealing. If they finish they would want to put some benches in and things to make it appealing. He thinks if they can get to the areas with lawn mowers they would sod them, it's not that much more cost than other native grasses they would have to plant. It comes down to working with staff and making it look great for marketing.

Jeff Cochran asked if staff had a position on maintenance.

Scott Langford noted that it might be nice for the applicant to look at grading and details that would make an efficient design for user and maintenance standpoints. If they could modify condition 5 to be more flexible so they have time to work with them before it comes to City Council and he would have a better understanding to present at that time.

Kimber Gabryszak noted that the city weighs the benefit to the overall community as well as the residents in that particular neighborhood. It's a significant cost over time, about \$5000 an acre/year but this, with a trail corridor and over all access, they could look into maintaining it.

Jeff Cochran reviewed discussion. Driveways, open space, street naming

Motion by Kara North that Based upon the evidence and explanations received today, I move that the Planning Commission forward a positive recommendation to the City Council to approve the Beacon Point Preliminary Subdivision Plat on approximately 63.64 acres of property as shown in Exhibit 2 and generally located at 4300 South Redwood Road, with the findings and conditions listed in the staff report. With the following clarifications or revisions: with the exclusion of condition 5, that being removed; and that applicant work with staff with respect to open space and whether that meets the recreational needs of the residents; that the applicant work with staff to revise the street naming issues that are not currently in compliance with City Code; and that the final plat not be recorded until secondary water issue is resolved; and that driveways that are shared must have a private driveway with a minimum length of 20 feet between the shared driveways in compliance with section 19.09.11 of City Code. Seconded by Sandra Steele. Aye: Sandra Steele, Hayden Williamson, Jeffrey Cochran, Kirk Wilkins, Kara North. Motion passed unanimously.

8. Public Hearing and Possible Recommendation: Concept Plan, General Plan Amendment, and Rezone and for Riverbend Medical located at 41 East 1140 North, Blaine Hales, applicant.

Kimber Gabryszak presented the plan. The property was zoned Mixed Use in anticipation of potential mixed commercial, office, and residential development on the property; however, the applicants wish to pursue only commercial. The elevations will be going back to the Urban Design Committee. She reviewed code compliance. Comments from the Riverview HOA were forwarded to the Planning Commission. Staff is recommending that a positive recommendation be given.

Blaine Hales, for applicant, noted they are mainly just trying to put a medical office on this site. He spoke on the setback requests; he thought there may have been an error when the original owner dedicated the area to the city, they gave too much. They took some measurements from the UDOT right of way and they are back 43 ft. they are 56 feet from the road. They thought, easier than trying to negotiate with the city, how about they make the setback a little less deep at that point which would create the same purpose. In this specific zone it hadn't been included and that is why he is asking for this. He is asking for 15ft. which would be equal to the other zones, but would be ok with 10 ft. They don't need more land; they are just trying to get the building a little closer to the street for visibility.

Public Hearing Open by Jeff Cochran

Alan Johnson, representing Riverbend HOA. the issue is on 1150 N. there is an island and they want to know who would be responsible for maintaining it and right now no one is maintaining it. Also, on 1140 N. being a public access, they asked who is responsible for snow removal. There is a wall that separates the residences with the property proposed here, the townhouses are lower than the grade and the wall is leaning over and they are asking builder not to put any heavy equipment along that wall.

Laurie Johnson noted that their home backs up to these two properties. In 2007 the owners said the house would be removed at that time and it still hasn't been removed. She hopes they will look out for the residences of Riverbend. She considers that the area has become the slums of the city and every bit of help that can come from the city or developer is appreciated. The home sales are being dropped because of it and she hopes the city can help.

Blaine Hales noted he had contacted the seller/developer and was told that he was maintaining the island and the road but as soon as it's done developing it would all go to the HOA and they would take care of it. Mr. Hales is ready to take their share of the responsibility.

Public Hearing Closed by Jeff Cochran

Sandra Steele feels neighborhood commercial is a good fit here. She feels this design elevation does not fit with the neighborhood. She thinks they could look at being more compatible with the neighborhood. She thinks the trash collector needs more space. She asked if anyone on the staff looked at the designing guidelines.

Lynn Lomond, Architect was present and they had wanted the building to be professional looking with its own identity.

Sandra Steele said they still had to follow the design guidelines; she wants him to look closer at it. She said if they are having physical therapy the ADA required that 20% of the parking needs to be accessible that means 3 parking spaces just for that office. She will let them work that out. She thinks the parking spots may be too far away for accessible spaces.

Hayden Williamson didn't really have any comments; he would ask that they do their best to follow the code requirements.

Kirk Wilkins agrees that Neighborhood Commercial is a good fit here. He asked if the medical office would be part of the HOA.

Blaine Hales said it was in beneficial interest to both parties to participate in it.

Kirk Wilkins would like to hear feedback on the roof lines.

Lynn Lomond, Architect. They consider this a professional medical building and that it needs to have its own identity. It's not a strip mall; they don't want it to blend in so well that it doesn't stick out a little as a medical professional building, also so that they can find it quickly. They think the colors will make it look more fun, especially for pediatrics. They see a lot of medical buildings that have more architectural design to them.

Kirk Wilkins asked what the hours of operation were.

Brian McCune, M.D. said there would be potential for after-hours but it would be within constraints of Residential Commercial.

Kirk Wilkins asked what would prevent lights of cars from splashing on the neighborhood. He asked if they may be taking care of the wall that was falling down.

Blaine Hales said they thought they had been asked to put up a wall and they were planning on that. He hadn't worked with the falling wall and wasn't sure on that.

Kirk Wilkins asked if we could put a condition in or just ask them to work with the neighborhood. He worried that if they brought the setback forward and the Road needed widened that it might be too close.

Blaine Hales explained that the property line was already so far set back that if the roadways widened that they would have to tear out other office buildings along the road before they ever got as far back as them.

Kimber Gabryszak noted that to separate the zone there could be an effective screen; she defined it from the code.

Kirk Wilkins asked if they were amenable to that.

Blaine Hales said he thought it was already on the plan.

Kara North said that she forwarded the notes from the HOA to the City staff. She is a resident of that development. She thanked the developer for coming to this area. She likes the plans and the distinction they want to make, she is ok with that design. With respect to fencing and lighting she recommends they work to meet code. She is ok with the 15' setback because of the wide space. She is not surprised that the prior developer did not take care of things. They appreciate them coming in.

Jeff Cochran asked about snow removal and wasn't it a responsibility of the HOA?

Jeremy Lapin said they are not aware of any existing maintenance requirement but they recommend that an agreement be worked out with the HOA and new developer.

Jeff Cochran is in favor of the rezone and thinks it makes good sense. He has no concerns with the building; he thinks it's just fine.

Sandra Steele thinks the building somewhere else would be great but that our code is so specific on this area and we should address the code and why we don't think it should comply.

Kara North noted that 'compatible' is subjective and that the interior of their units are extremely modern and that their design is similar to what has been approved elsewhere.

Sandra Steele thinks there are some very specific 'shalls' in the code that should be followed.

Jeff Cochran encouraged them to take all their feedback and work with staff to comply with the code.

Motion by Kara North, I move to forward positive recommendation to the City Council for the General Plan Amendment and Rezone of the ~1.63 parcel 51:508:0004 from Mixed Use to Neighborhood Commercial, as identified in Exhibit 1, with the Findings and Conditions listed in the staff report. Seconded by Hayden Williamson Aye: Sandra Steele, Hayden Williamson, Jeffrey Cochran, Kirk Wilkins, Kara North. Motion passed unanimously.

9. Public Hearing and Possible Recommendation: Revisions to the Land Development Code (Section 19.04, Neighborhood Commercial Setbacks).

Kimber Gabryszak reviewed the revision to the code.

Hayden Williamson asked what was standard in the rest of the code.

Kimber Gabryszak said the only other thing consistent was 10' the setback being reduced varies widely and that they are requesting this be 15 feet, there is a range of setbacks with a 10' exception.

Blaine Hales said it doesn't require them to ever allow it; it just gives them the option so if they feel it is worthy they can do that. He would like to have the 15' setback.

Public Hearing Open by Jeff Cochran

No public input at this time.

Public Hearing Closed by Jeff Cochran

Sandra Steele said we need to remember we are not just changing it for this property. She feels to give this extra 5 feet, then others will request it. She thinks to continue with the 10' as in the other areas would be more appropriate.

Councilwoman Call is not comfortable with any more than 58 until approval from FFSL.
Councilman Willden said we make it an approval subject to that instead of bringing it back?
Kevin Thurman didn't think it would be a problem.
Aric Jensen is alright with that.

Motion by Councilwoman Call to approve the amendment to the Riverbend MDA, increasing the maximum density from 58 units to 62 units, provided that proof of ownership and a settlement with FFSL be provided to staff and all meeting all setbacks. Second by Councilman Poduska, Aye: Councilman Willden, Councilwoman Call, Councilman Poduska. Nay: Councilwoman Baertsch Motion passes 3-1.

Motion by Councilman Willden to approve the Riverbend Preliminary Plat and siteplan with the findings and conditions in the Staff report, modifying condition #1 from 62 to 61 units and incorporating the previous condition that the additional units are subject to proof of ownership and also incorporating the additional conditions from the Planning Commission. Seconded by Councilwoman Call. Aye: Councilman Willden, Councilwoman Call, Councilman Poduska Nay: Councilwoman Baertsch Motion passes 3-1.

A five minute break was taken at this time.

6. Public Hearing: General Plan Amendment and Rezone for Riverbend Medical located at 41 East 1140 North, West of Redwood Road, Blaine Hales, applicant.

a. Ordinance 14-27 (11-18-14): An ordinance of the City of Saratoga Springs, Utah, adopting amendments to the City of Saratoga Springs' Official Zoning Map for certain real property (Riverbend Medical); instructing the City staff to amend the City Zoning Map and other Official Zoning records of the City; and establishing an effective date.

Kimber Gabryszak presented the Plan amendment and rezone. due to a parcel dedicated to the city that was larger than needed this property is already set back several extra feet from Redwood Road, they are requesting a reduced setback because of that. She reviewed staff recommendations. Planning Commission recommended that it be 10' exception to be consistent. She reviewed UDC comments.

Public Hearing – Opened by Mayor Miller

Jennifer Klingonsmith wanted to thank Council for working to oppose the prison in Saratoga.

Laurie Johnson had a concern from the HOA that there is a wall along the East of this property that is

leaning and they are concerned that no heavy equipment is used along this wall that will make it fall.

They are concerned what type of fence and what type of lighting will be done and if it will shine in residences.

Public Hearing - Closed by Mayor Miller

Blaine Hales said they were willing to work with the HOA and that if something happens to the wall they will take care of it. They are not sure exactly what they will do along the fence, perhaps a hedge. They are excited and they think this building is needed in the community and they're ready to go.

Councilman Poduska was on the Urban Design Committee and they all liked the plan. He doesn't have a problem changing the zoning. It seems the simplest way to fix the problem.

Councilman Willden did not have any concerns with the rezone request. As for the concept plan it looks great. He knows they would fix things, like the wall, but could we add it as a condition to help the owners. He likes the idea of a hedge.

Kimber Gabryszak noted it could be added when it came back for a site plan.

Councilwoman Baertsch appreciated that they worked with the neighbors and staff. They, as Council and staff, discussed what would be the best thing to do for this situation. They feel this is an area they can

make this change through zoning and change to the Code. She is ok with the architecture. She thinks the hedge will be a fantastic buffer. Overall, it's a good project.

Councilwoman Call agrees with everything else and thinks it's a great product.

3
4 **Motion by Councilman Willden to approve Ordinance 14-27 (11-18-14): An ordinance of the City of**
5 **Saratoga Springs, Utah, adopting amendments to the City of Saratoga Springs' Official Zoning**
6 **Map for certain real property (Riverbend Medical); instructing the City staff to amend the City**
7 **Zoning Map and other Official Zoning records of the City; and establishing an effective date**
8 **including all findings and conditions and direct staff to amend the ordinance to include the general**
9 **plan amendment. Second Councilwoman Baertsch. Aye: Councilman Willden, Councilwoman**
10 **Baertsch, Councilwoman Call, Councilman Poduska Motion passed unanimously.**

1
2 7. **Concept Plan for Riverbend Medical located at 41 East 1140 North, Blaine Hales, applicant.**
3 Discussion under item 6.

4
5 8. **Public Hearing: Revisions to the City of Saratoga Springs Land Development Code. (Section 19.04,**
6 **Neighborhood Commercial Setbacks)**

7 **a. Ordinance 14-28 (11-18-14): An Ordinance of the City of Saratoga Springs, Utah, adopting**
8 **amendments to the Saratoga Springs Land Development Code and establishing an effective date.**
9 Kimber Gabryszak said this was a request to add the exception to allow council to reduce one setback
10 requirement. She noted some recommended changes by Planning Commission and Staff.

1 **Public Hearing – Opened** by Mayor Miller – no input at this time.

2 **Public Hearing - Closed** by Mayor Miller

3
4 Motion by Councilwoman Call to approve Ordinance 14-28 (11-18-14): An Ordinance of the City of
5 Saratoga Springs, Utah, adopting amendments to the Saratoga Springs Land Development Code and
6 establishing an effective date. Second Councilman Poduska.

7
8 Councilwoman Baertsch noted to include the additional conditions Kimber Gabryszak included tonight,
9 “The setback reductions does not increase the building footprint on the site, and The setback is along
10 a collector or arterial frontage, and The setback does not abut residentially developed or zoned
property.”

1
2 Amended motion to include the conditions accepted by Councilwoman Call and Councilman Poduska.
3 Kevin Thurman had some additional concerns with the footprint that were then discussed.

4
5 **Wording was changed on the document shown on screen: iv. Exceptions: the City Council may**
6 **reduce no more than one setback requirement by up to ten feet if:**

7 **a) The setback is along a collector or arterial frontage, and**

8 **b) The setback does not abut residentially developed or zoned property.**

9
10 **New Motion by Councilwoman Call to approve Ordinance 14-28 (11-18-14): An Ordinance of the City**
11 **of Saratoga Springs, Utah, adopting amendments to the Saratoga Springs Land Development Code**
12 **and establishing an effective date with the findings on the screen. Seconded by Councilman**
13 **Poduska. Aye: Councilman Willden, Councilwoman Baertsch, Councilwoman Call, Councilman**
14 **Poduska Motion passed unanimously.**

15 **Policy Meeting Adjourned at 9:40p.m**

1
2 December 2, 2014
3 Date of Approval



4
5 [Signature]
6 Mayor Jim Miller



**Plat Amendment
Aspen Hills Lot 37
Thursday, January 8, 2015
Public Hearing**

Report Date:	Wednesday, December 31, 2014
Applicant:	R&M Pools
Owner:	Bethany C. Tenney
Location:	1641 N. Lyndi lane
Major Street Access:	Aspen Hills Drive
Parcel Number(s) & Size:	34:429:0037, .23 acres
Parcel Zoning:	R-3
Current Use of Parcel:	Residential
Previous Meetings:	Code Amendment, Pool Setbacks, September 16, 2014
Land Use Authority:	Planning Commission
Future Routing:	None
Type of Action:	Administrative
Author:	Kimber Gabryszak, Planning Director

A. Executive Summary:

The applicant is requesting approval of a plat amendment to reduce the Public Utility Easement (PUE) from 10' to 5'.

Recommendation:

Staff recommends that the Planning Commission conduct a public hearing, take public comment, discuss the application, and vote to approve the request with the findings and conditions in Section H of this report.

B. Background: In the fall of 2014 the applicant applied for a permit to install an in-ground pool. At that time, the pool hole had been excavated, and it was determined that the excavation violated an increased setback requirement of 25' that only applied to certain corner lots, as well as encroached into the PUE. Further research indicated that the increased setback requirement was not necessary, and the applicant submitted a Code amendment request. On September 16, 2014 the City Council approved the Code amendment. The applicant also worked in the interim to obtain releases from the appropriate utilities to reduce the PUE from 10' to 5'.

- C. **Specific Request:** This request is to reduce the interior PUE from 10' to 5'.
- D. **Process:** The Planning Director is the Land Use Authority for only those plat amendments involving lot combinations and lot line adjustments. The Planning Commission is the Land Use Authority for all other plat amendments not involving a road. As this request involves a PUE but not a road, the Planning Commission is the Land Use Authority and must hold a public hearing and vote to approve, deny, or continue the application.
- E. **Community Review:** This item has been noticed as a public hearing in the *Daily Herald*; and mailed notice sent to all property owners within 300 feet. As of the date of this report, no public input has been received.
- F. **General Plan:** Lot 37 is designated as Low Density Residential on the Land Use Map, which designation contemplates 1-4 units per acre. As the single-family lot is 0.23 acres in size, and as density and configuration of the lot is not affected, the lot remains consistent with the General Plan.
- G. **Code Criteria:**

Section 19.12.09.3 outlines the requirements for a plat amendment:

- 3. Plat amendments may be approved if:
 - a. No new dwelling lot or dwelling results from the plat amendment; and
Complies. No new lot or dwelling will be created.
 - b. The number of lots or parcels does not increase; and
Complies. The number of lots will remain the same.
 - c. The amendment does not result in remnant land that did not previously exist; and
Complies. No remnant land will be created.
 - d. The amendment does not violate conditions of approval for the original plat; and
Complies. A 10' PUE was not a condition of approval.
 - e. The amendment does not result in a violation of applicable zoning requirements; and
Complies. No other aspect of Code such as density or lot size or parking will be affected.
 - f. If all requirements of Utah Code Chapter 10-9a are met.
Complies. 10-9a requires that any plat amendment affecting a public easement shall only meet the following criteria: that there is good cause for the amendment, and that neither the public interest nor any person will be materially injured by the amendment. The good cause is to permit use of the lot similarly to other lots with 5' PUEs; and there will be no material injury as 5' PUEs are common in the City with no detrimental impact.

No other Code section is affected; the density, use, intensity, lot size, lot configuration, parking, and other aspects of the lot will remain the same as originally approved.

- H. **Recommendation and Alternatives:**

Staff recommends that the Planning Commission conduct a public hearing, discuss any public input received, and make the following motion:

“I move to **approve** the Aspen Hills Lot 37 Amendment as located in Exhibit 1 and proposed in Exhibit 3 with the Findings and Conditions in the Staff report:”

Findings:

1. The application is consistent with the General Plan Land Use Element as outlined in Section F of this report, which section is hereby incorporated by reference.
2. The application complies with Utah State Code Section 10-9a as outlined in Section G of the Staff report, which section is hereby incorporated by reference.
3. The application complies with Code Section 19.12.09.3 as outlined in Section G of this report, which section is hereby incorporated by reference.

Conditions:

1. All requirements of the City Engineer shall be met.
2. All requirements of the Building Official shall be met.
3. Any other conditions as articulated by the Planning Commission.

I. Alternatives

Alternative Motion A

“I move to **continue** the item to another meeting, with direction to the applicant and Staff on information and / or changes needed to render a decision, as follows:

Alternative Motion B

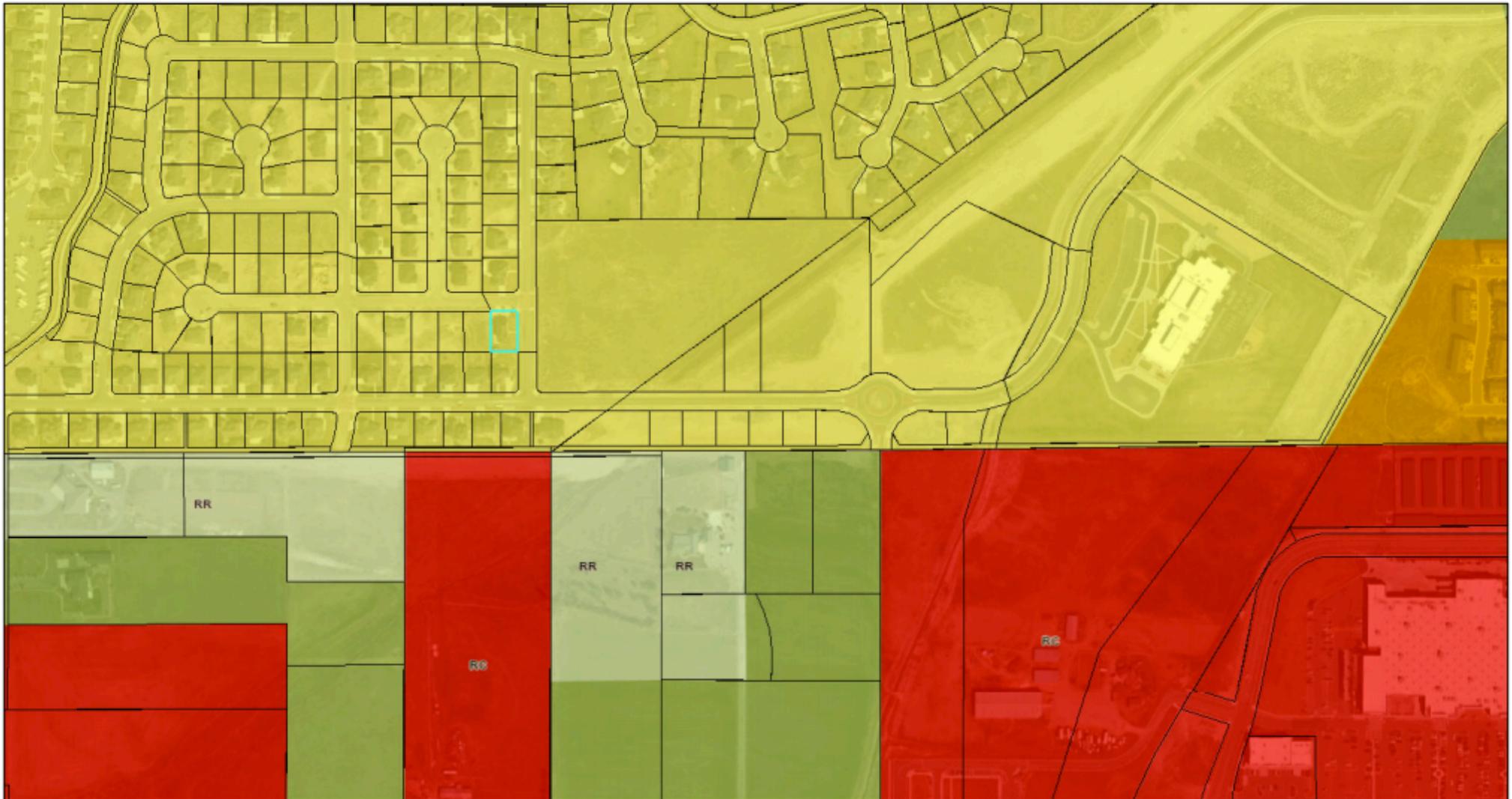
I move to **deny** the Aspen Hills Lot 37 Amendment as located in Exhibit 1 and proposed in Exhibit 3 with the Findings below:

1. The application is not consistent with the General Plan, as articulated by the Commission: _____
2. The application does not comply with Code Section 19.12.09.3, as articulated by the Commission: _____
3. The application does not comply with State Code Section 10-9a, as articulated by the Commission: _____

J. Attachments:

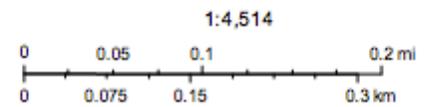
1. Location & Zone Map (page 4)
2. Aerial (page 5)
3. Modified Plat (page 6)
4. Utility Releases (pages 7-10)

Zoning & Planning



December 29, 2014

- City Parcels
- City Boundary
- R-2 - Low Density Residential
- R-3 - Low Density Residential
- NC - Neighborhood Commercial
- MU - Mixed Use



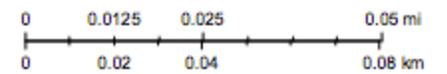
Zoning & Planning



December 29, 2014

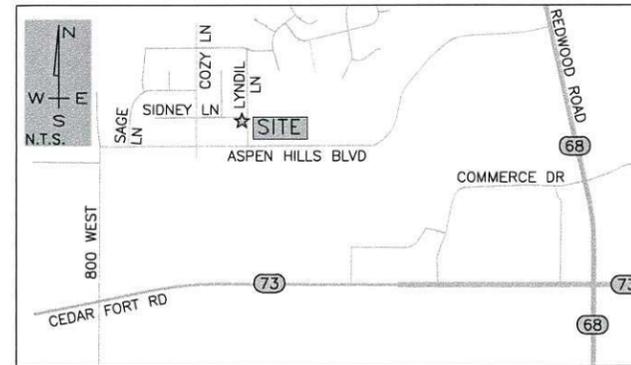
City Parcels

1:1,128



LOT 37 EASEMENT AMENDMENT

WITHIN LOT 37, PLAT B, ASPEN HILLS SUBDIVISION



VICINITY MAP
(NOT TO SCALE)



SURVEYOR'S CERTIFICATE

I, CORY IVAN SQUIRE, DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR AND THAT I HOLD CERTIFICATE NUMBER 5561206 AS PRESCRIBED BY THE LAWS OF THE STATE OF UTAH. I FURTHER CERTIFY THAT THIS PLAT HAS BEEN CORRECTLY DRAWN TO THE DESIGNATED SCALE AND IS A TRUE AND CORRECT REPRESENTATION OF THE FOLLOWING DESCRIPTION OF LANDS.

CORY I. SQUIRE DATE _____
UTAH PLS NO. 5561206
(SEE SEAL BELOW)

BOUNDARY DESCRIPTION

Located within the City of Saratoga Springs, County of Utah, State of Utah.
All of Lot 37, Plat B, Aspen Hills Subdivision.

Surveyor's Narrative

It is the intent of this plat and the survey on which it is based to amend the public utility easements within Lot 37, Plat B, of the Aspen Hills Subdivision as requested by Bethany C. Tenney, the current lot owner. Said subdivision plat shows a typical detail of easement locations and their respective widths based on front and rear yard orientation. This however can present some room for interpretation when considering corner lots and the dwelling or address orientation. Therefore it is also the intent of this plat to graphically depict and dimension, in relation to the Lot lines, the amended public utility easements specific to Lot 37 as shown hereon.

OWNER'S CONSENT

WE, THE UNDERSIGNED OWNER(S) OF RECORD OF LAND THAT IS ADJACENT TO THE PUBLIC UTILITY EASEMENTS IN LOT 37, PLAT B, ASPEN HILLS SUBDIVISION, DO HEREBY CONSENT TO A PARTIAL EASEMENT VACATION AND THE EASEMENT AMENDMENT AS SHOWN AND DIMENSIONED UPON THIS PLAT.

Bethany C Tenney

ACKNOWLEDGMENT

STATE OF UTAH }
COUNTY OF UTAH } s.s.

ON THE _____ DAY OF _____, A.D. 20____, PERSONALLY APPEARED BEFORE ME THE SIGNERS OF THE FOREGOING CONSENT WHO DULY ACKNOWLEDGE TO ME THAT THEY DID EXECUTE THE SAME.

MY COMMISSION EXPIRES _____ NOTARY PUBLIC (SEE SEAL BELOW)

ACCEPTANCE BY LEGISLATIVE BODY

THE CITY OF SARATOGA SPRINGS, APPROVES THIS PARTIAL VACATION AND AMENDMENT OF EASEMENTS WITHIN LOT 37 OF PLAT "B" ASPEN HILLS SUBDIVISION AND HEREBY ACCEPTS THE AMENDED EASEMENTS AS SHOWN AND DIMENSIONED HEREON FOR THE PERPETUAL USE OF THE PUBLIC

THIS _____ DAY OF _____, A.D. 20____

MAYOR _____ ATTEST _____
CITY RECORDER
(SEE SEAL BELOW)

FIRE CHIEF APPROVAL

APPROVED THIS _____ DAY OF _____, A.D. 20____, BY THE CITY FIRE CHIEF

PLANNING COMMISSION APPROVAL

APPROVED THIS _____ DAY OF _____, A.D. 20____,
BY THE SARATOGA SPRINGS PLANNING COMMISSION _____ CHAIRMAN, PLANNING COMMISSION

SARATOGA SPRINGS ENGINEER APPROVAL

APPROVED THIS _____ DAY OF _____, A.D. 20____, BY THE CITY CIVIL ENGINEER

SARATOGA SPRINGS ATTORNEY

APPROVED THIS _____ DAY OF _____, A.D. 20____

LOT 37 EASEMENT AMENDMENT

WITHIN LOT 37, PLAT B, ASPEN HILLS SUBDIVISION

Includes the Vacation of Prior Public Utility Easements within Lot 37 of Plat "B" Aspen Hills Subdivision Saratoga City, Utah County, Utah

FINAL PLAT

Surveyor's Seal	Notary Public Seal	City Engineer Seal	Clerk Recorder Seal

PREPARED BY:



PROFESSIONAL LAND SURVEYING
295 NORTH 200 EAST
MIDVA, UT 84645-6428
PHONE: (435) 660-8816
EMAIL: CISPLS@GMAIL.COM

PREPARED FOR:
Bethany C Tenney
1641 N LYNDI LANE
SARATOGA SPRINGS, UT 84045
PHONE (801) 766-0330

P.U.E. = PUBLIC UTILITY EASEMENT

RECEIVED OCT 09 2014



Comcast Cable Communications, Inc.
1350 E. Miller Ave.
Salt Lake City, UT 84106
801 401-3041 Tel
801 255-2711 Fax

September 12, 2014

Mr. Justin Loera
1641 Lyndi Lane
Saratoga Springs, Utah 84095

Mr Loera,

Comcast of Utah II grants you permission to encroach on the public utility easements located parallel and adjacent to the south and west of the property located at 1641 Lyndi Lane, Saratoga Springs, Utah.

Sincerely,

A handwritten signature in cursive script that reads "Paul Cabibi".

Paul Cabibi
Design and Planning

Space above for County Recorder's use
PARCEL I.D.#

DISCLAIMER OF UTILITY EASEMENT

The undersigned, QUESTAR GAS COMPANY, a corporation of the State of Utah, Grantor, hereby disclaims and releases any rights, title or interest which it may have in and to the following-described real property in Utah County, Utah, to-wit:

All public utility easements, excepting the easement(s) or portion of easement(s) running adjacent and parallel to the street(s), located within Lot 37, Aspen Hills Plat B Subdivision, located in the Southeast quarter of Section 10, Township 5 South, Range 1 West, Salt Lake Base and Meridian, Utah County, Utah; said Subdivision recorded in the Office of the County Recorder for Utah County, Utah.

IN WITNESS WHEREOF, this disclaimer and release of any right, title or interest has been duly executed on September 11, 2014.

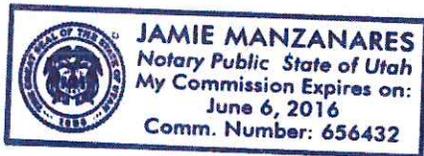
QUESTAR GAS COMPANY

By: Katie Cooretan
Attorney-In-Fact

STATE OF UTAH)
) ss.
COUNTY OF SALT LAKE)

On September 11, 2014, personally appeared before me Katie Cooretan, who, being duly sworn, did say that he is Attorney-In-Fact for QUESTAR GAS COMPANY, and that the foregoing instrument was signed on behalf of said corporation by authority of a resolution of its Board of Directors, an official certification of which is recorded as Entry #90575:2013, Page 1, in the Office of the Utah County Recorder.

Jamie Manzanares
Notary Public





*American Fork Estimating
70 North 200 East
American Fork, Utah 84003*

September 5, 2014

**Bethany C Tenney
1641 N Lyndi Ln
Saratoga Springs, UT 84045**

Dear Bethany

As you requested, Rocky Mountain Power hereby consents to a proposed 5' encroachment of the utility easement along the South and West boundaries of lot #37, Aspen Hills Subdivision, located at 1641 N Lyndi Ln, Saratoga Springs, Utah.

However, this consent does not waive or relinquish any rights necessary to the operation, maintenance, renewal, construction, repair, or removal of Power Company lines, conduit, or other power facilities, which are or may be located on said easement. Also, all clearances must be maintained from Power Company lines.

As consideration for the Power Company granting you permission to encroach upon said easement, it will be necessary for you to hold the Power company harmless from any and all claims for personal injuries or damages to property when such injuries or damages, directly or indirectly, arise out of the existence, construction, installation, maintenance, condition, use or presence of your structures upon said easement. Rocky Mountain Power Company shall not be responsible for any damages to structures or property located on said easement.

Sincerely,

Mark Steele
Estimator

City of Saratoga Springs
Planning Commission Meeting
December 11, 2014

Regular Session held at the City of Saratoga Springs City Offices
1307 North Commerce Drive, Suite 200, Saratoga Springs, Utah 84045

Planning Commission Minutes

Present:

Commission Members: Jeff Cochran, Kirk Wilkins, Sandra Steele, Hayden Williamson

Staff: Kimber Gabryszak, Lori Yates, Nicolette Fike, Scott Langford, Kevin Thurman, Jeremy Lapin

Others: Nancy and JC Hart, Ken Warton, Nathan Campton, BA Martin, Jim Parker, Krisel Travis, Angelina S
Doyle, Thane Smith, Neil Infanger, Heather Williamson, Camden Williamson

Excused: Jarred Henline, Kara North

Call to Order - 6:36 p.m. by Jeff Cochran

Pledge of Allegiance - led by Nancy Hart

Roll Call – Quorum was present

Public Input Open by Jeff Cochran

No Public input.

Public Input Closed by Jeff Cochran

4. Public Hearing and Possible Recommendation: Conditional Use Permit for Angelina’s Daycare located at 4123 Captains Street, Christian Doyle, applicant.

Scott Langford presented the information pertaining to the permit application. There were a few changes to the conditions. The yard has been fully fenced and they have installed a play structure, so condition 7 may be stricken.

Angelina Doyle, applicant, noted that the neighbors have all supported them in having a daycare.

Public Hearing Open by Jeff Cochran

No input.

Public Hearing Closed by Jeff Cochran

Kirk Wilkins asked about the turnaround area for cars.

Scott Langford noted that it was pretty standard size and there weren’t any red flags.

Kirk Wilkins was concerned that there may be exposed wires in the partially finished basement. He thanked them for complying with the other conditions.

Angelina Doyle said that had been taken care of. The City inspector had also been by and indicated everything was safe.

Hayden Williamson noted it looks like it is meeting code. He asked about the arrival and pick up times and possibility of lots of cars at once.

Angelina Doyle didn’t think there would be any traffic problems. The kids won’t all be coming at the same time.

Sandra Steele thanked her for going through the licensing process. She asked if the applicant planned on having any children under the age of two. (yes) Sandra noted the Fire Marshall did not think she was going to have younger children and if she is going to keep children under two in the basement she needs a basement exit besides just a window. If the applicant wants to have children less than two years she cannot approve it at this time. The applicant could see if they can get an approved stairway in a larger window well. The Fire Code is the way it is and that cannot be changed. If there was space upstairs they could swap for the basement than it may work. Perhaps the best answer was to say all children under two would have to stay upstairs. She is also concerned with the extra traffic on the dead end street.

Jeff Cochran thanked the applicant for going through the process, many people don't. He reviewed the options for the Fire Code problem. He thought 16 children seemed a lot; he received clarification from staff on the allowed number. (With two caregivers it was 8 kids per caregiver.)

Motion made by Kirk Wilkins to approve the Home Occupation for the Angelina's Lil Angels Daycare, located at 4123 South Captains Street, with the findings and conditions found in the staff report with the exception of striking condition 7 and adding the condition that children under two not be allowed in the basement. Second from Hayden Williamson.

Kevin Thurman read the Fire Code and it read "below first level and above first level" so they should say no child anywhere else besides the main floor.

Kirk Wilkins amended the motion to say **that all other circumstances would follow code, that a child under two could not go downstairs into the basement or above to the upstairs;**

Kimber Gabryszak suggested adding a friendly amendment to say **unless appropriate egress is provided that meets the adopted Fire Code.**

Kirk Wilkins and Hayden Williamson **accepted** the previous amendments.

Jeff Cochran asked him to address swapping the square footage from the upstairs.

Kirk Wilkins added an additional **condition that square footage, in the event that they have a child under two, be swapped from the basement to the upstairs, including any greater square footage above.**

Aye: Sandra Steele, Hayden Williamson, Jeffrey Cochran, Kirk Wilkins, Motion passed unanimously.

5. Public Hearing and Possible Recommendation: Preliminary Plat and Site Plan for Jordan View Landing (previously River Heights and Sunset Acres) located between Crossroads Blvd and 400 East, Ivory Development, LLC, applicant.

Kimber Gabryszak presented the plans. She reviewed changes that have been made since the Concept plan. She reviewed suggestions from the UDC.

Ken Watson, applicant, noted he had been working with Kimber Gabryszak. He thought their landscaping was probably pretty good. They are adding landscaping between units to break up the wall of garages. They don't have a problem with wrapping the buildings with brick. They are opposed to having a gate between them and other communities, simply for security purposes. He doesn't think there are any trails coming from anywhere else. He noted where if they were to flip units to front loaded, that it would have to decrease from a two car garage to only one. They would like to do the two car garages. The can go with the semi-private fence along 400 E. He noted there are 3 different color options.

Public Hearing Open by Jeff Cochran

No input at this time.

Public Hearing Closed by Jeff Cochran

Sandra Steele was disappointed that the elevations, floor plans and renderings in the packet do not seem to match. She wanted to know if they were the elevations they would actually get.

Ken Watson noted that there were three stories in the floor plans. He couldn't make a rendering for every little situation. These were shelf plans from Ivory homes and the units here were what we would see. They may see a side entry on the end units. If he does have side units on there, perhaps they could fence in the individual's back yards if they had to flip the units and have a single car garage.

Sandra Steele sees that parking is more important than having a front loaded unit. They need to keep as much parking as they can. She would like to see 4 color palettes.

Ken Watson said he could do that.

Sandra Steele thought that the Code defined that there should be pedestrian connectivity.

Kimber Gabryszak noted that they are providing sidewalks along the collector and pedestrian walks within the development and they are providing connectivity with their trails and easement for potential future roads.

Ken Watson said they are meeting those requirements.

Sandra Steele didn't have more concerns with connectivity. She thinks before it goes to council it should have the finalized color palettes and elevations and everything so they know what they are sending forward.

Ken Watson feels they have provided those.

Sandra Steele would like to see what they come forward with, if they come up with more stone or brick for instance. She has concerns with approving something when they are not exactly sure what they are getting.

Hayden Williamson feels they meet code, there are some good suggestions made but he doesn't have to sell the product. Ivory Homes has a good reputation. He thinks the product and layout look good and doesn't have any concerns.

Kirk Wilkins asked why there was a suggestion to flip the units.

Kimber Gabryszak replied that there a concern that they would be facing back yards.

Ken Watson noted that there was a solid vinyl fence and a grade change and a remote chance that would be able to see into neighbors back yards.

Kirk Wilkins would rather see the Dual car garage. He reviewed some of the UDC comments.

Ken Watson responded that he was fine with wrapping brick, opposed to flipping units, and semi-private fence on 400 E. was fine. He is fine with colors submitted and can submit another, and they don't want gates.

There was still some disagreement whether the elevations in the packet matched the product that would be built here.

Kirk Wilkins said he would like to see the plans be consistent and correct.

Jeff Cochran thanked the applicant for being here tonight. He clarified with staff that the Code doesn't prohibit the direction of the units. The UDC tries to ensure quality without micro-managing. He is opposed to the units not facing the street. He suggested that they could flip those units and keep the two car garage by sacrificing a few of the units. He asked if there was parking by the basketball court. He noted that parking is a problem in dense developments.

Kimber Gabryszak noted that they are meeting their parking requirement and along the basketball court was a City road and they don't typically allow parking along there.

Jeff Cochran asked about the elevations and suggested staggering units to break up the garage wall.

Ken Watson said architecturally that was not possible.

Kevin Thurman noted that we don't have architectural standards for residential units; the Code is more about quality materials. We cannot require things in a condition that are not part of the Land Development Code.

Jeff Cochran said for the most part they do meet Code requirements. He does agree with an additional color palette needed.

Discussion was held as to what direction the Planning Commission would like to take with a recommendation.

Motion made by Hayden Williamson to forward a positive recommendation to the City Council for the Jordan View Landing Preliminary Plat/Site Plan on parcels 58:032:0102, 58:032:0100, and 58:032:0101 as located in Exhibit 2 and detailed in Exhibits 5 and 6, with the Findings and Conditions in the staff report; with the additional conditions that floor plans and elevations match and be consistent prior to City Council meeting, and color palettes be consistent prior to City Council meeting. In addition, brick treatment shall be added to rear elevations, to ensure consistency of all elevations; Side elevations facing streets shall be treated similarly to the front elevations; the fencing along 400 E. shall be semi-private; and Four total color palettes shall be provided. Second from Kirk Wilkins.

Aye: Hayden Williamson, Jeffrey Cochran, Kirk Wilkins. Nay: Sandra Steele Motion passed 3-1.

Sandra Steele voted no because the renderings they had been given have never been what they were supposed to get, never been correct.

6. Public Hearing and Possible Recommendation: Legacy Farms Village Plans 2, 3, 4 and 5 located at approximately 400 South and Redwood Road, DR Horton, applicant.

Kimber Gabryszak presented the Village Plans for Legacy Farms. She reviewed the staff report and recommendations and conditions. Village Plan 1 was approved in July this year. She noted the maximum

density total exceeds the approved 1055 ERUs to allow for flexibility within each Village Plan to build up to or less than the maximum to meet market demands. However; once they reach 1055 units they are done. They have removed conditions 6, 7, 8, 11 and 12 4, 5, and 9.

Krisel Travis went over the time frame they hoped could happen for this project. She showed the current plan for Tickville wash pipe and noted it had taken some extra time. They home to have approvals by March. Greg Haws went over several changes that were just recently sent to the Planning Commission in response to City comments, including language regarding the extension in all the plans.

Public Hearing Open by Jeff Cochran

Nancy Hart was concerned with lot sizes of 3800 and 3400 sq.ft. with 0-5' setbacks. She noted that the traffic outlet to Redwood Road was not to have a light until 2020. She thought the issue with Tickville wash was still not resolved and asked if they had met with Laura Ault from the Utah Lake. She wondered about community gardens where no green space was shown for it on the plan. She felt VP 2 and 4 had a mish mash of styles and it didn't feel like a neighborhood. Large and smaller lots mixed together. She noted the gravel in the VP 4 drainage ditch and it was no longer having grass. She noticed the revised plan was presented to the commission but not to the public ahead of time. There is not picture or plan of what is going to go into Leisure Villas, whether it's multiple levels or twin homes etc. She assumes there are two club houses and pool. She mentioned the school district has not committed to a school yet. The same issues seem to be there still from before. She does not like some of the street names.

Jim Parker asked what the plan on 400 South was, if it was to be widened or how it would handle the traffic. He asked about the 12' driveways to twin homes and thought it was too narrow.

Public Hearing Closed by Jeff Cochran

Jeremy Lapin responded that they had a plan on 400 S. to widen it to three lanes. D.R. Horton will provide ingress and egress and the city will coordinate to finish missing segments. The developer will be doing curb & gutter on the south side. They will install a light at the 400 S. Redwood Road. intersection when the traffic warrants it. Tickville drainage has conditions in the staff report that they will not be allowed to build in the flood plain until the FEMA maps are amended. There are portions not in the flood plain that are not affected on that. He noted they are also building Riverside drive between 400 S. and Pioneer crossing in the near future that will take away some congestion going to Redwood road.

Krisel Travis addressed the small lots and transitions, the lots were actually 4000 to 4500 sq.ft. They comply with the community plan. The Community gardens are not required to be shown, they could be put it into an open space if the product around that wanted to have that. The bigger detail will come with the individual plats. The 0 lot lines were removed, everything has a 5' setback now. The school district has been presented with the contract for the school. They want to orient it to the west and they would like to be open in the fall of 2017. The 12' driveways in the past have not had any problems. The Fire Chief did not express any concern. The gravel drainage in the landscape area; the grass makes a mucky area and breeding ground for mosquitoes the gravel allows it to drain better. The final plats will have more details and we will be able to address those things better at that time.

Sandra Steele didn't like getting new information walking in the door, she feels it's only fair that they and the public get that information ahead of time so that the public can come and comment on it if they need to. She started with concerns on VP 5 and was concerned about the elevations and thinks it may end up a patchwork quilt. She wonders if we need to look at it closer and have them stick to the same standards. She likes what they have done in Lehi where they are all the same.

Krisel Travis said they have said they can't have the same product right across or right next door, but they could on the corners.

Sandra Steele asked about a trail going through the village area and the safety issues, it needs some sort of fencing.

Krisel Travis said they want to make it secured but they like the open feel, more than likely there would be a fence but maybe some pass-throughs.

Sandra Steele asked about parking near the clubhouse; she feels the safety of that needs to be looked at when it comes to the plat process. She asked about the length of the driveways, her concern is maneuverability but with two together, 36', it seems ok. She would like to see a minimum of 24'. Her concern with all of these Village Plans is that they have the flexibility to amend their plans but the city doesn't have the same flexibility. She would like to see what does and doesn't work with the first plan and see if something needs to be tweaked with the next plan. She feels that has been taken away from the city. She knows things can change and she is uncomfortable approving anything past what they did in plan 1. Until the Tickville wash CLOMAR is in their hand things will still change. She questions the rush and would like to see us slow it down and look through it more carefully. She feels especially VP 5 will likely change. She asked about the twin house elevations and the around the corner setting and if they were all like that.

Krisel Travis said there are only 3 cases where it's not that way.

Sandra Steele complimented that on village 4 the snow stacking doesn't seem to be a problem. On Village 2, if the school isn't ready than that plan may be premature as well.

Krisel Travis noted that the Village plan doesn't need to note orientation now, that is detail that would come with the final plats.

Sandra Steele is still concerned about snow stacking where it is, she would like to see how it actually works.

Krisel Travis said the snow stacking areas would be additional parking, not part of the required and they would not allow parking from Nov. to March. They will be marked on the final plats.

Sandra Steele clarified that she was concerned about snow piling up and blocking maneuverability and people getting stuck. She asked on the rear loaded townhomes, if they were still there on Victoria Ln. in VP 2.

Krisel Travis said they have a 20' two car drive and 12' travel lane to back out on to.

Sandra Steele asked on the cottage lots.

Krisel Travis said it's only in village plan 1, the other plans are shown only as an option.

Sandra Steele asked about the 5' fencing and where you would place things like air conditioning units. They can be too close, especially so emergency crews cannot get past them. She asked them to consider putting the fences just in the back and not the side.

Krisel Travis noted where in the plan it noted the fence layout and noted Commissioner Steele's suggestion.

Sandra Steele asked if they have met with the Utah lake Commission.

Krisel Travis said they have and they have coordinated with them for what is required for discharge.

Jeremy Lapin said they will have to get a permit from FFSL and they only would need it from the Army Corps if it was within their jurisdiction.

Sandra Steele asked about the detention basin, if the bottom was left in gravel, what would be the depth that the water would be there for great periods of time.

Krisel Travis said the pond is being designed to hold about 1.8 ac./ft.

Sandra Steele is wondering if there could be a compromise with some grass.

Krisel Travis said that would be in the plats when they come. For the most part they will be grass.

Jeremy Lapin said they have several detention ponds throughout the city where the sod is not an issue but sometimes if it happens it's more of a workmanship issue.

Sandra Steele would like Jeremy Lapin to work with D.R. Horton to get the best product.

Hayden Williamson agrees that the detention basin was expected to be more green space from previous discussions.

Krisel Travis said the gravel would be minimal; most of it would still have grass and trees. It has always been a detention basin in the plans. Those plans will come forward with final plats. They understand it's a sensitive issue

Hayden Williamson said he was impressed with a previous plan for meandering trails and rock walls. He asked what the difference was between townhomes or senior living ERU's. (none.) He thought that lower impact there would be advisable. He asked about a trail on the south west side and if there was a fence between the trail and the community.

Krisel Travis said there would be gated connections with semi-private fences.

Kirk Wilkins asked about the underground pipes and the safety to block people from getting in.

Krisel Travis said FEMA conditions are that it needs to be open with manholes for maintenance. The trail will be widened in a section to help vehicles get to areas for maintenance.

Jeremy Lapin said it's inaccessible unless someone was climbing a fence, on the west side it's 150 ft. off of the road, the access road will have a gate. They have taken reasonable precautions to keep people out. They also don't anticipate flooding issues due to the large capacity.

Kirk Wilkins asked about the code for the double fencing.

Kimber Gabryszak responded that they drafted an amendment but it was tabled so there is nothing prohibiting that.

Kirk Wilkins asked what the benefit was to approve plan 5 now.

Krisel Travis said it gives the ability and confidence to proceed with the Church and purchasing, if not it would delay the process and take away entitlements.

Kirk Wilkins asked if the gravel would change the greenspace requirement.

Krisel Travis said no, it did not.

Jeff Cochran said the project is overwhelming. They are looking at 1200-1500 units tonight, why the rush to approve all these plans tonight. He sees that they have done a thorough job and it looks great, the products look good, but it's a ton of information, why so much so quick?

Krisel Travis they approved a community plan that they couldn't do more than 1000 units, the lotting concepts have not changed from the Community Plan. The same verbiage in Village Plan 1 is the same as these Village plans except for the few small changes they highlighted tonight. She wished the process allowed them more time to review it, but its 856 lots, that hasn't changed. The reason for the rush is to get the project going in the city and give them the entitlements to close with the Church. Village plan 1 does not give them enough entitlements to purchase the plan. They have to have at least the village plans approves to vest their densities.

Jeff Cochran asked why the new changes were not included in the packet.

Kimber Gabryszak said they weren't done until this week.

Jeff Cochran asked how FEMA affected the village plans and if there was any reason that it would restrict them from approving the plans tonight.

Jeremy Lapin said there are several restrictions where they could build. The worst case scenario is they would lose those areas to develop. His understanding was that these layouts would be locked unless they brought a new plan. If they had so many units and some of the area was unbuildable they could transfer a little but it would need an amendment for bigger changes.

Kimber Gabryszak said there are some provisions for transfer of density out of the flood plain, but without an amendment they could not shift very much. Anything more than a minor shift would require an amendment.

Jeff Cochran asked if next to single family homes, are those densities locked in?

Kimber Gabryszak said in some areas the lot types are locked in.

Jeff Cochran asked if we could lock the density in some of the areas.

Kimber Gabryszak said there still is a requirement to transfer some density away from existing neighborhoods.

You could possibly recommend that there not be a density transfer allowed in a specific block.

Krisel Travis said as long as it gives them the same product ranges in Block type they are fine with that. She thinks it's pretty tight and already restricted. It would be pretty impossible.

Kirk Wilkins asked how close they were to the maximum.

Krisel Travis said they are pretty close to the maximum now.

Jeff Cochran thought it would be nice to have a condition there.

Kimber Gabryszak thought it might already be covered.

Jeff Cochran thought the church sites were small

Krisel Travis said that came from the church, she said they had even increased them a bit.

Sandra Steele said their density is already written in stone with the community plan. She is not sure that we need to be worried about it. She feels they are rushing us along where we don't feel comfortable.

Krisel Travis indicated that by passing the plans tonight it gives us the confidence to go forward with the purchase. It lays out the roadways and infrastructure. She apologized for the uncomfortableness of the speed at which they felt they needed to move. She appreciated their efforts in Village Plan 1 and the Community Plan. She is not asking them to approve the final plats those still have to come in later. This is just the view of what this could look like.

Sandra Steele asked if they could change the shared lanes during the plat process

Kimber Gabryszak said no, unless there was a health and safety issue that came along that superseded it like from the Fire Chief.

Hayden Williamson said given that they can't move forward and purchase the property until they get this plan he would like to move forward.

Kirk Wilkins did feel like they were rushing this along, it gives them certainty but it does take away our flexibility. Jeff Cochran understands the need to move forward but feels they are in a difficult situation tonight.

Sandra Steele thinks they need to table it so that the public has a chance to look over what they have been given tonight.

Kevin Thurman said they could take comment from the public if they so choose. He doesn't recommend that they open public hearing again but just take public comment at a future point. If they continue this there needs to be some sort of code finding that they say they need additional information to see if it's met.

Boyd Martin said he knew it was hard with a lot of information at this time. There is still a lot of detail to come with the final plats. He doesn't want to spend millions of dollars and then go through this process with every single Village Plan. He feels they are good to go on this and he wants to close. He needs some level of comfort that he can move forward with these conceptual Village Plans.

Motion from Kirk Wilkins to forward a positive recommendation to the City Council for the Legacy Farms Village Plan [2, 3, 4, 5] with the Findings and Conditions in the Staff Report; with the additional condition that there be combined minimum of 24 ft. (driveways) backing space; and that they remove conditions 4, 5, 6, 7, 8, and 9 and that density does not transfer into block type 1. Second from Hayden Williamson.

Hayden Williamson thought they determined that they didn't need the condition of the density transfer.

Kimber Gabryszak thought it was still necessary but they didn't need to identify the density because it's already called out. Also on the combined minimum 24', could they change that to backing space because it's not the driveway, and could it be just village plan 5?

Sandra Steele thought it was a concern everywhere.

Kirk Wilkins revised the condition of the Motion that **with the 24'** driveway that it is with **backing space**.

Aye Kirk Wilkins, Hayden Williamson. Nay: Sandra Steele, Jeff Cochran. Motion tied.

7. Approval of Reports of Action.

Kimber Gabryszak went over the reports of Action for Legacy Farms. It moved forward with a negative recommendation with a tie vote.

Motion by Sandra Steele to approve the Report of Action and have our Chair sign it. Second from Hayden Williamson. Aye Kirk Wilkins, Hayden Williamson, Sandra Steele, Jeff Cochran. Motion passed.

Kimber Gabryszak reviewed the Jordan View Landing Report. It received a positive recommendation.

Motion made by Hayden Williamson to approve the Report of Action for Jordan View Landing. Second made by Kirk Wilkins. Aye Kirk Wilkins, Hayden Williamson, Sandra Steele, Jeff Cochran. Motion passed.

8. Approval of Minutes:

1. November 13, 2014.

Motion by Sandra Steele to accept the minutes as corrected. Seconded by Hayden Williamson

9. Commission Comments.

No comments.

10. Director's Report.

Kimber Gabryszak reviewed what happened at the last City Council Meetings.

Meeting adjourned without objection by Chairman Jeff Cochran

Adjourn 10:25 pm

Date of Approval

Planning Commission Chair
Jeff Cochran

Lori Yates, City Recorder