



Planning Commission Meeting
Thursday, December 11, 2014
Meeting held at the Saratoga Springs City Offices
1307 North Commerce Drive, Suite 200, Saratoga Springs

AGENDA

One or more members of the Commission may participate electronically in this meeting.

Regular Session commencing at 6:30 P.M.

Regular Meeting

1. Pledge of Allegiance.
2. Roll Call.
3. Public Input – Time has been set aside for any person to express ideas, concerns, comments, questions or issues that are not listed on the agenda. Comments are limited to three minutes.
4. Public Hearing and Possible Recommendation: Conditional Use Permit for Angelina’s Daycare located at 4123 Captains Street, Christian Doyle, applicant. Presented by Scott Langford.
5. Public Hearing and Possible Recommendation: Preliminary Plat and Site Plan for Jordan View Landing (previously River Heights and Sunset Acres) located between Crossroads Blvd and 400 East, Ivory Development, LLC, applicant. Presented by Kimber Gabryszak.
6. Public Hearing and Possible Recommendation: Legacy Farms Village Plans 2, 3, 4 and 5 located at approximately 400 South and Redwood Road, DR Horton, applicant. Presented by Kimber Gabryszak.
7. Approval of Reports of Action.
8. Approval of Minutes:
 1. November 13, 2014.
9. Commission Comments.
10. Director’s Report.
11. Adjourn.

*Public comments are limited to three minutes. Please limit repetitive comments.

In compliance with the Americans with Disabilities Act, individuals needing special accommodations (including auxiliary communicative aids and services) during this meeting should notify the City Recorder at 766-9793 at least one day prior to the meeting.



Home Occupation
Angelina's Lil Angels Daycare
December 11, 2014
Public Hearing

Report Date:	December 3, 2014
Applicant:	Christian Terry Doyle
Owner:	Christian Terry Doyle
Location:	4123 South Captains Street
Major Street Access:	Harbor Park Way
Parcel Number(s) & Size:	49:389:0096, 0.301 acres
General Plan Designation:	Low Density Residential
Parcel Zoning:	R-3
Adjacent Zoning:	R-3
Current Use of Parcel:	Residential
Adjacent Uses:	Residential
Land Use Authority:	Planning Commission
Future Routing:	None
Author:	Scott Langford, Senior Planner

A. Executive Summary:

The applicants, Christian Terry Doyle and Angelina Doyle, are requesting approval of a daycare for children ages 1-5 in the basement of the home at 4123 South Captains Street. The daycare is proposed to operate from 6:30 A.M. until 5:30 P.M., Monday through Friday. The applicant has proposed a maximum of 16 children at any given time.

Recommendation:

Staff recommends that the Planning Commission conduct a public hearing, take public comment, discuss the application, and choose from the options in Section G of this report. Options include approval, continuance, or denial.

B. Background & Request:

The application is for a daycare, proposed as follows:

- Hours of operation from 6:30 A.M. – 5:30 P.M.
- Monday-Friday

- Maximum of 16 children at any given time
- Daycare to occur in the basement (except east bedroom) and kitchen area
- 3 car garage with space in driveway for 3 cars
- No outside employees (except for possibly one emergency substitute that is a neighbor)
- Home is ~4,200 sq.ft, amount of home used by daycare is ~1,400 sq.ft. or 1/3 of the square footage of the home.

C. Process:

The process and standards for a Home Occupation are found in Section 19.08 of the Code. Minor home occupations are approved administratively by Staff; however, if the proposal will include more than five patrons or customers per day, the approval body becomes the Planning Commission, which is required to hold a public hearing.

As the proposal is for 16 children at any given time during the day, this home occupation must be reviewed by the Planning Commission as part of a public hearing.

D. Community Review:

This item has been noticed as a public hearing in *The Daily Herald*, and notice mailed to all property owners within 300 feet of the property. As of the date of this report, no public comment has been received.

E. Code Criteria:

Section 19.08.02 of the Code outlines the standards for home occupations:

19.08.02. Performance Standards.

Proposed Home Occupations must be in compliance with the following performance standards to ensure that adverse impacts to others are minimized and that the residential characteristics are preserved. Home Occupations are to be clearly incidental and secondary to the residential use of the property. All Home Occupations may be allowed if approved and in compliance with the terms of this Chapter and may be revoked if these performance standards are not maintained. Performance standards include:

1. **Floor Area.** A Home Occupation may be located in any single family dwelling, or an accessory building to such a dwelling, but shall not occupy or use more than one-third of the finished square footage of the dwelling in any 24 hour period.

Staff analysis: complies. The business occupies the ~1,400 sq.ft. of the 4,200 sq.ft. house; therefore 1/3 of the finished s.f. may be used in a 24 hour period.

2. **Building and Fire Codes.** A Home Occupation, including Home Occupations located in accessory buildings, shall comply with all applicable building and fire codes. For example, if a Home Occupation is located in a garage, approval for occupancy must be given by the Building Official and Fire Marshall.

Staff analysis: complies. The Fire Department has inspected the home and required that the applicant purchase two new fire extinguishers. The applicant has already purchased the required extinguishers. There are no other changes/improvements that need to be done.

3. **Employees.** Home Occupations may have no more than two on-premise employees who are not members of the resident family or household.

Staff analysis: complies. The applicants have applied for and intend to receive a license from the State of Utah. In order to comply with the State regulations there has to be at least one adult caregiver for every 8 children 1 – 5 years of age. There are 3 adults living in the home and one other adult family member that will provide at least 2 adult caregivers. The applicants have also indicated that in some limited situations a neighbor will be used as an emergency substitute.

4. **Parking.** Home Occupations shall provide adequate off-street parking as required by Chapter 19.09. Vehicles used in the occupation, other than passenger cars, may not be parked on site, unless parked in the home's garage or other solid structure to shield the vehicles from view. Further, Home Occupations may not be located in required parking spaces (whether covered or uncovered) per Chapter 19.09.

Staff analysis: complies. 19.09.11 states that parking requirements for home occupations are not identified, and are to be determined by the Planning Commission. The Home has a three-car garage, and stacking space for 3+ more cars in front of the garage (without encumbering the sidewalk). The standard for other child care businesses is 1.5 stalls per staff member, plus one stall per 5 children. This would result in a requirement for 6.2 spaces. The property currently has 6+ spaces, plus additional paved parking on the side of the house is planned for Spring 2015; per Section 19.09.05, the Commission is to determine the need for parking based on:

- the intensity of the proposed use;
- times of operation and use;
- whether the hours or days of operation are staggered thereby reducing the need for the full amount of required parking;
- whether there is a shared parking agreement...;
- the number of employees;

- the number of customers and patrons;
- trip generation; and
- peak demands.

5. **Outdoor Storage.** Outdoor storage associated with a Home Occupation shall be subject to the same performance standards governing other outdoor storage on residential lots.

Staff analysis: complies. No outdoor storage is proposed.

6. **Outdoor Activity.** Outdoor activity may occur for a Home Occupation so long as the activity takes place in a fenced area and does not create an unreasonable disturbance to neighboring properties.

Staff analysis: complies. The proposal does not include outdoor activities, and the entirety of the activities will take place indoors. Note that the rear yard is not fully fenced and therefore cannot be used as part of the daycare business.

7. **Signs.** A Home Occupation may display a nameplate sign attached to the home not exceeding four square feet solely for the purpose of identifying the occupation. The design and placement of a proposed sign must receive approval from the Planning Commission or City Staff. Signs that in any manner are electronic, electric, lighted, or back-lit are strictly prohibited.

Staff analysis: does not comply. The applicants have submitted pictures of an existing sign that is posted in their front yard. Per the Land Development Code, signs associated with home occupations must be attached to the home. Furthermore, signs associated with home occupations shall not be larger than 4 square feet in area. The sign posted in the front yard is ~6 square feet in area. Staff recommends as a condition of approval that the existing sign be removed and any future signage meet the requirements of the City Code.

8. **Hours of Operation.** Home Occupations that receive customers, clients, or students shall operate only between 7:00 A.M. and 10:00 P.M., except for pre-schools or day care which may operate from 6:00 a.m. to 10:00 p.m.

Staff analysis: complies. The proposed hours of operation are from 6:30am-5:30pm. Even including additional time for staggered arrivals and departures, the timeframes will be compliant.

9. **Hazardous Materials.** No Home Occupation shall generate hazardous wastes or materials that increase the danger of fire or cause fumes or odors that may be objectionable to neighboring residents.

Staff analysis: complies. No hazardous wastes or materials will be generated.

10. **Exterior Appearance.** No Home Occupation shall alter the exterior of the home to differ from the colors, materials, construction, or lighting of the home before it was used as a Home Occupation.

Staff analysis: complies. The home will continue to look like a typical home.

11. **Retail Sales.** Service related Home Occupation may conduct incidental retail sales provided that the sales do not increase traffic or violate any other performance standard.

Staff analysis: complies. The proposal does not include retail sales.

12. **Traffic and Utilities Use.** The Home Occupation shall not generate traffic or increase the demand for utilities that exceeds those normally associated with residential uses.

Staff analysis: up for discussion. The arrival and departure of up to 16 cars twice a day may exceed the traffic typically anticipated with a residential use. The daycare is located on Captains Street which is currently a long (616 feet) dead-end road.

Possible solutions include the staggered drop-off and pick-up schedule, and/or a reduction in the number of students. Planning Commission input is requested. Based on the capacity of 16 students, traffic will likely be the biggest impact this business will have on the neighborhood. The applicants have indicated that the children will be dropped off and picked up at different times based on their parent's schedules.

13. **Business License.** A business license is required for all Home Occupations.

Staff analysis: complies. A business license will be required prior to operation.

14. **Additional Home Occupations.** More than one Home Occupation is allowed for each lot or parcel if the combined Home Occupations meet all requirements of this Chapter as if all were one Home Occupation.

Staff analysis: complies. Only one home occupation will operate at this address.

F. Recommendation and Alternatives:

Staff recommends that the Planning Commission conduct a public hearing, take public comment, discuss the application, and choose from the options below.

Option 1 – approval

“I move to **approve** the Home Occupation for the Angelina’s Lil Angels Daycare, located at 4123 South Captains Street, with the findings and conditions below:

Findings:

1. As articulated in Section E of this report, the proposal complies with the requirements in Section 19.08.02 of the Code, subsections 1, 2, 3, 4, 5, 6, 8, 9, 10, 11, 13, and 14.
2. The proposal does not comply with Section 19.08.02, subsection 7, Signs, the existing sign must be removed from its current location in the front yard.
3. The proposal complies with Section 19.08.02, subsection 12, Traffic or Utilities Use, through a drop-off and pick-up schedule that prevents congestion by limiting the number of cars present at any one time and/or a reduction in the number of students.

Conditions:

1. The appropriate State license(s) must be obtained prior to operation.
2. A business license shall be obtained prior to operation, and maintained throughout operation.
3. All requirements of the Fire Department shall be met, and Fire Department approval shall be obtained prior to business license issuance.
4. The number of on-site parking stalls required shall be 6.
5. The approved hours of operation, including allowance for drop-off and pick-up, is 6:30am through 5:30pm.
6. No on-street parking for the home occupation is permitted.
7. No outdoor activities are approved.
8. No signage is approved with this home occupation; any signage requested in the future shall obtain a permit and comply with the standards in the Code at the time of sign application.
9. The maximum number of students shall be 16.
10. Any other conditions required by the Planning Commission:

Option 2 – continuance

“I move to **continue** the Home Occupation for the Angelina’s Lil Angels Daycare, located at 4123 South Captains Street, until the _____ meeting, with specific direction to the applicants on information needed to render a decision as articulated below:

1. _____
2. _____
3. _____

4. _____
5. _____

Option 3 – denial

"I move to **deny** the Home Occupation for the Angelina's Lil Angels Daycare, located at 4123 South Captains Street, with the findings below:

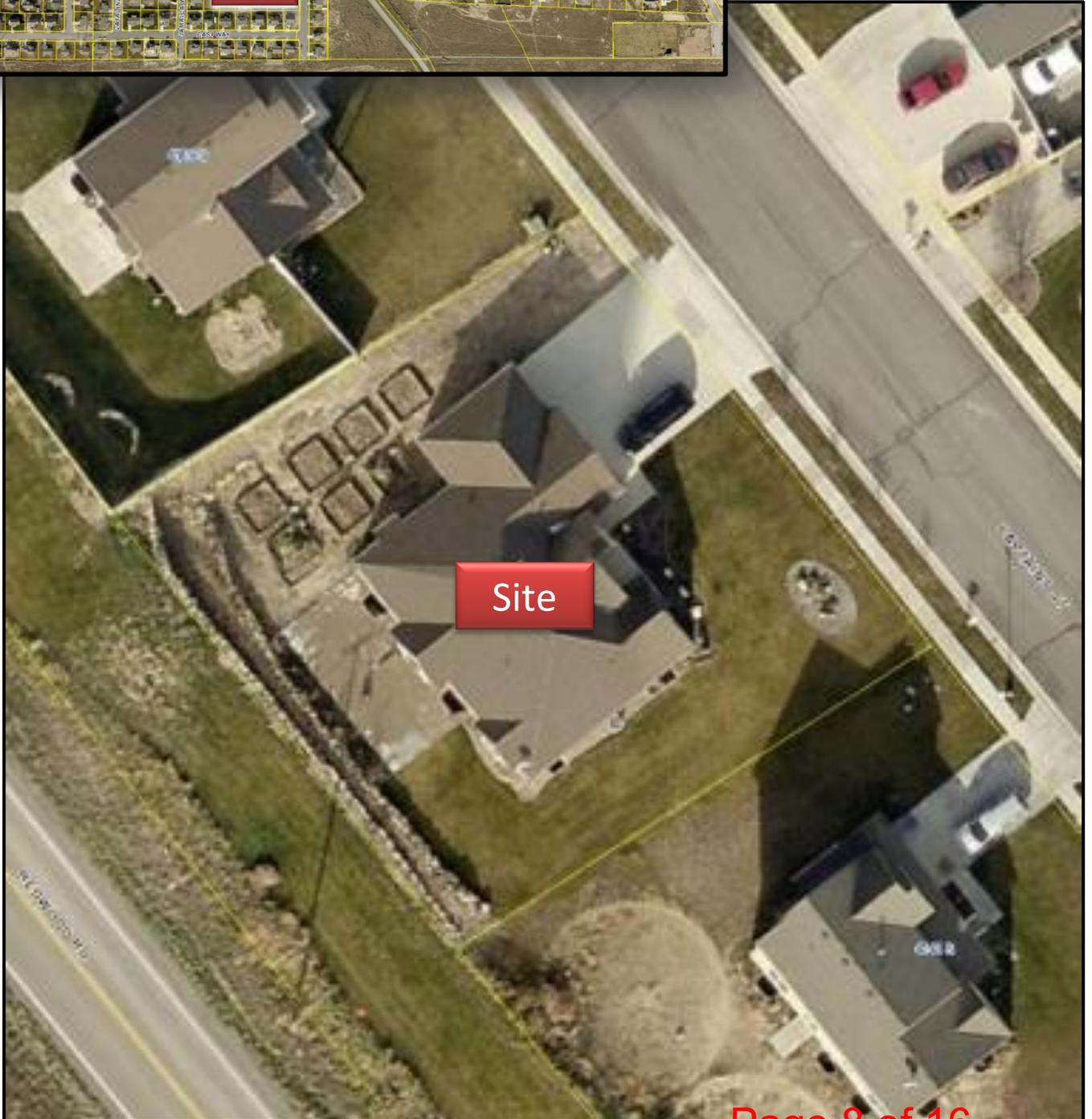
Findings:

1. The proposal does not comply with the requirements in Section 19.08.02 of the Code, particularly subsection(s) _____
(as articulated by the Commission).
2. The proposal does not comply with Section 19.08.02, subsection 12, through a significant increase in traffic to the neighborhood.

H. Exhibits:

1. Location & Aerial Photo
2. Applicant packet & Floor Plan

Aerial Photo



FOR OFFICE USE ONLY

Fees received by: _____ Date of submittal: _____

Amount paid: _____ Receipt number: _____

\$250.00 for a staff review

or

\$350.00 for a planning commission review



CITY OF SARATOGA SPRINGS

HOME OCCUPATION APPLICATION
Updated April 2013

Applicant & Home Occupation Information

Project name: Angelina's Lil Angels DayCare, LLC

Property owner: Christian Terry Doyle

Address: 4123 S. Captains ST.

Phone: 801-653-1633 Cell: 385-225-2233

E-mail: tdoyle84770@yahoo.com Address: _____

Applicant / Authorized Agent: Angelina Doyle

Address: Same as Above (4123 S. Captains ST.)

Phone: 801-653-1633 Cell: 385-219-9595

E-mail: AM: tdoyle84770@yahoo.com Address: _____

Location or address of the proposed Home Occupation: 4123 S. Captains ST

Saratoga Springs, Utah 84045

Hours of Operation: 0630 to 1730 Hrs. Number of non-family employees: 0

Total Square footage of the residence: 4,200 Sq. ft. occupied by the occupation: 3,200

Please describe the proposed Home Occupation: Day Care - To be state

Licensed - Maximum of 16 children

~~All Areas of the Home to be used except the~~

~~Master Bedroom & Master Bathroom.~~ The storage

Area will be used for storage of Toys and supplies

only. Maximum of 1/3 of Home Area will

be occupied for Day Care; Kitchen, West

Basement Bedroom, Basement Bathroom, and

Basement Entertainment/family Room.

Chapter 19.08 of the City Development Code also contains specific criteria that the City staff and the Planning Commission will use in determining whether or not your Home Occupation application is complete, if it can be authorized and what special requirements or conditions may be imposed upon a Home Occupation. Home occupation requests that will generate more than 5 customers per day shall be reviewed by the Planning Commission.

Supporting Materials

Please attach to your application the following materials that are necessary for a complete submittal:

1. Sketches. The applicant must provide ³ ~~five~~ reduced (11" by 17") sketches drawn to scale of: the floor plan of the home, area to be devoted to the occupation and off-street parking.

2. Fire Extinguishers. Evidence of a number 5 class 2A 10 BC fire extinguisher or the proper extinguisher required by the Fire Code.

3. Professional Licenses. If applicable, the applicant must submit a copy of professional licenses to legitimize the home occupation.

4. Signage. If any, the applicant must submit a sketch of the proposed signage and identify the location of the signage.

5. Fee. The processing fee of **\$250.00** for a staff review or **\$350.00** for a Planning Commission review shall be submitted.

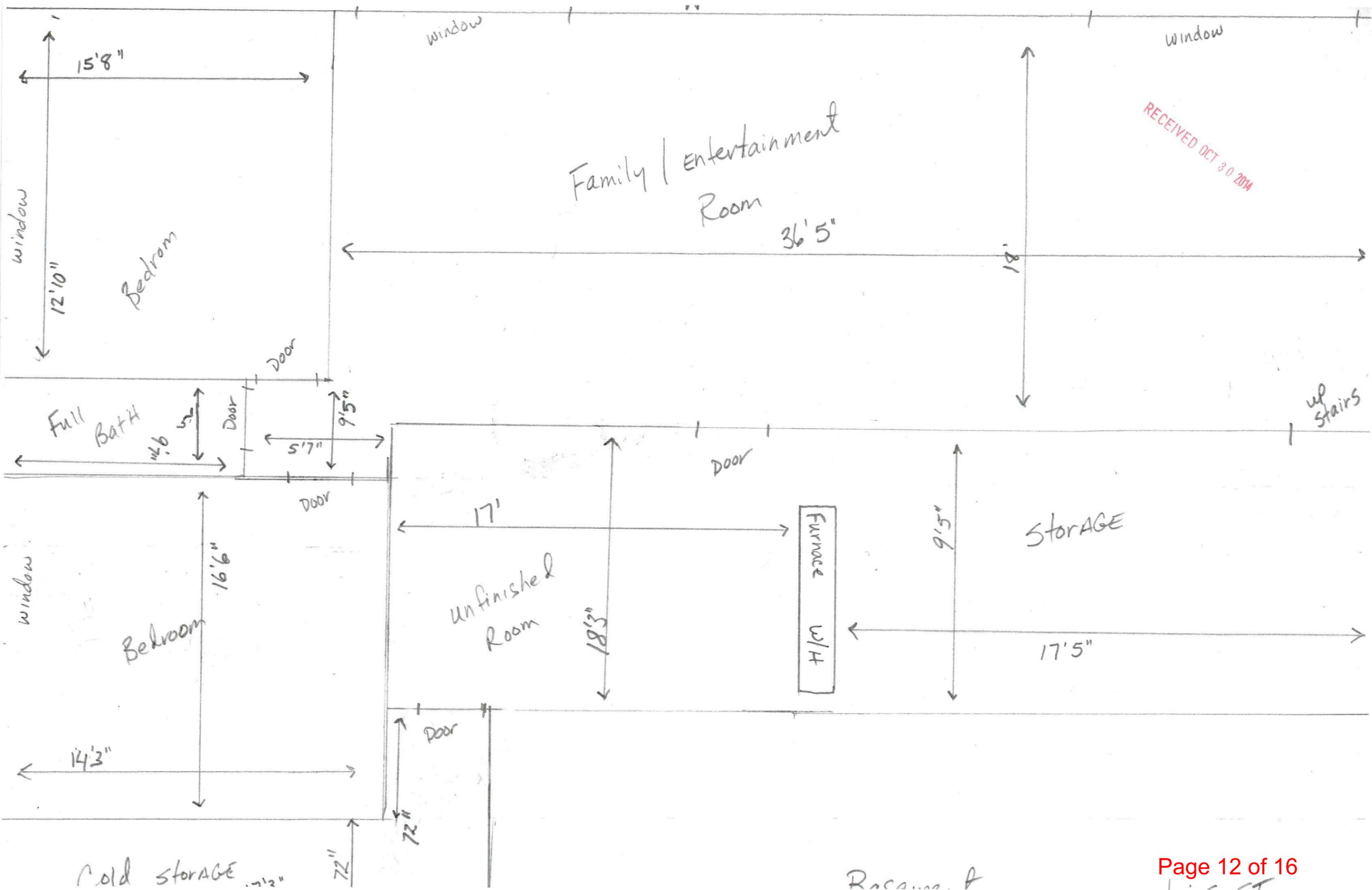
6. In the event that Planning Commission review is required, the City will mail notices of the public hearing to property owner's within 300 feet of your property and will notify you of the charge after the notices have been mailed. The cost of mailing the notices shall be paid before a business license will be issued.

(Pictures enclosed)

Applicant Certification

I certify under penalty of perjury that this application and all information submitted as a part of this application are true, complete and accurate to the best of my knowledge. I also certify that I am the owner of the subject property and that the authorized agent noted in this application has my consent to represent me with respect to this application. Should any of the information or representations submitted in connection with this application be incorrect or untrue, I understand that the City of Saratoga Springs may rescind any approval, or take any other legal or appropriate action. I also acknowledge that I have reviewed the applicable sections of the Saratoga Springs Land Development Code and that items and checklists contained in this application are basic and minimum requirements only and that other requirements may be imposed that are unique to individual projects or uses. Additionally, I agree to reimburse the City of Saratoga Springs all amounts incurred by the City in excess of the base fee required by the Consolidated Fee Schedule to review and process this submitted application and agree to comply with Resolution No. R 08-21 and R 11-22. I also agree to allow the Staff, Planning Commission, or City Council or appointed agent(s) of the City to enter the subject property to make any necessary inspections thereof.

Property Owner's Signature: C. Amy Rade Date: 10/28/14

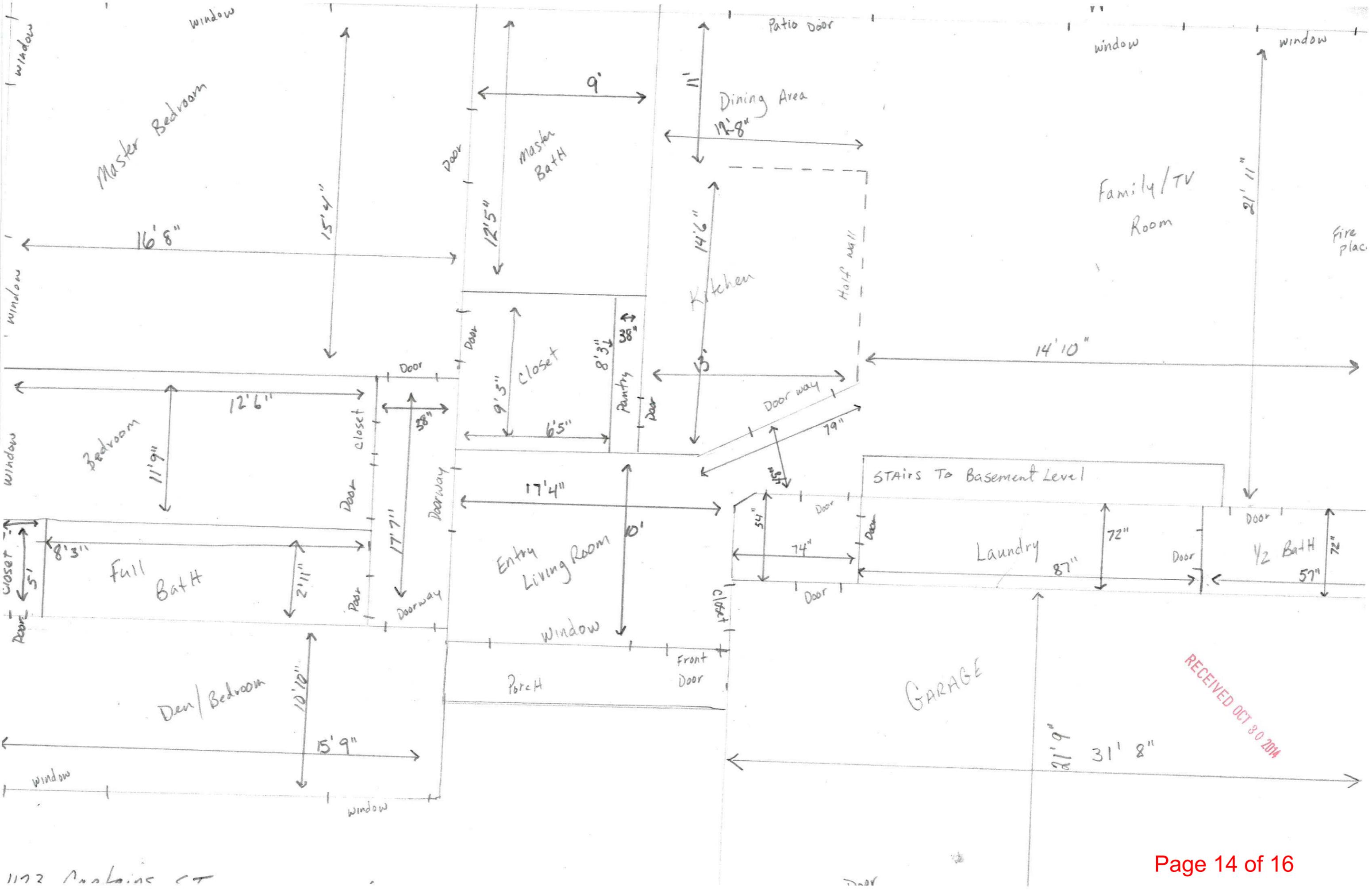


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Rooming A

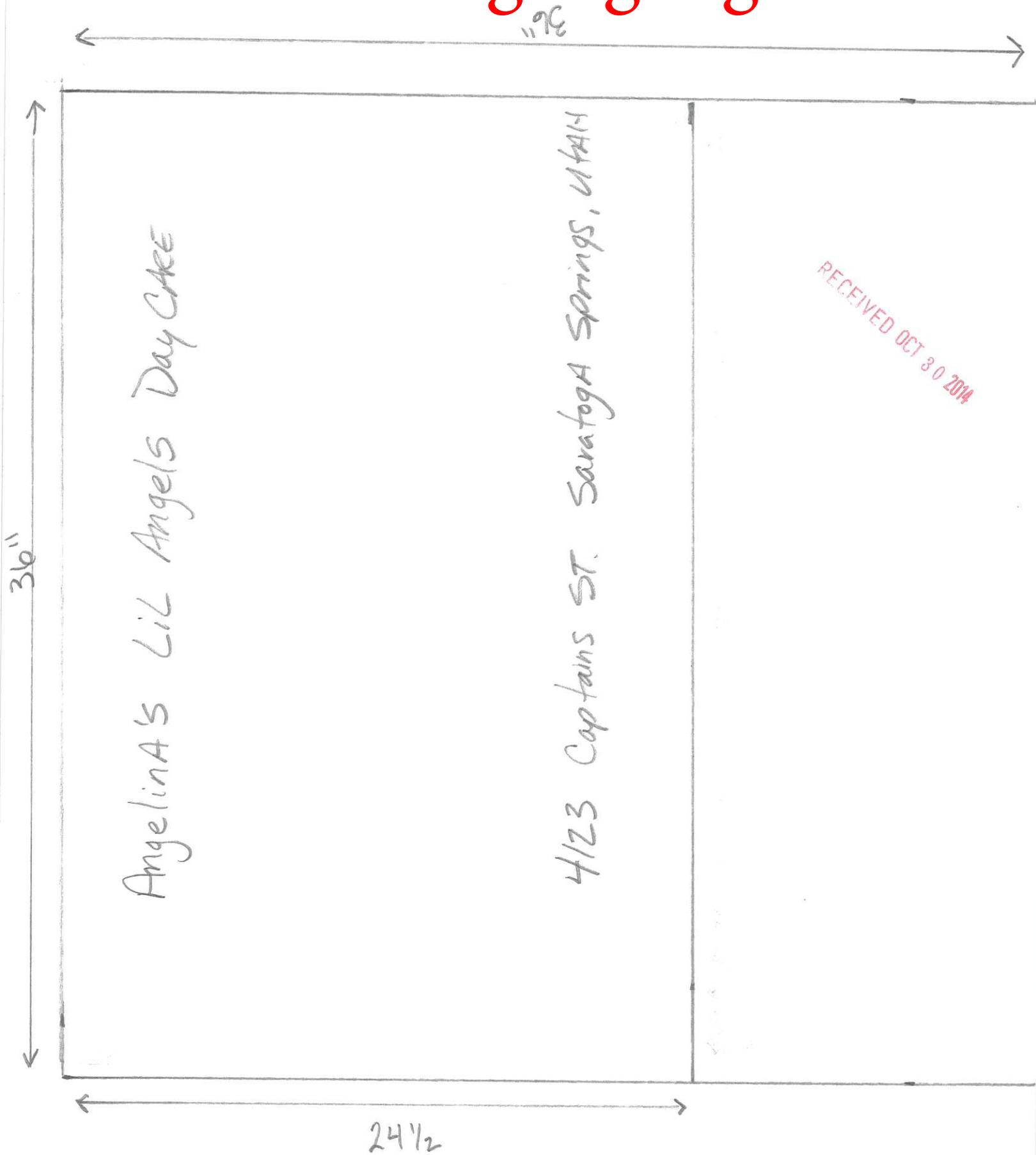


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Existing Signage







Preliminary Plat and Site Plan

Jordan View Landing (aka Riverside Heights and Sunset Acres)

Thursday, December 11, 2014

Public Hearings, Possible Recommendations

Report Date:	Thursday, December 4, 2014
Applicant:	Ivory Development, LLC
Owner:	Floyd Chris and Carolyn Norman
Location:	Crossroad Blvd and 400 East
Major Street Access:	Crossroad Blvd
Parcel Number(s) & Size:	58:032:0102, 4.0004 acres 58:032:0100, 0.928 acres 58:032:0101, 4.754 acres TOTAL: 9.6824 acres
General Plan Designation:	Medium Density Residential
Parcel Zoning:	R-10
Adjacent Zoning:	R-6, R-14, A
Current Use of Parcel:	Vacant, Ag
Adjacent Uses:	Residential, Vacant, Ag
Previous Meetings:	Concept: PC April 24 and August 14, 2014 CC June 3 and September 2, 2014
Previous Approvals:	Rezone approved 2007 Concept plan approved 2007 <i>(Preliminary plat submitted in 2008; inactive)</i>
Land Use Authority:	City Council
Future Routing:	Preliminary Plat, Commission and Council
Type of Action:	Administrative
Author:	Kimber Gabryszak, Planning Director

A. Executive Summary:

The applicant, Ivory Homes on behalf of the property owner, is requesting Preliminary Plat and Site Plan approval for Jordan View Landing, a 91-unit townhome development on approximately 9.69 acres north of Crossroad Blvd. and west of 400 East. The application was previously presented to the Planning Commission and City Council during the concept plan process as Sunset Acres and then Riverside Heights, and has been renamed to Jordan View Landing.

Recommendation:

Staff recommends that the Planning Commission conduct a public hearing, review the application, and choose from the options in Section G of this report.

Options include positive recommendations on one or both applications, continuance of one or both applications, or negative recommendations on one or both applications.

B. Background & Request:

The property is zoned R-10, which includes multi-family development as a permitted use. A rezone from A to R-10 was submitted in 2006, and was approved in 2007. The concept plan that accompanied the rezone was also approved in 2007, showing 91 units. A preliminary plan for 91 units was then submitted in January 2008, but no action was taken on the application.

The applicants submitted a revised concept plan for 96 units in February of 2014, and a concept plan showing additional revisions in May of 2014 in response to Commission and Staff feedback.

Based on feedback received from the Planning Commission and City Council in April 2014 June 2014 the applicants submitted a revised concept plan for 91 units, for a density of approximately 9.5 units per acre. The Planning Commission and City Council reviewed this 91-unit concept plan in August and September 2014, and favorable comments were given along with additional informal feedback. Minutes from those meetings are attached.

C. Process:

The Concept Plan process is outlined in Section 19.13.04.6, and includes an informal review of the proposal by the Planning Commission and also by the City Council. Upon completion of the Concept Plan process, the applicant will then be able to move forward with a Preliminary Plat which will return to the Planning Commission for a public hearing and the Council for action.

The applicants are proposing townhomes; the individual units would be owned separately and the land outside of the unit footprints would be owned as common space. The process for this type of development begins with concept plan, followed by a preliminary plat, and then a final subdivision plat or a condominium plat if the applicant desires. These will return to the Commission and Council for public review at a later date.

D. Community Review:

These items were noticed as public hearings in *The Daily Herald* and notices mailed to all property owners within 500'. As of the date of this report, no public comment has been provided.

E. General Plan:

Land Use Designation: The property is identified as "Medium Density Residential" on the Land Use map. The Medium Density Residential land use category states:

The Medium Density Residential designation is provided as a means of allowing for residential developments at higher densities in neighborhoods that still maintain a suburban character. This area is to be characterized by density ranging from 4 to 14 units per acre that may include a mixture of attached and detached dwellings. Planned Unit Developments may be permitted in the Medium Density Residential areas.

The main application of this designation should be in areas where the City desires to create a functional transition from one land-use to another. While some multi-family structures may be permitted in a stacked form, the majority of any attached dwellings should be designed in a side-by-side configuration. Developments in these areas shall contain landscaping and recreational features as per the City's Parks, Recreation, Trails, and Open Space Element of the General Plan. Open spaces may be comprised of both Natural and Developed Open Spaces. In this land use designation, it is estimated that a typical acre of land may contain 6 dwelling units.

Staff analysis: consistent. The proposal contains 10 units per acre, which is within the range identified in the General Plan, and consists of a side-by-side configuration.

Unit Type (Proposition 6): the proposal consists of multi-family attached units of 2 stories. Per the recent Proposition 6, which was approved in November 2013, the General Plan has been amended to limit the percentage of dwelling units in this category type (multi-family attached, 2 or more stories) to no more than 7% of all units in the City. Based upon an analysis of the existing approved units in the City, this 7% limit has been exceeded.

However, the property was zoned to R-10 in conformance to the General Plan Land Use Map prior to the Proposition. Therefore, the City Council may still find that the zoning and related allowed uses are consistent with the General Plan through vesting.

Staff analysis: consistent.

F. Code Criteria:

- 19.04, Land Use Zones
 - Zone – R-10
 - Use – complies
 - multi-family, permitted
 - Density – complies
 - max 10/ac, proposing 9.39 units/acre
 - Setbacks – complies
 - 20' front corner, 25' front interior
 - 10' side, interior
 - 15' side, street
 - 20' rear
 - Lot width, size, coverage – complies
 - Minimum lot width of 50' and lot size of 5000 sq.ft. per building, not per unit
 - Less than maximum of 50% lot coverage (25%)
 - Dwelling/Building size – complies
 - Exceeds minimum of 1000 sq.ft.
 - Height
 - Meets maximum of 35'

- Open Space / Landscaping – Complies
 - 20% required; 38% provided
- Sensitive Lands – Complies (none present)
- Trash – addressed with each unit
- 19.06, Landscaping and Fencing
 - Landscaping Plan – provided. First phase details only; overall schematic provided.
 - Planting Standards & Design – complies.
 - Amount – complies.
 - Fencing & Screening
- 19.09, Off Street Parking
 - Minimum Requirements – complies
 - Requirement:
 - 2 stalls per unit (182 stalls)
 - 0.25 guest per unit (22.75)
 - Total required: 205 (204.75)
 - Provided:
 - Garage spaces: 182
 - Driveway spaces: 182
 - Additional guest spaces: 30
 - Total: 394
- 19.12, Subdivisions
 - Block length, lot size, frontages, second access: complies
 - Connectivity: staff recommends an easement for future connectivity in the southwest portion of the property
- 19.14, Site Plans
 - Development Standards: buffering, access, utilities, grading & drainage, water, irrigation: appears to comply
 - Urban Design Committee: see next paragraph. Plans provided are not final and the color scheme comes from another Ivory Homes development. Staff recommends a condition that final elevations are provided to the City prior to City Council review.
 - Consideration in Review
 - Traffic
 - Advertising
 - Landscaping
 - Site layout
 - Storm drainage
 - Water pressure

- 19.27, Addressing
 - Duplicates, numbering, designations – complies

The City Engineer also conducted a review, and the comments and requirements from the Engineering department are attached as Exhibit 1.

Urban Design Committee

The UDC reviewed the concept plan, provided feedback on the original layout that helped lead to the reconfiguration, and also requested additional information on materials and colors. An additional UDC review will be held on Monday, December 8, 2014. The UDC comments and recommendations will be provided to the Commission at their hearing.

G. Recommendation and Alternatives:

Staff recommends that the Planning Commission conduct a public hearing on the Jordan View Landing Preliminary Plat / Site Plan applications and choose from the options below.

Option 1: Positive Recommendations

The Commission may forward a positive recommendation on one or both of the applications.

“I move to forward a **positive recommendation** to the City Council for the Jordan View Landing Preliminary Plat / Site Plan on parcels 58:032:0102, 58:032:0100, and 58:032:0101 as located in Exhibit 2 and detailed in Exhibits 5 and 6, with the Findings and Conditions in the staff report:”

Findings:

1. With appropriate conditions, the application complies with the criteria in the Land Development Code as articulated in Section F of the staff report, which Section is incorporated herein by reference.
2. The application is consistent with the General Plan as articulated in Section E of the Staff report, which Section is incorporated herein by reference.

Conditions:

1. The maximum number of units shall be 91.
 2. An easement for connectivity shall be provided in the southwest corner of the development.
 3. All requirements of the City Engineer, as outlined in but not limited to the City Engineer’s report in Attachment 1, shall be met.
 4. All requirements of the Fire Chief shall be met.
 5. Elevations, colors, and materials specific to the Jordan View Landing project shall be provided prior to City Council review.
 6. Any other conditions or modifications added by the Council:
-

Option 2 – Continuance

The Commission may choose to continue one or both of the applications.

"I move to **continue** the Jordan View Landing Preliminary Plat and Site Plan to the Commission meeting on January 8, 2015, with the following direction to Staff and the applicant on information or changes needed to render a decision:

Option 3 – Negative Recommendations

The Commission may forward a negative recommendation on one or both applications.

"I move to forward a **negative recommendation** to the City Council for the Jordan View Landing Preliminary Plat / Site Plan on parcels 58:032:0102, 58:032:0100, and 58:032:0101 as located in Exhibit 2 and detailed in Exhibits 5 and 6, with the Findings below.

Findings:

1. The application does not comply with the following criteria in the Land Development Code, as articulated by the Commission: _____
_____.
2. The application is not consistent with the General Plan as articulated by the Commission: _____
_____.

I. Exhibits:

1. City Engineer’s Report (pages 7-9)
2. Location & Zone Map (page 10)
3. Aerial (page 11)
4. Concept Plan – July 2014 (pages 12-14)
5. Preliminary Plat (pages 15-16)
6. Site Plan (pages 17-31)
 - a. Main Site Plan (p.17-21)
 - b. Landscaping (p.22-24)
 - c. Floor plans, elevations, color (from similar Ivory project elsewhere) (p.25-31)
7. 8/14/2014 Planning Commission Minutes (pages 32-34)
8. 9/2/2014 City Council Minutes (page 35)

City Council Staff Report

Author: Jeremy D. Lapin, City Engineer
Subject: Jordan View Landing (aka Riverside Heights and
Sunset Acres)
Date: December 11, 2014
Type of Item: Preliminary Plat and Site Plan



Description:

A. Topic: The Applicant has submitted a preliminary plat application. Staff has reviewed the submittal and provides the following recommendations.

B. Background:

Applicant: Ivory Development, LLC
Request: Preliminary Plat and Site Plan Approval
Location: Approximately 1550 N. and 400 E.
Acreage: 9.68 acres - 91 Units

C. Recommendation: Staff recommends the approval of preliminary plat subject to the following conditions:

D. Conditions:

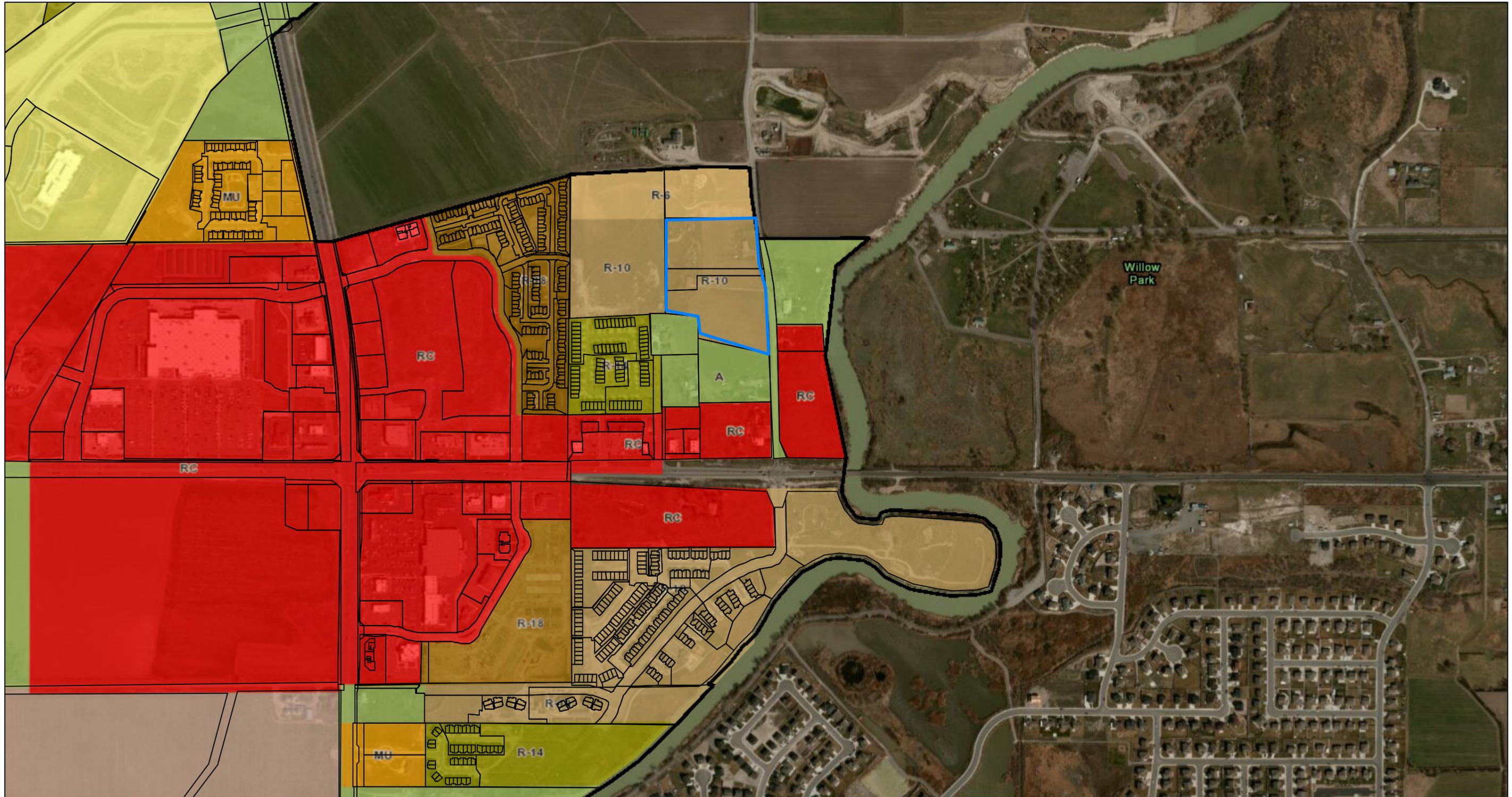
- A. The developer shall prepare final construction drawings as outlined in the City's standards and specifications and receive approval from the City Engineer on those drawings prior to commencing construction.
- B. Developer shall bury and/or relocate any power lines that are within or adjacent to the project.
- C. All roads shall be designed and constructed to City standards and shall incorporate all geotechnical recommendations as per the applicable soils report.
- D. Developer shall provide end of road and end of sidewalk signs per MUTCD at all applicable locations.
- E. Developer shall provide a finished grading plan for all roads and lots and shall stabilize and reseed all disturbed areas.
- F. Developer shall provide plans for and complete all improvements within pedestrian corridors and trails.

- G. Meet all engineering conditions and requirements as well as all Land Development Code requirements in the preparation of the final plat and construction drawings. All application fees are to be paid according to current fee schedules.
- H. All review comments and redlines provided by the City Engineer during the preliminary process are to be complied with and implemented into the final plat and construction plans.
- I. Developer shall prepare and submit easements for all public facilities not located in the public right-of-way
- J. Final plats and plans shall include an Erosion Control Plan that complies with all City, UPDES and NPDES storm water pollution prevention requirements. Project must meet the City Ordinance for Storm Water release (0.2 cfs/acre for all developed property) and shall identify an acceptable location for storm water detention. All storm water must be cleaned as per City standards to remove 80% of Total Suspended Solids and all hydrocarbons and floatables.
- K. Project shall comply with all ADA standards and requirements.
- L. Developer shall provide an updated drainage report that shows compliance with all storm water requirements.
- M. Developer shall provide a cross access easement between units 146 and 147.
- N. Developer shall match road center line to the actual center line of 400 E. and provide the corresponding centerline data.
- O. Developer shall ensure that any existing wells and/or septic systems on site are removed or are abandoned in compliance with all local and state rules and regulations.
- P. Developer shall ensure all fill placed within road ways and home footprints shall be Granular Borrow as per City specifications (USCS A-1-a Classification).
- Q. Pavement sections shall be designed per City Standard requirements.
- R. Developer shall protect structures from upland flows. Developer is also required to ensure that there are no adverse effects to adjacent property owners and future homeowners due to the grading and construction practices employed during completion of this project.
- S. Developer shall provide a complete road design for 400 East to ensure future vertical and horizontal curves can be met. This design shall be from Crossroads Boulevard to the northern most end of the proposed development. Portions of 400 East may need to be

reconstructed between Crossroads Blvd. and the northern end of the proposed development if they do not currently meet City standards.

- T. The existing slopes/berms adjacent to Crossroads Blvd may need to be modified/removed so as to be compliant with all City, UDOT, and AASHTO standards for sight distance requirements.
- U. Sewer, storm drain, culinary water and secondary water will need to be connected to the respective utilities in Crossroads Blvd. The Storm Drain outfall line should be extended to Jordan River and an outlet structure provided to prevent erosion
- V. Culinary and secondary water need to connect at Crossroads Blvd. and at Alhambra Drive to loop the systems and prevent excessive dead end water lines.
- W. Developer shall provide a geotechnical and soils report that provides a proposed design for the large fill required on the property, design must be reviewed and approved by the City Engineer.
- X. ROW cross sections for private roads shall meet public road standards. This includes a ROW width of 40' and centerline curves that have a minimum radius of 200 feet.
- Y. Alhambra shall be constructed as a City standard local road (56' ROW) and be extended to 400 East.

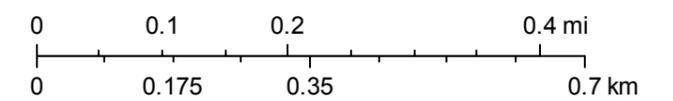
Zoning & Planning



April 16, 2014

1:9,028

- | | | |
|-------------------------------|-----------------------------------|--------------------------|
| City Parcels | R-3 - Low Density Residential | MU - Mixed Use |
| City Boundary | R-6 - Medium Density Residential | PC - Planned Community |
| A - Agricultural | R-10 - Medium Density Residential | RC - Regional Commercial |
| RA-5 | R-14 - High Density Residential | OW - Office Warehouse |
| RR - Rural Residential | R-18 - High Density Residential | |
| R-2 - Low Density Residential | NC - Neighborhood Commercial | |



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Source: Esri, DigitalGlobe, GeoEye, i-cubed, USDA, USGS, AEX, Getmapping, Aerogrid, IGN, IGP, swisstopo, and the GIS User Community

Zoning & Planning

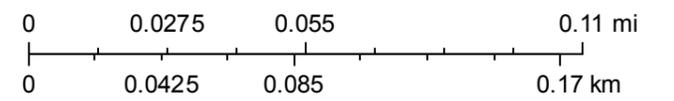
Exhibit 3
Aerial



April 16, 2014

 City Parcels

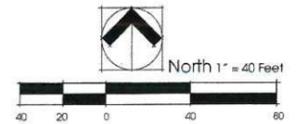
1:2,257



Copyright:© 2014 Esri, DeLorme, HERE, TomTom
Source: Esri, DigitalGlobe, GeoEye, i-cubed, USDA, USGS, AEX,
Getmapping, Aerogrid, IGN, IGP, swisstopo, and the GIS User
Community



- SPORT COURT
- 6 ft. MASONRY WALL
- TOT LOT
- PAVILION

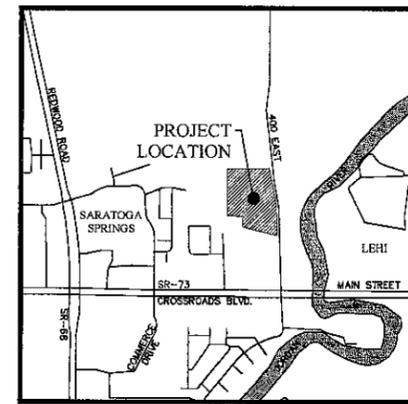


17 JULY 2014
Concept Plan

SUNSET ACRES

Saratoga Springs, Utah
IVORY DEVELOPMENT, 978 WOOD OAK LANE, SALT LAKE CITY, UTAH


R. MICHAEL KELLY
CONSULTANTS
LAND PLANNING • LANDSCAPE ARCHITECTURE
P.O. Box 469, Millville, UT 84326 435.753.2955



VICINITY MAP
 N.T.S.

CONCEPT BOUNDARY DESCRIPTION

A portion of that Real Property described in Deed Book 810 Page 387 of the Official Records of Utah County located in the SE1/4 of Section 11 & the NE1/4 of Section 14, Township 5 South, Range 1 West, Salt Lake Base & Meridian, located in Saratoga Springs, Utah, more particularly described as follows:
 Beginning at the southeast corner of that Real Property described in Deed Book 2008 Page 80 of the Official Records of Utah County located S89°51'44"W along the Section line 216.35 feet and N0°08'16"W 121.48 feet from the Northeast Corner of Section 14, T5S, R1W, S.L.B. & M.; thence along the boundary of said Deed Book 810 Page 387 the following 7 (seven) courses and distances: S8°56'16"E 343.89 feet; thence S4°42'16"E 304.40 feet; thence S1°39'16"E 175.80 feet; thence N77°02'16"W 442.10 feet; thence N0°36'16"W 126.50 feet; thence N83°19'16"W 199.00 feet; thence N0°02'16"W 568.70 feet to the southwest corner of said Deed Book 2008 Page 80; thence N89°51'44"E along said deed 546.72 feet to the point of beginning.

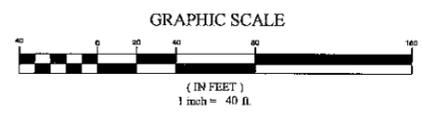
Contains: 9.69 +/- acres

DEVELOPMENT TABLE

- NUMBER OF PROPOSED TOWN HOMES = 91
- NUMBER OF PROPOSED GARAGE SPACES = 182 (2 EA. TOWN HOME)
- NUMBER OF PROPOSED DRIVEWAY PARKING SPACES = 182 (2 EA. TOWN HOME)
- NUMBER OF PROPOSED GUEST PARKING SPACES = 39
- PERCENTAGE OF BUILDABLE LAND = 69%
- PERCENTAGE OF OPEN SPACE = 32%
- OPEN SPACE = 13645 SQFT
- NET DENSITY = 9.91 UNITS/ACRE

NOTES:

1. THE SUBJECT PROPERTY IS LOCATED IN THE FEMA FLOOD ZONE X PER THE FEMA MAP 4902090115 C, DATED JULY 17, 2002.
2. SEWER, STORM DRAIN, CULINARY WATER, AND SECONDARY WATER WILL NEED TO CONNECT TO THE RESPECTIVE UTILITIES IN CROSSROADS BLVD. CULINARY AND SECONDARY WATER NEED TO CONNECT AT CROSSROADS BLVD AND AT ALHAMBRA DRIVE TO LOOP THE SYSTEMS AND PREVENT EXCESSIVE DEAD END WATER LINES.
3. A COMPLETE ROAD DESIGN OF 400 EAST WILL BE REQUIRED FROM THE NORTHERN END OF THE PROPERTY TO CROSSROADS BLVD, EVEN THOUGH ONLY A PORTION WILL BE IMPROVED. THIS IS REQUIRED TO ENSURE THAT PROPER VERTICAL AND HORIZONTAL CURVES FOR THE ROAD CAN BE CREATED BASED ON THE DESIGN FOR YOUR FRONTAGE.
4. THE NORTH PORTION OF 400 EAST IS LOCATED WITHIN LEHI CITY BOUNDARIES. WE WILL NEED TO COLLABORATE WITH BOTH LEHI AND SARATOGA SPRINGS ON AN APPROPRIATE ROAD CROSS-SECTION.
5. ALL TRASH STORAGE WILL BE HANDLED WITH INDIVIDUAL TRASH RECEPTACLES IN THE GARAGE OF EACH UNIT. THE OCCUPANTS WILL BE RESPONSIBLE TO BRING THEIR TRASH RECEPTACLE CURB SIDE ON THE DAY OF TRASH PICKUP.

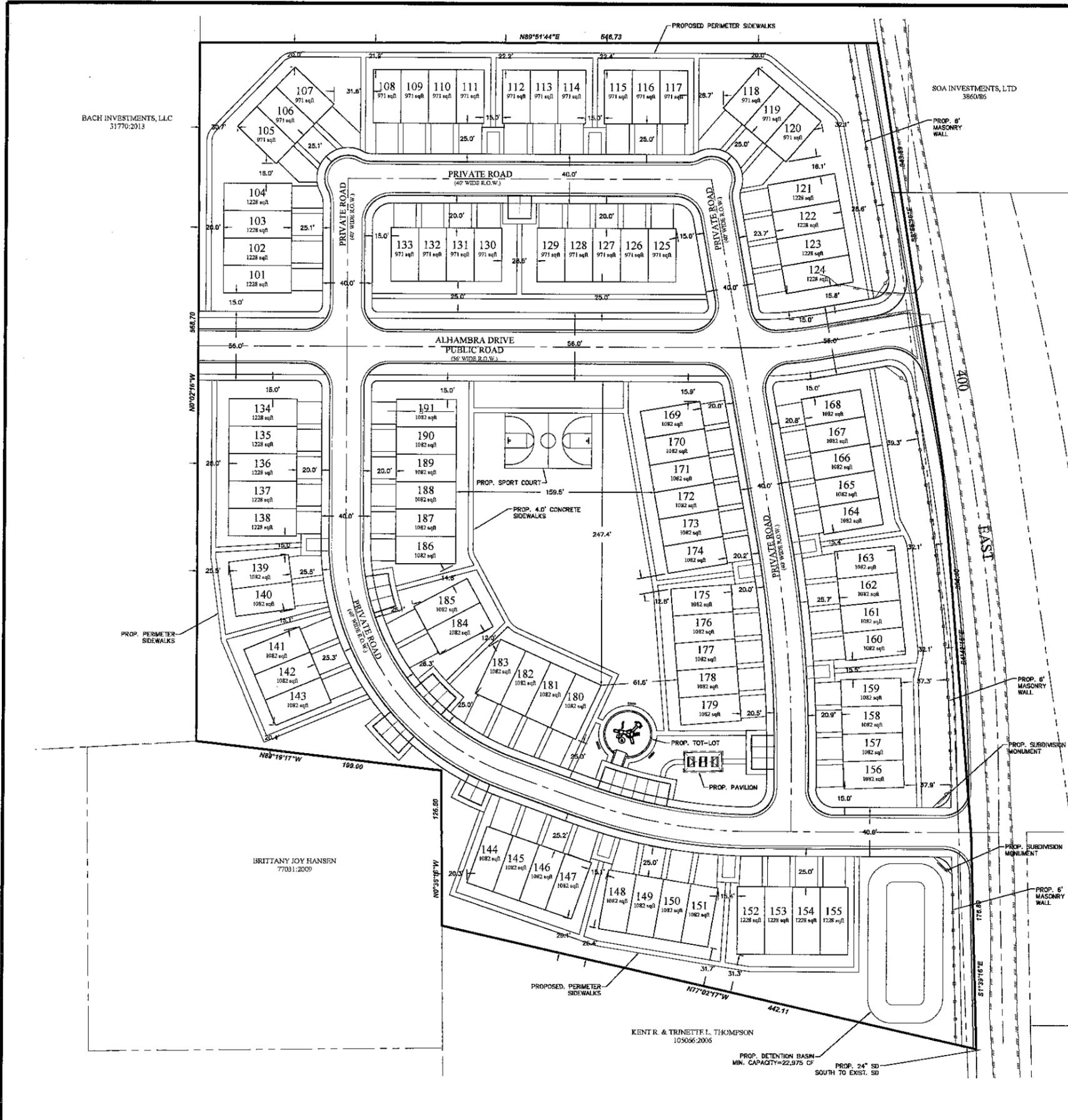


SUNSET ACRES
 Saratoga Springs
 Concept Plan

REVISION BLOCK	DATE	DESCRIPTION
1		
2		
3		
4		
5		
6		

Concept Plan

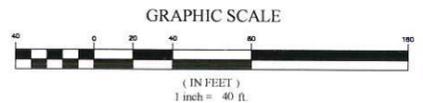
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 Drawn: TMR
 Job #: 14-002
 Sheet: C1





DEVELOPMENT TABLE

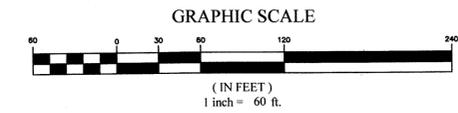
- NUMBER OF TOWNE HOME LOTS - 91 LOTS
- NUMBER OF PROPOSED GARAGE SPACES - 182
- NUMBER OF PROPOSED DRIVEWAY PARKING SPACES - 182
- NUMBER OF GUEST PARKING STALLS - 30
- TOTAL PARKING - 394
- PERCENTAGE OF BUILDABLE LAND - 68%
- PERCENTAGE OF QUALIFIED OPEN SPACE* - 32%
- QUALIFIED OPEN SPACE: 136,901 SQFT
- NET DENSITY - 9.91 UNITS/ACRE



SUNSET ACRES
Saratoga Springs
Open Space Exhibit

REVISION BLOCK	
NO.	DESCRIPTION

Open Space Exhibit	
Scale: 1"=40'	Drawn: TMB
Date: 7/16/2014	Job #: 14-002
Sheet: C4	



RIVERSIDE HEIGHTS

PREPARED FOR:
IVORY HOMES
LOCATED IN:
SARATOGA SPRINGS, UTAH



VICINITY MAP

NTS

PLANNING COMMISSION

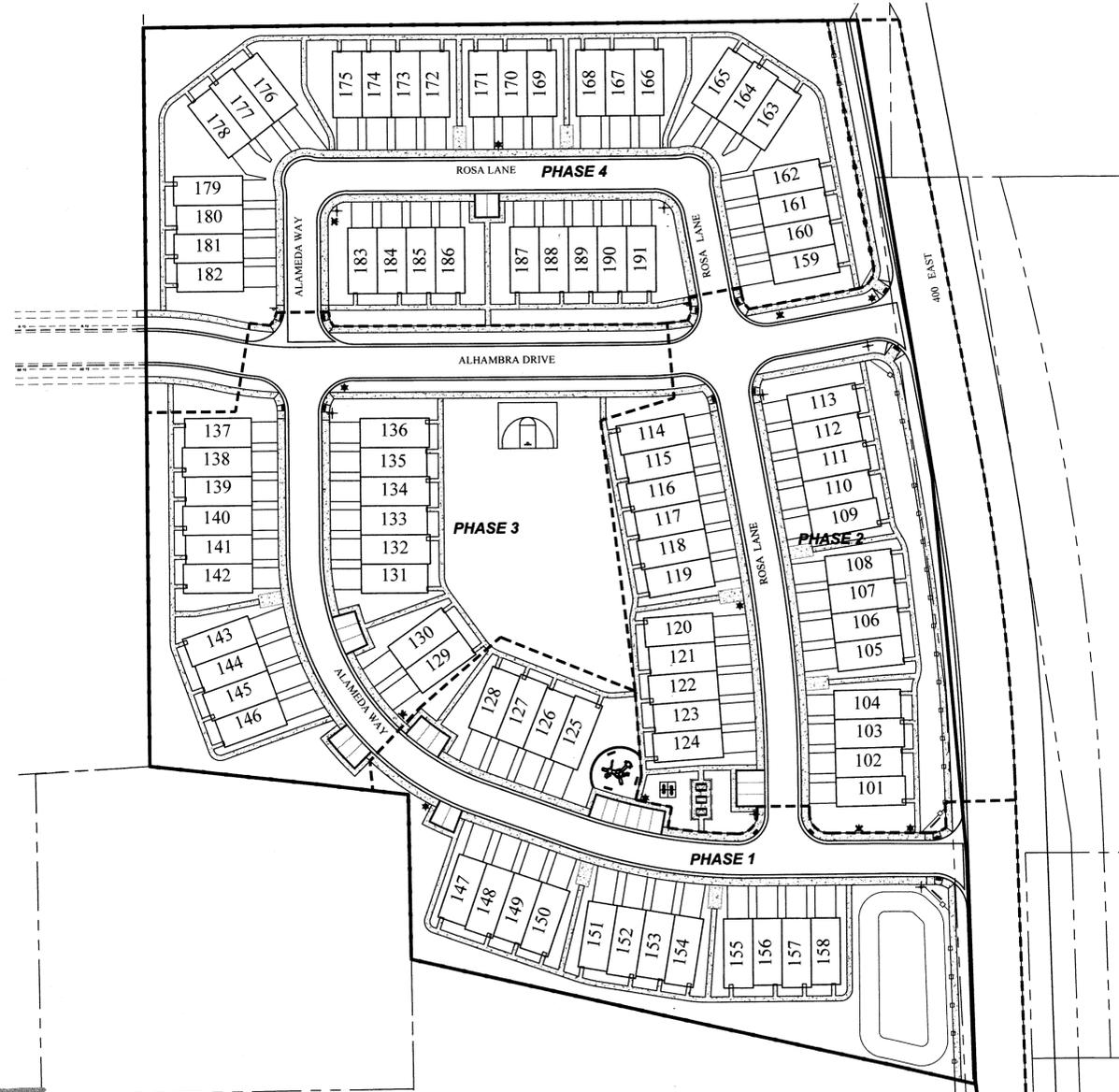
APPROVED THIS _____ DAY OF _____ A.D.,
20____ BY THE SARATOGA SPRINGS CITY PLANNING
COMMISSION

CHAIRMAN, CITY PLANNING COMMISSION

CITY COUNCIL

APPROVED THIS _____ DAY OF _____ A.D.,
20____ BY THE SARATOGA SPRINGS CITY COUNCIL

CHAIRMAN, SARATOGA SPRINGS CITY COUNCIL



SITE MAP

MATCHLINE PHASE 1
SEE SHEET C7

GENERAL NOTES

- CONTRACTOR TO FIELD VERIFY HORIZONTAL AND VERTICAL LOCATIONS OF ALL EXISTING UTILITIES PRIOR TO COMMENCEMENT OF CONSTRUCTION, AND REPORT ANY DISCREPANCIES TO THE ENGINEER.
- ANY AND ALL DISCREPANCIES IN THESE PLANS ARE TO BE BROUGHT TO THE ENGINEER'S ATTENTION PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- ALL CONSTRUCTION SHALL ADHERE TO SARATOGA SPRINGS STANDARDS AND SPECIFICATIONS
- ALL UTILITIES AND ROAD IMPROVEMENTS SHOWN ON THE PLANS HEREIN SHALL BE CONSTRUCTED USING REFERENCE TO SURVEY CONSTRUCTION STAKES PLACED UNDER THE SUPERVISION OF A PROFESSIONAL LICENSED SURVEYOR WITH A CURRENT LICENSE ISSUED BY THE STATE OF UTAH. ANY IMPROVEMENTS INSTALLED BY ANY OTHER VERTICAL OR HORIZONTAL REFERENCE WILL NOT BE ACCEPTED OR CERTIFIED BY THE ENGINEER OF RECORD.
- POST-APPROVED ALTERATIONS TO LIGHTING PLANS OR INTENDED SUBSTITUTIONS FOR APPROVED LIGHTING EQUIPMENT SHALL BE SUBMITTED TO THE CITY FOR REVIEW AND APPROVAL.
- THE CITY RESERVES THE RIGHT TO CONDUCT POST-INSTALLATION INSPECTIONS TO VERIFY COMPLIANCE WITH THE CITY'S REQUIREMENTS AND APPROVED LIGHTING COMMITMENTS, AND IF DEEMED APPROPRIATE BY THE CITY, TO REQUIRE REMEDIAL ACTION AT NO EXPENSE TO THE CITY.
- ALL EXTERIOR LIGHTING SHALL MEET IESNA FULL-CUTOFF CRITERIA UNLESS OTHERWISE APPROVED BY THE CITY.

ENGINEER'S NOTES TO CONTRACTOR

- THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITY PIPES, CONDUITS OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED BY A SEARCH OF THE AVAILABLE RECORDS. TO THE BEST OF OUR KNOWLEDGE, THERE ARE NO EXISTING UTILITIES EXCEPT AS SHOWN ON THESE PLANS. THE CONTRACTOR IS REQUIRED TO TAKE DUE PRECAUTIONARY MEASURES TO PROTECT THE UTILITY LINES SHOWN ON THESE DRAWINGS. THE CONTRACTOR FURTHER ASSUMES ALL LIABILITY AND RESPONSIBILITY FOR THE UTILITY PIPES, CONDUITS OR STRUCTURES SHOWN OR NOT SHOWN ON THESE DRAWINGS. IF UTILITY LINES ARE ENCOUNTERED DURING CONSTRUCTION THAT ARE NOT IDENTIFIED BY THESE PLANS, CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY.
- CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE CITY, THE OWNER, AND THE ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR THE ENGINEER.
- UNAUTHORIZED CHANGES & USES: THE ENGINEER PREPARING THESE PLANS WILL NOT BE RESPONSIBLE FOR, OR LIABLE FOR, UNAUTHORIZED CHANGES TO OR USES OF THESE PLANS. ALL CHANGES TO THE PLANS MUST BE IN WRITING AND MUST BE APPROVED BY THE PREPARER OF THESE PLANS.
- ALL CONTOUR LINES SHOWN ON THE PLANS ARE AN INTERPRETATION BY CAD SOFTWARE OF FIELD SURVEY WORK PERFORMED BY A LICENSED SURVEYOR. DUE TO THE POTENTIAL DIFFERENCES IN INTERPRETATION OF CONTOURS BY VARIOUS TYPES OF GRADING SOFTWARE BY OTHER ENGINEERS OR CONTRACTORS, FOCUS DOES NOT GUARANTEE OR WARRANT THE ACCURACY OF SUCH LINEWORK. FOR THIS REASON, FOCUS WILL NOT PROVIDE ANY GRADING CONTOURS IN CAD FOR ANY TYPE OF USE BY THE CONTRACTOR. SPOT ELEVATIONS AND PROFILE ELEVATIONS SHOWN IN THE DESIGN DRAWINGS GOVERN ALL DESIGN INFORMATION ILLUSTRATED ON THE APPROVED CONSTRUCTION SET. CONSTRUCTION EXPERTISE AND JUDGMENT BY THE CONTRACTOR IS ANTICIPATED BY THE ENGINEER TO COMPLETE BUILD-OUT OF THE INTENDED IMPROVEMENTS.

Sheet List Table

Sheet Number	Sheet Title
C1	Cover
C2	Preliminary Plat
C3	Existing & Demolition Plan
C4	Site Plan
C5	Grading & Drainage Plan
C6	Utility Plan
C7	400 East Offsite Plan
C8	Erosion Control Plan
C9	Overall Landscape Plan

DATA TABLE

	ACRES	SQUARE FEET	% OF TOTAL
TOTAL AREA	9.69	421,935	100%
TOTAL IMPERVIOUS AREA	6.04	263,102	62%
TOTAL BUILDING PAD AREA	2.42	105,417	25%
TOTAL LANDSCAPE AREA	3.65	158,833	38%
TOTAL ROW	2.51	109,356	26%
TOTAL LOTS = 91 TOTAL BUILDINGS = 22 NET DENSITY = 9.4 UNITS/ACRE			
GARAGE PARKING SPACES = 182			
DRIVEWAY PARKING SPACES = 182			
OFF-STREET PARKING SPACES = 30			
TOTAL PARKING SPACES = 394			

DWELLING TABLE

MODEL NAME*	BASEMENT (SF) (UNFINISHED)	LEVEL 1 (SF) (FINISHED)	LEVEL 2 (SF) (FINISHED)	TOTAL (SF) (FINISHED)
VANCOUVER	447	473	794	1267
OLYMPIA	528	557	810	1367
BELLEVUE	447	473	638	1111

*NOTE: BUILDING PADS ARE SIZED TO ACCOMMODATE ANY OF THE 3 FLOOR PLANS

CONTACTS

ENGINEER & SURVEYOR
FOCUS ENGINEERING & SURVEYING
502 WEST 8360 SOUTH
SANDY, UTAH 84070
(801) 352-0075
CONTACT: TRAVIS BENSON

OWNER/DEVELOPER
IVORY DEVELOPMENT
978 WOODOAK LANE
SALT LAKE CITY, UTAH 84117
(801) 747-7000
CONTACT: KEN WATSON

SARATOGA SPRINGS
1307 N. COMMERCE DR. #200
SARATOGA SPRINGS, UTAH 84045
(801) 766-9793

BENCHMARK

NORTHEAST CORNER OF SECTION 14
TOWNSHIP 5 SOUTH, RANGE 1 WEST
SALT LAKE BASE AND MERIDIAN
ELEV: 4518.08



RIVERSIDE HEIGHTS

Saratoga Springs

Cover

REVISION BLOCK	DATE	DESCRIPTION
1		
2		
3		
4		
5		
6		

COVER

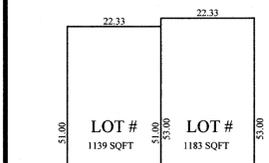
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Date: 10/09/14
Sheet: C1



VICINITY MAP
N.T.S.

Curve Table				
CURVE	RADIUS	DELTA	LENGTH	CHORD DIRECTION
C1	250.00	13°29'02"	58.83	N83°23'45"W
C2	250.00	13°20'46"	58.23	S83°19'37"E
C3	250.00	10°04'44"	43.98	N84°57'38"E
C4	19.00	33°07'57"	10.99	N26°33'58"W
C5	200.00	69°55'10"	244.06	S34°57'35"E
C6	400.00	20°04'21"	140.13	S79°57'20"E
C7	1005.00	10°00'30"	175.55	N04°59'45"W
C8	222.00	13°29'48"	52.29	N83°24'08"W
C9	278.00	13°28'26"	65.38	N83°23'27"W
C10	278.00	13°20'46"	64.76	S83°19'37"E
C11	222.00	13°20'46"	51.71	S83°19'37"E
C12	222.00	7°54'14"	30.62	S80°36'21"E
C13	222.00	5°26'32"	21.09	S87°16'44"E
C14	278.00	9°31'29"	46.21	S81°24'58"E
C15	278.00	3°49'17"	18.54	S88°05'22"E
C16	278.00	7°02'26"	34.16	N86°28'47"E
C17	222.00	10°04'44"	39.05	N84°57'38"E
C18	222.00	8°54'03"	34.49	N85°32'58"E
C19	222.00	1°10'40"	4.56	N80°30'36"E
C20	278.00	9°20'13"	45.30	N85°19'53"E
C21	278.00	0°44'31"	3.60	N89°17'32"E
C22	15.00	90°00'00"	23.56	N34°55'16"E
C23	15.00	90°00'00"	23.56	N55°04'44"W
C24	1665.50	8°33'59"	248.71	N05°47'44"W
C25	19.00	35°27'19"	11.76	S27°43'40"E
C26	19.00	38°30'02"	12.77	N69°15'01"E
C27	15.00	80°00'00"	20.94	N50°00'00"W
C28	15.00	13°53'26"	3.64	S03°03'17"E
C29	25.00	107°46'53"	47.03	N50°00'00"W
C30	15.00	13°53'26"	3.64	N83°03'17"E
C31	15.00	90°00'00"	23.56	S45°00'00"W
C32	25.00	121°06'13"	52.84	S45°00'00"W
C33	25.00	121°06'13"	52.84	S45°00'00"W
C34	15.00	15°33'07"	4.07	N07°46'33"W
C35	19.00	42°50'38"	14.21	N21°25'19"E
C36	19.00	35°22'36"	11.73	S17°41'18"E
C37	19.00	29°58'27"	9.94	N14°59'13"W
C38	19.00	35°22'36"	11.73	S17°41'18"E
C39	220.00	69°55'10"	268.47	S34°57'35"E
C40	180.00	69°55'10"	219.66	S34°57'35"E
C41	420.00	20°04'21"	147.14	S79°57'20"E
C42	380.00	18°29'52"	122.68	S79°10'06"E
C43	19.00	33°51'21"	11.23	N73°03'50"W
C44	19.00	36°53'50"	12.24	N71°33'35"E
C45	15.00	90°00'00"	23.56	S44°59'30"E
C46	15.00	91°34'29"	23.97	N45°47'44"E
C47	1025.00	10°00'30"	179.04	N04°59'45"W
C48	985.00	10°00'30"	172.06	N04°59'45"W
C49	19.00	35°17'52"	11.71	S07°38'56"W

Line Table		
LINE	LENGTH	DIRECTION
L1	4.01	N90°00'00"E
L2	4.01	N90°00'00"W
L3	4.01	N90°00'00"E
L4	19.53	N79°55'16"E
L5	19.49	N79°55'16"E
L6	19.57	S79°55'16"W
L7	21.28	S16°13'45"W
L8	19.62	S09°18'49"W
L9	18.64	S22°21'40"E
L10	21.52	S35°27'57"W
L11	22.20	S39°48'51"W
L12	16.21	S17°18'05"W
L13	59.01	N41°56'14"W
L14	15.81	N54°35'18"W
L15	15.92	N39°35'56"W
L16	24.72	N52°38'59"W
L17	40.02	S46°27'35"E
L18	35.46	S01°46'44"W
L19	59.26	S76°15'53"W
L20	38.28	N32°32'56"E
L21	24.50	S71°33'47"E
L22	23.80	S88°26'27"E
L23	113.75	S49°43'00"E
L24	18.60	S46°19'57"E
L25	17.74	S30°05'23"W
L26	23.41	N66°14'15"E
L27	15.00	N90°00'00"E
L28	15.00	N90°00'00"E
L29	28.71	S69°39'15"E
L30	17.33	N38°20'37"W
L31	27.79	N59°41'25"E
L32	15.81	S71°33'54"E
L33	34.77	N90°00'00"E
L34	27.07	S22°33'13"W



LEGEND

- PRIVATE AREA
- DEDICATED TO SARATOGA SPRINGS AS PUBLIC ROW
- OPEN SPACE

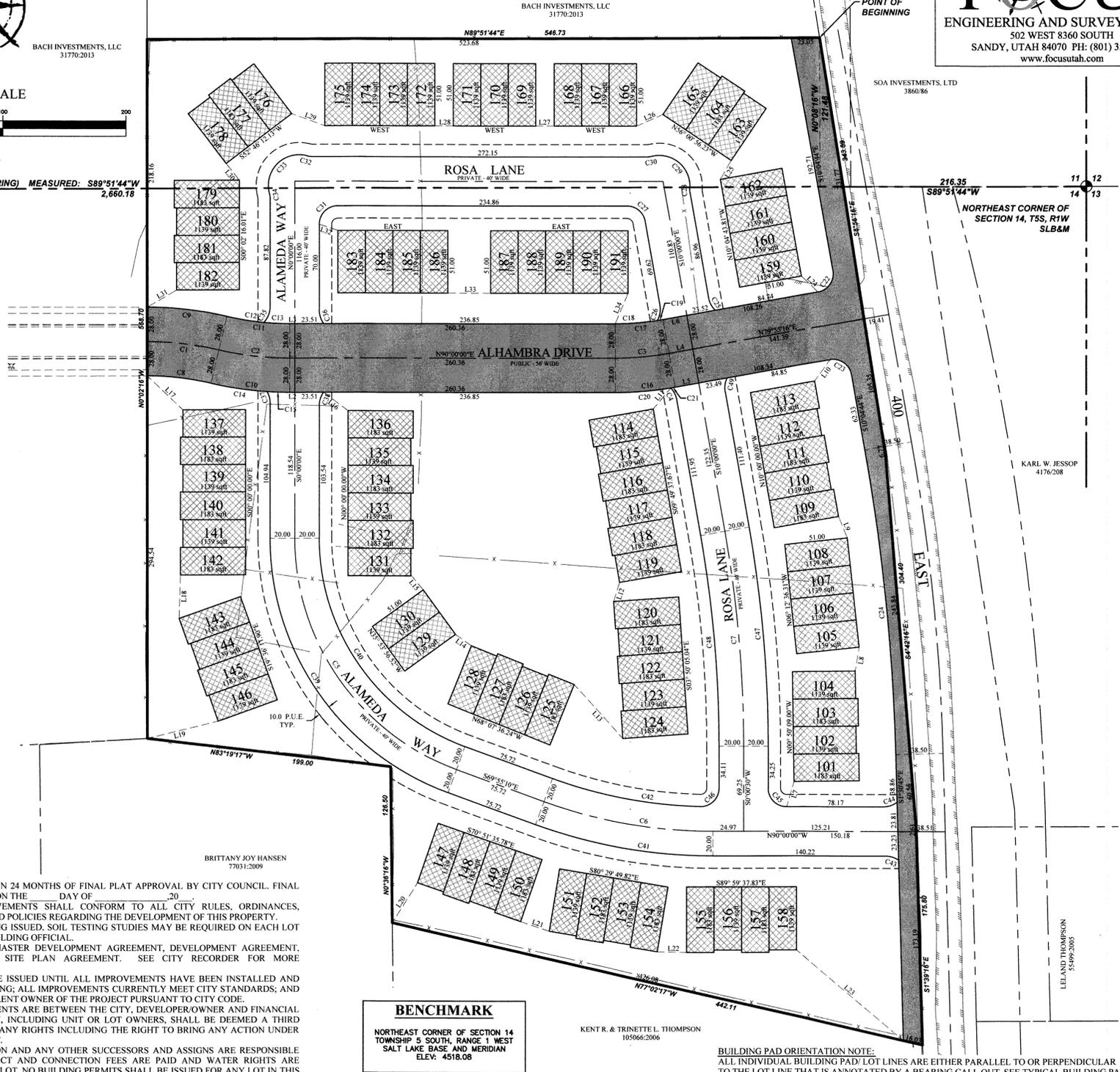
TYP. 51' & 53' BUILDING PAD

GENERAL NOTES:

- PLAT MUST BE RECORDED WITHIN 24 MONTHS OF FINAL PLAT APPROVAL BY CITY COUNCIL. FINAL PLAT APPROVAL WAS GRANTED ON THE _____ DAY OF _____, 20____.
- THE INSTALLATION OF IMPROVEMENTS SHALL CONFORM TO ALL CITY RULES, ORDINANCES, REQUIREMENTS, STANDARDS, AND POLICIES REGARDING THE DEVELOPMENT OF THIS PROPERTY.
- PRIOR TO BUILDING PERMIT BEING ISSUED, SOIL TESTING STUDIES MAY BE REQUIRED ON EACH LOT AS DETERMINED BY THE CITY BUILDING OFFICIAL.
- PLAT MAY BE SUBJECT TO A MASTER DEVELOPMENT AGREEMENT, DEVELOPMENT AGREEMENT, SUBDIVISION AGREEMENT, OR SITE PLAN AGREEMENT. SEE CITY RECORDER FOR MORE INFORMATION.
- BUILDING PERMITS WILL NOT BE ISSUED UNTIL ALL IMPROVEMENTS HAVE BEEN INSTALLED AND ACCEPTED BY THE CITY IN WRITING; ALL IMPROVEMENTS CURRENTLY MEET CITY STANDARDS; AND BONDS ARE POSTED BY THE CURRENT OWNER OF THE PROJECT PURSUANT TO CITY CODE.
- ALL BONDS AND BOND AGREEMENTS ARE BETWEEN THE CITY, DEVELOPER/OWNER AND FINANCIAL INSTITUTION. NO OTHER PARTY, INCLUDING UNIT OR LOT OWNERS, SHALL BE DEEMED A THIRD PARTY BENEFICIARIES OR HAVE ANY RIGHTS INCLUDING THE RIGHT TO BRING ANY ACTION UNDER ANY BOND OR BOND AGREEMENT.
- THE OWNER OF THIS SUBDIVISION AND ANY OTHER SUCCESSORS AND ASSIGNS ARE RESPONSIBLE FOR THE ENSURING THAT IMPACT AND CONNECTION FEES ARE PAID AND WATER RIGHTS ARE SECURED FOR EACH INDIVIDUAL LOT. NO BUILDING PERMITS SHALL BE ISSUED FOR ANY LOT IN THIS SUBDIVISION UNTIL ALL IMPACT AND CONNECTIONS FEES AT THE RATES IN EFFECT WHEN APPLYING FOR BUILDING PERMIT, ARE PAID IN FULL AND WATER RIGHTS SECURED AS SPECIFIED BY CURRENT CITY ORDINANCES AND FEE SCHEDULES.
- ALL OPEN SPACE AND TRAIL IMPROVEMENTS LOCATED HEREIN ARE TO BE INSTALLED BY OWNER AND MAINTAINED BY A HOMEOWNERS ASSOCIATION UNLESS SPECIFIED OTHERWISE ON EACH IMPROVEMENT.
- ANY REFERENCE HEREIN TO OWNERS, DEVELOPERS, OR CONTRACTORS SHALL APPLY TO SUCCESSORS, AGENTS AND ASSIGNS.
- NO CITY MAINTENANCE IS PROVIDED ON ALL STREETS DESIGNATED AS "PRIVATE"
- ALL UNITS WITHIN THIS SUBDIVISION WILL BE SUBJECT TO THE HOME OWNERS ASSOCIATION BYLAWS, ARTICLES OF INCORPORATION AND CC&RS.

RIVERSIDE HEIGHTS

LOCATED IN THE SE¼ OF SECTION 11 AND THE NE¼ OF SECTION 14, TOWNSHIP 5 SOUTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN SARATOGA SPRINGS CITY, UTAH COUNTY, UTAH



BENCHMARK
NORTHEAST CORNER OF SECTION 14
TOWNSHIP 5 SOUTH, RANGE 1 WEST
SALT LAKE BASE AND MERIDIAN
ELEV: 4518.08

BUILDING PAD ORIENTATION NOTE:
ALL INDIVIDUAL BUILDING PAD/LOT LINES ARE EITHER PARALLEL TO OR PERPENDICULAR TO THE LOT LINE THAT IS ANNOTATED BY A BEARING CALL OUT. SEE TYPICAL BUILDING PAD DETAIL THIS SHEET FOR LOT LINE DIMENSIONS

BY SIGNING THIS PLAT, THE FOLLOWING UTILITY COMPANIES ARE APPROVING THE: (A) BOUNDARY, COURSE DIMENSIONS, AND INTENDED USE OF THE RIGHT-OF-WAY AND EASEMENT GRANTS OF RECORD; (B) LOCATION OF EXISTING UNDERGROUND AND UTILITY FACILITIES; (C) CONDITIONS OR RESTRICTIONS GOVERNING THE LOCATION OF THE FACILITIES WITHIN THE RIGHT-OF-WAY, AND EASEMENT GRANTS OF RECORD, AND UTILITY FACILITIES WITHIN THE SUBDIVISION. *APPROVING* SHALL HAVE THE MEANING IN UTAH CODE SECTION 10-40-603(4)(c)(ii).

<p>QUESTAR GAS COMPANY</p> <p>Approved this _____ day of _____, A.D. 20____</p> <p>QUESTAR GAS COMPANY</p>	<p>ROCKY MOUNTAIN POWER</p> <p>Approved this _____ day of _____, A.D. 20____</p> <p>ROCKY MOUNTAIN POWER</p>	<p>COMCAST CABLE TELEVISION</p> <p>Approved this _____ day of _____, A.D. 20____</p> <p>COMCAST CABLE TELEVISION</p>	<p>CENTURY LINK</p> <p>Approved this _____ day of _____, A.D. 20____</p> <p>CENTURY LINK</p>
<p>FIRE CHIEF APPROVAL</p> <p>Approved by the Fire Chief on this _____ day of _____, A.D. 20____</p> <p>CITY FIRE CHIEF</p>	<p>PLANNING COMMISSION APPROVAL</p> <p>Approved by the Planning Commission on this _____ day of _____, A.D. 20____</p> <p>CHAIRMAN, PLANNING COMMISSION</p>	<p>SARATOGA SPRINGS ENGINEER APPROVAL</p> <p>Approved by the City Engineer on this _____ day of _____, A.D. 20____</p> <p>CITY ENGINEER</p>	<p>SARATOGA SPRINGS ATTORNEY</p> <p>Approved by Saratoga Springs Attorney on this _____ day of _____, A.D. 20____</p> <p>SARATOGA SPRINGS ATTORNEY</p>
		<p>LEHI CITY POST OFFICE</p> <p>Approved by Post Office Representative on this _____ day of _____, A.D. 20____</p> <p>LEHI CITY POST OFFICE REPRESENTATIVE</p>	

PREPARED BY

FOCUS
ENGINEERING AND SURVEYING, LLC
502 WEST 8360 SOUTH CITY FIRE CHIEF
SANDY, UTAH 84070 PH: (801) 352-0075
www.focusutah.com

SURVEYOR'S CERTIFICATE

I, Dennis P. Carlisle, do hereby certify that I am a Professional Land Surveyor, and that I hold Certificate No. 172675 in accordance with Title 58, Chapter 22 of Utah State Code. I further certify by authority of the owner(s) that I have completed a Survey of the property described on this Plat in accordance with Section 17-23-17 of said Code, and have subdivided said tract of land into lots, blocks, streets, and easements, and the same has, or will be correctly surveyed, staked and monumented on the ground as shown on this Plat, and that this Plat is true and correct.

BOUNDARY DESCRIPTION

A portion of that Real Property described in Deed Book 810 Page 387 of the Official Records of Utah County located in the SE¼ of Section 11 & the NE¼ of Section 14, Township 5 South, Range 1 West, Salt Lake Base & Meridian, located in Saratoga Springs, Utah, more particularly described as follows:
Beginning at the southeast corner of that Real Property described in Deed Book 2008 Page 80 of the Official Records of Utah County located S89°51'44"W along the Section line 216.35 feet and N0°08'16"W 121.48 feet from the Northeast Corner of Section 14, T5S, R1W, S.L.B. & M.; thence along the boundary of said Deed Book 810 Page 387 the following 7 (seven) courses and distances: S8°56'16"E 343.89 feet; thence S4°42'16"E 304.40 feet; thence S1°39'16"E 175.80 feet; thence N77°02'16"W 442.10 feet; thence N0°36'16"W 126.50 feet; thence N83°19'16"W 199.00 feet; thence N0°02'16"W 568.70 feet to the southwest corner of said Deed Book 2008 Page 80; thence N89°51'44"E along said deed 546.72 feet to the point of beginning.

Contains: 9.69+/- acres

Dennis P. Carlisle _____ Date _____
Professional Land Surveyor
Certificate No. 172675

OWNER'S DEDICATION

KNOW ALL MEN BY THESE PRESENTS THAT _____, THE _____ UNDERSIGNED OWNERS OF THE ABOVE DESCRIBED TRACT OF LAND HAVING CAUSED SAME TO BE SUBDIVIDED INTO LOTS AND STREETS TO BE HEREAFTER KNOWN AS

RIVERSIDE HEIGHTS

DO HEREBY DEDICATE FOR PERPETUAL USE OF THE PUBLIC AND/OR CITY ALL PARCELS OF LAND, EASEMENTS AND PUBLIC AMENITIES SHOWN ON THIS PLAT AS INTENDED FOR PUBLIC USE. THE OWNER(S) WARRANT AND DEFEND AND SAVE THE CITY HARMLESS AGAINST ANY EASEMENTS OR OTHER ENCUMBRANCES ON A DEDICATED STREET WHICH WILL INTERFERE WITH THE CITY'S USE, MAINTENANCE AND OPERATION OF THE STREET.

IN WITNESS WHEREOF WE HAVE HEREUNTO SET OUR HANDS THIS _____ DAY OF _____, A.D. 20____

LIMITED LIABILITY ACKNOWLEDGEMENT

ON THE _____ DAY OF _____, A.D. 20____, PERSONALLY APPEARED BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC, IN AND FOR THE COUNTY OF SALT LAKE, IN SAID STATE OF UTAH, _____, WHO AFTER BEING DULY SWORN, ACKNOWLEDGED TO ME THAT HE IS THE _____ OF _____, A UTAH LLC, AND THAT HE SIGNED THE OWNERS DEDICATION FREELY AND VOLUNTARILY FOR AND IN BEHALF OF SAID LIMITED LIABILITY COMPANY FOR THE PURPOSES THEREIN MENTIONED.

MY COMMISSION EXPIRES _____

NOTARY PUBLIC
RESIDING IN SALT LAKE COUNTY

CORPORATE ACKNOWLEDGMENT

STATE OF UTAH)
COUNTY OF UTAH)

ON THIS _____ DAY OF _____, 20____, PERSONALLY APPEARED BEFORE ME _____ (name of document signer) WHOSE IDENTITY IS PERSONALLY KNOWN TO ME (OR PROVEN ON THE BASIS OF SATISFACTORY EVIDENCE) AND WHO BY ME DULY SWORN/AFFIRMED, DID SAY THAT HE/SHE IS THE _____ OF _____ (Name of Corporation) AND THAT SAID DOCUMENT WAS SIGNED BY HIM/HER IN BEHALF OF SAID CORPORATION BY AUTHORITY OF ITS BYLAWS, OR (RESOLUTION OF ITS BOARD OF DIRECTORS), AND SAID _____ ACKNOWLEDGED TO ME THAT SAID CORPORATION EXECUTED THE SAME.

NOTARY PUBLIC

ACCEPTANCE BY LEGISLATIVE BODY

THE CITY OF SARATOGA SPRINGS, COUNTY OF UTAH, APPROVES THIS SUBDIVISION AND HEREBY ACCEPTS THE DEDICATION OF ALL STREETS, EASEMENTS AND OTHER PARCELS OF LAND INTENDED FOR PUBLIC PURPOSES FOR THE PERPETUAL USE OF THE PUBLIC THIS _____ DAY OF _____, A.D. 20____

APPROVED BY MAYOR _____

APPROVED BY ENGINEER (SEE SEAL BELOW) _____ ATTEST _____ CITY-RECORDER (SEE SEAL BELOW)

RIVERSIDE HEIGHTS

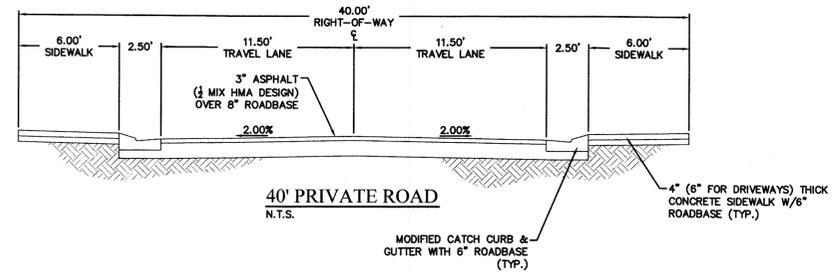
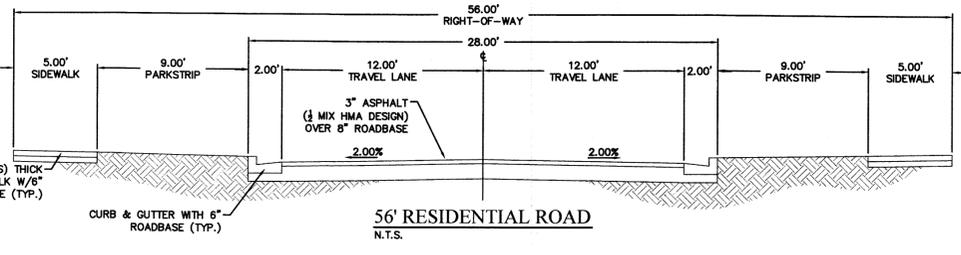
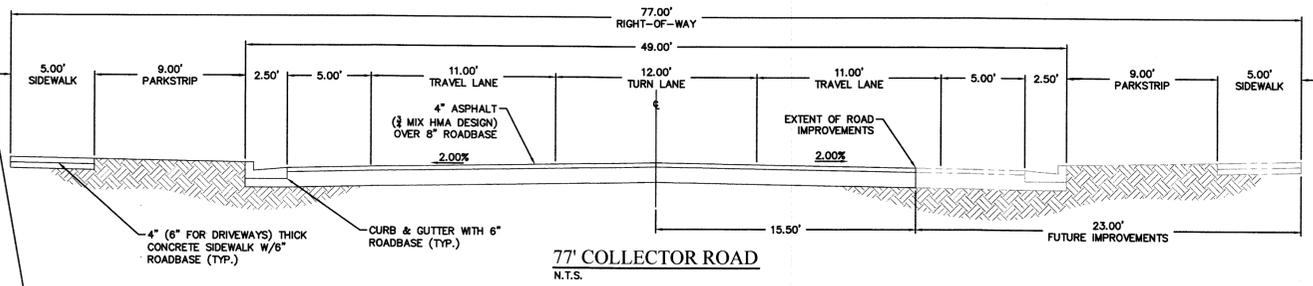
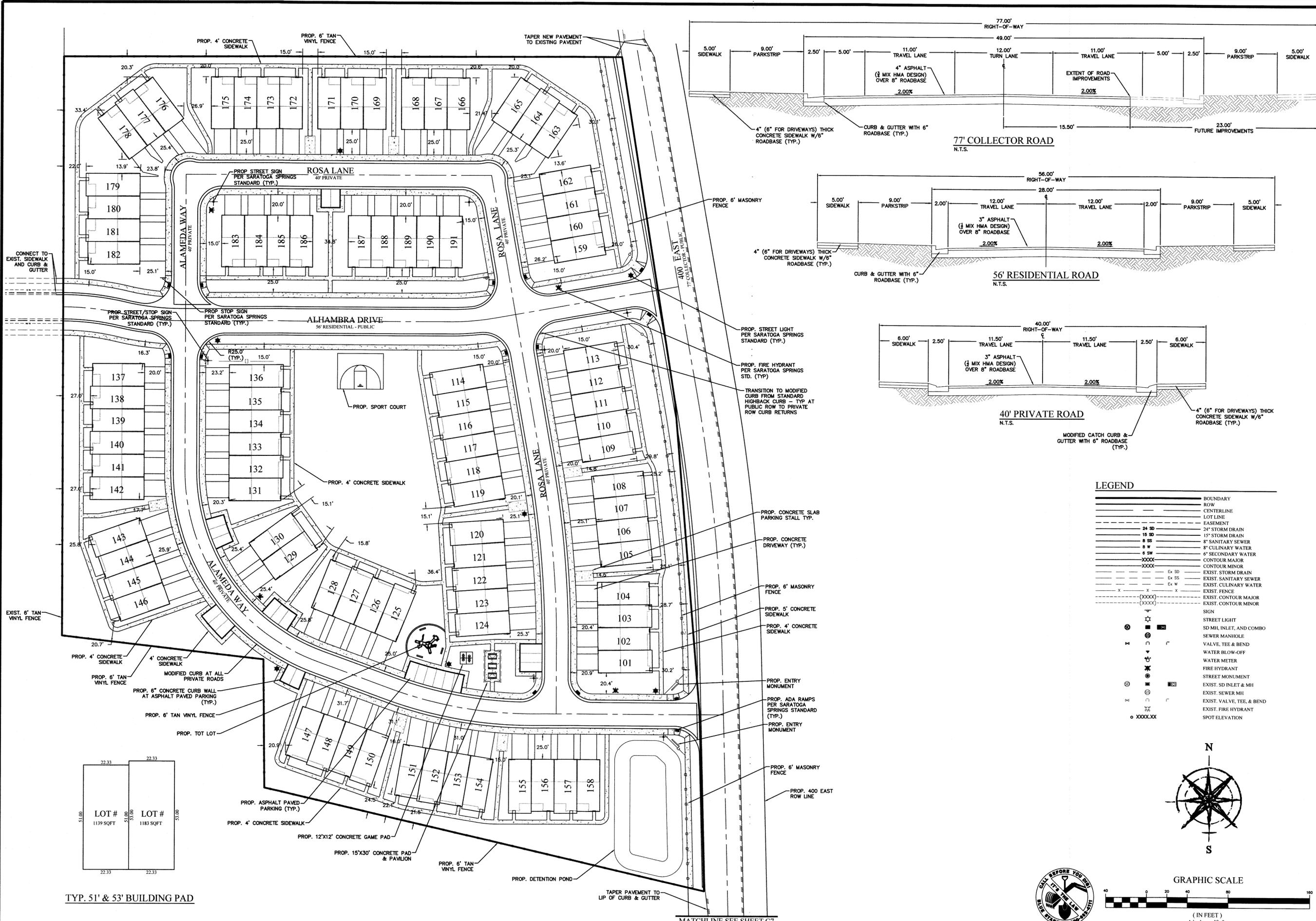
LOCATED IN THE SE¼ OF SECTION 11 AND THE NE¼ OF SECTION 14, TOWNSHIP 5 SOUTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN SARATOGA SPRINGS CITY, UTAH COUNTY, UTAH

SURVEYOR'S SEAL	NOTARY PUBLIC SEAL	CITY-COUNTY ENGINEER SEAL	CITY-COUNTY RECORDER SEAL

FOCUS[®]
 ENGINEERING AND SURVEYING, LLC
 502 WEST 8360 SOUTH
 SANDY, UTAH 84070 PH: (801) 352-0075
 www.focusutah.com



RIVERSIDE HEIGHTS
 Saratoga Springs
 Site Plan



LEGEND

---	BOUNDARY
---	ROW
---	CENTERLINE
---	LOT LINE
---	EASEMENT
---	24" STORM DRAIN
---	12" STORM DRAIN
---	8" SANITARY SEWER
---	8" CULINARY WATER
---	6" SECONDARY WATER
---	CONTOUR MAJOR
---	CONTOUR MINOR
---	EXIST. STORM DRAIN
---	EXIST. SANITARY SEWER
---	EXIST. CULINARY WATER
---	EXIST. FENCE
---	EXIST. CONTOUR MAJOR
---	EXIST. CONTOUR MINOR
---	SIGN
---	STREET LIGHT
---	SD MH INLET, AND COMBO
---	SEWER MANHOLE
---	VALVE, TEE & BEND
---	WATER BLOW-OFF
---	WATER METER
---	FIRE HYDRANT
---	STREET MONUMENT
---	EXIST. SD INLET & MH
---	EXIST. SEWER MH
---	EXIST. VALVE, TEE, & BEND
---	EXIST. FIRE HYDRANT
---	SPOT ELEVATION



REVISION BLOCK

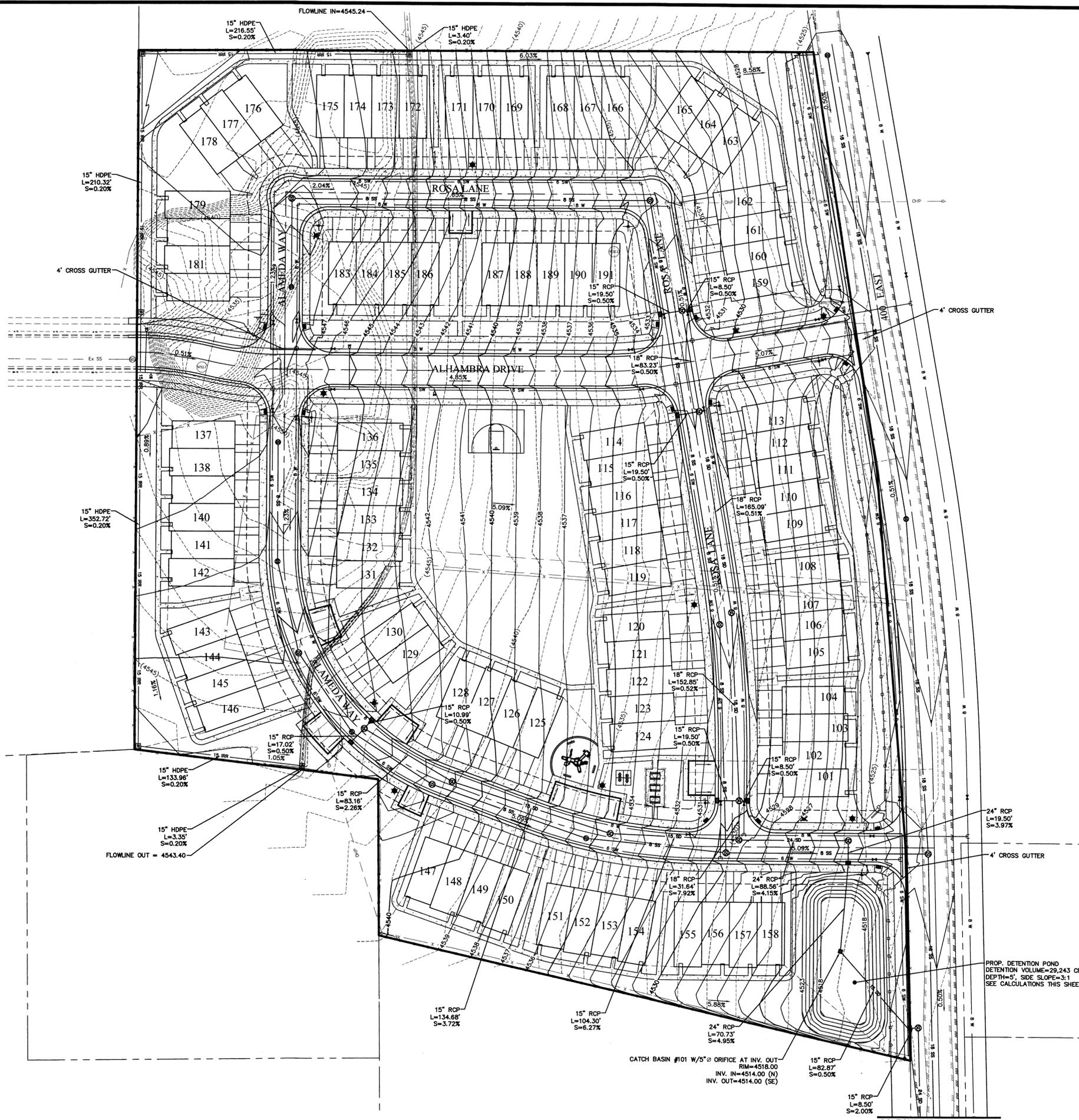
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SITE PLAN

Scale: 1"=40' Drawn: TMB
 Date: 10/09/14 Job #: 14-002
 Sheet: **C4**



Z:\2014\14-002 Ivory-Saratoga Norman Property design 14-002.dwg preliminary sheets\C4 Site Plan.dwg



Detention Pond
Riverside Heights
Saratoga Springs, Utah

100-year Detention Requirement

Design Criteria
Intensity Table: Per NOAA precipitation data
Return Period: 100 year
Allowable Discharge: 0.20 cfs/acre

Allowable Discharges
Storm Drain Discharge: 1.34 cfs
Other Discharge: 0.000 cfs
Total Discharge: 1.34 cfs

Weighted "C" Value
Surface Type: Area (sf) "C" Value C*A
Asphalt/Concrete/Building: 243,142 0.85 206,671
Open Space: 48,274 0.15 7,241
Totals: 291,416 0.73 213,912

Drainage Calculations

Duration	Intensity	Runoff C	Area	Rainfall	Accumulated	Allowable	Discharge	Required
min	in/hr		Ac	cfs	Flow	Discharge	cf	cf
5.0	6.16	0.73	6.69	30.25	9.070	1.34	401	8,674
10.0	4.69	0.73	6.69	23.03	13.819	1.34	803	13,016
15.0	3.87	0.73	6.69	19.00	17.104	1.34	1,204	15,536
30.0	2.61	0.73	6.69	12.82	23.071	1.34	2,408	20,662
60.0	1.61	0.73	6.69	7.91	28.463	1.34	4,817	23,646
120.0	0.872	0.73	6.69	4.28	30.832	1.34	9,634	21,198
180.0	0.588	0.73	6.69	2.87	31.026	1.34	14,450	16,576
360.0	0.311	0.73	6.69	1.53	32.988	1.34	28,901	4,068
720.0	0.174	0.73	6.69	0.85	36.913	1.34	57,802	-20,888
1440.0	0.089	0.73	6.69	0.44	37.762	1.34	115,603	-77,841

Maximum Storage Requirement: 23,646
Maximum Storage Requirement (ac-ft): 0.54

Detention Basin Design
Storage Requirement: 23,646 cf
Allowable Depth: 5.00 ft Side Slope 3:1
Water Surface Area (top): 8,159 sf
Surface Area (bottom): 3,538 sf
Additional Volume: 0 cf
Detention Volume: 28,243 cf
SOURCE: DETENTION ADEQUATE

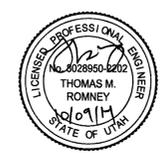
Orifice Design
Restriction Rate: 0.20 CFS/ACRE
Allowable Outfall Rate Q(cfs): 1.34
Total Flow Through Orifice (cfs): 1.34
Office Sizing: h = 4 ft Q=CA(Qgh)^{2/3}
C = 0.6
A = 0.139 sf
dia. = 5.05 inches
Orifice Size = 5 inch

LEGEND

- BOUNDARY
- ROW
- CENTERLINE
- LOT LINE
- EASEMENT
- 24" SD 24" STORM DRAIN
- 15" SD 15" STORM DRAIN
- 8" SS 8" SANITARY SEWER
- 8" W 8" CULINARY WATER
- 6" SW 6" SECONDARY WATER
- XXXXX CONTOUR MAJOR
- XXXXX CONTOUR MINOR
- Ex SD EXIST. STORM DRAIN
- Ex SS EXIST. SANITARY SEWER
- Ex W EXIST. CULINARY WATER
- X EXIST. FENCE
- (XXXX) EXIST. CONTOUR MAJOR
- (XXXX) EXIST. CONTOUR MINOR
- SGN SIGN
- SL STREET LIGHT
- SD MI INLET AND COMBO SEWER MANHOLE
- VALVE, TEE & BEND
- WATER BLOW-OFF
- WATER METER
- FIRE HYDRANT
- STREET MONUMENT
- EXIST. SD INLET & MI
- EXIST. SEWER MH
- EXIST. VALVE, TEE, & BEND
- EXIST. FIRE HYDRANT
- SPOT ELEVATION



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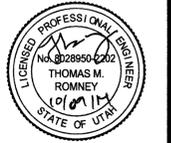


RIVERSIDE HEIGHTS
Saratoga Springs
Grading & Drainage Plan

REVISION BLOCK

#	DATE	DESCRIPTION
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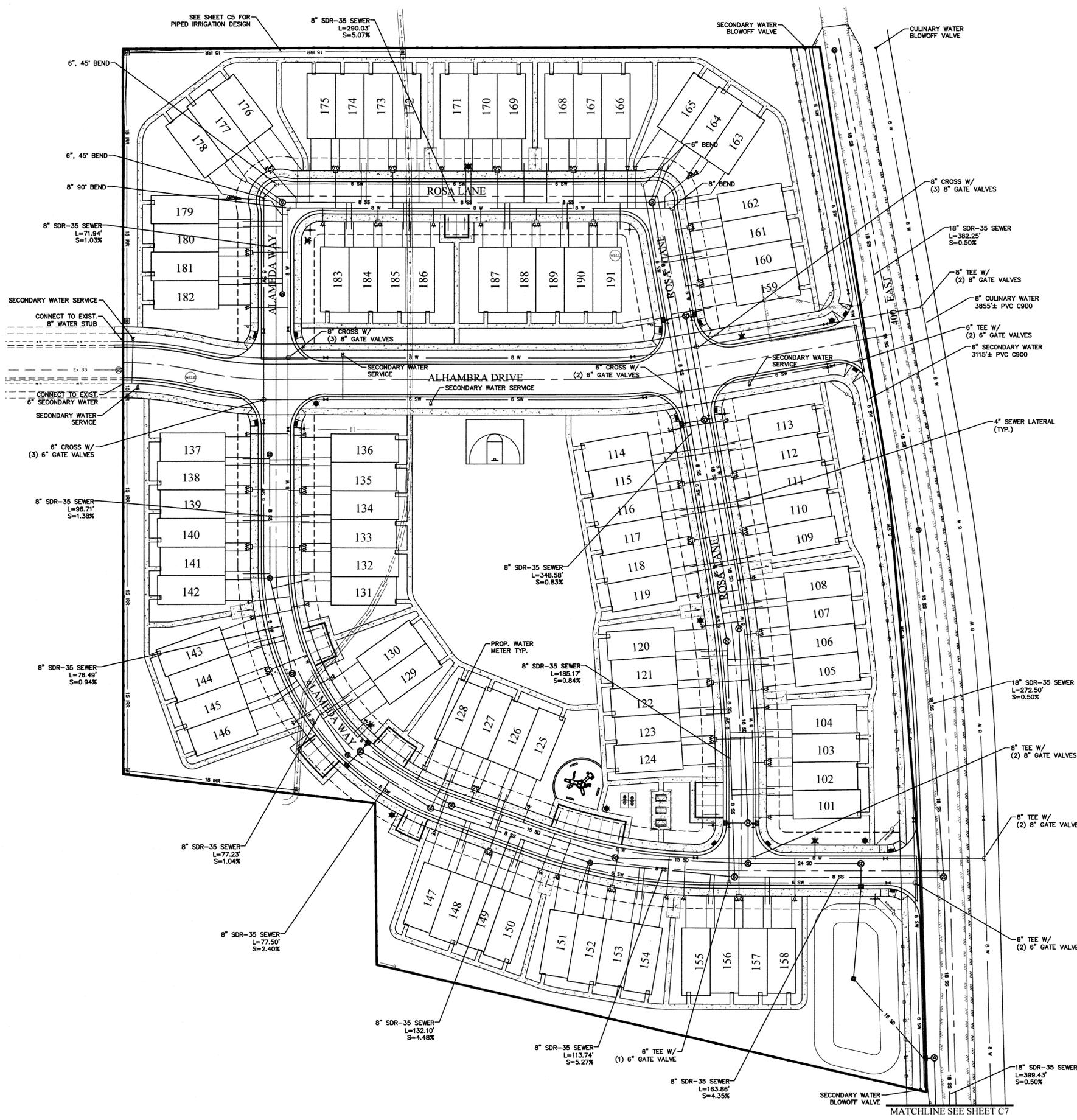
GRADING & DRAINAGE PLAN
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Sheet: C5



RIVERSIDE HEIGHTS
Saratoga Springs
Utility Plan

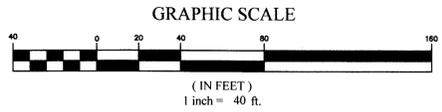
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UTILITY PLAN	
Scale:	Drawn:
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Date:	Job #:
10/09/14	14-002
Sheet:	
C6	

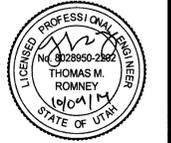


LEGEND

---	BOUNDARY
---	ROW
---	CENTERLINE
---	LOT LINE
---	EASEMENT
---	24" SD
---	15" SD
---	8" SS
---	8" SW
---	6" SW
---	4" SANITARY SEWER
---	8" CULINARY WATER
---	6" SECONDARY WATER
---	CONTOUR MAJOR
---	CONTOUR MINOR
---	EXIST. STORM DRAIN
---	EXIST. SANITARY SEWER
---	EXIST. CULINARY WATER
---	EXIST. FENCE
---	EXIST. CONTOUR MAJOR
---	EXIST. CONTOUR MINOR
---	SIGN
---	STREET LIGHT
---	SD MH, INLET, AND COMBO
---	SEWER MANHOLE
---	VALVE, TEE & BEND
---	WATER BLOW-OFF
---	WATER METER
---	FIRE HYDRANT
---	STREET MONUMENT
---	EXIST. SD INLET & MH
---	EXIST. SEWER MH
---	EXIST. VALVE, TEE, & BEND
---	EXIST. FIRE HYDRANT
---	SPOT ELEVATION



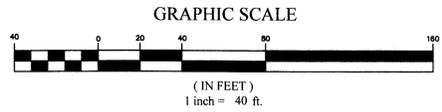
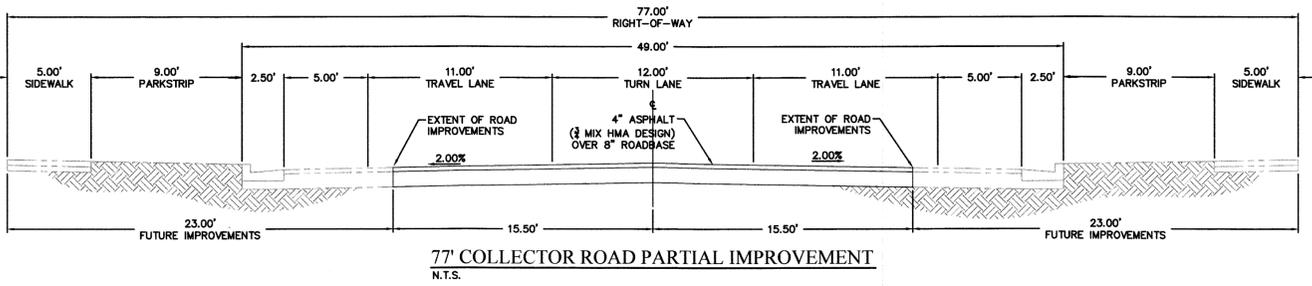
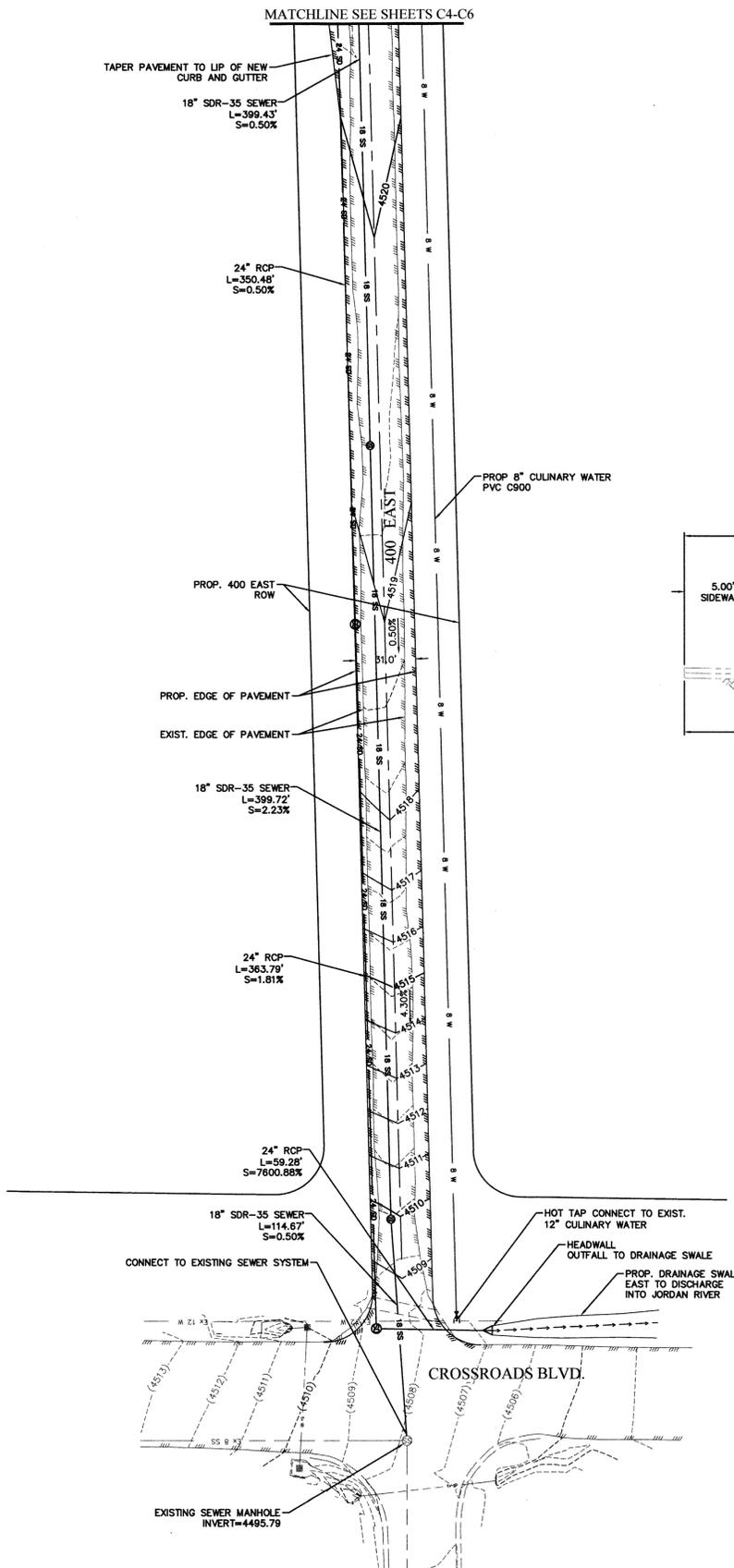
Z:\2014\14-002 Ivey-Saratoga Norman Property\design 14-002\vwg\preliminary sheets\06 Utility Plan.dwg



RIVERSIDE HEIGHTS
Saratoga Springs
400 East Offsite Plan

LEGEND

---	BOUNDARY
---	ROW
---	CENTERLINE
---	LOT LINE
---	EASEMENT
---	24" SDR
---	15" SDR
---	8" SDR
---	8" SANITARY SEWER
---	8" CULINARY WATER
---	6" SECONDARY WATER
---	CONTOUR MAJOR
---	CONTOUR MINOR
---	EXIST. STORM DRAIN
---	EXIST. SANITARY SEWER
---	EXIST. CULINARY WATER
---	EXIST. FENCE
---	EXIST. CONTOUR MAJOR
---	EXIST. CONTOUR MINOR
---	SIGN
---	STREET LIGHT
---	SD MH, INLET, AND COMBO
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---	FIRE HYDRANT
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---	EXIST. SD INLET & MH
---	EXIST. SEWER MH
---	EXIST. VALVE, TEE, & BEND
---	EXIST. FIRE HYDRANT
---	SPOT ELEVATION

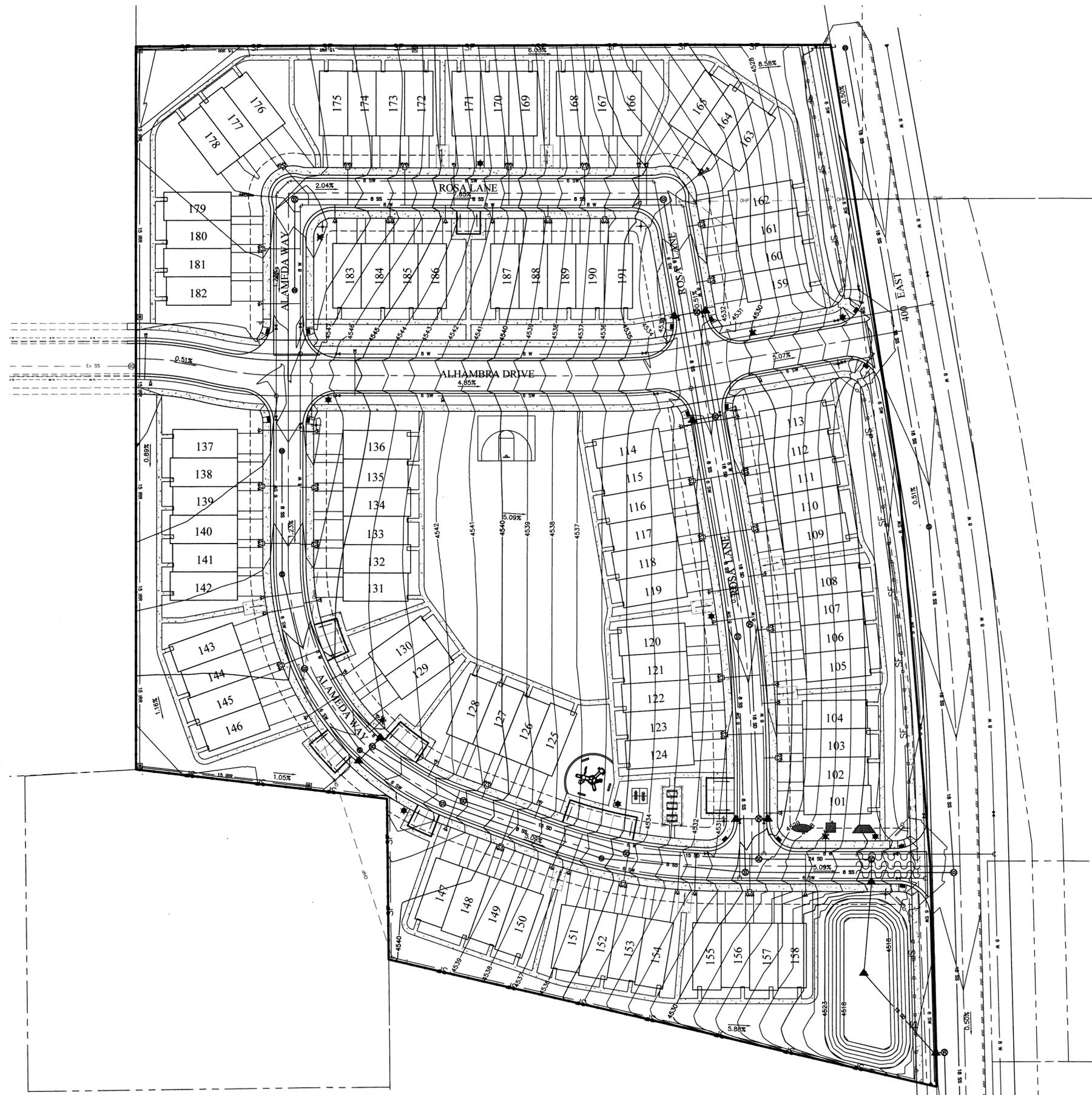


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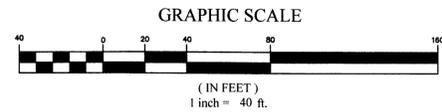
400 EAST OFFSITE PLAN

Scale: 1"=40'	Drawn: TMB
Date: 10/09/14	Job #: 14-002
Sheet:	C7



EROSION CONTROL LEGEND

- CONSTRUCTION ENTRANCE
- MATERIALS STORAGE
- FUEL TANKS
- CONCRETE WASHOUT
- TRASH BIN
- PORTABLE TOILET
- CONSTRUCTION TRAILER
- INLET PROTECTION
- SURFACE WATERS
- OUTFALL
- SILT FENCE
- CUTBACK CURB
- FIBER ROLL



RIVERSIDE HEIGHTS
Saratoga Springs
Erosion Control Plan

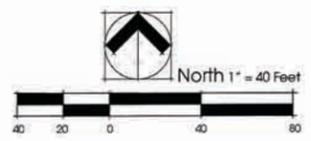
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EROSION CONTROL PLAN

Scale: 1"=40' Drawn: TMB
Date: 10/09/14 Job #: 14-002
Sheet: **C8**



- SPORT COURT
- 6 ft. MASONRY WALL
- TOT LOT
- PAVILION



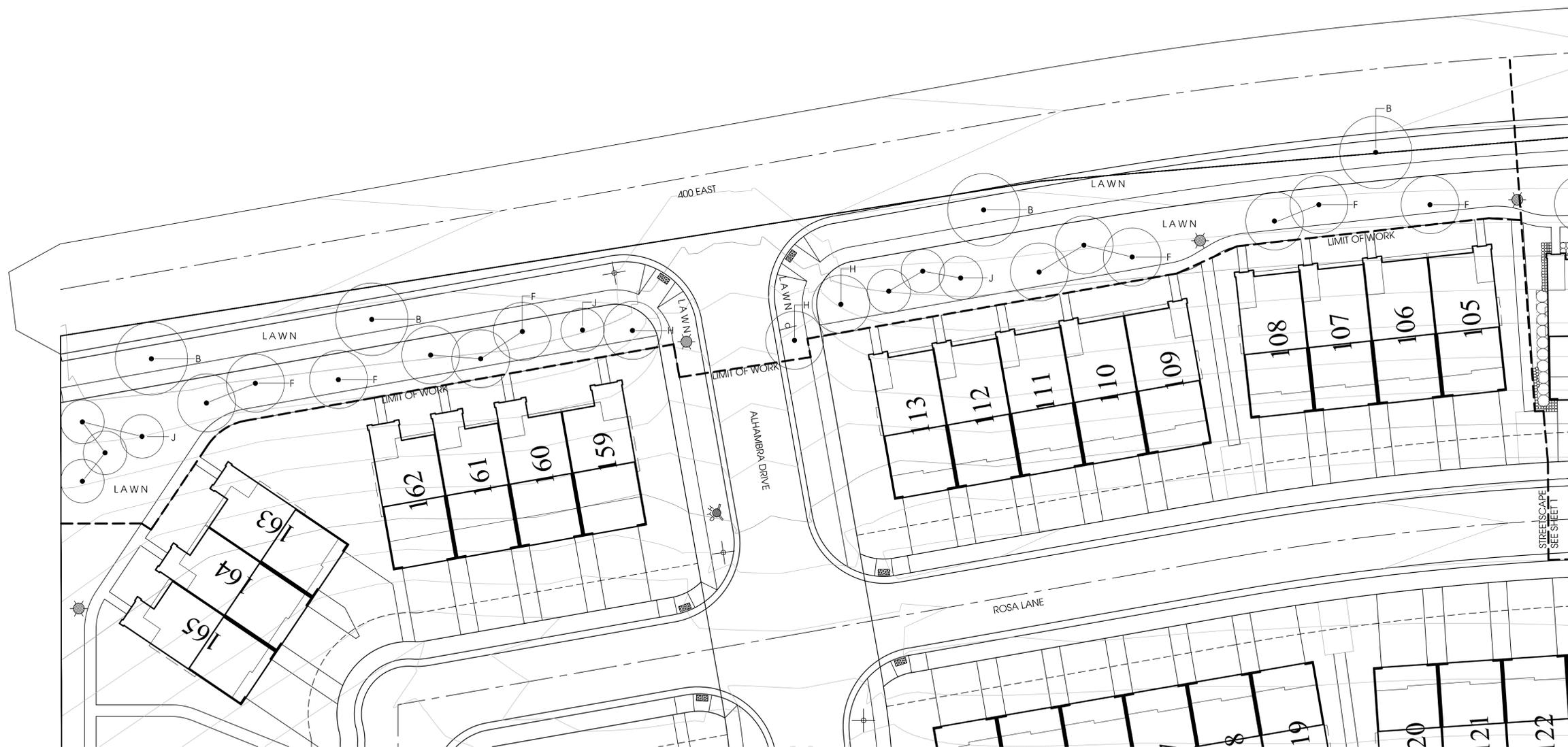
17 JULY 2014
Concept Plan

SUNSET ACRES

Saratoga Springs, Utah

IVORY DEVELOPMENT, 978 WOOD OAK LANE, SALT LAKE CITY, UTAH


R. MICHAEL KELLY
CONSULTANTS
LAND PLANNING • LANDSCAPE ARCHITECTURE
P.O. Box 469, Millville, UT 84326 435.753.2955

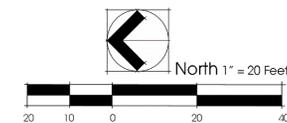


Plant List - Riverside Heights, Saratoga Springs, Utah - Ivory Homes

KEY	PLANT TYPE	BOTANICAL NAME	COMMON NAME	SIZE	NOTES
A	Street Trees	Fraxinus p.l. 'Marshall's Seedless'	Marshall's Seedless Ash	2" cal.	
B		Platanus acerifolia 'Bloodgood'	London Plane Tree	2" cal.	
C		Tilia cordata 'Greenspire'	Little Leaf Linden	2" cal.	
D	Shade Trees	Acer platanoides 'Deborah'	Deborah Maple	2" cal.	
E		Celtis occidentalis	Common Hackberry	2" cal.	
F	Accent Trees	Malus 'Pridlife Fire'	Prairie Fire Crabapple	1 1/2" cal.	
G		Malus 'Spring Snow'	Spring Snow Crabapple	1 1/2" cal.	
H		Pyrus calleryana 'Aristocrat'	Flowering Pear	1 1/2" cal.	
J	Evergreen Tree	Pinus nigra	Austrian Pine	6 ft.	
1	Tall Shrubs	Cornus stolonifera	Red Osier Dogwood	5 gal.	
2		Cotoneaster acutifolia	Peking Cotoneaster	5 gal.	
3		Photinia fraseri	Fraser Photinia	5 gal.	
4		Viburnum burkwoodii	Burkwood Viburnum	5 gal.	
11	Medium Shrubs	Prunus glandulosa	Dwarf Flowering Almond	5 gal.	
12		Prunus laurocerasus 'Otto Luyken'	Otto Luyken Laurel	5 gal.	
13		Spiraea bumalda 'Anthony Waterer'	Dwarf Red Spiraea	2 gal.	
14		Spiraea cinerea 'Gretschheim'	Gretschheim Spiraea	2 gal.	
15		Taxus baccata repandens	Spreading English Yew	5 gal.	
16		Viburnum opulus nana	Dwarf European Cranberry Bush	2 gal.	
21	Ornamental Grass	Panicum virgatum 'Heavy Metal'	Switch Grass	1 gal.	
31	Perennial Flowers	Alyssum saxatile	Basket of Gold	1 gal.	
32		Campanula carpatica 'Blue Clips'	Tussock Bellflower	1 gal.	
33		Hosta 'Elegans'	Plantain Lily	1 gal.	
34		Hosta ventricosa	Plantain Lily	1 gal.	
35		Iberis sempervirens	Evergreen Candytuft	1 gal.	
36		Lavendula angustifolia	English Lavender	1 gal.	
37		Teucrium chamaedrys	Germander	1 gal.	
38		Heuchera spp.	Coral Bells	1 gal.	Assorted varieties
39		Anemone 'Honorine Jobert'	Windflower	1 gal.	
41	Groundcover	Gallium odorata	Sweet Woodruff	Flats	Plant 12" o.c.
42		Vinca minor	Dwarf Periwinkle	Flats	Plant 12" o.c.

Planting Notes

1. Provide and place four (4) inches of topsoil over all planting areas prior to commencement of planting operations.
2. Backfill for all planting pits shall be native material excavated from the pit.
3. Following completion of shrub and groundcover plantings, treat beds with a pre-emergent herbicide.
4. Provide and install finely shredded bark mulch ("Soil Pep" or equal) to a depth of two (2) inches over all exposed soil in completed shrub and groundcover beds.
5. At shrub beds, install steel lawn edging to provide straight lines or smooth curves as shown on the plan.
6. All lawn areas shall be installed with sod consisting of primarily *Poa praeatensis*: Kentucky Bluegrass species.
7. Refer to Planting Specification.



6 OCTOBER 2014
Planting Plan: STREETSCAPE

RIVERSIDE HEIGHTS

Saratoga Springs, Utah

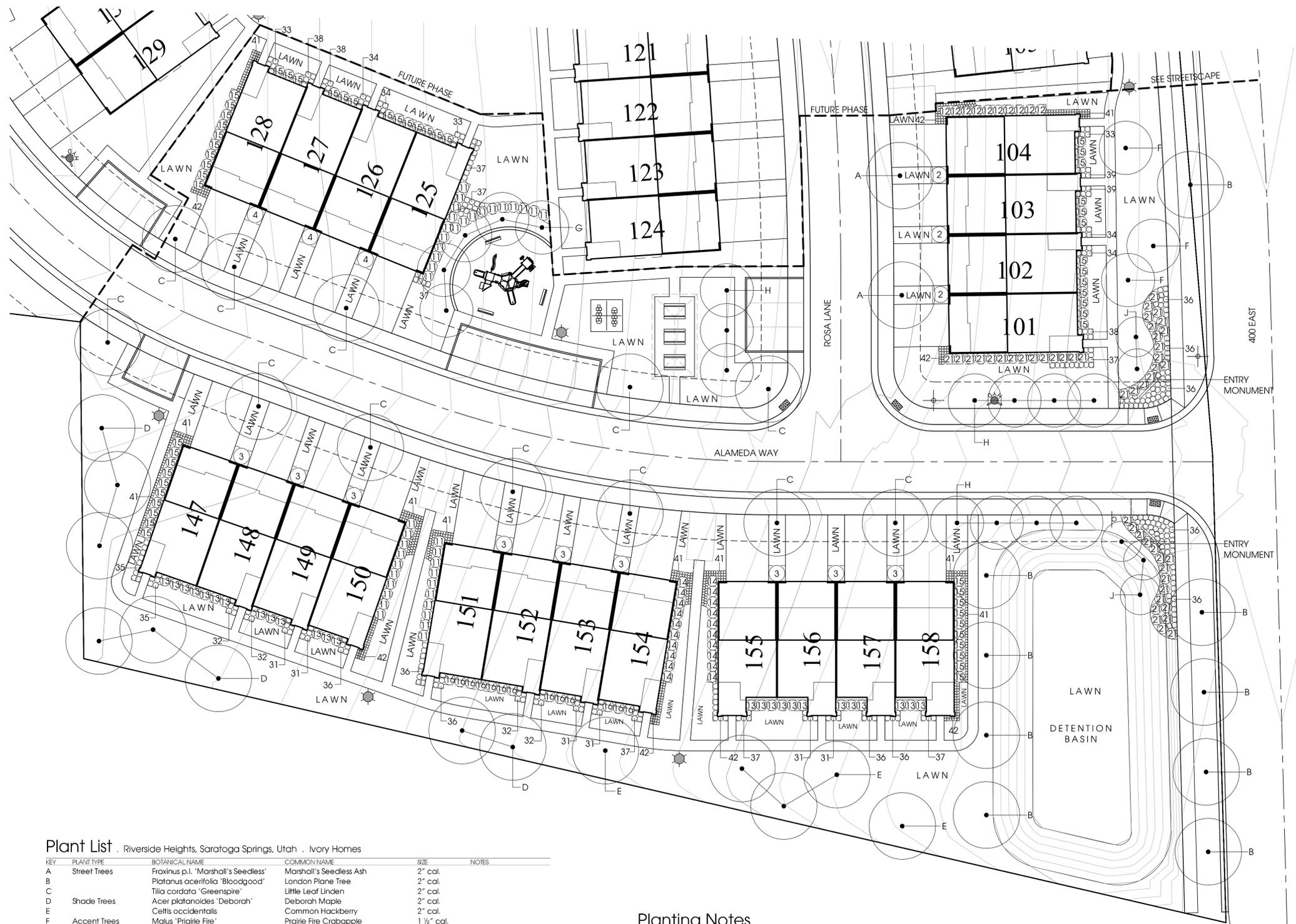
IVORY DEVELOPMENT - 978 WOOD OAK LANE - SALT LAKE CITY, UTAH



R. MICHAEL KELLY
CONSULTANTS

LAND PLANNING - LANDSCAPE ARCHITECTURE

P.O. Box 469, Millville, UT 84326 435.753.2955

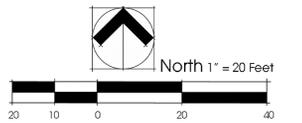


Plant List - Riverside Heights, Saratoga Springs, Utah - Ivory Homes

KEY	PLANT TYPE	BOTANICAL NAME	COMMON NAME	SIZE	NOTES
A	Street Trees	Fraxinus p.l. 'Marshall's Seedless'	Marshall's Seedless Ash	2" cal.	
B		Platanus acerifolia 'Bloodgood'	London Plane Tree	2" cal.	
C		Tilia cordata 'Greenspire'	Little Leaf Linden	2" cal.	
D	Shade Trees	Acer platanoides 'Deborah'	Deborah Maple	2" cal.	
E		Celtis occidentalis	Common Hackberry	2" cal.	
F	Accent Trees	Malus 'Praline Fire'	Praline Fire Crabapple	1 1/2" cal.	
G		Malus 'Spring Snow'	Spring Snow Crabapple	1 1/2" cal.	
H		Pyrus calleryana 'Aristocrat'	Flowering Pear	1 1/2" cal.	
J	Evergreen Tree	Pinus nigra	Austrian Pine	6 ft.	
1	Tall Shrubs	Cornus stolonifera	Red Osier Dogwood	5 gal.	
2		Cotoneaster acutifolia	Peking Cotoneaster	5 gal.	
3		Photinia fraseri	Froser Photinia	5 gal.	
4		Viburnum burkwoodii	Burkwood Viburnum	5 gal.	
11	Medium Shrubs	Prunus glandulosa	Dwarf Flowering Almond	5 gal.	
12		Prunus laurocerasus 'Otto Luyken'	Otto Luyken Laurel	5 gal.	
13		Spiraea bumalda 'Anthony Waterer'	Dwarf Red Spiraea	2 gal.	
14		Spiraea cinerea 'Gretschheim'	Gretschheim Spiraea	2 gal.	
15		Taxus baccata repandens	Spreading English Yew	5 gal.	
16		Viburnum opulus nana	Dwarf European Cranberry Bush	2 gal.	
21	Ornamental Grass	Panicum virgatum 'Heavy Metal'	Switch Grass	1 gal.	
31	Perennial Flowers	Alyssum saxatile	Basket of Gold	1 gal.	
32		Campanula carpatica 'Blue Clips'	Tussock Bellflower	1 gal.	
33		Hosta 'Elegans'	Plantain Lily	1 gal.	
34		Hosta ventricosa	Plantain Lily	1 gal.	
35		Iberis sempervirens	Evergreen Candytuft	1 gal.	
36		Lavendula angustifolia	English Lavender	1 gal.	
37		Teucrium chamaedrys	Germander	1 gal.	
38		Heuchera spp.	Coral Bells	1 gal.	Assorted varieties
39		Anemone 'Honorine Jobert'	Windflower	1 gal.	
41	Groundcover	Gallium odorata	Sweet Woodruff	Flats	Plant 12" o.c.
42		Vinca minor	Dwarf Periwinkle	Flats	Plant 12" o.c.

Planting Notes

- Provide and place four (4) inches of topsoil over all planting areas prior to commencement of planting operations.
- Backfill for all planting pits shall be native material excavated from the pit.
- Following completion of shrub and groundcover plantings, treat beds with a pre-emergent herbicide.
- Provide and install finely shredded bark mulch ("Soil Pep" or equal) to a depth of two (2) inches over all exposed soil in completed shrub and groundcover beds.
- At shrub beds, install steel lawn edging to provide straight lines or smooth curves as shown on the plan.
- All lawn areas shall be installed with sod consisting of primarily *Poa pratensis* Kentucky Bluegrass species.
- Refer to Planting Specification.



6 OCTOBER 2014
Planting Plan: PHASE ONE

RIVERSIDE HEIGHTS

Saratoga Springs, Utah

IVORY DEVELOPMENT - 978 WOOD OAK LANE - SALT LAKE CITY, UTAH



R. MICHAEL KELLY
CONSULTANTS

LAND PLANNING - LANDSCAPE ARCHITECTURE

P.O. Box 469, Millville, UT 84326 435.753.2955

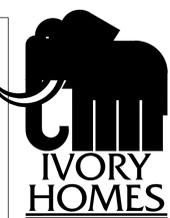
- FLOOR PLAN NOTES**
- CEILING HEIGHTS AT OR ABOVE 9'-0" WILL HAVE A WINDOW HEAD HEIGHT OF 8'-0" & CEILING HEIGHTS BELOW 9'-0" WILL HAVE A WINDOW HEAD HEIGHT OF 8'-0" (UNO)
 - ANY EXTERIOR SHELF BELOW WINDOW SILL SHALL SLOPE AWAY 1/4" PER FOOT - APPLY ELASTOMERIC SEALANT
 - DIMENSIONS ON FLOOR PLAN ARE TO ROUGH FRAMING (UNO)
 - ALL PARTITIONS ARE DIMENSIONED TO FACE OF FRAMING (UNO)
 - ALL ANGLED PARTITIONS ARE 45 DEGREES (UNO)
 - SEE GENERAL NOTES FOR GARAGE SEPARATION REQUIREMENTS

NOTE!
8'-0" TALL FOUNDATION WALLS
ACTUAL MEASURE: 7'-6" CONCRETE FLOORS TO CEILING

Exhibit 6c
Floor plans, elevations, color scheme

WALL LEDGEND

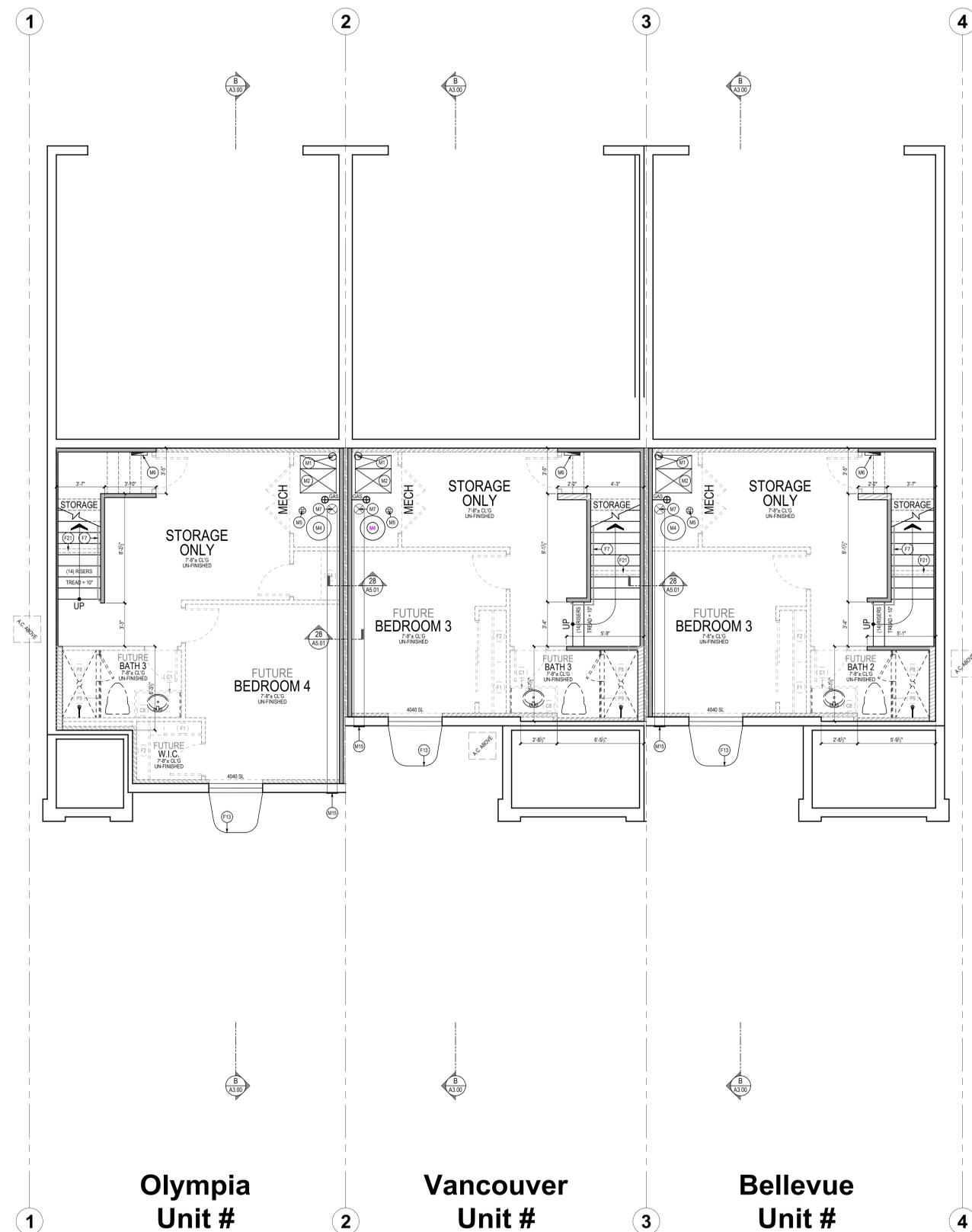
2 X 4 WALL:	[Symbol]
2 X 6 WALL:	[Symbol]
DOUBLE 2 X 4 WALL:	[Symbol]
NON-STRUCTURAL WALL THAT CAN BE REMOVED FOR FUTURE USE:	[Symbol]
R-11 INSUL. BLANKET ATTACHED TO FDN. WALL:	[Symbol]
WANSKOT EXTERIOR VENEER:	[Symbol]
FULL HEIGHT EXTERIOR VENEER:	[Symbol]



978 Woodoak Lane
Sole Lake City, UT 84117
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KEYNOTES

- FUTURE & OPTIONAL CONSTRUCTION** (IDENTIFIED BY DASHED LINES (UNO))
- ◆ SEE GENERAL NOTES PAGE 1 FOR ADDITIONAL CODE REQUIREMENTS AND SPECIFICATIONS
 - ⑦ THE FOLLOWING KEYNOTES REFERENCE THE SYMBOLS SHOWN ON THIS PLAN:
- MECHANICAL**
- M1: FLOOR
 - M2: 20" EFFICIENT FURNACE
 - M3: 15 SEER AIR CONDITIONER
 - M4: 40 GPM WATER HEATER
 - M5: FLOOR DRAIN
 - M6: ELECTRICAL PANEL
 - M7: COMBUSTION AIR FROM OUTSIDE
 - M8: TERMINATE AT ROOM CEILING
 - M9: MECHANICAL CHASE
 - M10: WALKER SPACE
 - M11: WALKER ALWAYS ON FLOOR
 - M12: DRAINAGE DRAIN TO OUTSIDE
 - M13: EXHAUST FAN/SHOWER DRYER
 - M14: EXHAUST TO OUTSIDE
 - M15: 1/2" R-11 INSUL.
 - M16: 1/2" R-11 INSUL. BLANKET
 - M17: 1/2" R-11 INSUL. BLANKET
 - M18: 1/2" R-11 INSUL. BLANKET
 - M19: 1/2" R-11 INSUL. BLANKET
 - M20: 1/2" R-11 INSUL. BLANKET
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 - M50: 1/2" R-11 INSUL. BLANKET
- PLUMBING**
- P1: ROSE BIRD
 - P2: SINK
 - P3: SINK
 - P4: SINK
 - P5: SINK
 - P6: SINK
 - P7: SINK
 - P8: SINK
 - P9: SINK
 - P10: SINK
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- FINISH**
- F1: 1/2" R-11 INSUL.
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 - F50: 1/2" R-11 INSUL.
- CABINET**
- C1: 36" HIGH CABINET
 - C2: 36" HIGH CABINET
 - C3: 36" HIGH CABINET
 - C4: 36" HIGH CABINET
 - C5: 36" HIGH CABINET
 - C6: 36" HIGH CABINET
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- KITCHEN**
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- WALL OPENING**
- WO1: SQUARE OPENING (TOP @ 8'-0")
 - WO2: SQUARE OPENING (TOP @ 8'-0")
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 - WO49: SQUARE OPENING (TOP @ 8'-0")
 - WO50: SQUARE OPENING (TOP @ 8'-0")



Olympia Unit #

Vancouver Unit #

Bellevue Unit #

BASEMENT FLOOR PLAN

SCALE: 1/4" = 1'-0"

Drawn	10/8/14
Revised	10/8/14
Printed	10/9/14
Drawn By	Sheet #
??	A1.00

The Walk at Ivory Ridge
3300 North 150 West, Lehi, Utah

Building #
###
Units:
##-##

1. FUTURE & OPTIONAL CONSTRUCTION IDENTIFIED BY DASHED LINES (UNO)
 2. SEE GENERAL NOTES PAGE#1 FOR ADDITIONAL CODE REQUIREMENTS AND SPECIFICATIONS

3. THE FOLLOWING KEYNOTES REFERENCE ELEVATION NOTES AND SPECIFICATIONS

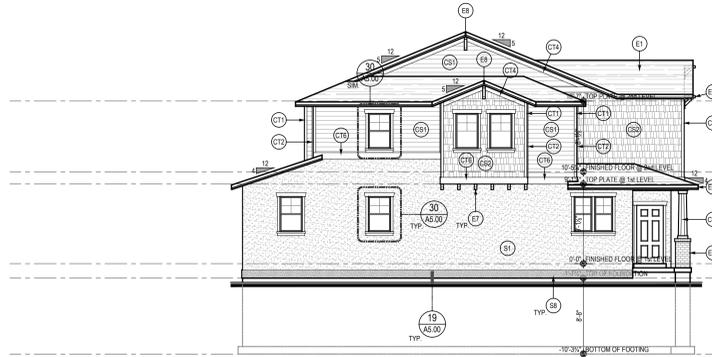
ELEVATION
 E1. ARCHITECTURAL GRADE ASPHALT SHINGLES
 E2. SLOPED SURFACE
 E3. CONCRETE CAP ATOP MASONRY WALL
 E4. CONCRETE
 E5. 8" CAST BRONZE ADDRESS NUMBERS
 E6. COURTESY WALL
 E7. NOT USED
 E8. NOT USED
 E9. GABLE END VENT (SEE PLAN FOR SIZE)
 E10. 1/2" BRICK ALUMINUM CASINGS & SLOPED ROOF VENT
 E11. BRICK VENT MANHOLE TOP
 E12. BRICK VENT MANHOLE
 E13. BRICK VENT MANHOLE
 E14. FOAM WINDOW GILL (SEE DETAIL)
 E15. BRICK WINDOW GILL (SEE DETAIL)

STUCCO
 S1. SYNTHETIC STUCCO
 S2. STUCCO COMPOSITION (1/4" MIN. MAX.)
 S3. 7" x 1" STUCCO TRIM
 S4. 8" x 1" STUCCO TRIM
 S5. 8" x 1" STUCCO TRIM
 S6. 8" x 1" STUCCO TRIM
 S7. 8" x 1" STUCCO TRIM
 S8. 8" x 1" STUCCO TRIM

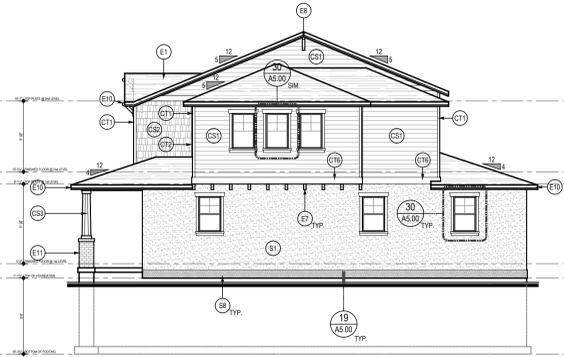
COMPOSITE SIDING
 CS1. COMPOSITE SMOOTH LAP SIDING
 CS2. COMPOSITE RANDOM SQUARE
 CS3. TANGLED COMPOSITE WOOD SHIP ARCHITECTURAL COLUMN w/ 12 SQUARE
 BASE @ BRICK GILL & 1/2" SQUARE CAPITAL w/ 3/4" COMPOSITE TRIM

COMPOSITE TRIM
 CT1. 3/4" x 1/2" x 1/2" ONE-PIECE COMPOSITE TRIM BOARD - OUTSIDE CORNER
 CT2. 1/2" x 1/2" ONE-PIECE COMPOSITE TRIM BOARD - INSIDE CORNER
 CT3. 3/4" x 1/2" COMPOSITE TRIM BOARD
 CT4. 1/2" x 1/2" COMPOSITE TRIM BOARD
 CT5. 1/2" x 1/2" COMPOSITE TRIM BOARD
 CT6. 1/2" x 1/2" COMPOSITE TRIM BOARD
 CT7. 1/2" x 1/2" COMPOSITE TRIM BOARD

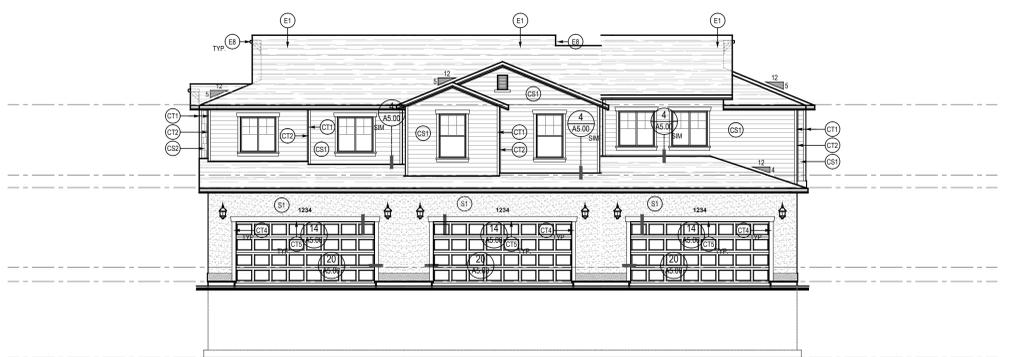
ELEVATION NOTES
 1. REFER TO GENERAL NOTE & DETAIL SHEETS FOR TECHNICAL REQUIREMENTS & MATERIALS SPECIFIC TO THIS PROJECT.
 2. GRADE CONDITIONS MAY VARY FROM SHOWN. REFER TO THE PROJECT SPECIFICATIONS FOR ACTUAL SITE CONDITIONS.
 3. BUILDER TO PROVIDE ROOF EGRESS VENTS PREPARED BY ATIC VENT SCHEDULE (OR APPROVED EQUAL).
 4. INSTALL ALL PRE-MANUFACTURED MATERIALS PER MANUFACTURER'S REQUIREMENTS, RECOMMENDATIONS & SPECIFICATIONS. INSTALLATION REQUIREMENTS TO BE PROVIDED BY BUILDER.



LEFT SIDE ELEVATION
 SCALE: 1/4" = 1'-0"



RIGHT SIDE ELEVATION
 SCALE: 1/4" = 1'-0"



REAR ELEVATION
 SCALE: 1/4" = 1'-0"



FRONT ELEVATION
 SCALE: 1/4" = 1'-0"

**Olympia
 Unit #**

**Vancouver
 Unit #**

**Bellevue
 Unit #**

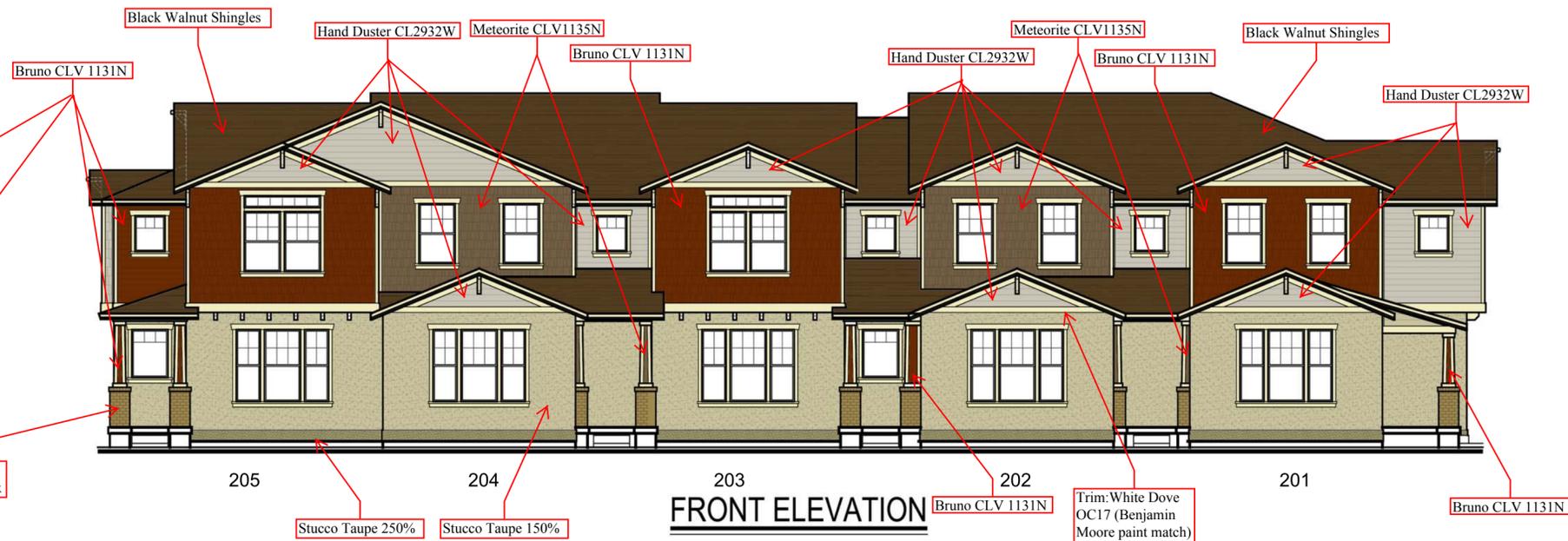
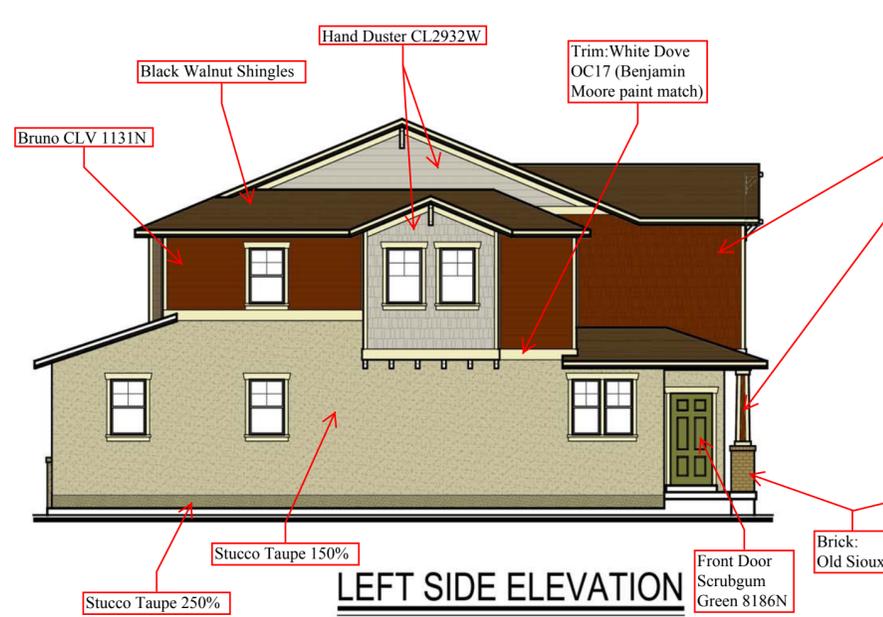
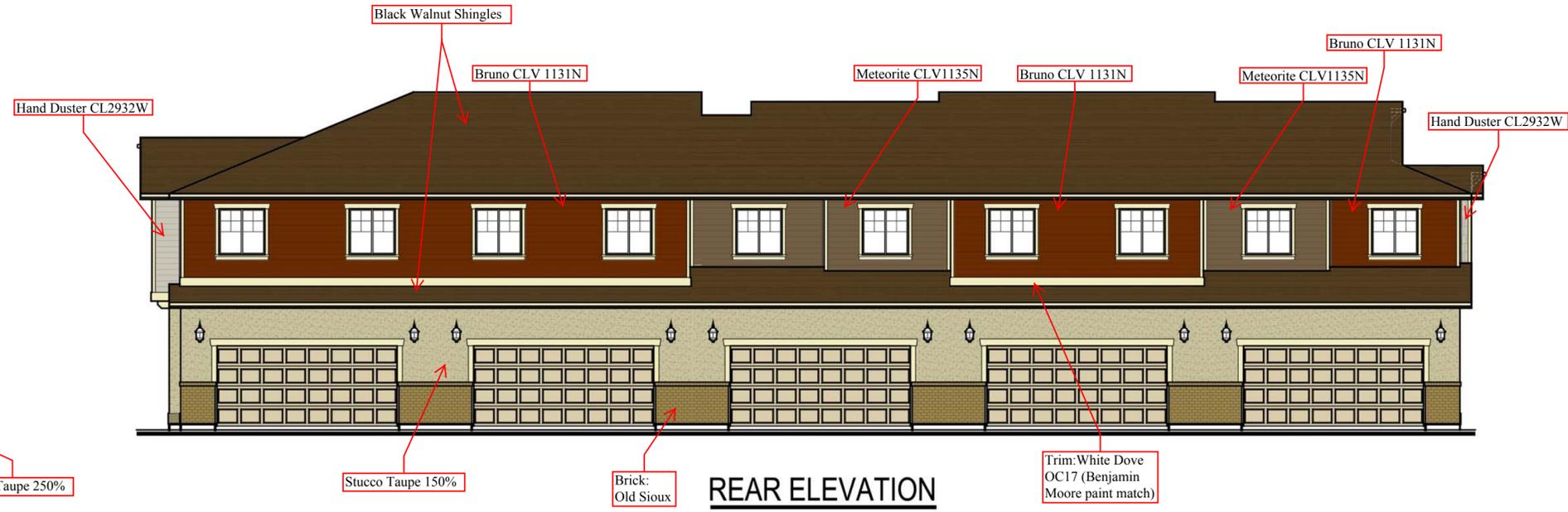
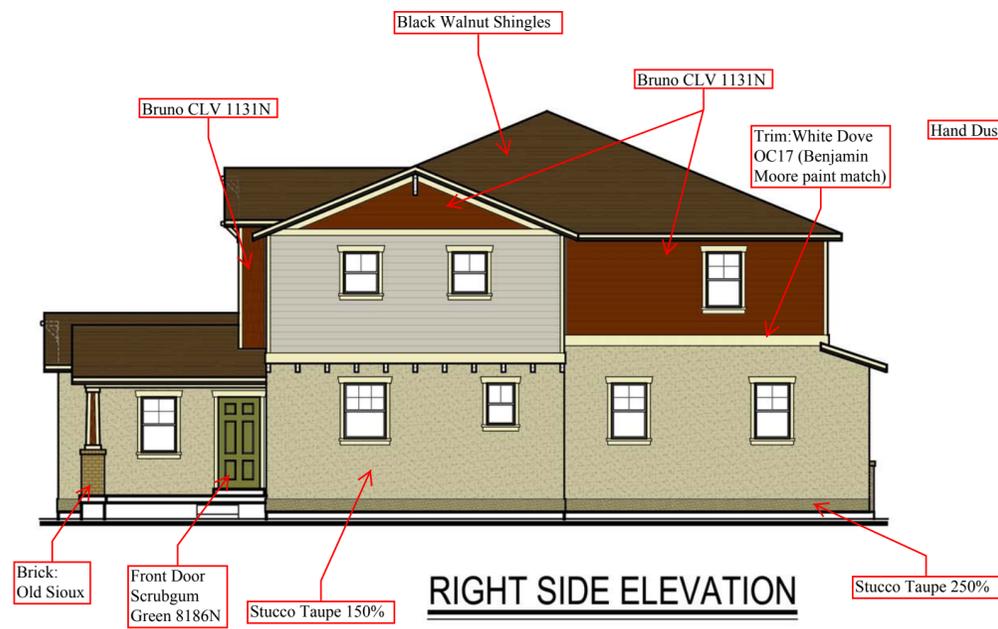
The Walk at Ivory Ridge
 3300 North 150 West, Lehi, Utah

Building #
###

Units:
##-##







**Highbury Building 7
color group #2**

7. Concept Plan for Riverside Heights (formerly Sunset Acres) located at approximately Crossroads Boulevard and 400 East, Ivory Development, LLC, applicant.

Kimber Gabryszak presented the Plan. This is a revised plan, 9.5 units per acre, realignments no alleyway loads and other changes. There were also some amenities and parking added. Applicant was not present. Staff thought he was planning on coming.

Sandra Steele had questions for the applicant and did not ask them at this time. She proposed moving the item to the end of the meeting in hopes the applicant would appear.

Commissioners were in agreement to move the item to the end of the meeting.

8. Public Hearing and Possible Recommendation: Code Amendments for Sections 19.01,-General Provisions, 19.02- Definitions, 19.04- Establishment of Land Use Zones and Official Map, 19.05-Supplementary Regulations, 19.06 - Landscaping & Fencing, 19.11- Lighting, 19.12-Subdivisions, 19.13-Development Review Process, 19.14-Site Plan and 19.15-Conditional Use Permit.

Kimber Gabryszak presented the proposed amendments to the Code sections listed in the agenda. She reviewed what was in the packet with the commission.

Public Hearing Open by Jeff Cochran

Bart Gardiner commented that when he asked the city previously about building his shed he was told that he was fine with the construction that was planned as long as it was under 200'. He has a signature page with 85 of his surrounding neighbors that feel his project is fine. He is asking that where something like this is within a fenced yard and not a visual problem that it be allowed. He is planning on meeting all other code requirements. He also has photos of several other areas where the sheds are non-compliant and nothing was brought forward to them. He added that because of the slopes of the neighborhood the concrete slabs are more necessary.

Ron Edwards commented that he feels Mr. Gardiner did all the things correctly by going to the city and asking about the restrictions beforehand and complying to what he was told. He thinks that the city had the problem by telling him it was ok and then coming back to him later.

Bryce McConkie noted he was a building inspector for other cities in the state and indicated that it was difficult to enforce anything under 200sqft. In the proposed changes for the setback he feels there needs to be careful in definition of corner lots and side yards. He then asked what the intent of having the sideyard on the corner lot is. We need to be careful of prohibited slabs for anything under 200 ft. He thinks that is not a necessary restriction, and don't regulate too deeply. Looking at the definition it's difficult to understand. He later offered the recommendation to offer a definition of sideyard "when perpendicular to the lot line or street" rather than the house.

Vernon Southworth has done research of these lots and definition of sites. And he has found that many other cities have the extended side lot as their definition. The city needs to consider why this shed is not legal in this area and not let personal vendettas govern actions.

Eric Stevenson had questions on some of the changes. He doesn't understand why they are creating code for things that don't seem necessary and enforcing more than needs to be. He asked if the lighting section was strictly for commercial or if it was for homes as well. On the trees, they are requiring planting small trees closer so that they over grow each other. He questioned not allowing people to cut down mature trees. He is concerned with that. He has a problem with the definitions of side yards. For building purposes there needs to be 25' setback behind a home but the home behind him does not have that required setback. It seems there is selective enforcements going on and he feels that the rules are creating more problems.

Public Hearing Was left Open for continuation to the next meeting by Jeff Cochran

A five minute break was taken at this time
Meeting resumed at 7:45p.m.

them on the utility easements. She is ok with the building begin close to the property line she feels we need to not look at the code retrospectively but draw the line from here forward.

Jarred Henline He has seen a lot of sheds in the city of corner lots. He thinks it could be beneficial with added drainages and things. He does not agree with Commissioner Steele secondary access being a driveway. He thinks the intent is not for a driveway, it does not lead to the main structure. He is for allowing this type of structure to happen (in corner lots) and agrees with the height restriction and compatibility with main structure. He thinks slabs should be allowed. He thinks rules make things easier; we need to make sure we do the best we can when we make those rules. His preference would be to forget the driveway arguments, take out slabs, put height requirement and use the mistaken map with extended side yard as being usable.

Jeff Cochran noted that he has lived where there was no code or enforcement and it was sort of a disaster. We need to be flexible and yet it takes quite a bit of code to be able to do that. He is for the rights of the property owners too but we need to be mindful of neighbors as well. Our city has so many sheds that do not comply already, he thinks something needs to be done there. He is ok with the structures being closer to the lot line. He had a diagram of a for instance where he thinks the height restriction is appropriate. He is ok with slabs for a floor. He hoped people could govern themselves appropriately with the number of structures.

Kimber Gabryszak summarized, Planning Commission was generally ok with a structure being in this location of the extended side lot as long as it was subject to those size restrictions and was not in the clear view triangle. Also, to remove the prohibition on slabs.

Sandra Steele was not ok with the slabs and was concerned with the sheds in extended side yards being a poor view. She would not like this to be all over the city.

Kevin Thurman commented that one rule with making improvements in public utility easements is that if the public utility had to make improvements in an area that has been displaced, property owners bear the loss. He is reminding that this language addresses structures under 200 ft. and that the verbiage should reflect the 200ft. and under. He would like to look over the Code with Kimber to tighten up the document.

Sandra Steele is concerned about drainage and what the city engineer would require for that. She suggests tabling it.

Kirk Wilkins responded that it is already the responsibility of the homeowner to take care of the water responsibly.

Hayden Williamson doesn't think drainage needs to be a concern.

Jeff Cochran agrees.

Kara North wants to make a suggestion that it was helpful to meet with staff and make the comments. Let's make the changes of this section, clean it up. Then let's take it in small increments like tonight.

Kimber Gabryszak would like to hear landscaping comments from commission over the next couple of weeks.

Motion by Kara North that the Planning Commission continue the Public Hearing and Possible Recommendation: Code Amendments for Sections 19.01, 19.02, 19.04, 19.05, 19.06, 19.11, 19.12, 19.13, 19.14, and 19.15 to Aug 28th. Seconded by Kirk Wilkins. Aye: Sandra Steele, Hayden Williamson, Jeffrey Cochran, Kirk Wilkins, Kara North, Jarred Henline. Motion passed unanimously.

Kirk Wilkins felt that those properties affected by this decision are under a timeline for enforcement. Kimber Gabryszak responded that they could hold off on enforcement actions.

Item 7 was continued at this time.

Ken Watson for applicant gave a review of the plan and changes that were made.

Sandra Steele had the applicant and staff clarify a few things on the plan. She was happy with the improvements. She asked if there were any neighbor concerns.

Ken Watson felt that the neighbors were fairly receptive with no negative comments. (Several neighbors were present but it was not a public hearing for them to comment.)

Hayden Williamson asked about planned fencing.

Ken Watson said that they would match the subdivision on the one side and they could do semi-private.

Hayden Williamson likes the changes and it makes it a much more useable community.

Kirk Wilkins asked about the stub the where it feeds into an adjacent residential property.

Kimber Gabryszak said in the future if they want to develop in that area than this stub would work with that and preserves the future use.

Kara North appreciates that they took the previous feedback to heart. She appreciates the guest parking and that it was dispersed throughout.

Jarred Henline asked about the frontage faces of the buildings.

Applicant showed how they were all back loaded and the front of the house faced the green space.

Jarred Henline appreciated the changes made. He had mixed feelings on the front faces.

Ken Watson commented that they wanted the fronts to face the green space.

Jeff Cochran thanked applicant for the improved plat. He asked about the rendering of buildings vs. the straight lot lines drawn on the plat rendering. His is disappointed that the staggered units are not what is being planned. He is concerned about the rear loaded homes.

Ken Watson replied that unless they would allow an average of setbacks, that staggered units would not meet setbacks requirements.

Kimber Gabryszak said there is nothing in the code that requires buildings to face the road.

Jeff Cochran had a few more clarifications on the building renderings. He asked where the open space began and where the unit began.

Kimber Gabryszak indicated on the plat and replied that with the open space and trails it could be interpreted to comply with the code.

Chris Norman commented that there were comments that were made from current residents about liking that they are finally getting sidewalks off the road and other amenities that have been needed for a long time.

Kimber Gabryszak indicated that the name of the plan was confusing and that staff recommended for a different name.

Kara North was Excused at this time.

9. Approval of Reports of Action.

No reports tonight.

10. Approval of Minutes:

1. July 10, 2014.

Sandra Steele had a comment about a word radius that should have been radii. Item was changed.

Motion by Hayden Williamson to approve the Planning Commission meeting minutes for July 10, 2014, Seconded by Jarred Henline. Aye: Sandra Steele, Hayden Williamson, Jeffrey Cochran, Kirk Wilkins, Jarred Henline. Motion passed unanimously.

11. Commission Comments.

No comments.

12. Director's Report.

Kimber Gabryszak updated the Commission on the last City Council meeting. She also noted what would be coming up at the next meeting. They are expecting a few resubmittals soon. Sandra asked for an update on Platinum Car wash. Kimber said that things were worked out but they pulled out because of Pioneer crossing. Café Rio was waiting to relocate a tenant. They are moving forward and hoping to be open by Christmas.

Councilman Poduska likes it not being an HOA. He likes the entrance park and thinks they would be popular community parks for the rest of the city. He thinks trailhead parking can be resolved, and thinks the plan has been thought out well and seems to include amenities for all ages.
Mayor Miller agrees with the rest of the council on parking and thinks it will be a great addition.
Councilman Willden thought the parks look great.

Motion by Councilwoman Baertsch that the City Council approve the Talus Ridge Phasing and Open Space Plan, for Edge Homes applicant, including OPTION A-2 with homes on the north end of the central park and the restroom building and no additional parking at the trail head with the findings and conditions listed in the staff report. Second by Councilwoman Call Aye: Councilman Willden, Councilwoman Baertsch, Councilman McOmber, Councilwoman Call, Councilman Poduska. Motion passed unanimously.

4. Approval of Final Plat for Talus Ridge Plat A located at 550 West 800 North, Edge Homes, applicant.
a. Resolution R14-39 (9-2-14): Addendum to resolution of the City of Saratoga Springs pertaining to the City Street Lighting Special Improvement District to include additional subdivision lots. (Talus Ridge Plat A)

Motion by Councilman McOmber that the City Council approve the Final Plat for Talus Ridge Plat A Final Plat, located at approximately 550 North 800 West, Resolution R14-39 (9-2-14): Addendum to resolution of the City of Saratoga Springs pertaining to the City Street Lighting Special Improvement District to include additional subdivision lots. (Talus Ridge Plat A) with the findings and conditions listed in the staff Report. Second Councilman Poduska Aye: Councilman Willden, Councilwoman Baertsch, Councilman McOmber, Councilwoman Call, Councilman Poduska. Motion passed unanimously.

5. Concept Plan for Riverside Heights (formerly Sunset Acres) located at 400 East and Crossroads Boulevard, Ivory Development, LLC, applicant.

Kimber Gabryszak presented the Plan to the Council. They are recommending that they change the name because there is a River Heights already.

Ken Watson addressed council and pointed out some features and amenities of the plan.

Councilman McOmber appreciates that a lot of this has been thought through. He appreciates lowering the number of units and looking at the bigger picture. He has no problem with this concept.

Councilwoman Call asked staff to clarify about corner setbacks, driveway lengths, fencing and the stub road.

Kimber Gabryszak said these corners have been revised and met the code. For the driveways they are no longer alley driveways so these all meet 20' setbacks. None of the yards would be fenced. They don't want to see a property get completely closed off so they had recommended a stub or easement so that there could be future connectivity.

Councilwoman Call appreciates the changes made and the feeling of the Boulevard look and the trees. It looks like a good development.

Councilman Poduska was impressed with the new rendition. He likes the sidewalk all the way around and thinks that will get a lot of use. He likes the stub road area and likes the look of the elevation examples. He likes the look of a friendly neighborhood.

Councilman Willden thanked the developer for the changes and thinks it's a great product. He supports it.

Councilwoman Baertsch thanked the developer for the revisions and she is good with doing an easement vs. a stub road for connectivity. She likes the sports court hard surface area. She thinks it is a much better plan and more consistent with what she expects from an Ivory project.

Councilman McOmber likes the thought of having a half court and perhaps some other things like hopscotch or 4-square in the area as well.

Mayor Miller liked the plan.



Village Plans 2, 3, 4, and 5

Legacy Farms

Thursday, December 11, 2014

Public Hearings

Report Date:	Thursday, December 4, 2014
Applicant:	D.R. Horton
Owner:	Corporation of Presiding Bishopric Church of Jesus Christ of LDS
Location:	SE corner intersection of Redwood and 400 south, extending to Saratoga Dr.
Major Street Access:	Redwood Road and 400 South
Parcel Number(s) & Size:	66:058:0007, 176.44 acres; 58:041:0185, 5.497 acres Total: 181.937 acres
Parcel Zoning:	Planned Community (PC)
Adjacent Zoning:	PC and Low Density Residential (R-3)
Current Use of Parcel:	Agriculture
Adjacent Uses:	Agriculture, Residential
Previous Meetings:	None
Previous Approvals:	Annexation Agreement (2010) Rezone to PC zone (2010) City Center District Area Plan (2010) Community Plan (2014 – PC 6/12/2014 and CC 7/1/2014)
Land Use Authority:	City Council
Future Routing:	City Council
Author:	Kimber Gabryszak, Planning Director

A. EXECUTIVE SUMMARY

The applicants are requesting approval of Village Plans 2, 3, 4, and 5 of the Legacy Farms development, pursuant to Section 19.26 of the Land Development Code (Code) the City Center District Area Plan (DAP), and the Legacy Farms Community Plan.

The Community Plan contains the broader guidelines for the development while Village Plans provide the specifics for the various phases of development. Form Based Code was approved as part of the CP, implementing specific standards for blocks, subzones, unit layout and type, transition of density, building setbacks, architecture, roadways, open space, landscaping, lighting, and other applicable standards.

Following an extensive review process, the CP and Village Plan 1 were approved on July 1, 2014.

Staff recommends that the Planning Commission conduct a public hearing on the four proposed Village Plans, take public comment, review and discuss the proposed Village Plans, and choose from the options in Section I of this report. Options include forwarding a positive or negative recommendation on any or all of the Village Plans as proposed, forwarding recommendations with changes as directed by the Commission, or continuing the hearing to another date with specific direction to the applicant on information or changes needed to make a recommendation.

B. BACKGROUND

The City Center District Area Plan (DAP) was approved in 2010 following annexation of just under 3000 acres into the City. As part of the annexation agreement and DAP, the 2883 acres is approved and vested for 16,000 residential units and 10,000,000 square feet of non-residential density:

Land Use Table

Type of Land Use	Quantity
Residential Housing	16,000 Units
Non-residential Area	10 million sq. ft.
Equivalent Residential Units	20,620 Units

(Note: the complete DAP can be found by visiting www.saratogaspingscity.com/planning and clicking on “Master Plans” and then “City Center District Area Plan.”)

1000 Equivalent Residential Units (ERUs) of residential density and 55 ERUs of non-residential density were approved and allocated to the Legacy Farms CP. Of the 1055 ERUs, a maximum of 309 residential units were approved within Village Plan 1.

C. SPECIFIC REQUESTS

The five Village Plans for the entire Legacy Farms development are broken down below:

<i>Village Plan 1 Approved</i>	<i>48.94 acres</i>	<i>Max 341 ERUs</i>	<i>All Residential</i>
Village Plan 2	42.58 acres	Max 281 ERUs	239 Residential, ~42 Non-Residential (school, church)
Village Plan 3	40.03 acres	Max 318 ERUs	304 Residential, ~14 Non-Residential (church)
Village Plan 4	28.11 acres	Max 173 ERUs	All Residential
Village Plan 5	22.27 acres	Max 131 ERUs	All Residential (age-restricted community)
Total:	181.93	1244*	1189 Residential*, ~55 Non-Residential (rounding)

****Note: the maximum density total exceeds the approved 1055 ERUs to allow for flexibility within each Village Plan to build up to or less than the maximum to meet market demands. Staff is also requiring a statement in each Village Plan ensuring that the maximum density is subject to the overall approved density in the Community Plan, and will monitor the running density total as development proceeds.***

The Village Plans each contain specific guidelines and standards for:

- Parking and snow storage
- Lot layout
- Lot frontages
- Setbacks
- Unit types
- Architecture and building materials
- Village-level street design and names
- Village-level open space and pedestrian plans
- Density transfers
- Phasing standards
- Village-level infrastructure

The contents of each Village Plan have been reviewed against the CP, and also compared to the previously approved Village Plan 1. The contents, standards, and plans are consistent with the previously approved Village Plan 1 and comply with the standards of the CP.

D. PROCESS / HOW IT WORKS

Section 19.26 of the Code describes development in the PC zone, and the graphic to the right shows the hierarchy of the different plans:

1. For a large-scale planned community district, an overall governing document is first approved, known as the District Area Plan (Section 19.26.13).
 - *The City Center DAP was approved in 2010.*
2. A Community Plan is then proposed and approved (Sections 19.26.03-19.26.08). The Community Plan lays out the more specific guidelines for a sub-district within the DAP.
 - *The Legacy Farms Community Plan was approved for ~182 acres on July 1, 2014.*
3. Following and / or concurrently with the Community Plan, a Village Plan is proposed and approved (Sections 19.26.09 – 19.26.10). The Village Plan is the final stage in the Planned Community process before final plats, addressing such details specific to the sub-phase as open space, road networks, and lots for a sub-phase of the Community Plan.
 - *Village Plan 1 was approved on July 1, 2014.*
 - *The proposed Village Plans 2-5 cover the remaining acreage in the CP.*

The approval process for Village Plans 2-5 includes:

1. A public hearing and recommendation by the Planning Commission
2. A public hearing and final decision by the City Council (19.26 states that the process is per Section 19.17, which is Code amendments / rezones, and requires hearings with the Council.)

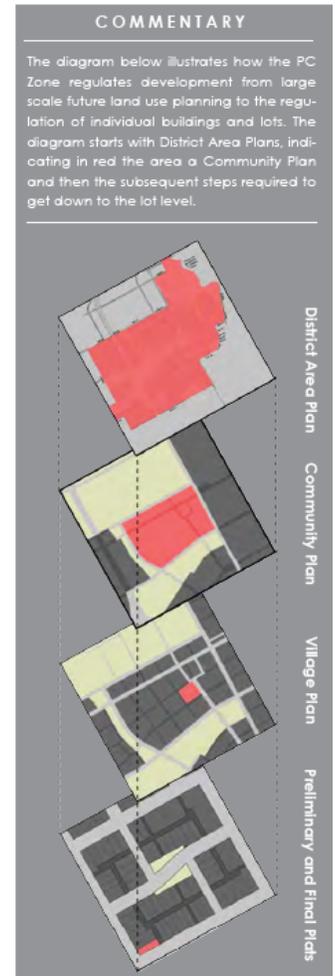
E. COMMUNITY REVIEW

These items were noticed as public hearings in the *Daily Herald*; and mailed notice sent to all property owners within 300 feet. Public input was received during the hearing process for the CP and Village Plan 1; as of the date of this report, no public input has been received on Village Plans 2-5.

F. REVIEW

Place Type

The Community Plan designates the entire ~182 acre Legacy Farms development as Traditional Neighborhood, which is described in the DAP as follows:



TRADITIONAL NEIGHBORHOOD

Range of Average Dwelling Units/Acre	5–32 du/ac
Range of Average FAR	0.47–1.04
Range of Open Space	18 - 24%

Open Space Types:

- Plaza
- Entrance park
- Pocket park
- Neighborhood park
- Community park
- Regional park
- School park
- Sports complex
- Special use
- Community garden
- Parkway (Boulevard)
- Greenway

Traditional neighborhoods in this district are medium-density residential areas typically comprised of many small lot single-family dwellings, some townhomes and small scale apartments. Houses in these neighborhoods are close enough to the street to encourage interaction among neighbors and create a “front porch” culture. Houses are closer together and on smaller lots than in a master planned subdivision. There are small neighborhood serving parks and connections to trails. Street connectivity is relatively favorable, allowing for a walkable environment and transit options. On-street parking slows traffic and creates a buffer between traffic and pedestrians on the sidewalks.

Density

The Community Plan was approved with a maximum density of 1055 ERUs. The cumulative maximums of the Village Plans exceeds 1055, however the overall density is still subject to the 1055 limit. This allows flexibility within each Village Plan.

Unit Type

The Legacy Farms CP approved a mixture of large-lot single-family homes, small-lot and cottage single-family homes, twin homes, and several types of townhomes. Each Village Plan contains a conceptual lotting plan showing the breakdown of unit type, with larger lots adjacent to existing residential development to the south, and smaller lots and townhomes appearing as development transitions to the north.

Traffic and Infrastructure

The applicants have provided a traffic study and infrastructure plans, which were previously reviewed by the City Engineer.

Form Based Code / Development Standards

The governing standards and principles of the project are contained in the Community Plan, and built upon in the Village Plans.

The Community Plan contains the general standards for the entire ~182 acre project:

- Community Plan Process
- Place Type Designation
- Block Types
- Transition in density from existing residential development
- Equivalent Residential Unit (ERU) allocation
- Thoroughfare Plans (street / road standards)
 - Frontage Types
 - Utility Easements
 - Turning Radii
 - Pedestrian Crossings
 - Planting Information
- Parking

- Lighting Standards
- Architectural Styles
- Open Space types and conceptual layout
- Landscape Guidelines
- Signage Standards
- Fencing Standards
- Phasing
- Infrastructure
- Constraints
- Traffic Study
- Definitions

The Village Plans contain additional standards to implement the Community Plan on each particular sub-phase. While these topics were addressed at a higher level in the Community Plan, the information in each Village Plan is more specific and applies only to that Village Plan:

- Village Plan Process
- Sub-districts
- Private Frontages
- Conceptual Lotting Plan (lot layout)
- Product types (10,000 sq.ft. lots, 8,000 sq.ft. lots, 6,000 sq.ft. lots, cottages and rear lane cottages, twin homes, and several townhome types)
- Thoroughfares
- Street Names
- Pedestrian Plan
- Architectural details / materials
- Color Palette
- Open space
- Phasing
- Infrastructure and Utilities

Staff Review

Staff has identified several items for correction or clarification prior to final signature of the Village Plans. These include items such as the following:

- Add to density section “as also limited by the cumulative total ERUs permitted in the Community Plan.”
- Prohibition of side yard fencing between buildings where setbacks are 5’ or less.
- Modify T-zones to reflect the zones permitted in each block type.
- Add consistency in product type names and references.
- Correct thoroughfare types.
- Require conceptual elevations for twin home product.
- Other typo corrections, clarifications, and minor edits.
- All buildings with setbacks five feet or less must be built with 1-hour fire rated materials.
- All buildings over 35’ in height must be fully sprinkled and meet all additional Fire requirements.

More detail on the standards above are found in the proposed Legacy Farms Village Plans, which can be obtained by visiting www.saratogaspringscity.com/planning, and clicking on “pending applications”.

G. GENERAL PLAN

The General Plan Land Use map identifies this area as Planned Community, which states:

- k. **Planned Community.** The Planned Community designation includes large-scale properties within the City which exceed 500 acres in size. This area is characterized by a mixture of land uses and housing types. It is subject to an overall Community Plan that contains a set of regulations and guidelines that apply to a defined geographic area. Required Village Plans contain regulations that apply to blocks of land and provide specific development standards, design guidelines, infrastructure plans and other elements as appropriate. Development in these areas shall contain landscaping and recreational features as per the City's Parks, Recreation, Trails, and Open Space Element of the General Plan.

The 2883 acre DAP was approved in 2010 in compliance with the General Plan and the intent of the Planned Community designation. Multi-family development was also approved as part of the DAP, and was therefore vested prior to Proposition 6, which limited some types of future multi-family housing.

The Community Plan was approved in 2014 and found to be in compliance with the DAP; the CP includes trail connections and parks in compliance with the related master plans. Both are consistent with the General Plan.

H. CODE CRITERIA

The property is zoned PC, and is subject to the standards and requirements in Section 19.26 of the Code, and its several sub-sections.

19.26.04 – Uses Permitted within a Planned Community District

- The application includes multi-family and single family homes, school and church sites, parks, and trails. All of these uses are permitted in the PC zone.

VILLAGE PLAN CODE REQUIREMENTS

19.26.03.2 – Additional Village Plan Requirements

Additional requirements for a Village Plan are summarized below:

- a. A detailed traffic study - **Provided.**
- b. A map and analysis of backbone infrastructure systems - **Provided.**
- c. Detailed architectural requirements and restrictions - **Provided**
- d. If applicable, details regarding the creation of an owners' association, master association, design review committee, or other governing body. - **Provided.**

19.26.09 – Village Plan Approval

The criteria for a Village Plan approval are summarized below:

- a. is consistent with the adopted Community Plan;
Staff finding: complies. The Village Plans have been reviewed for compliance with the densities, uses, block types, conceptual layout, and standards of the Community Plan.

- b. does not exceed the total number of equivalent residential units dictated in the adopted Community Plan;
***Staff finding: complies.** The proposed densities for the Village Plans fall within the density ranges contemplated in the Community Plan for the Block Types in each Village Plan. Regardless, in no case may the density in the entire Community Plan exceed 1000 residential unit equivalents, 1055 including the nonresidential portion. Staff has recommended a condition to provide clarity and future guarantees that this will be met.*
- c. for an individual phase, does not exceed the total number of equivalent residential units dictated in the adopted Community Plan unless transferred per the provisions of the Community Plan;
***Staff finding: complies.** The densities within the phases also comply with the density ranges for the Block Types of each phase.*
- d. is consistent with the utility, infrastructure, and circulation plans of the Community Plan; includes adequately sized utilities, services, and roadway networks to meet demands; and mitigates the fair-share of off-site impacts;
***Staff finding: complies.** The street layouts and utility plans are consistent with the plans provided in the Community Plan.*
- e. properly integrates utility, infrastructure, open spaces, pedestrian and bicycle systems, and amenities with adjacent properties; and
***Staff finding: complies.** The projects properly integrate utility and infrastructure; discussion was held on pedestrian and bicycle systems and the integration of such systems with adjacent properties and they were found to be consistent. Most parks and open spaces are intended for the Legacy Farms community and are not public.*
- f. contains the required elements as dictated in Section 19.26.10.
***Staff finding: Complies.** See below.*

19.26.10 – Contents of a Village Plan

The required contents of a Village Plan are summarized below:

1. Legal Description - **Provided**
2. Detailed Use Map - **Provided**
3. Detailed Buildout Allocation - **Provided**
4. Detailed Development Standards - **Provided**
5. Design Guidelines - **Provided**
6. Owners' / Governing Associations - **Provided**
7. Phasing Plan - **Provided**
8. Lotting Map - **Provided**
9. Landscaping Plan - **Provided**
10. Utility Plan - **Provided**
11. Vehicular Plan - **Provided**
12. Pedestrian and Bicycle Plan - **Provided**
13. Additional Detailed Plans. Other elements as necessary (grading plans, storm water drainage plans, wildlife mitigation plans, open space management plans, sensitive lands protection plans, hazardous materials remediation plans, and fire protection plans) - **Provided as necessary**
14. Site Characteristics - **Provided**

15. Findings Statement - **Provided**
16. Mitigation Plans. (Protection and mitigation of significant environmental issues) - **Provided**
17. Offsite Utilities - **Provided**
18. Development Agreement – **Pending (final draft in process)**

I. Recommendation and Alternatives:

Staff recommends that the Planning Commission conduct four public hearings, take public comment, review and discuss the proposed Village Plans, and choose from the options below for each Village Plan. Note that four separate motions are necessary.

Option 1 – Positive Recommendation(s)

“I move to forward a positive recommendation to the City Council for the Legacy Farms Village Plan [2, 3, 4, 5] with the Findings and Conditions in the Staff Report:”

Findings

1. The application is consistent with the guiding standards in the Legacy Farms Community Plan. Specifically, the density, unit types, block types, thoroughfares, and other standards are expressly as contained in the Community Plan.
2. The application complies with the criteria in section 19.26.09 of the Development Code, as articulated in Section H of the Staff report, which section is incorporated by reference herein. Particularly:
 - a. With appropriate modifications, the application is consistent with the adopted Community Plan;
 - b. The range of density in the application does not exceed the total number of equivalent residential units dictated in the adopted Community Plan;
 - c. For an individual phase, the density will not exceed the total number of equivalent residential units dictated in the adopted Community Plan unless transferred per the provisions of the Community Plan;
 - d. The application is consistent with the utility, infrastructure, and circulation plans of the Community Plan; includes adequately sized utilities, services, and roadway networks to meet demands; and mitigates the fair-share of off-site impacts.
 - e. The application properly integrates utility, infrastructure, open spaces, pedestrian and bicycle systems, and amenities with adjacent properties; and
 - f. The application contains the required elements as dictated in Section 19.26.10.

Conditions:

1. All requirements of the City Engineer, including but not limited to those in the Staff Report in Exhibit 1, shall be met.
2. All requirements of FEMA shall be met.
3. All requirements of the Fire Chief shall be met.
4. This statement shall be added to density references: “as also limited by the cumulative total ERUs permitted in the Community Plan.”
5. Where side setbacks are five feet or less, fencing shall be prohibited in side yards between buildings.
6. T-zones shall be modified to match the zones permitted in each block type. Particularly, Village Plans 2 and 3 have T-zone T3-R in Block Type 3, which is not permitted.
7. The Village Plan shall be amended to provide consistency between references to product types. Particularly, references to Cottages and Townhomes shall be clarified.

8. The thoroughfare network shall be amended to match the thoroughfare types in the CP, or a new local thoroughfare shall be added to the Village Plans.
9. Conceptual elevations for twin-home products shall be provided.
10. The Village Plan shall be amended as directed by the Planning Commission, including correction of typos as identified by Staff.
11. All buildings with setbacks five feet or less must be built with 1-hour fire rated materials.
12. All buildings over 35' in height must be fully sprinkled and meet all additional Fire and Building Department requirements.
13. Any other conditions as articulated by the Commission_____.

Option 2 - Continuance

"I move to **continue** Village Plan [2, 3, 4, 5] to another meeting on [DATE], with direction to the applicant and Staff on information and / or changes needed to render a decision, as follows:

1. _____
2. _____
3. _____

Option 3 – Negative Recommendation(s)

"I move to forward a negative recommendation to the City Council for the Legacy Farms Village Plan [2, 3, 4, 5] with the Findings below:

1. _____
2. _____
3. _____

I also move to continue the final decision(s) to a future meeting, on [DATE], and direct Staff to return with official Findings as outlined in my motion."

J. Attachments:

1. City Engineer’s Report dated December 4, 2014 (pages 10-13)
2. Location & Zone Map (page 14)
3. Aerial Photo (page 15)
4. Approved Community Plan Layout (page 16)
5. Village Plan 2 Layout & Conceptual Lotting Plan (pages 17-18)
6. Village Plan 3 Layout & Conceptual Lotting Plan (pages 19-20)
7. Village Plan 4 Layout & Conceptual Lotting Plan (pages 21-22)
8. Village Plan 5 Layout & Conceptual Lotting Plan (pages 23-24)
9. Community Plan: www.saratogaspringscity.com/planning, then “Pending Applications” (Recently Finalized)
10. Complete Village Plans: www.saratogaspringscity.com/planning, then “Pending Applications”

City Council Staff Report

Author: Jeremy D. Lapin, City Engineer
Subject: Legacy Farms Village Plans 2-5
Date: December 11, 2014
Type of Item: Village Plan Approval



Description:

A. Topic: The Applicant has submitted a community plan application. Staff has reviewed the submittal and provides the following recommendations.

B. Background:

Applicant: D.R. Horton
Request: Community and Village Plan Approval
Location: Area east of Redwood Road and South 400 South
Acreage: VP #2 – 42.58 ac, VP #3 – 40.03 ac, VP #4 – 28.11 ac, VP #5 – 22.27 ac

C. Recommendation: Staff recommends the approval of community plan subject to the following findings and conditions:

- 1) The Village Plans shall be consistent with the Community Plan as well as the City's existing Master Plans including the Transportation Master Plan, the Parks, Trails, and Open Space Master Plan, as well as the City's utility master plans including the Culinary Water, Secondary Water, Sewer, and Storm Drain Master Plans.
- 2) Each Village plan shall have a utility phasing plan specific to that phase that is consistent with the Community Plan and the City's Master Plans.
- 3) The adoptions of the Village plans do not represent a reservation of capacity in any of the systems. Capacity is available on a first come, first serve basis and final verification of system capacity will need to be determined prior to the recordation of plats. At the time of plat recordation, Developer shall be responsible for the installation and dedication to City of all onsite and offsite improvements sufficient for the development of Developers' Property in accordance with the current City regulations. While the anticipated improvements required for the entire Property are set out in the community plan, that is only the City's and Developers best estimate at this time as to the required improvements and is not intended to be an exhaustive list. The required improvements for each plat shall be determined by the City Engineer at the time of plat submittal and shall primarily be based on the

exhibits in the Village Plan but may be adjusted in accordance with current City regulations.

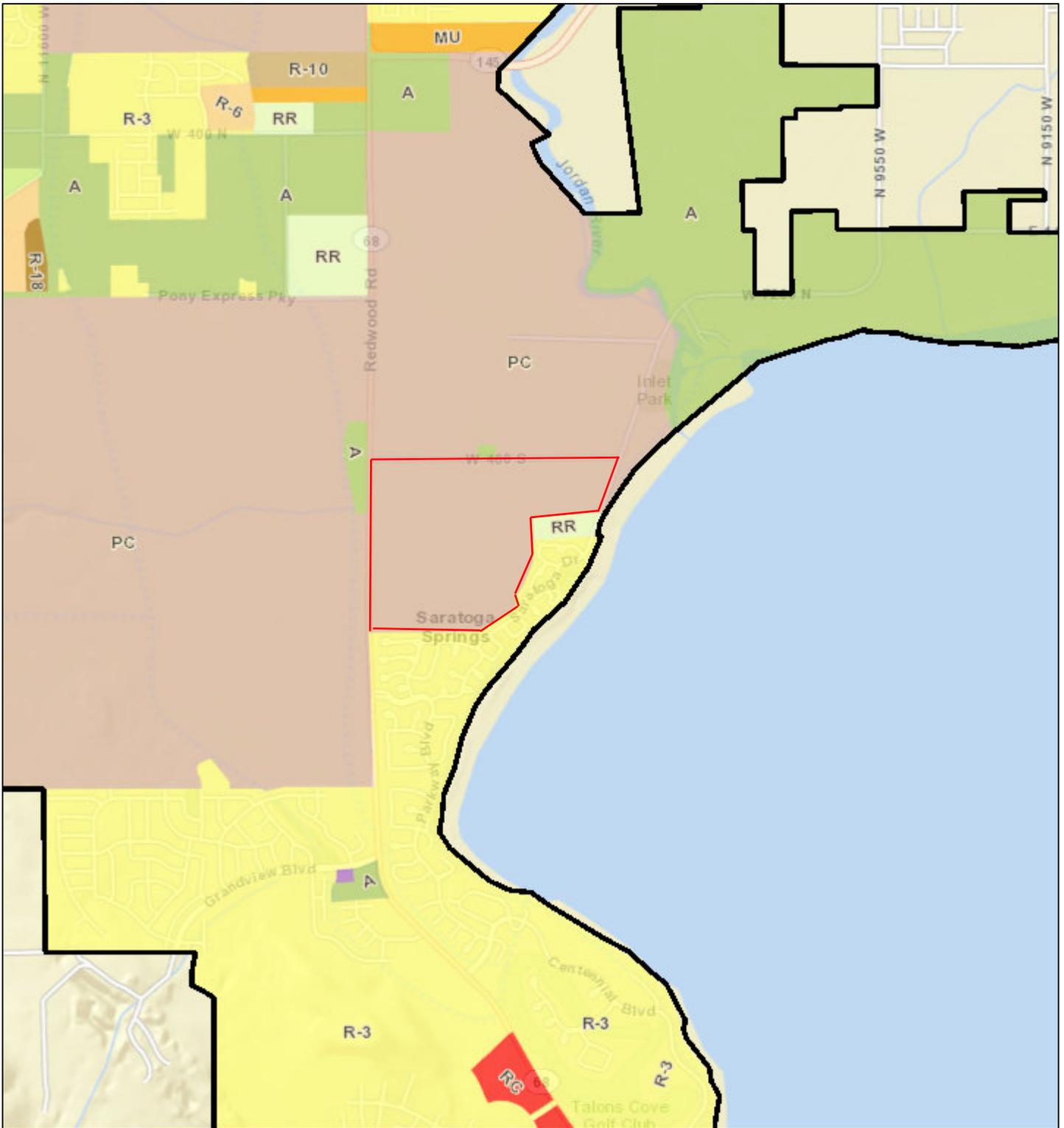
- 4) Developer shall complete the half-width improvements along 400 South (Collector) as per the City's Transportation Master Plan (TMP) and Engineering standards and specifications.
- 5) Developer shall complete all recommendations of the submitted Traffic Impact study prepared by Hales Engineering.
- 6) Provide sufficient ROW for adequate queuing and turn lanes at all intersections internal to the project as at other points of access along 400 South and Saratoga Road as identified in the Traffic study and as per the City's transportation master plan and standards and specifications. The TIS specifically indicates all access points onto 400 South will need to be flared to allow for separate left and right turn egress lanes. Flared approaches shall be a minimum of 50-ft long plus taper or longer if recommended in the TIS.
- 7) The proposed location of the elementary school may require improvements to the adjacent roads beyond their standard cross sections to accommodate ingress, egress, and queuing. These modifications shall be based on Existing and future traffic studies and the final site layout of the school.
- 8) The project shall comply with the recommendations of the Traffic Study Memorandum from Hales Engineering dates 4-2-2014 and Addendum #1 dated June 17, 2014 including providing left turn lanes for the elementary school. If the road is to be constructed before the location of the accesses are known, a left turn lane shall be provided for the entire primary frontage and extend a sufficient distance past the frontage to provide adequate queuing lengths.
- 9) A map revision will be required through FEMA before any lots can be recorded in any area currently shown within the FEMA 100-yr flood plain including Zone "A" which is identified as those areas having a 1% annual chance flood event with no defined base flood elevation.
- 10) The developer shall obtain an Army Corp of Engineers (ACOE) 404 permit for any portion of the project that may disturb wetlands or fall under the ACOE jurisdiction prior to beginning construction and must comply with all local, state, and federal laws.
- 11) Developer shall bury and/or relocate all overhead distribution power lines that are alongside or within this project.
- 12) Developer shall provide a geotechnical report and hydrologic/hydraulic storm drainage calculations for the overall project. Detention areas and volumes shall be identified as well as all proposed outfall locations. The project shall comply with all

City, UPDES and NPDES storm water pollution prevention requirements. Storm water release shall not exceed 0.2 cfs/acre and must be cleaned to remove 80% of Total Suspended Solids and all hydrocarbons and floatables.

- 13) All roads shall comply with the City's TMP be designed and constructed to City and AASHTO standards, and shall incorporate all geotechnical recommendations as per the applicable soils report. Road cross sections shall match either the ones in the City's adopted Engineering Standards and Specifications or the Community Plan and must also comply with international fire code requirements. Intersection spacing along 400 south and on all internal roads shall comply with the spacing standards identified in the City's adopted TMP. The Village Plan shall include the required South in the Thoroughfare network plan as per the TMP and the City's engineering standards and specifications. 400 south shall be widened along the frontage of each phase plus additional length as necessary to provide a left turn lane in the northern access points a minimum of 50-ft. or longer if recommended in the TIS.
- 14) Road names and coordinates shall comply with current city ordinances and standards.
- 15) Project shall comply with the City's adopted Parks, Recreation, Trails, and Open Space Master Plan. Trail and open space designs shall comply with all City standards and specifications.
- 16) Park strips less than 9' in width shall only be planted with trees appropriate for narrow areas and that will not damage the sidewalk as they grow.
- 17) Open Space areas that will maintained by the City must be designed in accordance with City Standards and the City's Engineering Standards and Specifications.
- 18) Developer shall prepare and submit signed easements for all public facilities not located in the public right-of-way. Sewer and storm drains shall be provided with a minimum of 20' wide easements and water and irrigation lines a minimum of 10' wide easements centered on the facility. Utility lines may not be closer than 10' apart from each other or from any structure. Developer shall provide 12' paved access roads and 20' wide access easements to any location where access is required outside the ROW such as sewer or storm drain manholes. Utility mains outside of the ROW shall be located in common or dedicated open space acres and shall not be located in private lots and must be a minimum of 20' from any building or structure.
- 19) All street lighting and any other lighting proposed to be dedicated to and maintained by the City shall comply with the current City standards and specifications. All lighting shall be full-cutoff style and meet all other City and IESNA standards.
- 20) Project shall comply with all ADA standards and requirements.

- 21) Utilities including water, irrigation, sewer and storm drain and shall not be located within any lot residential lot boundary (except for laterals).
- 22) Lots shall not contain any sensitive lands; all sensitive lands must be placed in protected open space.
- 23) Phasing plan within the Village Plans shall illustrate the phasing of the frontage improvements along 400 south and Redwood Road.
- 24) Secondary and Culinary Water Rights must be secured from or dedicated to the City with each plat proposed for recordation compliant with current City Code. Prior to acceptance of water rights proposed for dedication, the City shall evaluate the rights proposed for conveyance and may refuse to accept any right that it determines to be insufficient in annual quantity or rate of flow or has not been approved for change to municipal purposes within the City or has not been approved for diversion from City-owned waterworks by the State Engineer.
- 25) The developer shall ensure that any open space dedicated to the City will meet all City landscaping and irrigation design standards as well as meet all City and industry standards for amenities and play equipment.
- 26) Structures in excess of 3 stories may be required to install a fire sprinkler system if and as directed by the Fire Chief.
- 27) No parking stalls are permitted in the Public ROW. On street parking parallel to the roadway/curb may be permitted where not specifically prohibited but any parking area constructed adjacent to the public ROW may only install a drive approach within the public ROW with all portions of the parking area and stalls completely outside of the ROW.

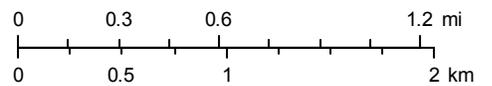
Zoning & Planning



February 11, 2014

1:36,112

 City Boundary

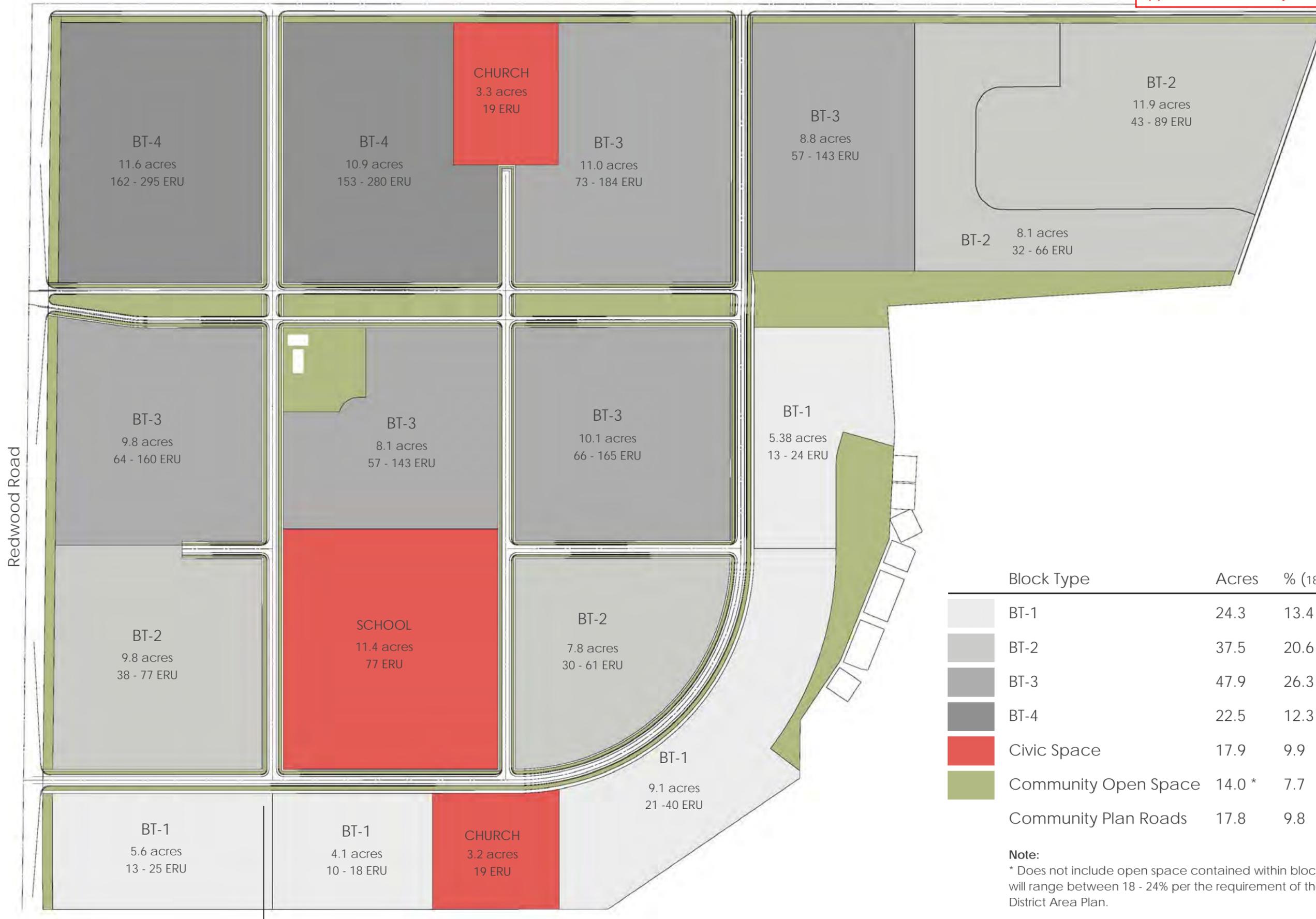


Sources: Esri, DeLorme, NAVTEQ, USGS, Intermap, iPC, NRCAN, Esri Japan, METI, Esri China (Hong Kong), Esri (Thailand), TomTom, 2013



Exhibit 4
Approved Community Plan

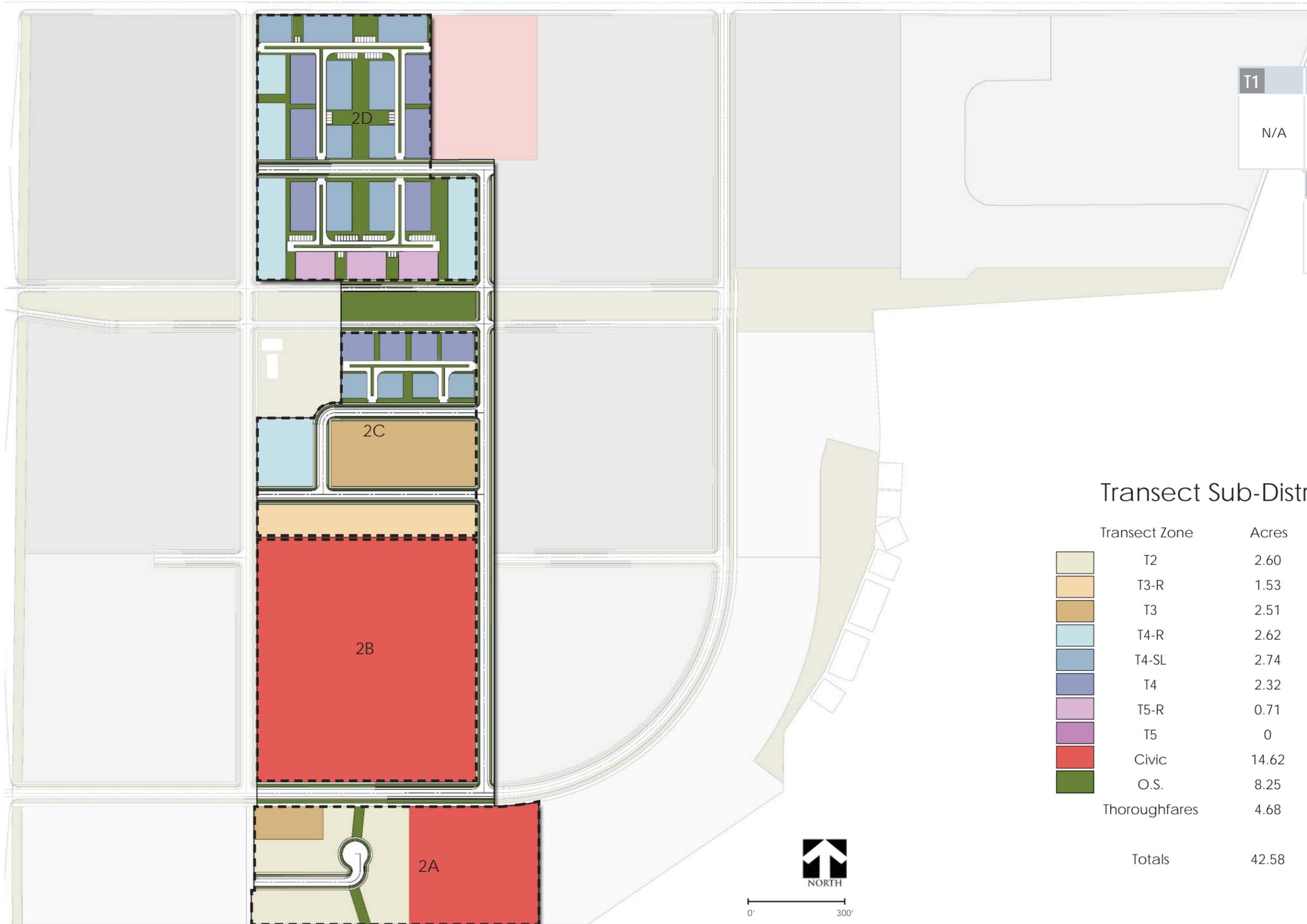
400 So.



Block Type	Acres	% (181.9 ac.)	ERU's
BT-1	24.3	13.4	1,000 (Residential) 55 (Non-Residential) Total Maximum = 1,055 ERUs
BT-2	37.5	20.6	
BT-3	47.9	26.3	
BT-4	22.5	12.3	
Civic Space	17.9	9.9	
Community Open Space	14.0 *	7.7	
Community Plan Roads	17.8	9.8	

Note:

* Does not include open space contained within block types. Overall open space will range between 18 - 24% per the requirement of the Saratoga Springs City Center District Area Plan.



T1	T2	T3	T4	T5
N/A	4 ERU per gross acre	10 ERU per gross acre	24 ERU per gross acre	34 ERU per gross acre
T3R	T4R	T5R		
8 ERU per gross acre	12 ERU per gross acre	28 ERU per gross acre		
T4SL				
24 ERU per gross acre				

Transect Sub-District Assignments

Transect Zone	Acres	% of Gross Area	Max. ERU
T2	2.60	6%	
T3-R	1.53	4%	
T3	2.51	6%	
T4-R	2.62	6%	
T4-SL	2.74	6%	
T4	2.32	6%	
T5-R	0.71	1%	
T5	0	0%	
Civic	14.62	35%	
O.S.	8.25	19%	
Thoroughfares	4.68	11%	
Totals	42.58	100%	

Total Maximum = 281 ERU's

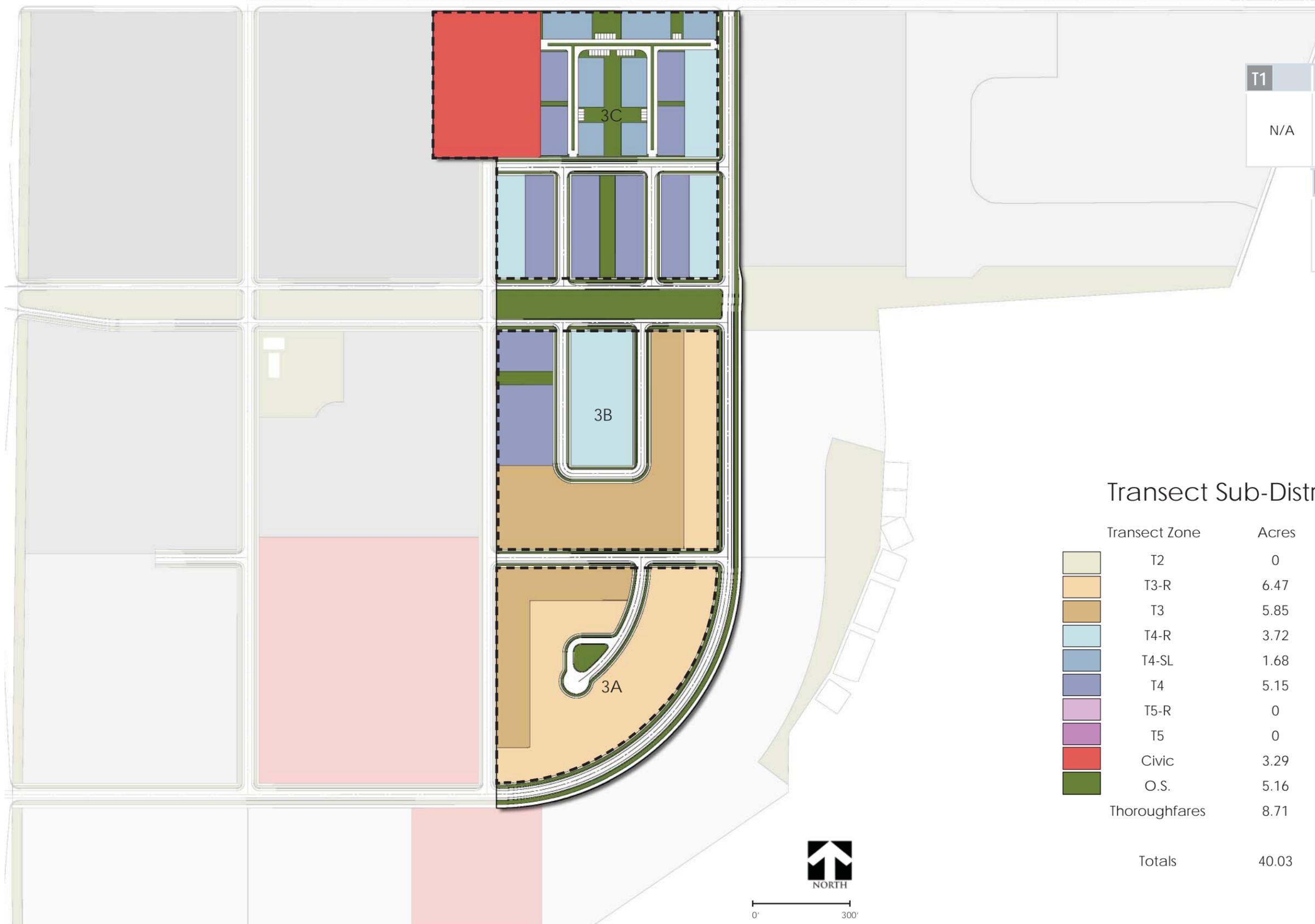
CONCEPTUAL LOTTING PLAN

- Product
- 10,000 s.f. lots
 - 8,000 s.f. lots
 - 6,000 s.f. lots
 - Cottage
 - Front-Load Cottage
 - Twin Homes
 - Townhomes
 - Rear-Loaded Towns



The lotting diagram on this page is conceptual in nature and subject to change. Changes in residential products must comply with the criteria established in each designated transect sub-district zone.

EXHIBIT 6



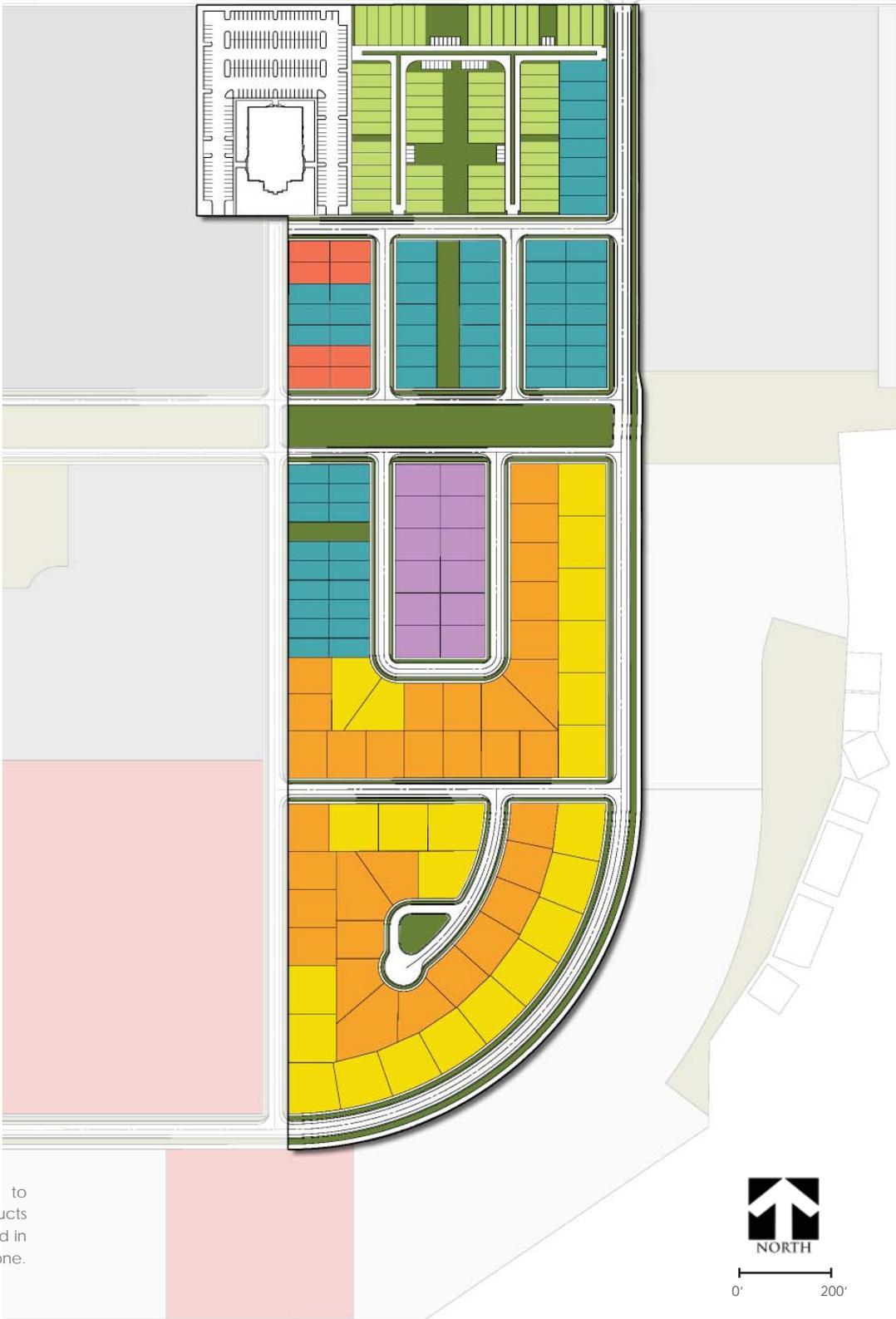
T1	T2	T3	T4	T5
N/A	4 ERU per gross acre	10 ERU per gross acre	24 ERU per gross acre	34 ERU per gross acre
T3R	T4R	T5R		
8 ERU per gross acre	12 ERU per gross acre	28 ERU per gross acre		
T4SL				
24 ERU per gross acre				

Transect Sub-District Assignments

Transect Zone	Acres	% of Gross Area	Max. ERU
T2	0	0%	
T3-R	6.47	16%	
T3	5.85	15%	
T4-R	3.72	9%	
T4-SL	1.68	4%	
T4	5.15	13%	
T5-R	0	0%	
T5	0	0%	
Civic	3.29	8%	
O.S.	5.16	13%	
Thoroughfares	8.71	22%	
Totals	40.03	100%	Total Maximum = 318 ERU's

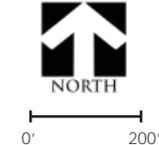
CONCEPTUAL LOTTING PLAN

- Product
- 10,000 s.f. lots
 - 8,000 s.f. lots
 - 6,000 s.f. lots
 - Cottage
 - Front-Load Cottage
 - Twin Homes
 - Townhomes



The lotting diagram on this page is conceptual in nature and subject to change. Changes in residential products must comply with the criteria established in each designated transect sub-district zone.

EXHIBIT 6





T1	T2	T3	T4	T5
N/A	4 ERU per gross acre	10 ERU per gross acre	24 ERU per gross acre	34 ERU per gross acre
T3R	T4R	T5R		
8 ERU per gross acre	12 ERU per gross acre	28 ERU per gross acre		
T4SL				
24 ERU per gross acre				

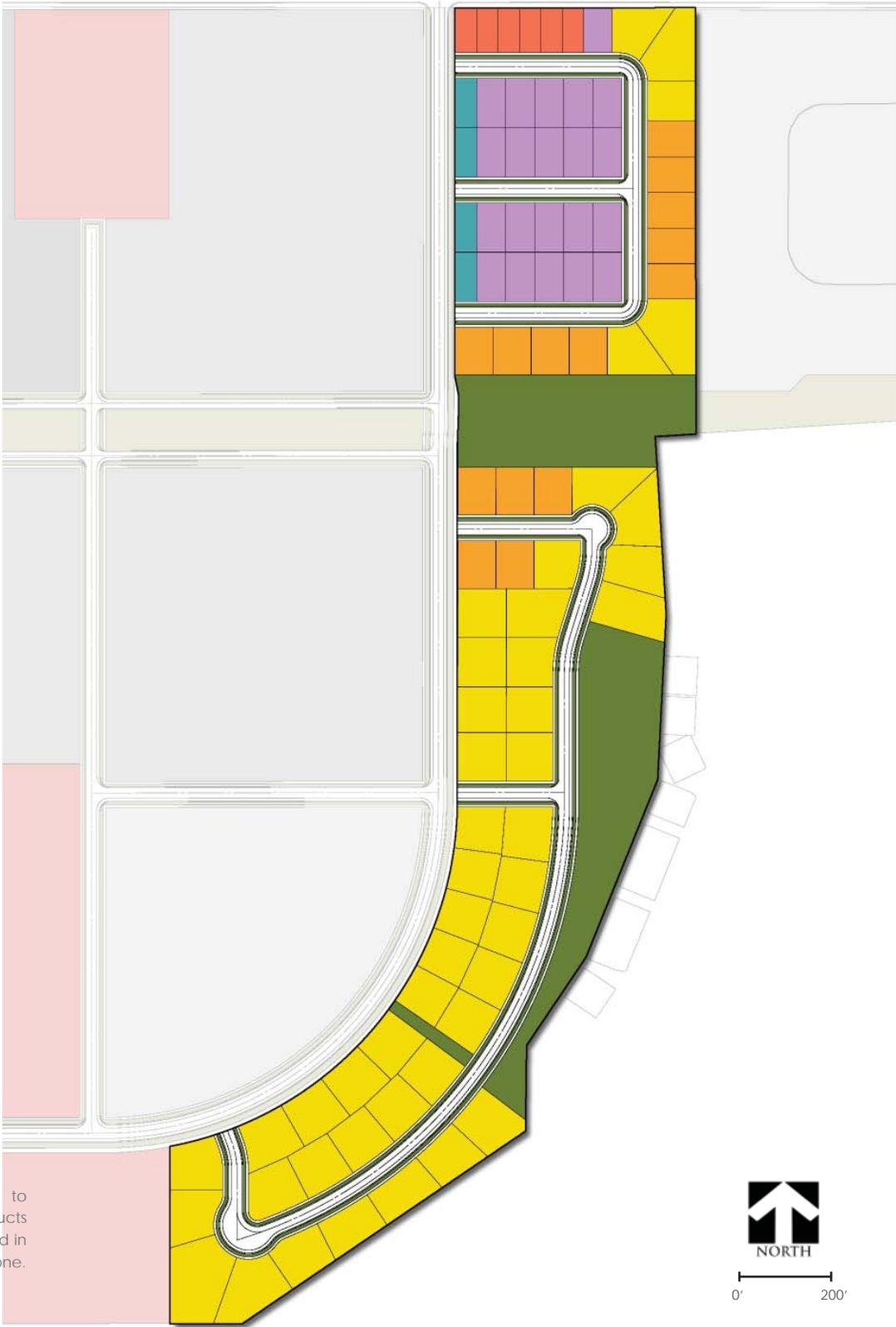
Transect Sub-District Assignments

Transect Zone	Acres	% of Gross Area	Max. ERU
T2	4.58	16%	
T3-R	3.56	13%	
T3	5.90	21%	
T4-R	1.67	6%	
T4-SL	0	0%	
T4	2.38	9%	
T5-R	0	0%	
T5	0	0%	
Civic	0	0%	
O.S.	6.01	21%	
Thoroughfares	4.01	14%	
Totals	28.11	100%	

Total Maximum = 173 ERU's

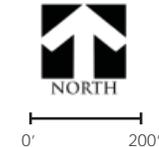
CONCEPTUAL LOTTING PLAN

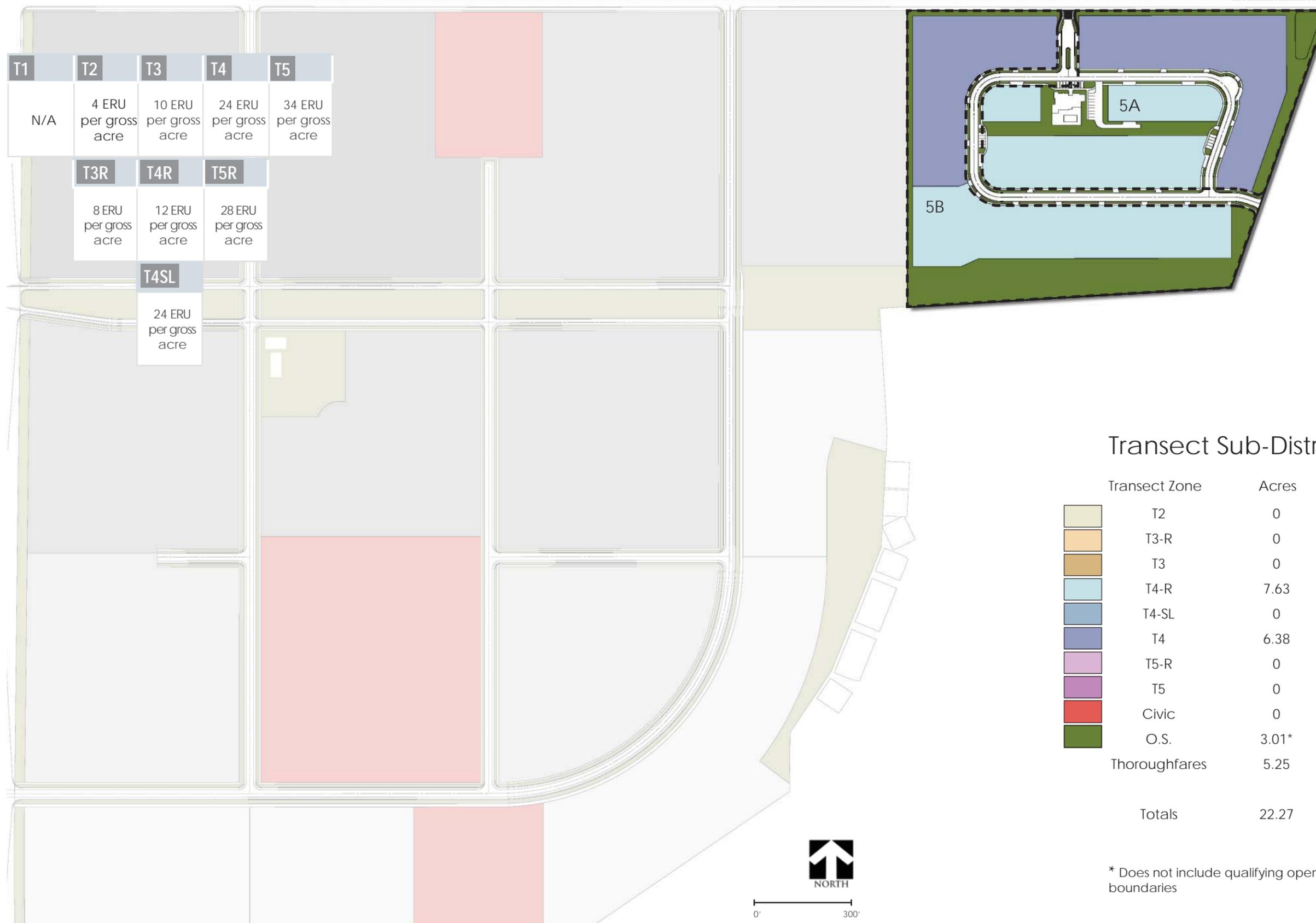
- Product
- 10,000 s.f. lots
 - 8,000 s.f. lots
 - 6,000 s.f. lots
 - Cottage
 - Front-Load Cottage
 - Twin Homes
 - Townhomes
 - Rear-Loaded Towns



The lotting diagram on this page is conceptual in nature and subject to change. Changes in residential products must comply with the criteria established in each designated transect sub-district zone.

EXHIBIT 6





T1	T2	T3	T4	T5
N/A	4 ERU per gross acre	10 ERU per gross acre	24 ERU per gross acre	34 ERU per gross acre
	T3R	T4R	T5R	
	8 ERU per gross acre	12 ERU per gross acre	28 ERU per gross acre	
		T4SL		
		24 ERU per gross acre		

Transect Sub-District Assignments

Transect Zone	Acres	% of Gross Area	Max. ERU
T2	0	0%	
T3-R	0	0%	
T3	0	0%	
T4-R	7.63	34%	
T4-SL	0	0%	
T4	6.38	28%	
T5-R	0	0%	
T5	0	0%	
Civic	0	0%	
O.S.	3.01*	14%	
Thoroughfares	5.25	24%	
Totals	22.27	100%	Total Maximum = 131 ERU's

* Does not include qualifying open space within transect sub-district boundaries

CONCEPTUAL LOTTING PLAN

Product



Leisure Villas Townhomes



The lotting diagram on this page is conceptual in nature and subject to change. Changes in residential products must comply with the criteria established in each designated transect sub-district zone.



0' 200'

EXHIBIT 6

City of Saratoga Springs
Planning Commission Meeting
November 13, 2014

Regular Session held at the City of Saratoga Springs City Offices
1307 North Commerce Drive, Suite 200, Saratoga Springs, Utah 84045

Planning Commission Minutes

Present:

Commission Members: Jeff Cochran, Jarred Henline, Kirk Wilkins, Sandra Steele, Hayden Williamson, Kara North

Staff: Kimber Gabryszak, Sarah Carroll, Nicolette Fike, Jeremy Lapin, Kevin Thurman

Others: Nate Shipp, Nola & Mel Bunkall, Juni Moore, Joan Black, Diana Bradey, Jeremy Cochran, Brett Hardcastle, Troy Herold, Sean Trinnaman, Mindy Danve, Jamie Danforth, Alan Johnson, Steve Larsen, Milt Shiff, Aric Jensen, J. & Q. Klingonsmith, Brian Ricks, Kalli & Austin Bee, Ryan Marle, Paul Linford, Bryan Flamm, Joe Hitzeman, Ken Betch, Wende Tate, Jason Broll, Rick Van Valkenburgh

Excused: Eric Reese

Call to Order - 6:30 p.m. by Jeff Cochran

Pledge of Allegiance - led by Sean Trinnaman

Roll Call - Quorum was present

4. Continued Public Hearing and Possible Recommendation: Preliminary Plat for Heron Hills located at approximately 3250 South Redwood Road, Steve Larson, applicant.

Sarah Carroll reviewed this plat which was tabled from a prior meeting. There were two concerns of the access to El Nautica boat club and a property overlap. It was actually a gap between the properties. Part of the fence is still on the Heron Hills property. The applicant will Quit Claim the gap parcel and up to the existing fence to the El Nautica owners. Applicant has met with UDOT and they agreed to have the future public road align with Wildlife Blvd. The shape of the park has been revised and some of the lots have been revised as well. They will submit the new phasing plan with the final plat.

Ken Berg for applicant stated that staff has addressed all concerns and he is happy to answer any questions that need to be answered.

Public Hearing Opened by Jeff Cochran

Brett Hardcastle asked if Redwood road would be expanded to include a turning lane.

Jeremy Lapin said that there are no plans to modify or change the historical access. It is not a public access.

Sarah Carroll noted they would have the option of using the public road but the residents can't use the private road.

Julie Moore asked if the developer and the members of the El Nautica could meet and create a written agreement between the two.

Steve Larsen agreed to meeting with the El Nautica Club.

Public Hearing Closed by Jeff Cochran

Sandra Steele asked Ken Berg on lot 413 how much of the fence line would be quit claimed.

Ken Berg stated it was about 10 sq. ft. that was adjusted on the lot which equaled just inches that would be deeded.

Hayden Williamson was glad that the developer was able to work out the details requested.

Kirk Wilkins asked who owned the property to be quit claimed and who would it be deeded too.

Sarah Carroll stated that it was the previous owners, Cedarstrom, that had the remainder parcel and would be deeding it to the adjacent owners.

Kirk Wilkins asked if there are provisions for parking at the lake access park.

Sarah Carroll stated that this item would be discussed further in the process, when the landscape plan comes.

Kirk Wilkins echoed it was great that they were able to come together and resolve the problems between UDOT and developer.

Kara North was also glad that items were resolved.

Jarred Henline thought it looks good.

Jeff Cochran noted his questions have been answered.

Motion by Hayden Williamson that the Planning Commission recommends approval to the City Council of the Preliminary Plat for Heron Hills located at approximately 3250 South Redwood Road the based on the finding listed below in the staff report. Seconded by Kirk Wilkins. Aye: Sandra Steele, Hayden Williamson, Jeffrey Cochran, Kirk Wilkins, Kara North, Jarred Henline. Motion passed unanimously.

Public Input Open by Jeff Cochran

No input at this time.

Public Input Closed by Jeff Cochran

5. Public Hearing and Possible Recommendation: Preliminary Plat, Site Plan and Master Development Agreement Amendment for Riverbend Townhomes located at approximately 900 North Redwood Road, Knowlton General/Aric Jensen.

Kimber Gabryszak reviewed the Phasing Plan; the applicant has requested an increase of units, which would require a Master Development Agreement. The trail will need to be realigned since it is located in the wetland flood plains, There are several Engineering requirements that must be met as well. Public input had been received and forwarded to the Commissioners.

Aric Jensen for applicant appreciates the staff work on this project. He would hope to have this approved as recommended.

Public Hearing Open by Jeff Cochran

Alan Johnson would like to request more parking on the north side, it is insufficient now for. He would like to see that the HOA be reimbursed early on from the developer for the building of the park.

Joe Hitzeman wanted to request parking on the north side, there are often around 10 cars parked in the dirt area. Reimbursement of the park would be advised and funding to fix the existing park. He would like to push the amenities to be completed at the beginning rather than towards the end.

Public Hearing Closed by Jeff Cochran

Aric Jensen, has agreed to reimburse the HOA for the park improvements up front, additional parking has been added which includes 3-4 additional stalls but that was all that could be fitted. He said it's too hard to construct the landscaping at the beginning while construction is occurring.

Jarred Henline one concern is the parking, 3 stalls added is not enough for the north side, with the additional units added more parking will be needed and that needs to be addressed.

Kimber Gabryszak commented that there is no possibility of parking on the collector.

Jarred Henline maintains the position that more parking is needed and is a concern. The HOA and developer need to work out the reimbursement, and language would need to be added to address the parking issue.

Kara North asked if the parking requirement is being meet.

Kimber Gabryszak indicated that they do meet the requirements according to the current parking code. Guest parking is ¼ spaces per unit.

Kara North noted she was a resident of Riverbend. She expressed that the parking is a big concern and would like to distribute parking more to the north side. She thought a reconfiguration of the building would be able to fix that.

Aric Jensen responded that the unit couldn't be flipped because of a large sewer line that ran through the parcel on a diagonal.

Kara North feels that there could be a way to resolve the issue. The plan looks great and is glad to have this development completed.

Kirk Wilkins asked about the road next to the river. Would it take away future access to the river for the adjacent property owner?

Aric Jensen stated that the property is owned by someone else. It is there to show future connectivity required by the city.

Kimber stated that the road is shown on the City's future Master Transportation Plan they are following that general alignment, but doesn't require the property owner to do anything at this time. It could be reconfigured; it doesn't require a property owner to stick to that alignment.

Kirk Wilkins asked about the open space requirements.

Kimber Gabryszak noted that things were shifted but it comes out to about the same amount.

Kirk Wilkins echoed the need for additional parking and to make the neighbors happy, if there is anything that could be done that would be great. He asked about the trail access.

Aric Jensen said that on the east side the access was from their patios. There is a significant drop as to result of that the construction was to be raised.

Kirk Wilkins supported a condition to require trail connectivity. He asked about the realignment of the units.

Aric Jensen addressed why they requested the additional units and the cost of the units because of increased costs to fill and build walls.

Hayden Williamson expressed that parking is a concern of his as well and he would agree to commissioner's council to find additional parking. The additional units he is fine with, he asked if the landscaping for the detention basin has been determined.

Aric Jensen stated that the detention was designed to be flat bottom to be used for a play area and maintained by the HOA, it is redesigned slightly but will be a large play area.

Hayden Williamson asked if the parking would be enforced by the HOA.

Aric Jensen responded that yes the parking would be enforced by the HOA.

Hayden Williamson asked if the Fire Marshall would be able to enforce as well.

Kimber Gabryszak stated that they should put it on the plat very clear where they were allowed to park and if the Fire chief felt that there was concern then he could enforce any issues regarding the parking.

Kevin Thurman stated that Code Enforcement could also enforce any issues as well.

Sandra Steele asked what the lengths of the driveways were on the new units.

Aric Jensen said he thinks that they are 18 feet.

Sandra Steele feels some concern with the units on the east side and the lack of parking and asked if it was possible to add additional parking to the ends of the units.

Aric Jensen indicated that they could widen the drives on the ends.

Sandra Steele is not sure that the old parking issue could be fixed with the newer section and it should stand on its own. She asked if a traffic study had been completed.

Aric Jensen said that no study was completed.

Jeremy Lapin stated they could look at the need and see if one was warranted.

Sandra Steele clarified that chain link fencing is not permitted. She asked about the garage doors and do they meet the architectural design.

Kimber Gabryszak said that what was promised was provided.

Sandra Steele would feel more comfortable to add a condition that a connection to Riverside drive to the north be provided prior to the first Certificate of Occupancy.

Jeff Cochran asked if we could request additional parking for the additional units being requested.

Kimber Gabryszak reviewed the options that the Planning Commission could recommend for the project. They meet the current code requirements.

Kevin Thurman stated that the developer has an entitlement to the current R-14 zoning.

Jeff Cochran asked if 8 additional stalls could be considered.

Aric Jensen stated that there is nowhere to locate any additional parking stalls, if they could they would.

Jeff Cochran strongly recommends he consider trying to reconfigure the plan to add the additional parking. He asked if the road extension was in the flood plain. (no) He asked if the slope and trail area was constructible and if it required a retaining wall to build.

Jeremy Lapin responded that it may, trail was flat. The northern units already had a wall proposed.

Motion by Kara North to forward a positive recommendation to the City Council for the amendment to the Riverbend MDA, increasing the maximum density from 58 units to 62 units, with the findings and conditions in the Staff Report. Seconded by Hayden Williamson. Aye: Sandra Steele, Hayden Williamson, Jeffrey Cochran, Kirk Wilkins, Kara North, Jarred Henline. Motion passed unanimously.

Motion by Kara North to forward a positive recommendation to the City Council for the Riverbend Preliminary Plat and Site Plan with the Findings and Conditions contained within the Report, with the modifications that the number of units shall be 62, that the trail meet any staff concerns with respect to connectivity or the flood plain, that there be no on street parking on riverside drive per the request of the Fire Marshall, that per the agreement with the developer the driveways on the east end be widened as agreed, that if necessary based on staff's concerns or recommendations that a traffic study be conducted, that connectivity to Riverside drive be completed before the first Certificate of Occupancy is issued. Seconded by Kirk Wilkins.

Hayden Williamson had a question that no parking on Riverside drive was already Code. **The driveways to the units on the east side, that they not be allowed to park on the road but in private drives.**

Kara North **accepted that correction.**

Kimber Gabryszak clarified that they were accepting the other conditions that were in the staff report.

Kara North said yes.

Aye: Sandra Steele, Hayden Williamson, Jeffrey Cochran, Kirk Wilkins, Kara North, Jarred Henline. Motion passed unanimously.

A 5 min. break was taken at this time.

6. Public Hearing and Possible Recommendation: Rezone, General Plan Amendment and Community Plan for Wildflower located approximately 1 mile west of Redwood Road on SR 73 and West of Harvest Hills, DAI/Nathan Shipp, applicant.

Kimber Gabryszak presented the plan. The applicant is requesting approval of a General Plan Amendment and Rezone to change the property to the Planned Community zone, and also a Community Plan to a Master plan, about 1765 residential units and 200 acres of commercial. There are plans for Mountain View Corridor which passes through the center of the Plan. The applicants are asking to transfer the residential density from these acres to the rest of the project, based upon a maximum of 3 units per acre overall. The highest density is furthest away from the existing neighborhood. There was a neighborhood meeting held and she reviewed feedback from that. They recommended to applicant that homes built next to existing homes be the same size and transition to smaller. She noted that each phase will have to be brought forward with a Village plan that will have more details. And then come to Council again in individual subdivision plats. She reviewed the current impact that planned MVC would be to the development. She reviewed recommended conditions.

Nathan Shipp, applicant, noted they had spent a lot of time with staff on how to comply with code and neighborhood feedback and UDOT. They did try to get UDOT to move MVC further to the west so their development wasn't split in the middle, but that is not an option. They are proceeding in good faith that the corridor will be done. Their plan allows for overall low density. They are leaving the commercial area alone at this time with plans to come back later with the best way to lay that out. They are working with staff and the major transportation plan. They are matching the size of roads stubbing into their plans. They are open to exploring the traffic patterns further to make sure they are done in a manner that is safe and addresses concerns of all residents.

Public Hearing open by Jeff Cochran

Jennifer KlingonSmith was concerned that granting the Planning Community zone gives the developers more flexibility in how things are laid out. She mentioned what has happened with the Legacy Farms project. If the City Council approves this than densities would be vested and she urges the Planning

Commission to use discretion. She feels that to shift the density really makes it less than 3 units per acre. She thinks that the developer would make a decent amount of money from UDOT with the sale of the area for MVC and he could keep the density lower and maintain the 3 units per acre on the rest of the area. She appreciates that he didn't put in a lot of multi-family units. The R18 pocket she wants to point out that while it doesn't seem big; it makes a big impact on their schools and wards. She feels that since this was only submitted and not approved before Proposition. 6 that this should not be grandfathered in. Granting this density and seeing how it is playing out with Legacy Farms project she thinks they need to protect those and define those densities more.

Jeremy Cochran seconds a lot of comments Mrs. Klingon-Smith made. He thinks that if they get the credit for the units that might have been in the corridor than increasing density in the other area it is an unfair advantage. He notes that if they add the road on the north (connecting to Providence) it eventually runs right in front of the school that it would be too congested for that road and unsafe. On exhibit 15 in the packet he wanted some clarification. He is questioning how much material would be extracted and where it would go and that it would be putting heavy equipment on the Harvest Hills roads which would ruin the roads and put a burden on the residents. He likes the trails but questions if there could be trails on the east of MVC. He wonders about the traffic flow onto MVC. He recommends a frontage road on the east of MVC.

Rick Van Valkenburgh is concerned about the proposed road to the north (Providence) that would increase traffic on that road. He mentioned the traffic impact during peak hours is on the Harvest Hills Blvd. He thinks that would also dump more traffic onto the proposed road. He would like to see the proposed road moved.

Brian Ricks feels that the argument is that they are trying to shift what MVC has taken away and he doesn't think it would put the developer in dire straits. He has spoken with the administrators at local schools and they are concerned with being able to pass a bond for a new high school to take some load off the high numbers at local schools. This development would bring a lot more students to our schools. He is concerned also about the proposed road connecting through Harvest Hills. The road goes by a major park and school. By design in the neighborhood the roads slow traffic down and this would put more traffic on those roads.

Jamie Danforth likes the comments that have been made already. We care about our community and the city. She echoes that when the project was proposed that MVC was not in that plan. The change in density would change the feel a ton. This would add about 3400 kids that need schools and there isn't space in the plan for schools. It looks nice but the majority is on 4500-6000 square foot lots. She likes the idea of matching what exists. She is concerned on the shift of demographics. She is concerned with the comparison of high density vs. lower on the north end of the city. The north end is carrying a huge weight for the city with all the high density in this area.

Sean Trinniman is wondering what type of stores/commercial is planned on the south end of the plan. He is concerned with parking at those also and that it not be crammed. He thinks that what is around the high density is a better forecast for crime. He would suggest a crime forecast for the area and what it would mean to our Police force. The increased housing pod next to Saratoga Chase community will be high density also. He is concerned with the view to the west being blocked and concerned with extra light pollution. He is suggesting another study for how previous developments from DAI were designed and what their current problems are and what we can do to avoid those. He notices that other areas of MVC have a large buffer zone. He is wondering what the plan is for the mixed use area and thinks it could be expanded.

Public Hearing Closed by Jeff Cochran

Kimber Gabryszak answered some of the public's questions. With the requested density transfer, she said staff had the same questions. Staff did recommend a condition that they add an amendment process to predictably shift density if the Mountain View Corridor is not built, or if the density in the Corridor is purchased by UDOT. Initial communication is that UDOT will not purchase the density. They don't think double dipping is really happening. The Commercial area is not really a change in the general plan, if they changed it for a big box use they would have to go through a review process. Right now they are only working on the residential areas. In terms of Proposition 6 this development is not necessarily

grandfathered in, but as it's an advisory document it will be looked at. It will be a legislative decision by City Council and it gives them things to weigh. There are items to discuss if the benefits to the city outweigh the risks. MVC is an important connection because Redwood road and I-15 are projected as failing. They can request additional information for extraction and designated routes to minimize impact to the neighborhood. Density is based off of R3 but there is not min or max with planned community zone. They took the R3 and dispersed it through the plan. The height of the high density housing; there is a current plan that it will be determined in the village plan submissions. They requested that the maximum height be added to the Mountain View neighborhood. Kimber addressed the language in the state code that prohibits us from addressing school impacts.

Kevin Thurman will need to look further into it; he thinks it was changed recently. This area is going to need land that will facilitate schools and churches.

Jeff Cochran said that with the buffer on MVC in the north, it is intended in its ultimate build out to be a freeway like I-15, which is why it is spread out now to allow for that growth.

Jeremy Lapin addressed the impact to existing roadways and changes; it was always planned that they would have its own entrance from S.R. 73 and Redwood Road. It doesn't talk about who would build it UDOT of the developer. They do want interconnectivity; those roads are not meant for main trips but for community travel to schools and churches etc.

Nathan Shipp addressed some of the questions. Why the Planning Commission zone is being requested. They are being asked to restrict 25 % of their ground right off. (for MVC) They don't have much flexibility as far as that is concerned. They don't know how they are going to build out exactly. He had a map which compared the densities of Harvest Hills with Wildflower. They felt this was their only alternative to ebb and flow with the market and give them what they need to build what they said they would. Staff has added in the recommendations that they are comfortable with. They will obligate themselves to match what is recommended tonight. They have taken 144 acres and only changed that to 20 acres of change to higher density. If they were to take the MVC out and be able to use it, what is on the East of it would not change. They have only proposed a change to 14% of the property the rest stays the same. As for grading there are some pretty hefty graded areas they need to move around. They have requested to move that so that it is developable. They are committed to keep that traffic out of Harvest Hills. They think they will have plenty of access around that area. As for the schools, they get that it will have an impact and they have worked with other districts and charter organizations to help build schools in the area. They are committed to do the same thing in this community. Plans for areas for parks, churches and schools will come with the various village plans.

Kevin Thurman looked up the code, we can't state as conditions that we would approve based on their getting approval from school districts but we can require that they have identified sites for future schools.

Jarred Henline asked what his timeline was.

Nathan Shipp said they hoped to start this spring their build out would be 15-20 years.

Jarred Henline asked on the timeline of the highway, wasn't it 20 years, what he would do if the road wasn't built.

Jeremy Lapin could not comment on that timeline.

Nathan Shipp said it would need to be a big park or something, but their density would already be set. Their preference would be that the road would be built now but that isn't possible. They don't have any options right now. They would hope that they would close with UDOT in the next few years.

Jeremy Lapin noted they would probably not have them hold out on that land if it wasn't closed in a few years. The belief is it would close fairly soon after this approval.

Jeff Cochran noted that MVC was critical in UDOT's planning so his guess is it's coming.

Jarred Henline wouldn't mind postponing this until they get it right; to make sure all the questions get taken care of. He understands their predicament with 25% of their land taken away. He wants to make sure promises would be met.

Nathan Shipp thinks he hasn't promised anything, he is asking that they vote on a specific project plan that has specific commitments that they would be contracted to work with.

Jarred Henline noted points about matching density, he is not against this project, and he thinks that they can work through it. He asked how the prison would fit into this if it were to come into this area.

Kimber Gabryszak noted that in EM close to this area with industrial planned that it made more sense to increase density nearer to similar uses. This project proposes to place quite a few residences close to where the prison is proposed.

Kevin Thurman said we know a decision will be made soon and one criterion would be that it be compatible to surrounding area.

Kimber Gabryszak noted that the Prison is looking at population centers within a certain radius.

Jarred Henline noted it's hard to be confident when we don't have more specific village plans. That is not to say he is against the developer or his plans.

Nathan Shipp said the plan make sure certain things are vested. They are obligated to a certain number of units and a certain number of acres. He can't change the neighborhood pods from the way they are specified in the current plan. These units will be distributed in these areas only. They have been in contact with the district. The district thinks it premature at this point; it will wait until the project is approved. They also contacted the Church and at this point in time they are no longer purchasing new sites but at this time they are finishing projects first and redistributing.

Jarred Henline said it sounds like they may want to move this project along for other reasons.

Jared Henline was excused for the remainder of the meeting.

Sandra Steele added language in conditions about side yard fencing between homes. She asked about him making things denser.

Nathan Shipp noted that he could not make things denser; they are limited on the units given tonight.

Jeremy Lapin thinks the language could be changed to say Equivalent Residential Units, not just residential units. So churches and schools don't increase density.

Kimber Gabryszak said we would need a very clear definition of what an ERU is. If it's determined that a church or school would impact density than they could limit it.

Sandra Steele is concerned that there have been no minimum frontages given. Establishing minimum frontages may result in a loss of units if you stick to city standards. She would like to see a condition that he establishes some minimum frontages.

Nathan Shipp asked if they could establish that at the time of village plans.

Kimber Gabryszak and Sandra were fine with that.

Sandra Steele said he needs 24 ft. for maneuvering in side access garages. She wanted the parking to be a condition. She asked if the city had signed off on the parks.

Jeremy Lapin said that it is not in the plan on who takes over the parks; City Council would be discussing that.

Also City Council would need to agree on impact fees and credits.

Sandra Steele asked does city reimburse developer for costs of improvements.

Jeremy Lapin if the city is collecting fees they can't collect he fees twice. It depends if the facility is required by the city plans.

Kevin Thurman said with impact fee law you can't add a facility that serves one community, they would need to tweak the language. They would wait until City Council to address.

Sandra Steele noted open space code and that he has defined parkways as open space

Nathan Shipp said they designed it as part of the community but they are not counting it as part of their 30%

Sandra Steele thinks the signs are beautiful but she thinks they are too tall.

Nathan Shipp he wants people to know that when they pass those gates they have entered that community.

Kimber Gabryszak said if they approve the plan tonight are they approving the sign height. If they create a standard in their plan that is different than our code and it is approved than they are not held to our code.

Kevin Thurman noted that they are not approving this tonight they are making a recommendation, it could be made as a condition.

Sandra Steele feels it is too high, when other signs in the city are held to 20ft. She thinks that a builder's sign should be limited to being up for only 90 days after building is done. She noted a mistake in the traffic report. She asked about sensitive lands and disturbance.

Nathan Shipp noted that with MVC and the natural drainage there was no way to access the other area without disturbing a portion of it.

Jeremy Lapin said he would work more with it and there was really no other way or option other than to have some equipment on site to deal with that material. It is only one spot not continuous slopes.

Sandra Steele had more errors she suggested get fixed. She thinks notes need to be placed on the plats to note the high noise and vibrations area in proximity to Camp Williams.

Nathan Shipp said they have met with the Colonel at Camp Williams and they are aware of the impacts and will continue to work with him.

Sandra Steele had some suggested conditions. Minimum lot frontages shall be established prior to approval of village plans, side access garages shall provide 24 ft. for maneuvering. Parkways as defined by the community plan shall not be included in required open space. The way finding signs for different home builders shall be removed within 90 days of the last home of a particular plat being sold. That way finding signs shall not be higher than 20 ft. and shall comply with 19.18.09 development information signs. And plats within ½ mile of camp Williams shall have a noted that states that it is a high noise and vibration area due to training at Camp Williams. Monument signs shall not be higher than 20 ft.

Kimber Gabryszak noted that on residential monuments entry signs there is not maximum height in our code, it shall just match surrounding features.

Hayden Williamson echoed Commissioner Henline's concerns about things that we are being asked to make a decision on that will make a big impact on the community and it's only a draft plan, there are a lot of details that impacts the community that won't be coming until later. But he understands that they need to be able to start making some plans. He wondered if it would be possible to say we are ok with this but it doesn't take place until approval of village plans

Kimber Gabryszak said they can submit a village plan concurrently with a community plans. A conditional approval is possible so developer has some reliance but it's not finalized signed document. It would be up to Council to make it a conditional rezone.

Nathan Shipp said to do that it would prohibit them from moving forward. They are going to bring plans forward based on market plans at the time they move forward. They will be looking at about 5 village plans coming forward in the course of the project.

Hayden Williamson thinks that they could put forward a condition and move it to ERU's.

Kevin Thurman you are making a decision based on conditions, they are all tied to the rezone, and if they are not complied with than it goes away. It needs to be a legitimate concern furthering the general welfare.

Kirk Wilkins asked what the current right the applicant had, and what Commission had the ability to choose with regards to high density, if it is rejected how it affects the prison proposal.

Kimber Gabryszak said they have the right to develop under the R3 zone. They had the ability to choose about the density and it may impact the prison decision.

Kevin Thurman said one of the factors of the prison decision was if it was compatible with surrounding area.

Making a decision about the density impacts the MVC and the city wants it preserved at this point.

Kimber Gabryszak This is the type of decision that staff has been working on to preserve the MVC.

Kirk Wilkins asked if there was another alternative in a way that would maintain the r3 that does not have the high density.

Kevin Thurman said the developers are asking these things to preserve the MVC and they could maybe do a few changes but it's based on market conditions.

Kirk Wilkins is there a way to remove the high density to comply with the wants of the people and still preserve the corridor

Nathan Shipp replied that it gets complicated; they are holding themselves to the 30% open space standard. If they reduced density through consolidating and making some true R3 zones it would reduce open space.

They have tried to make up some of the impact that MVC has had on them. He doesn't think that against EM asphalt plant and industrial things to put the larger lots doesn't make sense. He is trying to consolidate the large density in that one spot. He doesn't think to get rid of it will make a better project.

Kirk Wilkins asked about water plans for this project.

Jeremy Lapin replied they are responsible to making sure their needs are met at the time it's recorded. They don't reserve the capacity. This doesn't commit us or them right now.

Kara North noted that had village plans been here it might have eased some concerns. They would look at the village plans close to make sure they were meeting the needs and concerns and thinks many conditions brought up would be better served then. She urged them to continue to work with the School District. She likes the big monument signs but doesn't know if they will get approval from everyone. What she

understood from Kimber Gabryszak was that it could have its own special signage when approved as part of the community plan.

Jeff Cochran did not have a lot of additional questions, most have been answered. He did ask about the density being preserved with the MVC.

Nathan Shipp said he couldn't preserve the corridor without the smaller density. At this time they are not being compensated for the loss of the density, they have worked on it with the city and UDOT and if the density goes away than they cannot say they can preserve the corridor.

Jeff Cochran thanked him for his community plan. He doesn't know if the prison is coming or not and does not think that this has to be approved tonight. The prison can see it's ready and developer wants to move forward. He doesn't know enough about the Monument signs to make that decision. He knows the residents are concerned with higher densities, he thinks some higher density is needed in the city. But he is aware that this doubles the amount of high density in the north area of the city. He acknowledges that it is a legislative decision of City Council. He thinks the high density should be distributed more throughout the city. He thinks it's the developer's job to work with UDOT to get the fair market valued he thinks condition C should be removed. He thinks the MVC is a great opportunity for the development with being able to bring traffic to the neighborhoods. Take advantage of a frontage road. He thinks the road to the north should not take the traffic through Harvest Hills it goes past two churches and a main park and a school and it's not the right fit. He appreciates the work done and the Planned Community. He doesn't think what is presented tonight is consistent to their general plan. He is not opposed to high density but doesn't think this is the right area clustered together.

Sandra Steele noted that there were plans for more high density coming to the south area of the city.

Kara North had a question, were we already over the percentages given in Prop. 6?

Kimber Gabryszak said they hadn't updated it lately so she wasn't aware what the exact status was. If that housing isn't built for 10 years than there is unknown, they only know the situation of things being built to date. It's a difficult discussion because it will be different in a few years.

Kevin Thurman thinks a good approach would be to look at those percentages and see if they are being exceeded in this project. Also keeping in mind there are bigger interests here and is it worth preserving MVC at this time for the tradeoff.

Kara North wanted a quick run of thoughts on monument height.

Sandra Steele wanted to cap it.

Hayden Williamson would be in favor or letting developer do it.

Jeff Cochran was closer to Sandra Steele's thoughts.

Kirk Wilkins wanted to see more conformity with city standards.

Nathan Shipp wanted the opportunity to come back with village plans and more of a plan for the monuments.

So they can see more of the details.

Kimber said they could remove that page and put a condition that entry signage standards shall be reviewed as part of the village plan containing the entrance to the development.

Hayden Williamson wanted to add a condition that we limit units to ERU's and not just residential units.

Suggested verbiage: shall be defined as based on ERU's as per city water utility ordinance, and not residential unit's.

Kimber Gabryszak asked that we add those requirements that were added in the presentation: 7. Second access requirements shall be met and addressed through phasing so that no more than 50 lots may be constructed on any road until a second access is provided. 8. Where side setbacks of five feet or less are utilized no side yard fencing between homes shall be permitted.

Kevin Thurman reminded Commissioners that City Council would need to weigh if it was worth the change in zoning for the benefits it may bring.

Motion by Kara North Based upon the information and discussion tonight I move to forward a positive recommendation to the City Council for the amendment to the Riverbend MDA, increasing the maximum density from 58 units to 62 units, with the following findings and conditions contained in the staff report. Seconded by Sandra Steele. Aye: Sandra Steele, Hayden Williamson, , Kirk Wilkins, Kara North. Nay: Jeffrey Cochran. Motion passed 4 - 1.

Motion by Kara North to forward a positive recommendation to City Council for the Wildflower Community Plan with the findings and conditions contained within the report as well as the following conditions: that the minimum lot frontages shall be established prior to approval of the village plan; that no side yard fencing between homes with 5' setbacks or less shall be allowed; side access garages shall provide 24' for maneuvering; parkways as defined by the community plan shall not be included in required open space; the way findings signs for different home builders shall be removed within 90 days of the last home in that particular plat being sold; the way finding signs shall be no higher than 20 feet and shall comply with 19.18.09 including off premise directional sign and on premise directional signs; also plats within ½ mile of Camp Williams shall have recorded on their plats information alerting to the purchaser that this area has high noise and high vibrations due to periodic training at Camp Williams; and that density shall be defined based on ERU's as per the City Water and Utility ordinance, not residential units; and that entry and monuments signage standards shall be reviewed as part of the village plans with respect to the entrance of that development; 7. Second access requirements shall be met and addressed through phasing so that no more than 50 lots may be constructed on any road until a second access is provided. (8. Where side setbacks of five feet or less are utilized no side yard fencing between homes shall be permitted.) With the request that applicant and city staff work to provide density percentages according to the Community plan to the City Council. Seconded by Sandra Steele.

Kimber Gabryszak noted a condition missed - **Off street guest parking shall be provided for the multifamily products and any products with less than 20' driveway at the rate of .25 spaces per unit.**

Kara North **accepted** that condition.

Aye: Sandra Steele, Hayden Williamson, Kirk Wilkins, Kara North. Nay: Jeffrey Cochran . Motion passed 4-1.

7. Approval of Reports of Action.

Kimber Gabryszak had a Report for Riverbend, she reviewed with Planning Commission.

Motion by Hayden Williamson to approve the Report of Action for Riverbend Townhomes. Seconded by Kirk Wilkins. Aye: Sandra Steele, Hayden Williamson, Jeffrey Cochran, Kirk Wilkins, Kara North, Jarred Henline. Motion passed unanimously.

Motion by Hayden Williamson to approve the Report of Action for Wildflower. Second by Sandra Steele. Aye: Sandra Steele, Hayden Williamson, Jeffrey Cochran, Kirk Wilkins, Kara North, Jarred Henline. Motion passed unanimously.

8. Approval of Minutes:

1. October 23, 2014.

Motion by Kara North to approve the Minutes of October 23rd, 2014 with the changes sent to the Recorder by Sandra Steele to be made. Seconded by Sandra Steele. Aye: Sandra Steele, Hayden Williamson, Jeffrey Cochran, Kirk Wilkins, Kara North, Jarred Henline. Motion passed unanimously.

9. Commission Comments. – None at this time.

10. Director's Report.

Kimber Gabryszak - had a quick update of items upcoming for meetings. Eric Reese has resigned from Planning Commission as he is moving.

Meeting adjourned without objection by Jeff Cochran

Adjourn 11:03 p.m.

Date of Approval

Lori Yates, City Recorder