



CITY OF
SARATOGA SPRINGS

Planning Commission Meeting
Thursday, March 13, 2014
Meeting held at the Saratoga Springs City Offices
1307 North Commerce Drive, Suite 200, Saratoga Springs

AMENDED AGENDA

Closed Session to discuss pending or reasonably imminent litigation - starting at 6:30 p.m.

Regular Session commencing immediately following Closed Session.

Regular Meeting

1. Pledge of Allegiance.
2. Roll Call.
3. Public Input – Time has been set aside for any person to express ideas, concerns, comments, questions or issues that are not listed on the agenda. Comments are limited to three minutes.
4. Amended Concept Plan for Green Springs located at approximately 1885 South Centennial Boulevard, Capital Assets, applicant. Presented by Sarah Carroll.
5. Concept Plan for Platinum Car Wash located at approximately 1413 North West Commerce Drive, Gary Hadfield, applicant. Presented by Sarah Carroll.
6. Concept Plan for Lake Cove located at approximately 3618 South Spinnaker Drive, Ron Johnston, applicant. Presented by Scott Langford.
7. Concept Plan for Unique Autobody located at approximately 2148 North Stagecoach Drive, Andrew Bollschweiler, applicant. Presented by Scott Langford.
8. Commission Comments.
9. Director's Report.
10. Adjourn.

*Public comments are limited to three minutes. Please limit repetitive comments.

In compliance with the Americans with Disabilities Act, individuals needing special accommodations (including auxiliary communicative aids and services) during this meeting should notify the City Recorder at 766-9793 at least one day prior to the meeting.



**Concept Plan
Green Springs
March 13, 2014
Public Meeting**

Report Date:	March 6, 2014
Applicant/Owner:	Capital Assets
Location:	Approximately 1855 South Centennial Blvd.
Major Street Access:	Redwood Road
Parcel Number(s) & Size:	59:001:0065 and 11.94 acres
Parcel Zoning:	R-3 PUD, Low Density Residential Planned Unit Development
Adjacent Zoning:	R-3 PUD, Low Density Residential Planned Unit Development
Current Use of Parcel:	Undeveloped
Adjacent Uses:	Single Family Homes, Golf Course
Previous Meetings:	11/13/12, Rezone, Concept, Preliminary Plat Review; 7-16-13, Phase 1 Final Plat Review
Previous Approvals:	11/13/12, Preliminary Plat, Rezone to R-6 PUD; 7-16-13, Phase 1 Final Plat; 11/5/13, Resolution passed repealing rezoning from R-3 PUD to R-6 PUD that occurred 11/13/12
Land Use Authority:	N/A for Concept Plan
Future Routing:	Public meeting with City Council
Author:	Sarah Carroll, Senior Planner

A. Executive Summary:

This is a request for review of a Revised Concept Plan for Green Springs located at approximately 1855 South Centennial Boulevard. The proposed concept plan indicates 40 single family lots ranging in size from 10,013 to 12,837 square feet in size. The plans indicate some small open space areas to be used for detention ponds. The site is currently zoned R-3 PUD.

Recommendation:

Staff recommends that the Planning Commission conduct a public meeting and provide informal direction to the applicant and staff regarding the conceptual subdivision. No official motion or recommendation is provided for Concept Plans.

B. Background:

The applicant received final plat approval for Phase 1 of a proposed townhome development on this site on November 5, 2013. They now intend to pursue a request to revise their approvals to a single family lot layout for this location. After concept plan review they will proceed with requests to amend the preliminary and final plat approvals that were previously granted.

C. Specific Request:

The proposed Concept Plan has 40 single family residential lots ranging in size from 10,013 to 12,837 square feet. The Concept Plan has very little open space except for detention basins behind lots 1-4 and 21,22,23. However, the applicant indicates they will be improving some of the adjacent golf course rough with native grass to match other improved areas throughout the course. They are negotiating with the golf course to allow a detention basin to be located on the course.

D. Process:

Per section 19.13.04(6) of the City Code, a Concept Plan application shall be submitted before the filing of an application for Subdivision or Site Plan approval.

The Concept Plan review involves an informal review of the plan by the Planning Commission and City Council. The developer shall receive comments from the Planning Commission and City Council to guide the developer in the preparation of subsequent applications.

E. Community Review:

There is no requirement to notice concept plans because the comments received from the Planning Commission or City Council are not binding. Formal community interaction will occur once a formal public hearing is scheduled for subdivision and site plan review.

F. Review: The application will be reviewed under the Code that was in place when the original applications for preliminary and final plat were received. The biggest item of consideration is that the previous version of the code allowed the minimum lot width to be 70 feet wide while the current version increased this requirement to 80 feet minimum. The proposed concept plan includes several lots that are between 70 and 80 feet wide. In the alternative, the PUD Chapter (Chapter 19.07) allows the City Council to consider variations to lot widths.

G. General Plan:

The General Plan designates this area for Medium Density Residential. The Land Use Element of the General Plan defines Medium Density Residential as development that has 4 to 14 units per acre. The proposed subdivision consists of 40 lots on 11.94 acres, resulting in a density of 3.35 units per acre. If the additional 1 acre of off-site is included, the result is a density of 3.09 units per acre. Therefore, the revised concept plan shows density that is less than the density envisioned for this area.

H. Code Criteria:

Section 19.04.13 regulates the R-3 Zone. Chapter 19.07 regulates the PUD Overlay Zone, and Chapter 19.12 regulates the subdivision process. Pertinent requirements from these Chapters are reviewed below.

Permitted or Conditional Uses: complies. Section 19.04.13(2) & (3) lists all of the permitted and conditional uses allowed in the R-3 zone. The concept plan provides for residential building lots which are supported as a permitted use in the R-3 zone.

Minimum Lot Sizes: complies. 19.04.13(4) states that the minimum lot size for residential lots is 10,000 square feet. The smallest lot shown on the Preliminary Plat is 10,013 square feet.

Setbacks and Yard Requirements: can comply. Section 19.04.13(5) outlines the setbacks required by the R-3 zone. These requirements are:

Front: Not less than twenty-five feet.

Sides: 8/20 feet (minimum/combined)

Rear: Not less than twenty-five feet

Corner: Front 25 feet; Side abutting street 20 feet

The Concept Plan does not provide a setback detail. This requirement will be reviewed in greater detail when the Preliminary Plat is submitted.

Minimum Lot Width: complies. The current version of the code requires lots in the R-3 zone to be 80 feet wide. However, this is a request to amend previous approvals and the original applications were received before the Code amendment was passed (July 2013) that increased this requirement from 70 feet to 80 feet. All of the proposed lots are 70 feet wide or wider. In the alternative, lot width variations may be granted at the discretion of the City Council.

Section 19.07.06 (1) states "In a vested PUD Overlay Zone, variations from the development standards of the underlying zone may be permitted by the City Council provided the variations meet the requirements of this Chapter and are specifically adopted by the City Council as part of the approved PUD plans."

Minimum Lot Frontage: complies. Every lot in the R-3 zone shall have a minimum lot frontage of 35 feet. The proposed lots comply with this requirement.

Maximum Height of Structures, Maximum Lot Coverage, and Minimum Dwelling Size: reviewed with building permit application. The R-3 zone requires a maximum height of 35 feet, maximum lot coverage of 50% and minimum dwelling size of 1,250 square feet. These requirements will be reviewed with each individual building permit.

Open Space Requirement: up for discussion. The City Code requires a minimum 15% open space in the R-3 zone and 30% open space within a PUD overlay. The applicant is proposing to develop approximately 1.32 acres of open space, which includes two landscaped detention basins onsite equaling .32 acres and approximately 1 acre of golf course property to the south of the site along Centennial Boulevard, part of which will be a portion of the required detention basin, to be planted with native grasses. The Original SSD MDA and amendment allowed the golf course to satisfy the open space requirements. Based on substantial completion of the SSD project, the argument could be made that it is appropriate to allow the completed improvements to continue to satisfy the open space requirements. Further, the argument could be made that the MDA and amendment are still active because the project was delayed by the lawsuits and referendum. *See Advisory Opinion 107*, Office of Property Rights Ombudsman, Utah.

Sensitive Lands: up for discussion. Sensitive Lands are defined in Section 19.02.02 as:

"land and natural features including canyons and slopes in excess of 30%, ridge lines, natural drainage channels, streams or other natural water features, wetlands, flood plains, landslide prone areas, detention or retention areas, debris basins, and geologically sensitive areas."

Section 19.04.13 states credit toward meeting the open space requirement may be given for sensitive lands per the following code criteria:

- a. Sensitive lands shall not be included in the base acreage when calculating the number of ERUs permitted in any development and no development credit shall be given for sensitive lands.
- b. All sensitive lands shall be placed in protected open space.
- c. Sensitive lands may be used for credit towards meeting the minimum open space requirements. However, no more than fifty percent of the required open space area shall be comprised of sensitive lands.

Based on substantial completion of the SSD project, the argument could be made that it is appropriate to allow the completed improvements to continue to satisfy the open space requirements. Further, the argument could be made that the MDA and amendment are still active because the project was delayed by the lawsuits and referendum. *See Advisory Opinion 107*, Office of Property Rights Ombudsman, Utah.

Trash Storage: complies. Each home will have its own garbage can in the future. No dumpster locations are being proposed nor are they necessary.

Parking: can comply. Section 19.09.11 requires single-family homes to have a minimum 2 parking stalls within an enclosed garage. Driveways leading to the required garages must be a minimum 20 feet in length. Even though this requirement will be reviewed by the building department with each individual building permit application, the proposed lots are of sufficient size to support this requirement.

Circulation: The circulation through the site involves a semicircular road with two access points onto Centennial Boulevard and a connecting road through the site as well. This will provide adequate connection and circulation.

Fencing: can comply. Section 19.06.09 requires fencing along property lines abutting open space, parks, trails, and easement corridors. Fencing will be reviewed in further detail once the Preliminary Plat is received.

I. Recommendation and Alternatives:

No official action should be taken. The Planning Commission should provide general direction and input to help the developer prepare for formal subdivision application.

J. Exhibits:

1. Engineering Report
2. Zoning / Location map
3. Concept Plan

City Council Staff Report

Author: Jeremy D. Lapin, City Engineer
Subject: Green Springs – Concept Plan
Date: March 13, 2014
Type of Item: Concept Plan Review



Description:

A. Topic: The applicant has submitted a concept plan application. Staff has reviewed the submittal and provides the following recommendations.

B. Background:

Applicant: Capital Assets
Request: Concept Plan
Location: 1855 South Centennial Blvd.
Acreage: 11.94 acres – 40 lots

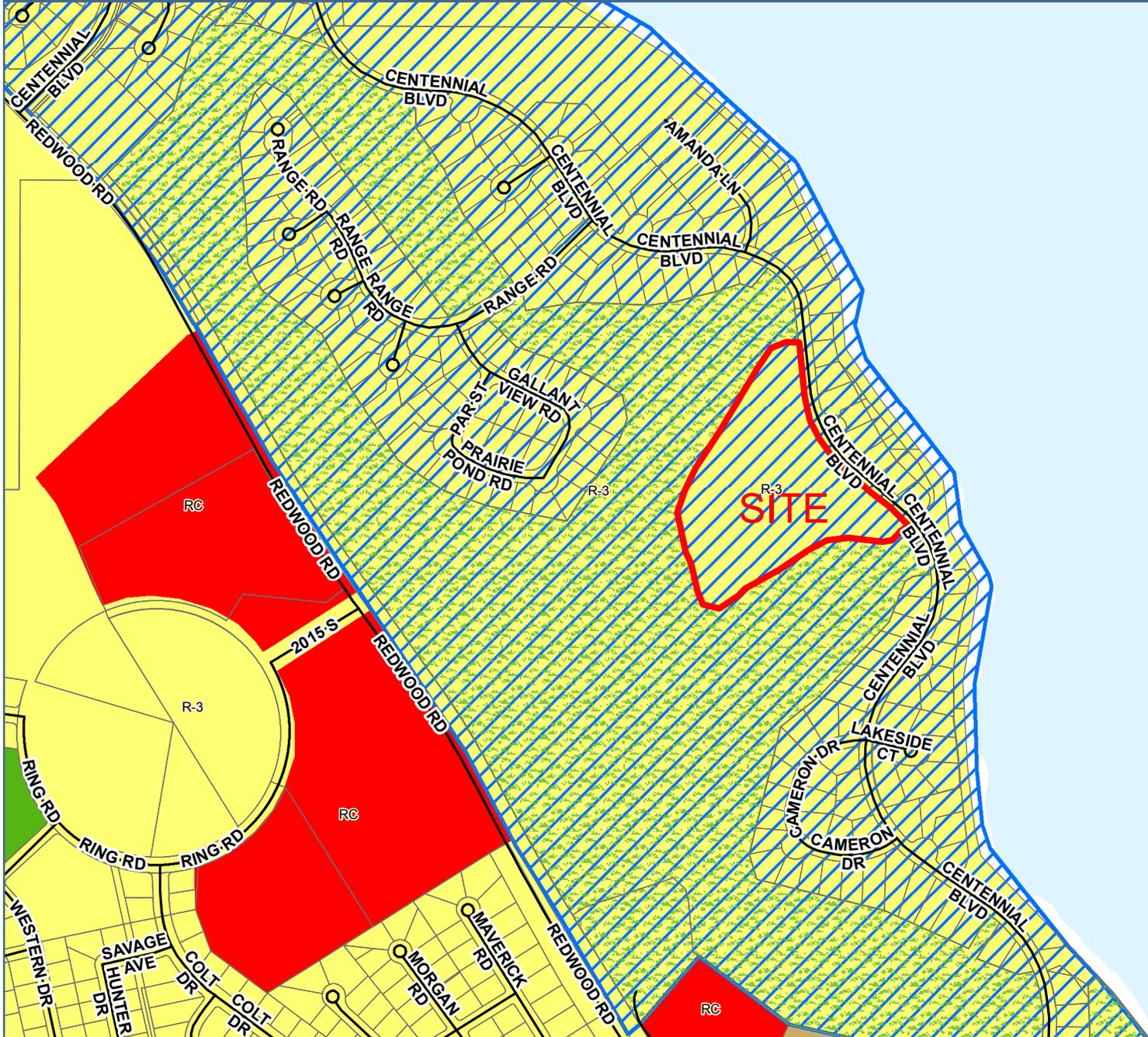
C. Recommendation: Staff recommends the applicant address and incorporate the following items for consideration into the development of their project and construction drawings.

D. Proposed Items for Consideration:

- A. Prepare construction drawings as outlined in the City's standards and specifications and receive approval from the City Engineer on those drawings prior to receiving Final approval from the City Council.
- B. Consider and accommodate existing utilities, drainage systems, detention systems, and water storage systems into the project design. Access to existing facilities shall be maintained throughout the project.
- C. Comply with the Land Development Codes regarding the disturbance of 30%+ slopes.
- D. Incorporate a grading and drainage design that protects homes from upland flows.
- E. Project must meet the City Ordinance for Storm Water release (0.2 cfs/acre for all developed property) and all UPDES and NPDES project construction requirements.

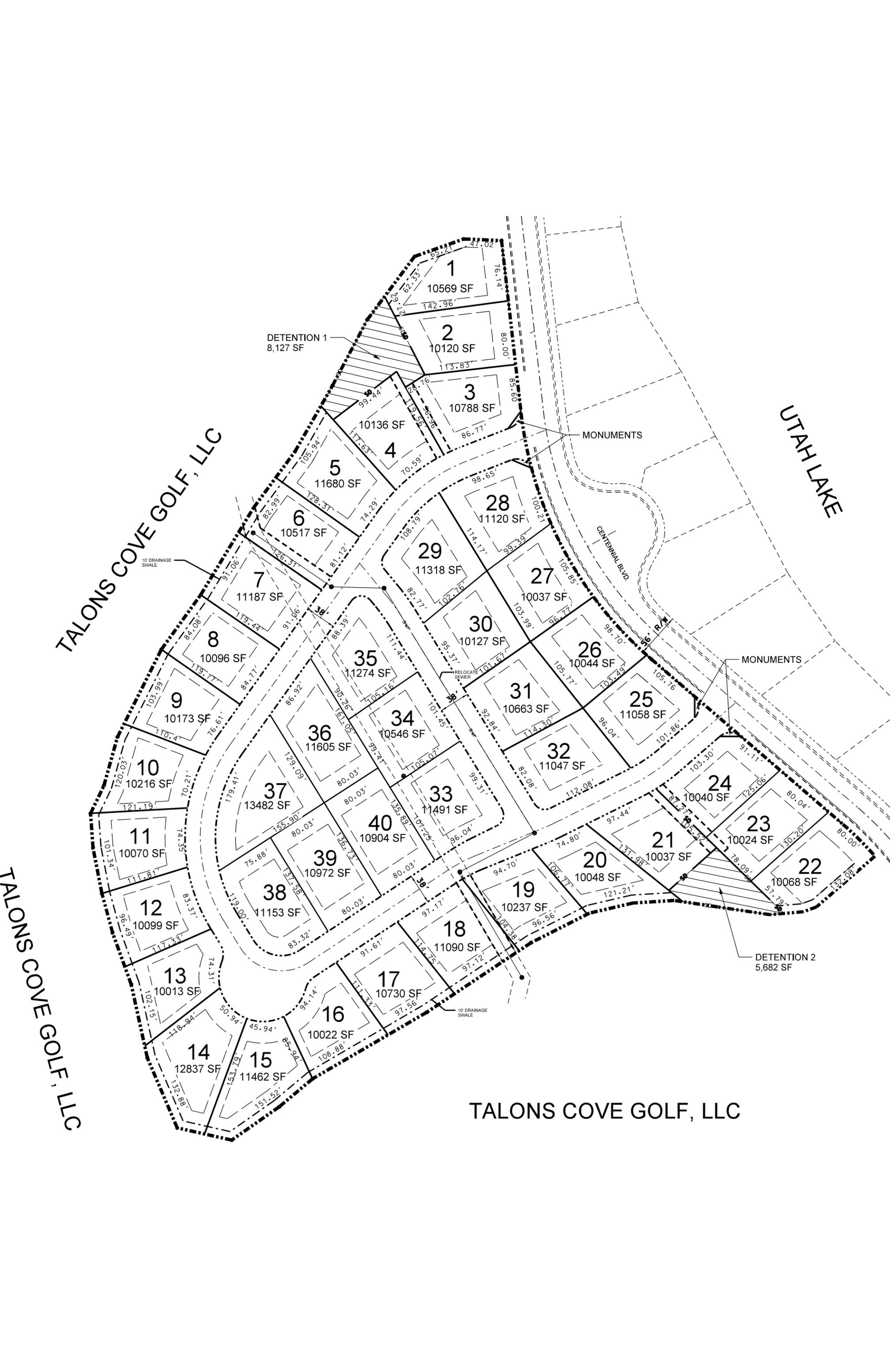
- F. Meet all applicable city ordinances and engineering conditions and requirements in the preparation of the Construction Drawings.
- G. Project bonding must be completed as approved by the City Engineer prior to recordation of plats.
- H. All review comments and redlines provided by the City Engineer are to be complied with and implemented into the construction drawings.
- I. All work to conform to the City of Saratoga Springs Standard Technical Specifications, most recent edition.
- J. Prepare and record easements to the City for all public utilities not located in a public right-of-way.
- K. Ensure that there are no adverse effects to adjacent property owners and future homeowners due to the grading and construction practices employed during completion of this project.
- L. Provide an overall drainage schematic and ensure that any proposed drainage basins do not impact the existing drainage channel including impacts that may affect the capacity and/or slope stability of the channel. Provide easements for any infrastructure located outside the plat boundary.
- M. Proposed plat cannot create any remnant parcels.
- N. Developer shall provide a hard surface access to all sewer manholes that are outside of the public ROW.
- O. Consider protection from errant golf balls on all lots adjacent to the golf course, especially lots 7 through 12.
- P. Relocation of the existing sewer may not reduce capacity (pipe slope) and will need to have complete plans for the construction of the sewer main, the complete removal of the existing main to be abandoned, and plans for bypass pumping of sewage during construction.
- Q. Road designs must meet all City standards and also comply with all applicable recommendations of the geotechnical report.
- R. All private ROW's and common areas should be designated as utility easements.

Location Map



Utah
Lake





TALONS COVE GOLF, LLC

UTAH LAKE

TALONS COVE GOLF, LLC

TALONS COVE GOLF, LLC



**Concept Plan
Platinum Car Wash
March 13, 2014
Public Meeting**

Report Date:	March 6, 2014
Project Request / Type	Concept Plan
Applicant:	Gary Hadfield
Location:	1413 North, West Commerce Drive
Major Street Access:	SR 73
Parcel Number(s) and size:	662420003, 662420002, 2.196 total acres (site area 1.422 acres)
General Plan Designation:	Regional Commercial
Zone:	Regional Commercial (RC)
Adjacent Zoning:	Regional Commercial (RC)
Current Use:	Vacant
Adjacent Uses:	Chase Bank, Dollar Tree, IHC Clinic
Previous Meetings:	Walmart Final Plat was approved 6-12-07
Land Use Authority:	City Council
Future Routing:	City Council
Planner:	Sarah Carroll, Senior Planner

A. Executive Summary:

This is a request for review of a Concept Plan for a "Car Wash (full service)" within the RC zone, to be located at 1431 North West Commerce Drive. The concept plan indicates the proposed layout for the car wash, including employee parking, service bays, office and waiting area, landscape areas, and self-serve vacuums to be located in the southeast corner of the site.

Recommendation:

Staff recommends that the Planning Commission conduct a public meeting and provide informal direction to the applicant and staff regarding the conceptual subdivision. No official motion or recommendation is provided for Concept Plans.

B. Background:

The building lots were created with the "Saratoga Wal-mart Subdivision" plat that was recorded in 2007 (attached). The property is zoned RC and the site is comprised of Lots 2 and 3 in the southwest corner of this plat. The applicant is proposing to use 1.42 acres of the 2.12 acre site. This request will require a lot line adjustment application or a plat amendment application in the future to adjust the lot lines and a site plan application.

C. Specific Request:

The proposed Concept Plan has a single commercial building that will provide a drive-through car wash, storage areas, detail service bays, and a waiting room. The building is a total of 10,862 square feet. The office and waiting room and associated storage room will be approximately 1,232 square feet. 21 parking stalls are proposed; however, one of these will need to become a landscape island as the Code does not allow more than 10 stalls in a row. The proposed parking stalls are generally intended to be used by employees since the customers will not need to park their vehicle very often. 35.69 percent of the site is proposed to be landscaped and the applicant is requesting reduced landscaping within the front setback area adjacent to West Commerce Drive.

D. Process:

Section 19.13.04. 6. Outlines the process for Concept Plans and states:

Concept Plan Process.

- a. A Concept Plan application shall be submitted before the filing of an application for subdivision or Site Plan approval unless the subdivision was part of a previous Concept Plan application and the application does not significantly deviate from the previous Concept Plan.
- b. The Concept Plan review involves an informal conference with the developer and the City's Development Review Committee and an informal review of the plan by the Planning Commission and City Council. The developer shall receive comments from the Development Review Committee, Planning Commission, and City Council to guide the developer in the preparation of subsequent applications.
 - i. The Development Review Committee, Planning Commission, and City Council shall not take any action on the Concept Plan review.
 - ii. The Development Review Committee, Planning Commission, and City Council comments shall not be binding, but shall only be used for information in the preparation of the development permit application.

E. Community Review:

There is no requirement to notice concept plans because the comments received from the Planning Commission and City Council are not binding. Formal community interaction will occur once a formal public hearing is scheduled for subdivision and site plan review.

F. General Plan:

The Land Use Map of the General Plan designates this property for Regional Commercial uses. The Land Use Element of the General Plan states "Regional Commercial areas shall be characterized by a variety of retail users including big box retail configured in developments that provide excellent vehicular access to and from major transportation facilities. Developments located in Regional Commercial areas shall be designed so as to create efficient, functional conglomerations of commercial activities."

Staff Conclusion: complies. The site and nearby properties are currently zoned RC. Nearby uses include Chase Bank, Dollar Tree, IHC Clinic, etc. The proposed access lines up with the access for Chase Bank and Dollar Tree and is an adequate distance from the intersection of SR73 and West Commerce Drive. The City does not yet have a full-service car wash within the boundaries of the City; thus, this business will offer a service that is not currently offered. The proposed business location and proposed access location will contribute to functional conglomerations of commercial activities by providing a full-service car wash within the regional commercial zone.

G. Code Criteria:

The requirements for the RC zone are outlined in Section 19.04.22. The parking requirements are in Chapter 19.09 and the Site Plan requirements are in Chapter 19.14. Pertinent sections of these Chapters and sections are reviewed below.

Permitted or Conditional Uses: can comply. Section 19.04.22 lists all of the permitted and conditional uses allowed in the RC zone. The Concept Plan proposes a use that is defined as “car wash (full-service)”. Chapter 19.02 states: “Car wash (full service)” means a car wash with facilities for the washing or waxing of automobiles, light trucks and vans, which may include drying equipment, vacuums, and other incidental uses. Full service car washes shall not include open self-service bays.” This is a conditional use in the RC zone. The applicant will have to receive approval of a conditional use permit in conjunction with site plan approval in order to operate the proposed use.

Minimum Lot Sizes: complies. The minimum lot size in the RC zone is 20,000 square feet. The proposed project is 61,972 square feet. A lot line adjustment or plat amendment will be required as this project proceeds. Based on the proposed concept plan, it appears the remaining property (~0.774 acres) can meet this requirement.

Setbacks and Yard Requirements: up for discussion. Section 19.04.22 outlines the setbacks required by the RC zone. The front of the building is facing West Commerce Drive. The setback requirements are reviewed below.

Front: can comply. Not less than twenty feet is required. *The plans indicate approximately 35 feet for the front building setback. However, the applicant is requesting a reduced landscape area in the front as outlined under “landscaping requirements” later in this report.*

Sides: can comply. Twenty feet is required when adjacent to RC zones. The proposed building is setback more than 20 feet from the future property lines. They will be able to comply once the property lines have been officially amended.

Rear: complies. The RC zone requires a 20 foot rear setback. The rear property line is the west property line. The building is setback approximately 25 feet from this property line.

Other General Requirements: complies. In addition to the specific setback requirements noted above, no building shall be closer than five feet from any private road, driveway, or parking space. The intent of this requirement is to provide for building foundation landscaping and to provide protection to the building. Exceptions may be made for any part of the building that may contain an approved drive-up window. *The building is closer than five feet to many of the paved areas on the site. However, these paved areas are not private roads, driveways or parking spaces, but are travel lanes for services offered on the site.*

The setbacks will be reviewed in greater detail when the site plan is submitted; however, it appears that the proposed building is in compliance with most of these standards. An exception to the requirement for 20 feet of landscaping within the front setback is being requested.

Structure Height: Reviewed with Site Plan application. No structure in this zone shall be taller than 50 feet. Conceptual building elevations are attached and the building does not appear to be taller than 50 feet. However, this will be verified during the Site Plan Review process as building elevations are not required with the concept plan application.

Maximum Lot Coverage: complies. The maximum lot coverage in this zone is fifty percent. The proposed site is 61,972 square feet. The proposed building is a total of 10,862 square feet, which is 17.53% of the site.

Minimum Building Size: complies. Individual structures within this zone shall be a minimum of 1,000 square feet above grade. The proposed building is 10,862 square feet.

Development Standards: does not comply. The development standards include requirements for architectural review and landscape plan review which will be reviewed further with the site plan application because landscape plans and elevations are not required with the concept plan submittal. *However, the landscape area within the required front setback is 6.86 feet (rather than the 20 feet) at its narrowest and does not comply with Section 19.04.22(9)(b)(i).*

Section 19.04.22(9)(b)(i) states "required front yard areas, and other yard areas facing a public street, shall have a landscaped area of not less than twenty feet (or as reduced in subsection 5.b. above) as approved through the Site Plan review process." Subsection 5.b. contains no criteria for reducing the 20 ft. landscaping requirement. However, the old criteria (prior to July 2013) in 5.b. stated that the Council may reduce setbacks (front and rear) to ten feet if "the reduction provides a more attractive and efficient use of the property." Therefore, staff has determined that this is the proper standard to use for reducing the front landscaping requirement. Following are possible reasons to grant or deny the reduction:

For: The proposed drive-aisle cannot be located where it is shown and the site will have to be redesigned.

Against: 20 feet of landscaping in front of the building adds aesthetic appeal to the site.

Uses Within Buildings: City Council approval required. This section requires all uses to be conducted entirely within an enclosed building except for those deemed by the City Council to be customarily and appropriately conducted outside such as automobile refueling stations and gas pumps. The proposed business will include personnel who hand-dry vehicles and this will be conducted outside. The proposed business will also offer self-service vacuums, which are to be operated outside.

Trash storage: Reviewed with Site Plan application. Section 19.14.04 requires trash storage areas to be comparable with the proposed building and surrounding structures. This will be reviewed with the site plan application as this information is not required for concept plan review. The Concept plan does not identify the trash storage area.

Buffering/Screening Requirements: Reviewed with Site Plan application. This section requires fencing or landscaping to buffer uses in the RC zone that abut Agricultural or residential uses. *There are not any abutting agricultural or residential uses.* This section also requires a minimum number of both deciduous and evergreen trees. *Landscape requirements will be reviewed with the site plan application as this information is not required for concept plan review.*

Landscaping Requirements: complies. Twenty percent of the total project area is required to be landscaped and all sensitive lands shall be protected. *The plans indicate 35% of the site will be landscaped and there are not any sensitive lands within the project area.*

Sensitive Lands: complies. Sensitive lands shall not be included in the base acreage when calculating the number of ERUs permitted in any development. *This site does not have any sensitive lands.*

Parking: possibly complies. Section 19.09.11 requires specific numbers of parking stalls based on specific land uses and requires 5 stalls per 1000 square feet for “car wash (full service)”. The concept plan indicates 21 parking stalls. One of those stalls will need to be eliminated to meet the requirement for landscape islands every 10 stalls, leaving 20 parking stalls. The parking requirement may be calculated in the following two ways:

If the parking is calculated based on the size of the office/waiting area (1,232 square feet), the result is 7 required parking stalls and the plans comply.

If the parking is calculated based on the size of the entire building (10,862 square feet), the result is 55 required parking stalls. The plan indicates 20 parking stalls. If the area in the service bays, stacking lanes, drive isles, and vacuum area are allowed to count, it is possible that there are 35 additional spaces.

Landscaping in Parking Areas: does not comply. Section 19.09.08 requires a 10 foot berm between parking areas and the public street and requires a landscape island every 10 stalls. The landscape area between the parking area for self-vacuuming and the West Commerce Drive right of way appears to be eight feet. This will need to be increased by two feet. There are 13 parking stalls shown on the north end of the project. One of these stalls will need to be a landscape island.

H. Recommendation and Alternatives:

No official action should be taken. The Planning Commission should provide general direction and input to help the developer prepare for formal Site Plan application.

Staff recommends the following:

1. All requirements of the City Engineer shall be met, including those listed in the attached report.
2. All requirements of the Fire Chief shall be met.
3. Future applications are to include site plan, conditional use permit, and a plat amendment or lot line adjustment.
4. City Council approval is required for the front setback landscape reduction
5. City Council approval is required for the uses performed outside.
6. The dumpster location needs to be identified with the site plan application.
7. A landscape berm is required between parking areas and the public street.
8. A landscape island is required every 10 parking stalls.

I. Exhibits:

1. Engineering Report
2. Location Map
3. Letter from Applicant
4. Saratoga Wal-mart Subdivision
5. Concept Plan
6. Floor Plan
7. Proposed Elevations

City Council Staff Report

Author: Jeremy D. Lapin, City Engineer
Subject: Platinum Car Wash – Concept Plan
Date: March 13, 2014
Type of Item: Concept Plan Review



Description:

A. Topic: The applicant has submitted a concept plan application. Staff has reviewed the submittal and provides the following recommendations.

B. Background:

Applicant: Gary Hadfield
Request: Concept Plan
Location: 1413 North West Commerce Drive
Acreage: 2.196 total acres (site area 1.422 acres)

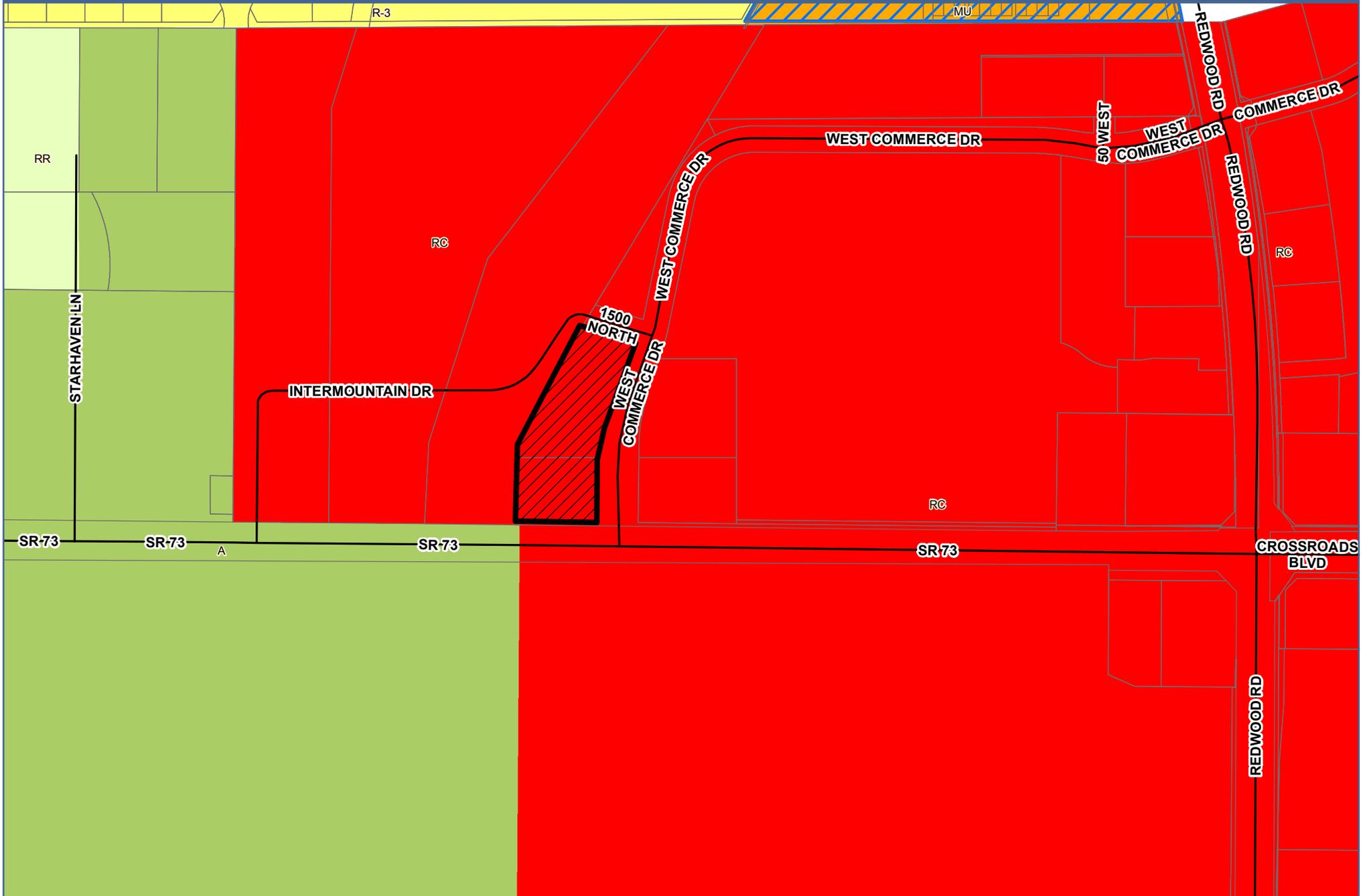
C. Recommendation: Staff recommends the applicant address and incorporate the following items for consideration into the development of their project and construction drawings.

D. Proposed Items for Consideration:

- A. Based on the proposed concept plan a lot line adjustment will be required prior to site plan approval. The remaining lot shall meet the minimum lot requirements for the regional commercial zone.
- B. Consider and accommodate existing utilities, drainage systems, detention systems, and water storage systems into the project design. Access to existing facilities shall be maintained throughout the project.
- C. Comply with the Land Development Codes regarding the disturbance of 30%+ slopes.
- D. Project must meet the City Ordinance for Storm Water release (0.2 cfs/acre for all developed property) and all UPDES and NPDES project construction requirements. Storm water must be treated to remove 80% of TSS and all hydrocarbons and floatables prior to discharge into the City system.
- E. Meet all applicable city ordinances and engineering conditions and requirements in the preparation of the Construction Drawings.

- F. Project bonding must be completed as approved by the City Engineer prior to receiving a building permit.
- G. All review comments and redlines provided by the City Engineer are to be complied with and implemented into the construction drawings.
- H. All work to conform to the City of Saratoga Springs Standard Technical Specifications, most recent edition.
- I. Prepare and record easements to the City for all public utilities not located in a public right-of-way.
- J. Provide a comprehensive geotechnical report.
- K. Provide comprehensive drainage calculations.
- L. Parking stalls shall have an island every 10th stall, to comply with the City Land Development Code.
- M. Lighting fixtures and lighting intensities shall meet the lighting requirements found in the Land Development Code and Engineering Standards and Specifications, most recent editions. All parking stalls shall have a minimum illumination of 0.5 ft-candles. Lighting shall have a color of 3200-3500 K.
- N. Provide adequate and safe pedestrian access from Commerce Drive to the Site and building. Routing pedestrians down a drive isle does not seem safe or acceptable.
- O. Do not encroach upon the existing 30' trail easement and PUE with any structures or detention. This area is to be landscaped and preserved for the trail and existing and future utilities.
- P. Identify all existing utilities and laterals on and adjacent to site. Any unused utility laterals shall be removed to the main and capped. Identify all utility relocations that will be required and coordinate with the appropriate utility companies.
- Q. A cross access easement shall be provided for the adjacent lot to the north
- R. Provide an erosion control plan with BMP's and BMP details. Contractor must obtain an NOI from the state prior to commencing construction.
- S. Provide complete landscaping and irrigation plans.
- T. Provide details for all site items and structures, city standard or other.

Location Map



Platinum Car Wash



INTENT of LAND USE

02/14/2014

Platinum Car Wash & Detail

Commerce Dr. & S.R. 73

Saratoga springs, Utah

The intended use of the appx. 2 acres shall be to construct a Full Service Car Wash & Detailing facility (see site plan) The facility will utilize appx 1.5 acres with the remaining back North 1/2 acre not being utilized at this time. This facility (unlike) a self service car wash cleans the exterior and interior of the vehicle while the customer will wait indoors or on a patio while their vehicle is being cleaned. This facility will employ 15 - 30 employees giving good jobs to younger people as well as good jobs for managers.

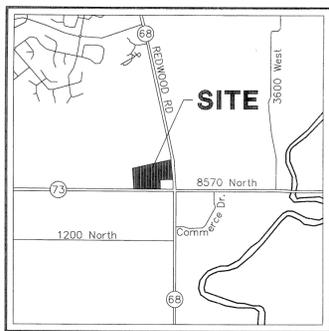
Gary Hadfield

Platinum Car Wash & Detail

SARATOGA WAL-MART SUBDIVISION

A PART OF THE NORTHWEST QUARTER OF SEC. 14, TOWNSHIP 5 SOUTH, RANGE 1 WEST SALT LAKE BASE AND MERIDIAN, CITY OF SARATOGA SPRINGS, COUNTY OF UTAH, STATE OF UTAH

JULY 2007



VICINITY MAP (NTS)

FND REBAR AND CAP STAMPED "BG127636", 0.17' WEST AND 0.84' SOUTH OF PROPERTY CORNER

PARCEL A
0.56 ACRES
24,447 SF

PARCEL C
0.11 ACRES
4,925 SF

PARCEL B
0.63 ACRES
27,549 SF

ROAD DEDICATION
4.70 ACRES
204,732 SF

LOT 1
20.92 ACRES
911,060 SF
136 W.

LOT 6
2.06 ACRES
89,928 SF
1523 N.

LOT 8
1.02 ACRES
44,315 SF
1513 N.

LOT 9
0.78 ACRES
33,983 SF
1487 N.

LOT 10
0.90 ACRES
39,206 SF
1463 N.

LOT 2
1.40 ACRES
61,089 SF
1457 N.

LOT 4
1.41 ACRES
61,440 SF
1458 N.

LOT 3
0.79 ACRES
34,576 SF
1413 N.

LOT 5
1.00 ACRES
43,572 SF
1412 N.

FND X MARKED ON TOP OF 12" PVC PIPE WHICH GOES NORTH, SOUTH, AND EAST; 0.26' WEST AND 0.20' SOUTH OF PROPERTY CORNER

FND REBAR AND CAP STAMPED "FLINT SURVEY", 0.38' WEST AND 0.35' SOUTH OF PROPERTY CORNER

FND REBAR AND CAP STAMPED "FLINT SURVEY", 0.38' WEST AND 0.35' SOUTH OF PROPERTY CORNER

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FND REBAR AND CAP STAMPED "FLINT SURVEY", 0.38' WEST AND 0.35' SOUTH OF PROPERTY CORNER

QUESTAR GAS COMPANY

Questar approves this plat solely for the purpose of confirming that the plat contains public utility easements. Questar may require other easements in order to serve this development. This approval does not constitute attestation or waiver of any existing rights, obligations or liabilities provided by law or equity. This approval does not constitute acceptance, approval or acknowledgment of any terms contained in the plat, including those set forth in the Owners Dedication and the Notes and does not constitute a guarantee of particular terms of natural gas service. For further information please contact Questar's Right-of-Way department at 1-800-305-6532

Approved this 16 day of July 2007

QUESTAR GAS COMPANY

By: *Anna Odessa*

Title: *General Manager*

LINE	RADIUS	DELTA	LENGTH	TANGENT
C1	450.00'	24°47'48"	207.74'	105.52'
C2	750.00'	9°13'47"	120.82'	60.94'
C3	356.46'	24°47'48"	154.27'	78.36'
C4	356.46'	14°01'41"	87.27'	43.86'
C5	376.46'	10°46'07"	67.00'	33.60'
C6	446.00'	5°44'35"	44.70'	22.37'
C7	784.00'	9°13'47"	126.29'	63.28'
C8	716.00'	9°13'47"	115.34'	57.79'
C9	716.00'	23°49'	29.95'	14.98'
C10	716.00'	6°49'58"	85.38'	42.74'
C11	161.00'	78°37'56"	220.95'	131.85'
C12	195.00'	78°37'56"	267.62'	159.70'
C13	229.00'	78°37'56"	314.28'	187.54'
C14	229.00'	26°54'32"	107.55'	54.79'
C15	229.00'	51°43'24"	206.73'	111.01'
C16	534.00'	9°27'12"	88.11'	44.15'
C17	500.00'	9°27'12"	82.50'	41.34'
C18	466.00'	11°8'29"	10.64'	5.32'
C19	500.00'	5°23'54"	47.11'	23.57'
C20	500.00'	4°03'19"	35.39'	17.70'
C21	991.00'	9°01'04"	155.97'	78.15'
C22	991.00'	0°07'23"	2.13'	1.06'
C23	991.00'	8°53'41"	153.85'	77.08'
C24	385.00'	11°25'15"	76.74'	38.50'
C25	1025.00'	20°26'19"	365.64'	184.78'
C26	500.00'	20°26'19"	178.36'	90.14'
C27	500.00'	13°06'35"	114.40'	57.45'
C28	500.00'	7°19'44"	63.96'	32.02'
C29	5669.65'	2°23'39"	236.93'	118.48'
C30	5669.65'	1°50'35"	182.38'	91.20'
C31	5669.65'	1°41'51"	167.96'	83.99'
C32	5669.65'	1°10'15"	115.85'	57.93'
C33	140.00'	41°28'10"	101.33'	53.00'
C34	140.00'	25°23'31"	62.04'	31.54'
C40	446.00'	11°51'17"	92.28'	46.31'
C41	480.00'	9°20'33"	78.27'	39.22'
C42	480.00'	15°27'15"	129.47'	65.13'

SURVEYOR'S OPINION

I, BRAD T. MORTENSEN, DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR AND THAT I HOLD CERTIFICATE NO. 271154, AS PRESCRIBED UNDER THE LAWS OF THE STATE OF UTAH. I FURTHER CERTIFY THAT BY THE AUTHORITY OF THE OWNERS, I HAVE MADE A SURVEY OF THE TRACT OF LAND SHOWN ON THIS PLAT AND DESCRIBED BELOW, AND HAVE CORRECTLY SURVEYED AND STAKED INTO LOTS AND STREETS, HEREAFTER TO BE KNOWN AS: SARATOGA WAL-MART SUBDIVISION. IN MY PROFESSIONAL OPINION, AND TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF THE SAME HAS BEEN CORRECTLY SURVEYED AND STAKED ON THE GROUND AS SHOWN ON THIS PLAT, AND THE LOTS ARE IN GENERAL CONFORMANCE WITH THE AREA, FRONTAGE AND WIDTH REQUIREMENTS OF THE APPLICABLE ZONING ORDINANCES.

EXECUTED THIS 30 DAY OF July 2007

BRAD T. MORTENSEN
PROFESSIONAL LAND SURVEYOR #271154
FOR AND ON BEHALF OF
CLC ASSOCIATES, INC.
420 E. SOUTH TEMPLE, SUITE 550
S.L.C. UT 84411

LEGAL DESCRIPTION

ALL OF LOTS 2, 3, 4, 5, AND 6, CROSSROADS RANCHETTES PLAT "A", AS FOUND IN A PLAT RECORDED AS ENTRY NO. 43640, MAP NO. 4526, OFFICIAL RECORDS, TOGETHER WITH THE LAND DESCRIBED AS PARCEL 1, ON "EXHIBIT A", OF THE CORRECTIVE DEED, RECORDED AS ENTRY NO. 47643/2006, APRIL 20, 2006, OFFICIAL RECORDS; SAID LAND BEING PART OF THE NORTHWEST QUARTER, SECTION 14, TOWNSHIP 5 SOUTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN, IN THE STATE OF UTAH, COUNTY OF UTAH, CITY OF SARATOGA SPRINGS, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHEAST CORNER OF SAID LOT 2, SAID POINT BEING 500°36'32"W GRID (NAD83) (1994) UTAH CENTRAL) ALONG THE EAST LINE OF SAID NORTHWEST QUARTER 246.31 FEET, AND S90°00'00"W 147.53 FEET, FROM THE NORTH QUARTER CORNER OF SAID SECTION 14, SAID SECTION CORNER BEING N89°30'06"E 105.27 FEET BY RECORD AND N89°22'51"E 105.27 FEET BY MEASURE FROM THE FOUND WITNESS CORNER, PER COUNTY TIE SHEET NO. 33-16RC; SAID POINT OF BEGINNING ALSO BEING THE BEGINNING OF A NON TANGENT CURVE ON THE WEST LINE OF S.R. 68 (REDWOOD ROAD), AS SHOWN ON THE UDOT ROW PLANS FOR PROJECT NO. 102-0(1), CONCAVE TO THE WEST, WITH A RADIUS OF 5,679.65 FEET, AND A RADIAL BEARING OF N79°58'34"E; THENCE SOUTHERLY 783.50 FEET, ALONG SAID WEST LINE, THROUGH A CENTRAL ANGLE OF 07°54'14" (CHORD BEARS S06°04'19"E 782.88 FEET), TO THE SOUTH LINE OF SAID PARCEL 1, AS REFERENCED ABOVE; THENCE N89°17'16"W ALONG SAID SOUTH LINE 456.88 FEET, TO THE EAST LINE OF SAID LOT 4; THENCE S00°37'35"W ALONG SAID EAST LINE 307.84 FEET, TO THE NORTH LINE OF S.R. 73 (CEDAR FORT ROAD) AS SHOWN ON THE UDOT ROW PLAN FOR PROJECT NO. SP-0073(1)32; THENCE N89°23'01"W ALONG SAID NORTH LINE 139.32 FEET, TO THE EAST LINE OF SAID LAND CONVEYED TO IHC HEALTH SERVICES, INC., A UTAH NONPROFIT CORPORATION, GRANTEE, AS SHOWN IN THAT CERTAIN SPECIAL WARRANTY DEED RECORDED DECEMBER 27, 2002 AS ENTRY NO. 156616-2002 OF OFFICIAL RECORDS; THENCE N43°33'22"W ALONG SAID EAST LINE 18.87 FEET, TO THE WEST LINE OF SAID SUBDIVISION; THENCE NORTHERLY ALONG SAID WEST LINE THE FOLLOWING THREE (3) COURSES: 1) N02°48'17"E 199.77 FEET, 2) N25°53'47"E 180.67 FEET, AND 3) N31°05'46"E 796.38 FEET, TO THE NORTH LINE OF SAID LOT 2; THENCE N89°38'48"E ALONG SAID NORTH LINE 1287.69 FEET TO THE POINT OF BEGINNING.

CONTAINS 1,626,690 SQUARE FEET (OR 37.34 ACRES), MORE OR LESS.

OWNER'S DEDICATION

KNOW ALL MEN BY THESE PRESENTS THAT THE UNDERSIGNED OWNER (S) OF THE ABOVE DESCRIBED TRACT OF LAND, HAVING CAUSED SAME TO BE SUBDIVIDED INTO LOTS AND STREETS, HEREAFTER TO BE KNOWN AS

SARATOGA WAL-MART SUBDIVISION

DO HEREBY DEDICATE FOR PERPETUAL USE OF THE PUBLIC ALL PARCELS OF LAND SHOWN ON THIS PLAT AND INTENDED FOR PUBLIC USE.

IN WITNESS WHEREOF _____ HAVE CAUSED HERETO SET FORTH THIS _____ DAY OF _____ A.D., 2007

AMSOURCE SARATOGA NWC, LLC, a Utah limited liability company, by its manager, Amsource Realty Advisors, LLC, a Utah limited liability company, by: *Charles Shaker* ITS MANAGER

ZIONS FIRST NATIONAL BANK, a national banking association, by: *Shawn Letts* AKA WAL-MART STORES INC

WAL-MART REAL ESTATE BUSINESS TRUST, by: *Shawn Letts* AKA WAL-MART STORES INC

CORPORATE ACKNOWLEDGMENT

STATE OF Arkansas S.S.
COUNTY OF Benton

ON THE 12th DAY OF July A.D., 2007, PERSONALLY APPEARED BEFORE ME, _____ NOTARY PUBLIC, _____ WHO BEING BY ME DULY SWORN OR AFFIRMED, DID SAY THAT Shawn Letts IS THE Manager OF Wal-Mart Real Estate Business Trust AND THAT THE HEREIN OWNER'S DEDICATION WAS SIGNED IN BEHALF OF SAID Wal-Mart Real Estate Business Trust AND HE SAID SAME.

Shawn Letts NOTARY PUBLIC
Gina Norton NOTARY PUBLIC-STATE OF ARKANSAS
BENTON COUNTY
My Commission Expires July 16, 2011

RESIDING IN Benton COUNTY, _____

MY COMMISSION EXPIRES: 7-16-2011

ACCEPTANCE BY LEGISLATIVE BODY

THE MAYOR OF THE CITY OF SARATOGA SPRINGS, COUNTY OF UTAH, APPROVES THIS SUBDIVISION SUBJECT TO THE CONDITIONS AND RESTRICTIONS STATED HEREON, AND HEREBY ACCEPTS THE DEDICATION OF ALL STREETS, EASEMENTS, AND OTHER PARCELS OF LAND INTENDED FOR THE PUBLIC PURPOSE OF THE PERPETUAL USE OF THE PUBLIC. THIS _____ DAY OF _____ A.D., 2007

Shawn Letts MAYOR ATTEST: *Gina Norton* CITY RECORDER (SEE SEAL BELOW)

SARATOGA WAL-MART SUB

A PART OF THE NORTHWEST QUARTER OF SEC. 14, T.5S., R.1W., S.L.B.&M., CITY OF SARATOGA SPRINGS, COUNTY OF UTAH
CROSSROADS RANCHETTES PLAT "A"
JULY 2007

SHEET 1 OF 3

SURVEYOR'S SEAL NOTARY PUBLIC SEAL CITY-COUNTY ENGINEER SEAL CLERK-RECORDER SEAL

NARRATIVE

THE PURPOSE OF THIS SURVEY IS TO ESTABLISH THE POSITION OF THE BOUNDARY LINES OF THE SUBJECT PROPERTY ON THE GROUND AND SUBDIVIDE THE SUBJECT PROPERTY INTO 12 PARCELS AND A ROAD DEDICATION.

BASIS OF BEARINGS

THE BASIS OF BEARINGS FOR THIS SURVEY IS THE UTAH COORDINATE SYSTEM NAD 83 (1994) CENTRAL ZONE, AS DETERMINED BETWEEN THE FOLLOWING THREE NGS HARN STATIONS:

"RED BUTTE CORNERS ARP" (PID: AF9633), ADJUSTED BY NGS IN MARCH 2002, "LAKE MOUNTAIN GPS BASE STATION ARP" (PID: A15835), ADJUSTED BY NGS IN JUNE 2000, "NORTH ANTELOPE ISLAND GPS BASE STA ARP" (PID: A15836), ADJUSTED BY NGS IN JUNE 2000, AND HEBER GPS BASE STATION ARP (PID: A15834), ADJUSTED BY NGS IN JUNE 2000.

THE BASIS OF BEARINGS MAY BE DETERMINED LOCALLY BY THE NORTH LINE OF THE NORTHWEST QUARTER OF SECTION 14, T.5S., R.1W., S.L.B.&M.; SHOWN HEREON AS N89°38'48"E.

NOTES

- COORDINATES SHOWN HEREON ARE BASED ON THE UTAH COORDINATE SYSTEM NAD 83 (1994) CENTRAL ZONE; MULTIPLY GROUND DISTANCES HEREON BY 0.99972753675 TO OBTAIN GRID DISTANCES USED WITH GIVEN COORDINATES.
- CROSS ACCESS EASEMENTS BETWEEN LOTS 1,4,5,7,8, AND 10 AS PER THE EASEMENTS WITH COVENANTS AND RESTRICTIONS (ECR), RECORDED AS ENTRY NO. 118931/2006, SEPTEMBER 11, 2006, OFFICIAL RECORDS. SEE ECR FOR FULL DETAILS.
- ALL PUBLIC STREET RIGHT OF WAYS TO BE DEDICATED FOR PUBLIC USE AS PER THIS PLAT.
- ALL PUBLIC UTILITY EASEMENTS ARE FOR UTILITIES INCLUDING, NATURAL GAS, TELEPHONE, CABLE TV, WATER, SANITARY SEWER, AND DRAINAGE PURPOSES.

LEGEND:

- SET REBAR AND CAP MARKED "PLS 271154" UNLESS OTHERWISE NOTED
- FND GOVERNMENT MONUMENT AS NOTED
- FND MONUMENT AS NOTED
- CENTERLINE MONUMENT PER CITY STANDARDS TO BE SET AFTER IMPROVEMENT OF ROAD
- CENTERLINE
- SECTION LINE
- ADJACENT PROPERTY LINES
- PROPERTY LINE
- PROPOSED LOT LINES
- EASEMENT AS NOTED
- RIGHT OF WAY LINE
- 20' WIDE SEWER EASEMENT SEE DETAIL: A SHEET 3 OF 3
- 10' WIDE WATERLINE EASEMENT SEE SHEET 3 OF 3

PUBLIC UTILITIES APPROVAL

QUESTAR *See Above*
UP&L *See Above* 7-16-07
QWEST *Chad Angelle* 7-16-07
COMCAST CABLE *Shawn Letts* 7/16/07

FIRE CHIEF APPROVAL

APPROVED THIS _____ DAY OF _____ A.D., 2007, BY THE CITY FIRE CHIEF.

PLANNING COMMISSION APPROVAL

APPROVED THIS _____ DAY OF _____ A.D., 2007, BY THE PLANNING COMMISSION.

SARATOGA SPRINGS ENGINEER APPROVAL

APPROVED THIS _____ DAY OF _____ A.D., 2007, BY THE CITY ENGINEER.

SARATOGA SPRINGS ATTORNEY

APPROVED AS TO FORM THIS _____ DAY OF _____ A.D., 2007, BY THE SARATOGA SPRINGS ATTORNEY.

CORPORATE ACKNOWLEDGMENT

STATE OF Utah S.S.
COUNTY OF Tooele

ON THE 12th DAY OF August A.D., 2007, PERSONALLY APPEARED BEFORE ME, _____ NOTARY PUBLIC, _____ WHO BEING BY ME DULY SWORN OR AFFIRMED, DID SAY THAT Shawn Letts IS THE Manager OF Wal-Mart Real Estate Business Trust AND THAT THE HEREIN OWNER'S DEDICATION WAS SIGNED IN BEHALF OF SAID Wal-Mart Real Estate Business Trust AND HE SAID SAME.

Shawn Letts NOTARY PUBLIC
Keri Henderson NOTARY PUBLIC

RESIDING IN _____ COUNTY, _____

MY COMMISSION EXPIRES: _____

CORPORATE ACKNOWLEDGMENT

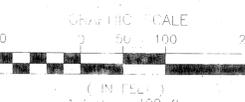
STATE OF Utah S.S.
COUNTY OF Tooele

ON THE 12th DAY OF August A.D., 2007, PERSONALLY APPEARED BEFORE ME, _____ NOTARY PUBLIC, _____ WHO BEING BY ME DULY SWORN OR AFFIRMED, DID SAY THAT Shawn Letts IS THE Manager OF Wal-Mart Real Estate Business Trust AND THAT THE HEREIN OWNER'S DEDICATION WAS SIGNED IN BEHALF OF SAID Wal-Mart Real Estate Business Trust AND HE SAID SAME.

Shawn Letts NOTARY PUBLIC
Keri Henderson NOTARY PUBLIC

RESIDING IN _____ COUNTY, _____

MY COMMISSION EXPIRES: _____

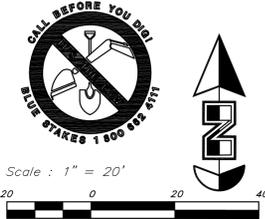


12575 sheet 1 of 3

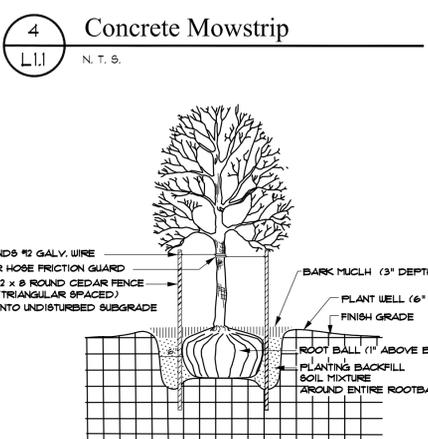
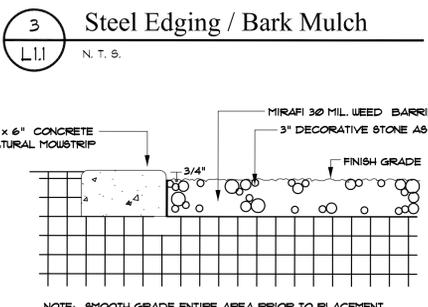
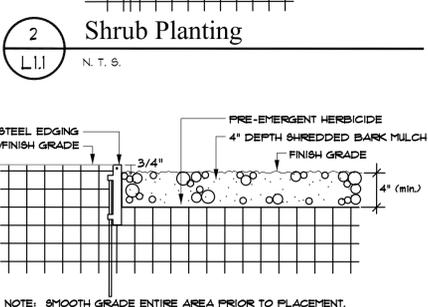
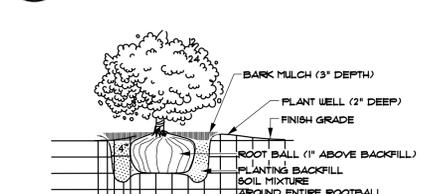
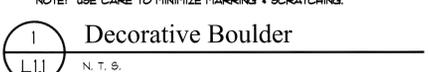
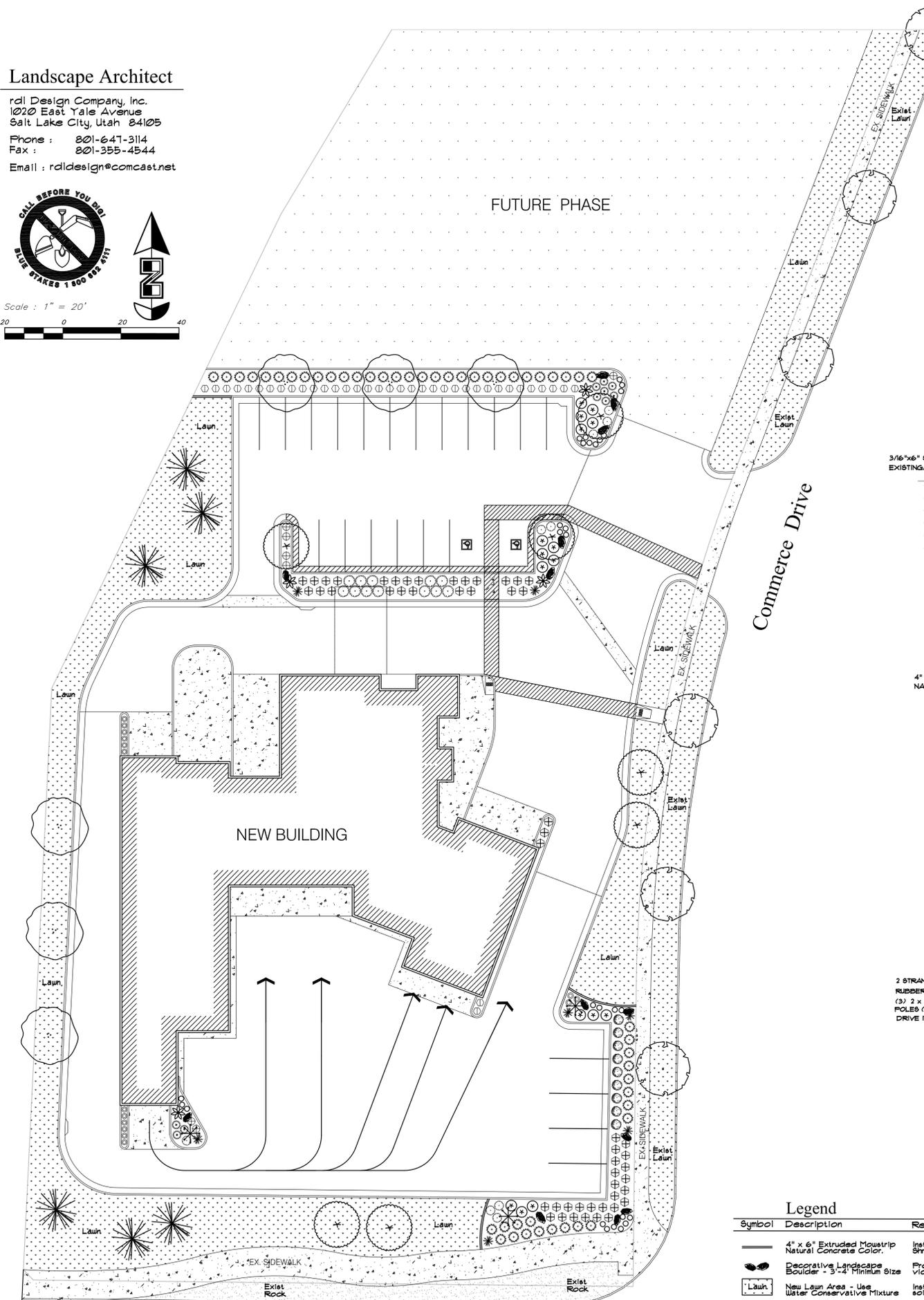
SEC 14 - S.1W T.5S R.1W (LOTS 2-7, CROSSROADS RANCHETTES "A")

Landscape Architect

rdl Design Company, Inc.
1020 East Yale Avenue
Salt Lake City, Utah 84105
Phone : 801-647-3114
Fax : 801-355-4544
Email : rldesign@comcast.net



Scale : 1" = 20'



5 Tree Planting
L.I.I. N.T.S.

Symbol	Description	Remarks
	4" x 6" Extruded Mowstrip Natural Concrete Color.	Install in True Lines, Flush to All Concrete Edges & Between All Lawn And Shrub Areas.
	Decorative Landscape Boulder - 3'-2' Minimum Size	Provide Landscape Boulder Of Similar Color As Decorative Rock / Provide Sample For Approval.
	New Lawn Area - Use Water Conservative Mixture	Install Water Conservative/Drought Tolerant Mixture Over Specified Topsoil Depth.
	Decorative Stone - Rock 2" Minus Size / Crushed	Install To A Depth Of Four (4) Inches Over "Dellit" Brand Used Barrier Fabric.

Plant List (TREES)

Quan.	Symbol	Botanical Name	Common Name	Size	Remarks
6		Gleditsia triacanthos 'Skyline'	Skyline Honeylocust	2' Calliper 10'-12' Height	Matched Heads Straight Trunks
3		Picea mariana 'Wellsprite'	Columnar Spruce	1' Min. Height B 4 B	Full Width Form Specimen
6		Picea pungens	Colorado Spruce	1' Min. Height B 4 B	Full Width Form Specimen
7		Fyrus calleryana 'Chanticleer'	Chanticleer Flowering Pear	2' Calliper 8'-10' Height	Matched Heads Straight Trunks
NA		Existing Trees To Remain	Several Varieties	As Installed 10'-12' Height	Protect During Construction

Plant List (SHRUBS)

Quan.	Symbol	Botanical Name	Common Name	Size	Remarks
10		Buxus microphylla 'Julia Jane'	Julia Jane Boxwood	5 Gallon	15"-18" Height
16		Cornus alba 'Ivory Halo'	Ivory Halo Dogwood	5 Gallon	18"-24" Height
9		Euonymus alatus 'Compacta'	Dwarf Burning Bush	5 Gallon	18"-24" Height
4		Fraxocarpus o. 'Summer Wine'	Summer Wine Ninesbark	5 Gallon	18"-24" Height
50		Rhus aromatica 'Low Grow'	Grow Low Sumac	5 Gallon	18"-24" Spread
12		Rhus trilobata	Oakbrush Sumac	5 Gallon	18"-24" Height
9		Spiraea japonica 'Neon Flash'	Neon Flash Spiraea	5 Gallon	15"-18" Height
7		Yucca filamentosa 'Ivory Tower'	Ivory Tower Yucca	5 Gallon	15"-18" Height

Plant List (ORNAMENTAL GRASSES/PERENNIALS)

Quan.	Symbol	Botanical Name	Common Name	Size	Remarks
52		Calamagrostis a. 'Foerster'	Foerster Feather Grass	5 Gallon	24"-30" Height
7		Helictotrichon sempervirens	Blue Oat Grass	2 Gallon	15"-18" Height
28		Lavandula 'Hidcote Blue'	Hidcote Blue Lavender	1 Gallon	12"-15" Height
32		Panicum virgatum 'Shenandoah'	Shenandoah Switch Grass	5 Gallon	18"-24" Height
15		Fernisletum a. 'Hamelii'	Dwarf Fountain Grass	2 Gallon	12"-15" Height

Plant Material Quality Note:
All plant materials shall be of number one quality and size for the container specified. All materials of each variety shall be furnished by the same supplier and come from the same stock or group. The Owner and Landscapes Architect have the right to reject any and all plant materials not meeting specification or in a healthy condition for the project. The contractor shall secure all plant materials for a minimum of 60 days prior to the anticipated installation date. No plant material substitutions will be considered following this 60 day period. All plant materials shall be reviewed and approved prior to shipment to the site.

- Planting Notes**
- All lawn areas shall receive a 4 inch depth of topsoil, all shrub planting areas shall receive an 8 inch depth of topsoil. In rock only areas, no topsoil shall be installed. Topsoil material is not expected to be from on-site sources, and shall be imported from approved local sources. All topsoil material used for in for landscape purposes shall be of a sandy loam mix.
 - Prior to placement of topsoil, all subgrade areas shall be loosened by scarifying the soil to a depth of 6 inches, by the use of mechanical means, in order to create a transition layer.
 - All lawn areas shall be sodded using high grade material of a water conservative mixture, and shall be composed of turf type "Tall Fescue" and/or Bluegrass. Prior to installation, all areas shall receive a starter fertilizer applied at the rate recommended by the manufacturer.
 - All plant material holes shall be dug twice the diameter of the rootball and 6 inches deeper. Excavated material shall be removed from the site.
 - Plant backfill mixture shall be composed of 3 parts topsoil to 1 part humus additive, and shall be rotary mixed on-site prior to installation.
 - Plant fertilizer shall be 'Agriform' brand 21 gram tablets used as per manufacturers recommendations.
 - All trees located in lawn areas shall receive an 'Arbor Guard' trunk protector, or equal, and have a 36 inch diameter sod-free ring. All trees shall be staked for wind protection, unless indicated.
 - Upon completion of planting operations, all shrub pits and tree wells shall receive a four inch depth of fine ground bark mulch mixture as a cover. The overall shrub beds themselves shall receive a 4" depth of decorative stone surfacing over 30 mil weed barrier fabric. Provide sample for each type of stone specified. The different rock sizes shall be of various colors, but in the "earth tones" to match the building. All stone material shall be of a clean and/or a "washed" product.
 - In decorative stone beds, cut the fabric from around the water well of each plant, then apply fine ground bark inside water well. The remainder of the planter bed shall receive the depth of decorative stones.
 - Landscape maintenance shall be required for a period of 30 days, or two mowings of the lawn, and shall include mowing, weeding, pruning and a minimum of one fertilizations of the lawn.
 - The project shall be swept clean of dirt and debris prior to completion of the project, and on a daily basis, if required, as determined by the Owner/contractor.
 - The contractor shall comply with all warranties and guarantees set forth by the Owner, and in no case shall that period be less than one year following the date of final completion and acceptance.

- Planting General Notes**
- The contractor shall verify the exact location of all existing and proposed utilities, and all site conditions prior to beginning construction. The contractor shall coordinate his work with the project manager and all other contractors working on the site.
 - The finish grade of all planting areas shall be smooth, even and consistent, free of any humps, depressions or other grading irregularities. The finish grade of all landscape areas shall be graded consistently 1/2" below the top of all surrounding walks, curbs, etc.
 - The contractor shall stake the location of all plants for approval prior to planting. Trees shall be located equidistant from building and surrounding plant material. Shrubs and ground covers shall be triangular spaced.
 - The plant materials list is provided as an indication of the specific requirements of the plants specified, wherever in conflict with the planting plan, the planting plan shall govern.
 - The contractor shall provide all materials, labor and equipment required for the proper completion of all landscape work as specified and shown on the drawings.
 - All plant materials shall be approved prior to planting. The Owner/Landscape Architect has the right to reject any and all plant material not conforming to the specifications. The Owner decision will be final.
 - The contractor shall keep the premises, storage areas and paving areas neat and orderly at all times. Remove trash, sweep, clean, hose, etc. daily.
 - The contractor shall plant all plants per the planting details, stake/guy as shown. The top of root balls shall be planted flush with finish grade.
 - The contractor shall not impede drainage in any way. The contractor shall always maintain positive drainage away from the building, walks, etc.
 - The contractor shall maintain all work until all work is complete and accepted by the Owner, but in no case less than 30 days following the date of substantial completion. Maintenance shall include mowing, weeding, pruning, fertilizing, cleaning, insecticides, herbicides, etc. and all other necessary for a complete service of project.
 - It shall be the contractors responsibility to ensure that any damaged or disturbed landscaping from the construction of this project is to be returned to as good or better condition.
 - It shall be the responsibility of the property owner to maintain all landscaping and irrigation facilities after construction at the end of the contractor warranty period.

- Planting Submittal Requirements**
- The contractor shall provide to the Owner/Engineer product samples of all landscape materials such as rock/boulders, decorative stone, bark mulches, weed barrier fabric, soil amendments & import topsoil in order to obtain approval to be used on the project, and prior to any shipment to the site. Failure to provide this in a timely manner will in no way affect or delay the construction schedule and time for project completion.
 - All plant materials shall be secured for the project a minimum of 60 days prior to shipment to the site. The contractor shall provide to the Owner/Engineer written confirmation of this a minimum of 30 days prior to planting of the project. No substitutions will be considered following this time period.

- Sub-Grade Requirements**
- LAWN AREAS : Six (6) inches below finish grade. This will allow for the installation of a 4 inch depth of topsoil along with the sodding material, leaving it slightly below finish grade and concrete areas.
 - SHRUB AREAS : Twelve (12) inches below finish grade. This will allow for the installation of an 8 inch depth of topsoil along with a four inch depth of bark mulch or decorative stone mulch over the weed barrier fabric, leaving it slightly below finish grade and concrete areas.
 - ROCK (ONLY) AREAS : Five (5) inches below finish grade. This will allow for a four inch depth of decorative rock over the weed barrier fabric, leaving it slightly below finish grade and concrete areas.

PROJECT NUMBER
14-07

REVISIONS

SHEET TITLE
LANDSCAPE PLAN

PROJECT/OWNER
PLATINUM CAR WASH
HIGHWAY 73 AND COMMERCE DRIVE
SARATOGA SPRINGS, UTAH

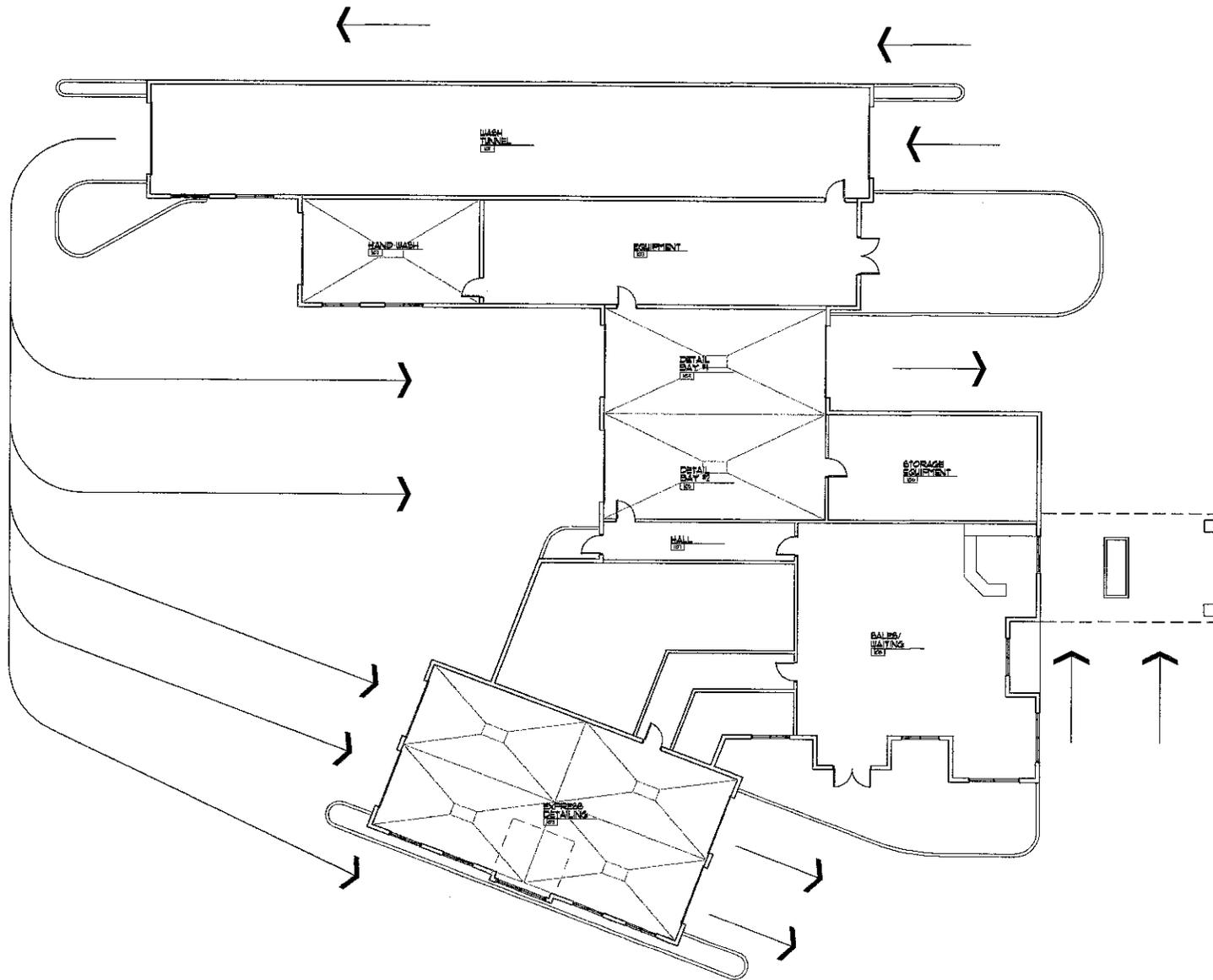
ARCHITECT
NICHOLS • NAYLOR
A R C H I T E C T S
1155 EAST WILMINGTON AVENUE SUITE 250
SALT LAKE CITY, UTAH 84106 (801) 487-3330



DATE
FEBRUARY 14, 2014

SHEET NUMBER
L1.1

U.S. Highway 73




FLOOR PLAN
 SCALE: 1/8" = 1'-0"


 NORTH

PROJECT NUMBER

14-07

REVISIONS

SHEET TITLE

FLOOR PLAN

PROJECT/OWNER

PLATINUM CAR WASH
 HIGHWAY 73 AND COMMERCE DRIVE
 SARATOGA SPRINGS, UTAH

ARCHITECT

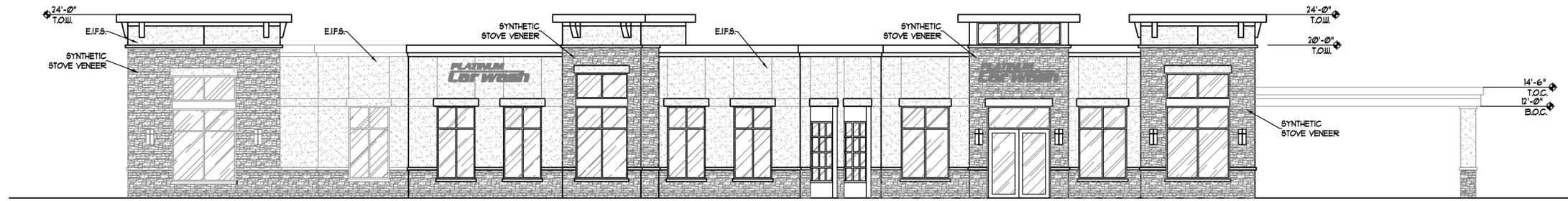
NICHOLS • NAYLOR
 ARCHITECTS
 1155 EAST WILMINGTON AVENUE SUITE 250
 SALT LAKE CITY, UTAH 84106 (801) 487-3350



DATE
 FEBRUARY 11, 2014

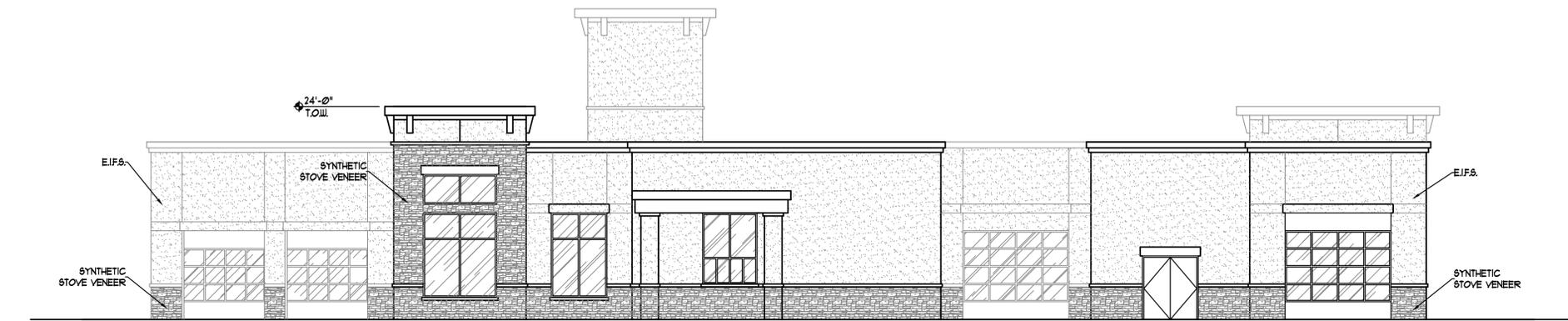
SHEET NUMBER

A1

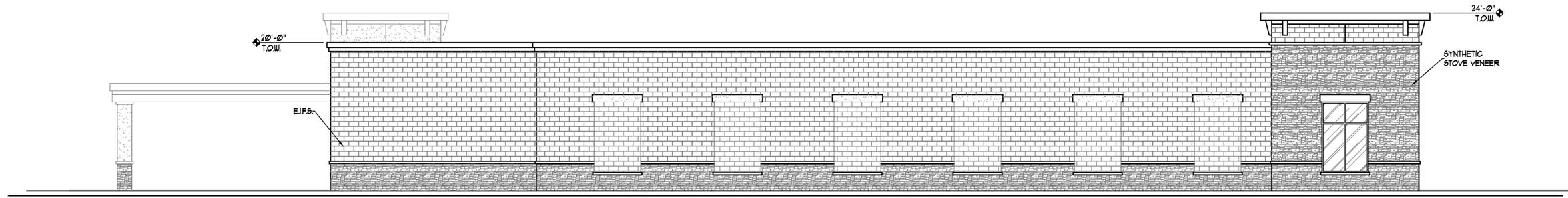


EAST
1
A2.1
EXTERIOR ELEVATIONS
0 2 4 6 8 16'
SCALE: 1/8" = 1'-0"

SYNTHETIC STONE VENEER	20%
STUCCO	45%
STOREFRONT GLASS/OVERHEAD DOORS	20%
CMU BLOCK	15%

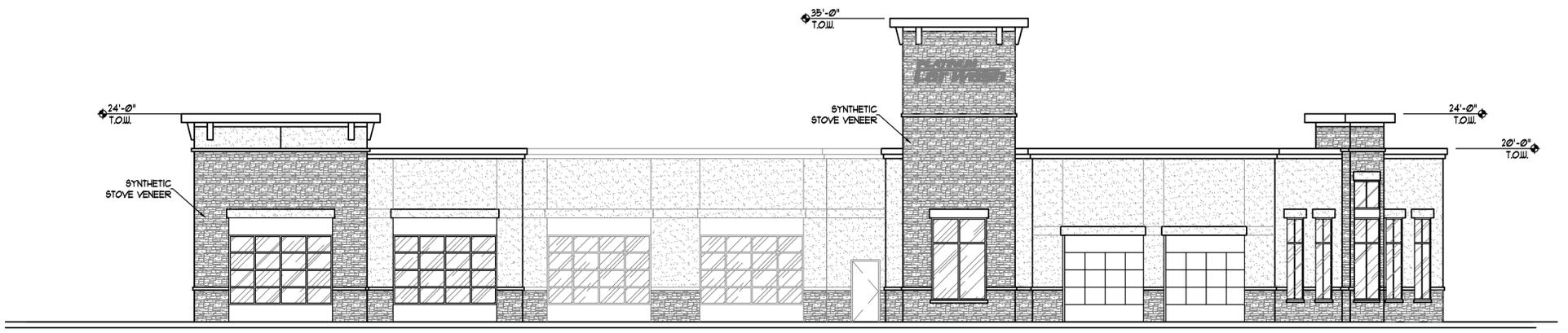


NORTH
1
A2.1
EXTERIOR ELEVATIONS
0 2 4 6 8 16'
SCALE: 1/8" = 1'-0"



WEST
1
A3
EXTERIOR ELEVATIONS
SCALE: 1/8" = 1'-0"

SYNTHETIC STONE VENEER	20%
STUCCO	45%
STOREFRONT GLASS/OVERHEAD DOORS	20%
CMU BLOCK	15%



SOUTH
2
A3
EXTERIOR ELEVATIONS
SCALE: 1/8" = 1'-0"



**Lake Cove
Concept Plan
March 13, 2014
Public Meeting**

Report Date:	February 26, 2014
Applicant/Owner:	Ron Johnston / Desert Peak Management Group, LLC
Location:	3618 South Spinnaker Drive
Major Street Access:	Harbor Park Way
Parcel Number(s) & Size:	452280148, -149, -150, -151, -170; 6.424 acres
Parcel Zoning:	R-3, Low Density Residential
Adjacent Zoning:	R-3
Current Use of Parcel:	Vacant
Adjacent Uses:	R-3, Low Density Residential (north, south and west); R-3, Low Density Residential (east) Utah Lake
Previous Meetings:	none
Previous Approvals:	04/10/2007 Rezone, 09/25/2007 MDA Amendment (expired)
Land Use Authority:	City Council
Future Routing:	Public meeting with City Council
Author:	Scott Langford, Senior Planner

A. Executive Summary:

This is a request for review of a Concept Plan for a proposed single-family residential development located at approximately 3618 South Spinnaker Drive. The site is comprised of a 5 existing parcels totaling 6.424 acres and is zoned R-3, Low Density Residential. The R-3 zone permits up to 3 units per acre. The Revised Concept Plan proposes 14 single-family lots for an overall density of 2.18 units per acre.

Recommendation:

Staff recommends that the Planning Commission conduct a public meeting and provide informal direction to the applicant and staff regarding the conceptual subdivision. No official motion or recommendation is provided for Concept Plans.

B. Background:

The subject property was rezoned from AG to R-3 on April 10, 2007. The property was also part of the amended Harbor Bay Master Development Agreement, which was approved in September 2007. This agreement is now expired.

C. Specific Request:

The Concept Plan has 14 single family residential lots ranging in size from 10,722 square feet up to 19,414 square feet. The Concept Plan also includes 0.83 acres of open space; however approximately 0.5 acres of this open space is within the 100 year flood plain and therefore designated as sensitive land.

D. Process:

Per section 19.13.04(6) of the City Code, a Concept Plan application shall be submitted before the filing of an application for Subdivision or Site Plan approval.

The Concept Plan review involves an informal review of the plan by the Planning Commission and City Council. The developer shall receive comments from the Planning Commission and City Council to guide the developer in the preparation of subsequent applications.

E. Community Review:

There is no requirement to notice concept plans because the comments received from the Planning Commission or City Council are not binding. Formal community interaction will occur once a public hearing is scheduled as part of the subdivision review.

F. General Plan:

The General Plan designates this area for Low Density Residential development. The Land Use Element of the General Plan defines Low Density Residential as development that has one to four units per acre. The proposed subdivision consists of 2.8 units per acre; therefore it is in compliance with the density envisioned for this area.

G. Code Criteria:

Section 19.12.03 of the City Code states, *"All subdivisions are subject to the provisions of Chapter 19.13, Development Review Process"*. The following criteria are pertinent requirements for Preliminary Plats listed in Sections 19.12 (Subdivision Requirements) and 19.04.13 (R-3 Requirements) of the City Code.

Permitted or Conditional Uses: complies. Section 19.04.13(2 & 3) lists all of the permitted and conditional uses allowed in the R-3 zone. The Concept Plan shows residential building lots which are supported as a permitted use in the R-3 zone.

Minimum Lot Sizes: complies. 19.04.13(4) states that the minimum lot size for residential lots is 10,000 square feet. The smallest lot shown on the Concept Plan is 10,722 square feet.

Setbacks and Yard Requirements: complies. Section 19.04.13(5) outlines the setbacks required by the RC zone. These requirements are:

Front: Not less than twenty-five feet.

Sides: 8/20 feet (minimum/combined)

Rear: Not less than twenty-five feet

Corner: Front 25 feet; Side abutting street 20 feet

This requirement will be reviewed in greater detail when the Preliminary Plat is submitted; however, setbacks shown on the Concept Plan are in compliance with these requirements.

Parking, vehicle and pedestrian circulation: can comply. Section 19.09.11 requires single-family homes to have a minimum 2 parking stalls within an enclosed garage. Driveways leading to the required garages must be a minimum 20 feet in length. Even though this requirement will

be reviewed by the building department with each individual building permit application, staff believes that the proposed lots are of sufficient size to support this requirement.

Access to the proposed lots comes from Spinnaker Bay Drive, which is currently a 2,786 foot long dead-end street. The City Code is currently be amended to address second access requirements. These changes have received a favorable recommendation from the Planning Commission and will be presented to the City Council on March 25, 2014 for possible adoption. Since these amendments will likely be adopted by the City Council, and this subdivision will be required to meet these standards, we recommend that the applicant be informed of these pending code amendments, which are:

19.12.06(1)

e. Access:

- i. Two separate means of vehicular access onto a collector or arterial road shall be required when the following thresholds are met:*
 - 1. Whenever the total number of single-family units served by a single means of access will exceed fifty (50).*
 - 2. Whenever the total number of multi-family units served by a single means of access will exceed seventy-five (75).*
 - 3. Whenever the total number of multi-family and single-family units served by a single means of access will exceed one hundred (100).*
- ii. Exceptions: where no point of second access is available within five hundred feet (500'), and where all units are provided with an approved sprinkler system, a second access shall not be required until the number of units reaches double the above limits.*
- iii. Where two means of access are required, the points of access shall be placed a minimum of 500 feet apart, measured along the center of the driving lane from center of right-of-way to center of right-of-way.*

Based on this pending ordinance change, the Lake Cove subdivision will have to provide another road access from McGregor Lane to Spinnaker Bay Drive via either the extension of Harbor Bay Drive or Catamaran Way.

Fencing: can comply. Section 19.06.09 requires fencing along property lines abutting open space, parks, trails, and easement corridors. The Code also states that in an effort to promote safety for citizens using these trail corridors and security for home owners, fences shall be semi-private. A 6-foot tall wrought iron style fence was constructed along the Lake Shore trail as part of the Harbor Bay development. Staff recommends the continuation of this same fence along the east property lines of the private lots. Staff therefore recommends that the applicant include fencing details with their Preliminary Plat showing semi-private fencing between private lots and open space.

Open Space: can comply. The City Code requires a minimum 15% open space. The Concept Plan indicates that there is approximately 0.83 acres of open space; however, approximately 0.5 acres of this open space is within the 100 year flood plain and therefore designated as sensitive land.

Sensitive Lands are defined in Section 19.02.02 as,
"land and natural features including canyons and slopes in excess of 30%, ridge lines, natural drainage channels, streams or other natural water features, wetlands, flood plains, landslide prone areas, detention or retention areas, debris basins, and geologically sensitive areas."

Credit toward meeting the open space requirement may be given for sensitive lands per the following code criteria:

- a. Sensitive lands shall not be included in the base acreage when calculating the number of ERUs permitted in any development and no development credit shall be given for sensitive lands.
- b. All sensitive lands shall be placed in protected open space.
- c. Sensitive lands may be used for credit towards meeting the minimum open space requirements. However, no more than fifty percent of the required open space area shall be comprised of sensitive lands.

If 50% of the area designated as sensitive land is counted toward meeting the open space requirement, then the proposed Concept Plan provides approximately 9% open space. The applicant has the option of requesting a payment in lieu of open space to make up the difference. The applicant has indicated that they plan on pursuing this option when they submit their Preliminary Plat application.

H. Recommendation and Alternatives:

No official action should be taken. The Planning Commission should provide general direction and input to help the developer prepare for formal subdivision application.

I. Exhibits:

1. Engineering Report
2. Zoning / Location map
3. Aerial Photo
4. Concept Plan

City Council Staff Report

Author: Jeremy D. Lapin, City Engineer
Subject: Lake Cove – Concept Plan
Date: March 13, 2014
Type of Item: Concept Plan Review



Description:

A. Topic: The applicant has submitted a concept plan application. Staff has reviewed the submittal and provides the following recommendations.

B. Background:

Applicant: Ron Johnston / Desert Peak Management Group, LLC
Request: Concept Plan
Location: 3618 South Spinnaker Drive
Acreage: 6.424 – 14 Lots

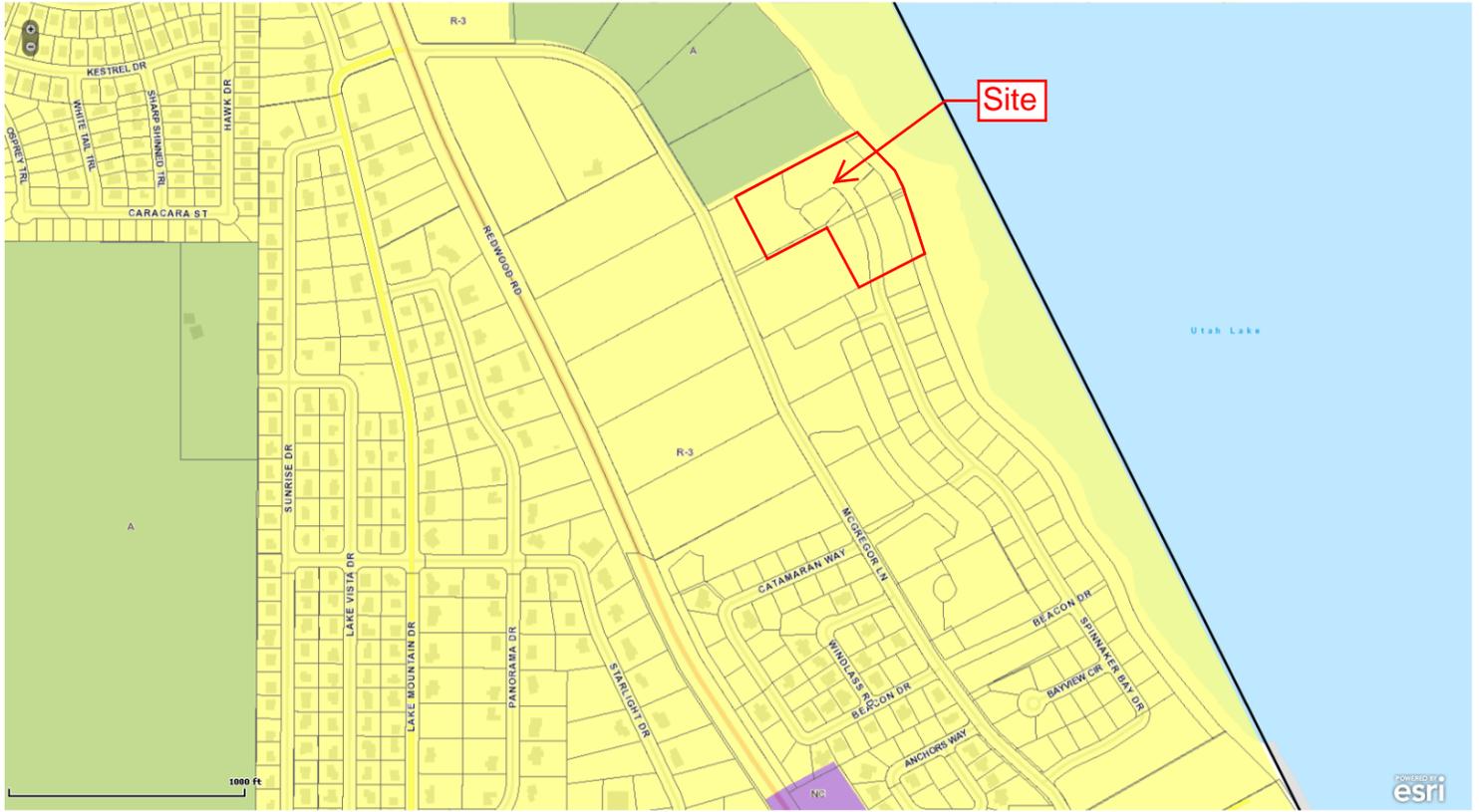
C. Recommendation: Staff recommends the applicant address and incorporate the following items for consideration into the development of their project and construction drawings.

D. Proposed Items for Consideration:

- A. Prepare construction drawings as outlined in the City's standards and specifications and receive approval from the City Engineer on those drawings prior to commencing construction.
- B. Consider and accommodate existing utilities, drainage systems, detention systems, and water storage systems into the project design. Access to existing facilities shall be maintained throughout the project.
- C. Comply with the Land Development Codes regarding the disturbance of 30%+ slopes.
- D. Incorporate a grading and drainage design that protects homes from upland flows.
- E. Project must meet the City Ordinance for Storm Water release (0.2 cfs/acre for all developed property) and all UPDES and NPDES project construction requirements. Storm water must be cleaned to remove 80% TSS and all floatables and hydrocarbons. A Detention system shall be provided for, separate from the

public storm water conveyance system and shall be installed by the developer and maintained by the HOA.

- F. Developer shall meet all applicable city ordinances and engineering conditions and requirements in the preparation of the Construction Drawings.
- G. Project bonding must be completed as approved by the City Engineer prior to recordation of plats.
- H. All review comments and redlines provided by the City Engineer are to be complied with and implemented into the construction drawings.
- I. Developer is required to ensure that there are no adverse effects to adjacent property owners and future homeowners due to the grading and construction practices employed during completion of this project.
- J. Public utilities and easements, except for laterals, located outside of the ROW shall not be contained within any residential lots. Prepare and record easements to the City for all public utilities not located in a public right-of-way and provide paved access to all manholes.
- K. Developer shall improve all open spaces and dedicate them to the HOA for ownership and maintenance.
- L. The geotechnical report identified the presence of moisture sensitive soils on-site. This should be noted on the plat and any sensitive soils within the ROW and under foundations shall be removed and replaced with structural fill as per the engineer's recommendations.

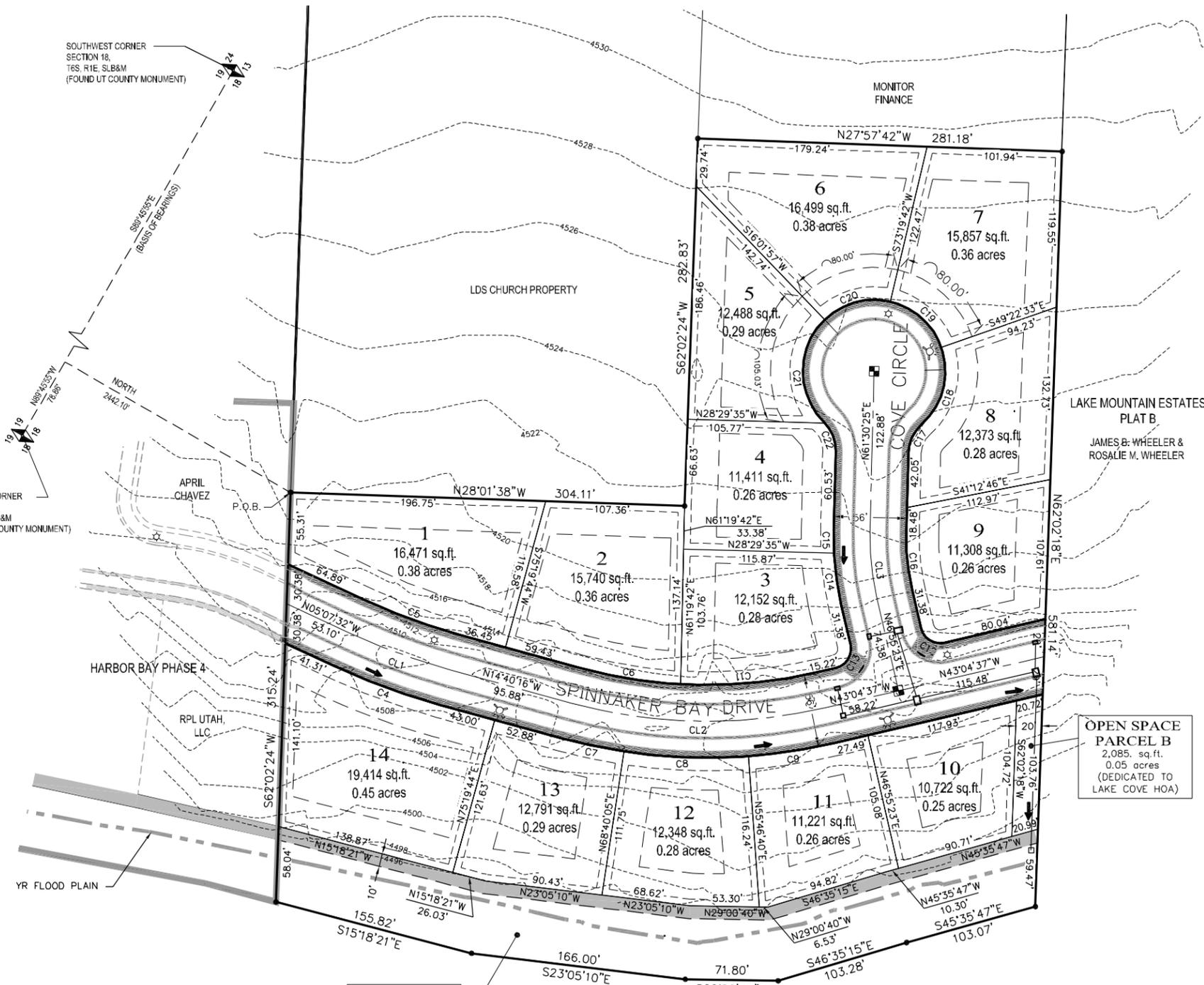
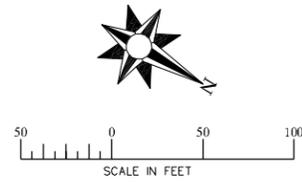


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LAKE COVE SUBDIVISION CONCEPT PLAN



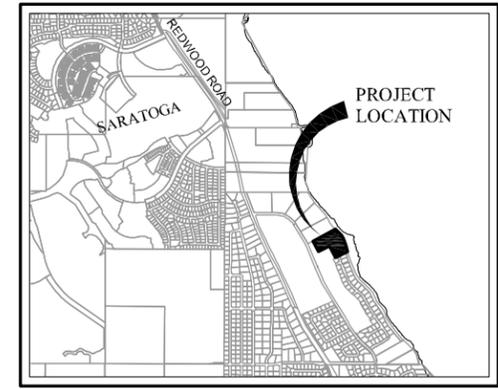
AREA DATA TABLE

PHASE 1	6.424 Ac.
TOTAL NUMBER OF LOTS	14
DENSITY	2.18 U/A
MIN. LOT SIZE	11,236 Ft ²
AVG. LOT SIZE	13,770 Ft ²
OPEN SPACE AREA	0.83 Ac.
OPEN SPACE	13%

OPEN SPACE PARCEL A
34,005 sq.ft.
0.78 acres
(DEDICATED TO SARATOGA SPRINGS CITY)

OPEN SPACE PARCEL B
2,085 sq.ft.
0.05 acres
(DEDICATED TO LAKE COVE HOA)

NOTE:
DETENTION CURRENTLY PROPOSED TO BE BY UNDERGROUND DETENTION. STORM DRAIN PIPES WILL BE OVERSIZED.



VICINITY MAP
N.T.S.

BOUNDARY DESCRIPTION

Parcel of land situated in the South Half of Section 18, Township 6 South, Range 1 East, Salt Lake Base and Meridian, Saratoga Springs City, Utah County, Utah, said parcel being more particularly described as follows:

Beginning at a point N89°45'55"W 78.86 feet along the Section Line and North 2442.10 feet from the south 1/4 corner of Section 18, Township 6 South, Range 1 East, Salt Lake Base and Meridian, said point located on the northwesterly line of Harbor Bay Subdivision Phase 4; thence N28°01'38"W 304.11 feet; thence S62°02'24"W 282.83 feet; thence N27°57'42"W 281.18 feet; thence N62°02'18"E 581.14 feet; thence S45°35'47"E 103.07 feet; thence S46°35'15"E 103.28 feet; thence S29°00'40"E 71.80 feet; thence S23°05'10"E 166.00 feet; thence S15°18'21"E 155.82 feet; thence S62°02'24"W 315.24 feet along Harbor Bay Phase 4 to the point of beginning.

Acres: 6.424 more or less. # of Lots: 14 units.

CENTERLINE CURVE TABLE

CURVE	LENGTH	TANGENT	RADIUS	DELTA	CHORD	CHORD BEARING
CL1	83.30	41.75	500.00	9°32'44"	83.20	N09°53'54"W
CL2	198.31	101.24	400.00	28°24'21"	196.29	N28°52'26"W
CL3	50.91	25.59	200.00	14°35'02"	50.77	N54°12'54"E

CURVE TABLE

CURVE	LENGTH	TANGENT	RADIUS	DELTA	CHORD	CHORD BEARING
C4	87.01	43.60	528.00	9°26'30"	86.91	N09°50'47"W
C5	78.64	39.41	472.00	9°32'44"	78.54	N09°53'54"W
C6	78.79	39.54	372.00	12°08'06"	78.64	N20°44'19"W
C7	49.76	24.91	428.00	6°39'39"	49.73	N18°00'05"W
C8	96.29	48.35	428.00	12°53'25"	96.09	N27°46'38"W
C9	66.14	33.14	428.00	8°51'16"	66.08	N38°38'58"W
C11	105.64	53.18	372.00	16°16'15"	105.28	N34°56'29"W
C14	40.05	20.08	228.00	10°03'56"	40.00	N51°57'21"E
C15	17.98	8.99	228.00	4°31'06"	17.97	N59°14'52"E
C16	43.78	22.01	172.00	14°35'02"	43.66	N54°12'54"E
C17	24.93	13.21	30.50	46°49'35"	24.24	N84°55'13"E
C18	65.00	36.90	55.00	67°42'33"	61.28	S74°28'44"W
C19	55.00	30.05	55.00	57°17'45"	52.74	S11°58'34"W
C20	55.00	30.05	55.00	57°17'45"	52.74	S45°19'10"E
C21	87.69	56.31	55.00	91°21'07"	78.69	N60°21'24"E
C22	23.88	12.59	30.50	44°51'35"	23.27	S39°04'38"W
CL1	83.30	41.75	500.00	9°32'44"	83.20	N09°53'54"W
CL2	198.31	101.24	400.00	28°24'21"	196.29	N28°52'26"W
CL3	50.91	25.59	200.00	14°35'02"	50.77	N54°12'54"E

LEGEND

- 2 11 12 EXISTING SECTION CORNER (FOUND) (AS DESCRIBED)
- PHASE 1 BOUNDARY LINE
- STREET CENTERLINE
- STREET MONUMENTS (REFER TO AMERICAN CAR CARE FINAL PLAT)
- MONUMENT TO MONUMENT TIE
- PROPERTY CORNER
- PROPOSED FIRE HYDRANT
- PROPOSED STREET LIGHT
- EXISTING STREET LIGHT
- BUILDING SETBACK LINE
- PUBLIC UTILITY EASEMENTS
- 100 YEAR FLOOD PLAIN

H&H ENGINEERING & SURVEYING, INC.
 233 EAST MAIN STREET, SUITE 200
 AMERICAN FORK, UTAH 84303
 TEL: (801) 756-2488
 FAX: (801) 756-3499

DESIGN	T. KEMSON
DRAWN	T. KEMSON
CHECK	V. HANSEN
APPROV	V. HANSEN
NO.	DATE
REVISION	BY

VERIFY SCALE: BAR IS ONE INCH IN ORIGINAL DRAWING. IF NOT ONE INCH ON THIS SHEET, ADJUST SCALES ACCORDINGLY.

LAKE COVE SUBDIVISION SARATOGA SPRINGS, UTAH
 CONCEPT PLAN
 1
 PROJ 13-399-07
 DATE 2-25-2014
 SHEET 01



**Unique Autobody
Concept Plan
March 13, 2014
Public Meeting**

Report Date:	February 25, 2014
Project Request / Type	Concept Plan
Applicant:	Andrew Bollschweiler
Location:	2148 North Stagecoach Drive
Major Street Access:	Redwood Road
Parcel Number(s) and size:	580230210, 6.49 acres (actual site area 1.65 acres)
General Plan Designation:	Office Warehouse
Zone:	Office Warehouse (OW)
Adjacent Zoning:	OW (east & south), MU (north), and RC (west)
Current Use:	Vacant
Adjacent Uses:	Extra Space Storage (south & east), Car Dr. & Saratoga Auto Parts (West), Vacant (north)
Previous Meetings:	
Land Use Authority:	City Council
Future Routing:	City Council
Planner:	Scott Langford, Senior Planner

A. Executive Summary:

This is a request for review of a Concept Plan for a new office warehouse building that would facilitate a use defined in the land development code as *"Automobile Repair, Major"*. The site is located at 2148 North Stagecoach Drive. The site is comprised of a single existing parcel totaling 26.93 acres and is zoned R-3, Low Density Residential. The R-3 zone permits up to 4 units per acre. The Revised Concept Plan proposes 52 single-family lots for an overall density of 1.93 units per acre. This concept is essentially the same plan that was approved by the City Council on March 28, 2006.

Recommendation:

Staff recommends that the Planning Commission conduct a public meeting and provide informal direction to the applicant and staff regarding the conceptual subdivision. No official motion or recommendation is provided for Concept Plans.

B. Background:

This property is part of the North Saratoga Center Office Warehouse and Storage Units, which was approved by the City Council June 2011. A portion of the commercial space along Redwood Road has been built and the first phase of the self-storage units has been built. The subject site

is approximately 1.65 acres of the total 2.7 acres incorporated as Phase 2B of the overall North Saratoga Center development.

The City has received a separate application that proposes an amendment Phase 2B. This separate site plan amendment essentially expands the existing self-storage building into a portion of Phase 2B. This proposed amendment works in harmony with this concept plan.

C. Specific Request:

The proposed Concept Plan has a single commercial building dedicated to auto body and vehicular repair. The uses within the building are broken down into the following categories; 3,283 square feet of office space, 2,204 square feet of auto repair area, 12,490 square feet dedicated for a carwash, with the remaining 3,297 square feet for indoor sales and service.

D. Process:

Per section 19.13.04(6) of the City Code, a Concept Plan application shall be submitted before the filing of an application for Subdivision or Site Plan approval.

The Concept Plan review involves an informal review of the plan by the Planning Commission and City Council. The developer shall receive comments from the Planning Commission and City Council to guide the developer in the preparation of subsequent applications.

E. Community Review:

There is no requirement to notice concept plans because the comments received from the Planning Commission or City Council are not binding. Formal community interaction will occur once a formal public hearing is scheduled for subdivision and site plan review.

F. General Plan:

The General Plan designates this area for Office Warehouse. The Land Use Element of the General Plan defines Office Warehouse as development that *"will be defined by different activities that will range from automotive repair centers to office and assembly facilities for small business. It is expected that the individual tenants will maintain some office or showroom space as a part of their business activity."* The proposed automotive repair business is in compliance with the purpose and intent of the Office Warehouse designation.

G. Code Criteria:

Section 19.12.03 of the City Code states, *"All subdivisions are subject to the provisions of Chapter 19.13, Development Review Process"*. The following criteria are pertinent requirements for site plans listed in Sections 19.14 (Site Plan Requirements) and 19.04.23 (OW Requirements) of the City Code.

Permitted or Conditional Uses: can comply. Section 19.04.23(2 & 3) lists all of the permitted and conditional uses allowed in the OW zone. The Concept Plan proposes a use that is defined as "Automobile repair (Major)". This is a conditional use allowed in the OW zone. The applicant will have to receive approval of a conditional use permit in conjunction with site plan approval in order to operate the proposed use.

Minimum Lot Sizes: complies. 19.04.23(5) states that the minimum size for developments for this zone is 40,000 square feet (0.918 acres). The 1.65 acre development is part of a much larger office warehouse development. The applicant will have to update Phase 2B of the North Saratoga Center development and likely amend the associated subdivision plat to create property lines which match the new plan.

Setbacks and Yard Requirements: can comply. Section 19.04.23(6) outlines the setbacks required by the OW zone. These requirements are:

Front: Not less than fifty feet.

Sides: 50 feet when adjacent to a residential zone / zero when adjacent to commercial, industrial, or agriculture zones

Rear: Not less than fifty feet

Other General Requirements: In addition to the specific setback requirements noted above, no building shall be closer than five feet from any private road, driveway, or parking space. The intent of this requirement is to provide for building foundation landscaping and to provide protection to the building. Exceptions may be made for any part of the building that may contain an approved drive-up window.

The setbacks will be reviewed in greater detail when the site plan is submitted; however, it appears that the proposed building is in compliance with most of these standards. The one exception is the building foundation landscaping must be extended to all sides of the building. The purpose of this requirement is not only for aesthetic site improvement, but also to improve vehicular and pedestrian circulation safety by providing improved sight visibility at the corners of the building.

Parking, vehicle and pedestrian circulation: does not comply. Section 19.09.11 requires specific numbers of parking stalls based on specific land use. The following table is a breakdown of the specific uses proposed within the building and the associated parking required per Section 19.09.11 of the City Code.

Use	Square Feet	Code Requirement	Stalls Required
Office	3,283	5/1,000 (1/200)	16.42
Auto Repair	2,204	5/1,000 (1/200)	22.04
Carwash	12,490	5/1,000 (1/200)	62.45
Auto Sales & Service	3,297	5/1,000 (1/200)	16.48
			<i>Total: 117.39 (118)</i>

The applicant has provided a total 85 parking stalls, knowing that this is below what the code currently requires. They have done so, to raise the question about the appropriateness of the City's current parking standards.

The following table illustrates the parking requirements in other cities along the Wasatch Front based on the proposed concept:

City	Use	Code Requirement	Stalls Required
<i>Lehi</i>	Manf., Industrial, Wholesale	1/employee & adequate spaces for any company vehicle	44
	Business Offices	2, Plus 1/300 gross square feet	12
	Carwash	Not provided	
			<i>Total: 56</i>
<i>Bluffdale</i>	Auto Repair facility	4/service bay or 1/800sqft of floor area, whichever is greater	64
	Business Office	1/300sqft	6
	Car Wash	2, plus at least 3 stacking spaces per wash bay	8
			<i>Total: 78</i>

City	Use	Code Requirement	Stalls Required
<i>West Jordan</i>	Automotive Repair	4/service bay	64
	Office	1/400	5
	Car Wash	1/employee	1
	Warehouse	1/employee on max. shift or 1 / 4,000 sqft, whichever is greater	1
	Total: 71		
<i>Salt Lake</i>	Auto Repair	1/service bay	16
	Office and retail areas	3/1,000	6
	Warehouse	2/1,000 for the first 10,000sqft	4
	Car Wash	Not provided	
	Total: 26		

The applicant has provided a rough floor plan of the proposed use. It appears that an additional 20 parking spaces within the building could be counted toward meeting the overall site parking requirements. However, adding the 20 spaces to the 85 spaces shown outside still puts the site 13 parking spaces below the minimum required by the current code.

The City Council may allow up to a 10% parking reduction if it is determined that the deviation meets the intent of the Code [19.09.05(8)]. Even with a City Council granted reduction of 10%, the site would still be under parked by 2 stalls.

The applicant hopes that this information will serve as a catalyst to discuss appropriate amendments to the current parking requirements.

Maximum Height of Structures: can comply. Section 19.04.23(7) limits the height of structures to 35 feet. The applicant has provided a rough conceptual drawing of the proposed building. It appears to be a one story building with a mezzanine. The height of the building will be verified once a Site Plan application is submitted.

Lot Coverage: complies. Section 19.04.23(8) limits the building coverage to 50% of the developed site. The building footprint is approximately 21,275 square feet. The size of the site is approximately 71,874 square feet. Therefore the building coverage is approximately 30%.

Minimum Lot Width: complies. Section 19.04.23(9) requires a minimum lot width of 70 feet. The width of this site is 391.27 feet.

Development Standards: can comply. Section 19.04.23(10a) states that the Urban Design Committee (UDC) shall review the Site Plan and building elevations. The UDC will review the required Site Plan material once it is submitted.

Section 19.04.23(10b) requires a minimum 15 foot landscape buffer between the parking area and the public street. Section 19.09.08 requires a minimum 8 foot wide landscaped strip where a parking area abuts a property line which is not zoned residential or agriculture. In both cases, the provided Concept Plan complies with these requirements.

Section 19.04.23(10c) states that site landscaping shall be in accordance with the applicable sections of the City Code. It appears that the Concept Plan has provided sufficient areas to meet the landscaping requirements; however, a detailed review of the site landscaping cannot be completed until a formal Site Plan application has been submitted.

Uses Within Buildings: complies. Section 19.04.23(11) requires all uses within the OW zone to be conducted within a fully enclosed building. The Concept Plan complies with this requirement.

Trash Storage: can comply. Section 19.04.23(12) requires onsite trash storage locations in an enclosed/screened structure. The Concept Plan shows a dumpster enclosure in the northeast corner of the site. A three foot wide landscape buffer must be installed between the enclosure and the adjacent parking stall.

Buffering/Screening Requirements: not applicable. Section 19.04.23(13) requires walls, fencing, or landscaping of acceptable design to screen the borders of any commercial or industrial lot which abuts an agricultural or residential use. There are no such uses that boarder this site.

Open Space Requirements: complies. Section 19.04.23(14) requires a minimum 20% of the total project area to be used for landscaping. The Concept Plan indicates that there is 23.20% of land dedicated toward landscaped areas.

H. Recommendation and Alternatives:

No official action should be taken. The Planning Commission should provide general direction and input to help the developer prepare for formal Site Plan application.

I. Exhibits:

1. Engineering Report
2. Zoning / Location map
3. Aerial Photo
4. Concept Plan

City Council Staff Report

Author: Jeremy D. Lapin, City Engineer
Subject: Unique Auto Body – Concept Plan
Date: March 13, 2014
Type of Item: Concept Plan Review



Description:

A. Topic: The applicant has submitted a concept plan application. Staff has reviewed the submittal and provides the following recommendations.

B. Background:

Applicant: Unique Auto Body – Andrew Bollschweiler
Request: Concept Plan
Location: 2148 Stagecoach Dr.
Acreage: 21,275 sf or 0.49 acres – 1 proposed building

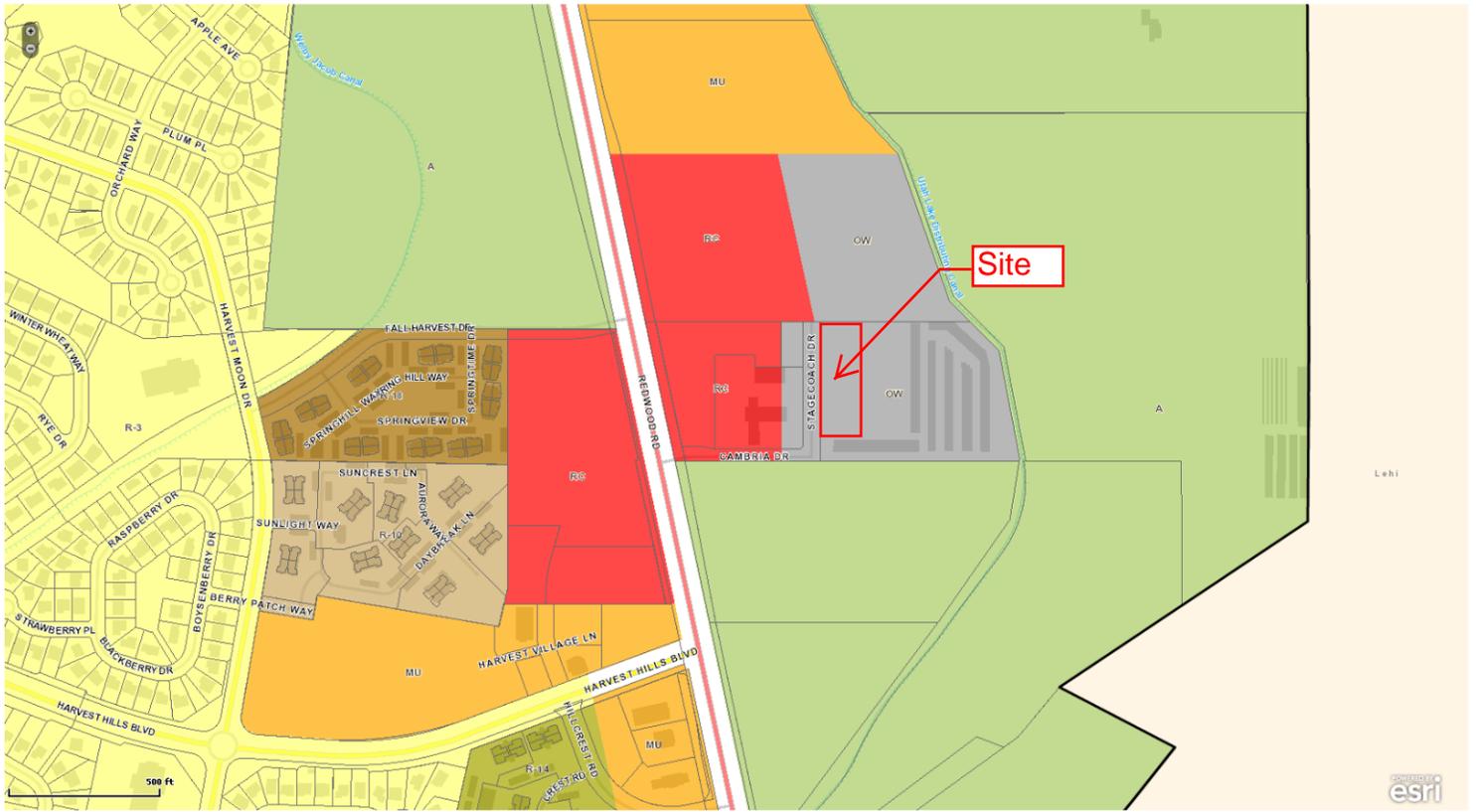
C. Recommendation: Staff recommends the applicant address and incorporate the following items for consideration into the development of their project and construction drawings.

D. Proposed Items for Consideration:

- A. Based on the proposed concept plan a subdivision will be required prior to site plan approval. All lots shall meet the minimum lot requirements for the current zone.
- B. Prepare construction drawings as outlined in the City's standards and specifications and receive approval from the City Engineer on those drawings prior to receiving Final approval from the City Council.
- C. Developer shall meet all applicable city ordinances and engineering conditions and requirements in the preparation of the Construction Drawings.
- D. Consider and accommodate existing utilities, drainage systems, detention systems, and water storage systems into the project design. Access to existing facilities shall be maintained throughout the project.
- E. Show all existing utilities on the project.
- F. Project bonding must be completed as approved by the City Engineer prior to

recording of plats.

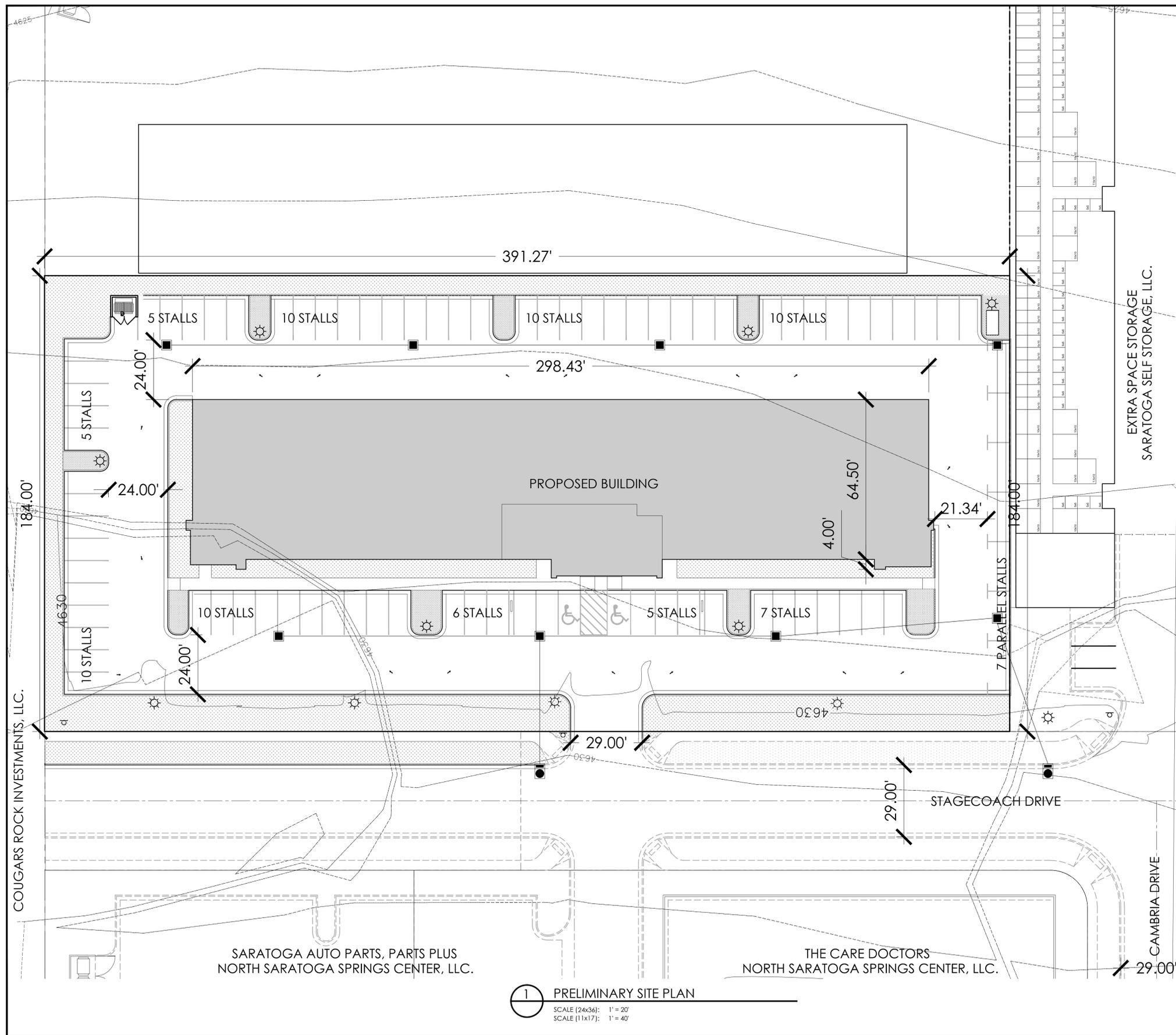
- G. All work to conform to the City of Saratoga Springs Standard Technical Specifications, most recent edition.
- H. Developer shall prepare and record easements to the City for all public utilities not located in a public right-of-way.
- I. Developer is required to ensure that there are no adverse effects to adjacent property owners and future homeowners due to the grading and construction practices employed during completion of this project.
- J. Provide a drainage schematic for the proposed area, including slopes, detention areas, and outfall location.
- K. Project must meet the City Ordinance for Storm Water release (0.2 cfs/acre for all developed property) and all UPDES and NPDES project construction requirements. Storm water must be treated to remove 80% of TSS and all hydrocarbons and floatables prior to discharge into the City system.
- L. Show overall parcel and proposed lots to be created.
- M. Show and dimension all setbacks for the proposed lot.
- N. All review comments and redlines provided by the City Engineer are to be complied with and implemented into the construction drawings.
- O. Lighting fixtures and lighting intensities shall meet the lighting requirements found in the Land Development Code and Engineering Standards and Specifications, most recent editions. All parking stalls shall have a minimum illumination of 0.5 ft-candles. Lighting shall have a color of 3200-3500 K.
- P. Provide adequate and safe pedestrian access from Stagecoach Drive to the Site and building.
- Q. Identify all existing utilities and laterals on and adjacent to site. Any unused utility laterals shall be removed to the main and capped. Identify all utility relocations that will be required and coordinate with the appropriate utility companies.
- R. Provide an erosion control plan with BMP's and BMP details. Contractor must obtain an NOI from the state prior to commencing construction.
- S. Provide complete landscaping and irrigation plans.
- T. Provide details for all site items and structures, city standard or other.



Wed Mar 5 2014 03:22:52 PM.



Wed Mar 5 2014 03:30:57 PM.



BUILDING AREAS:

	BUILDING SQ. FT.	(19,725 SQ. FT.)
MAIN FLOOR	1,734 sq. ft.	
OFFICE	2,204 sq. ft.	
SERVICE BAYS	12,490 sq. ft.	
CARWASH & DRIVE AISLES	(1,549 sq. ft.)	
UPPER FLOOR	1,549 sq. ft.	
OFFICE	21,275 SQ. FT.	
TOTAL		

NOTE:
1. ALL AREA CALCULATIONS ARE APPROXIMATE AND CAN CHANGE DUE TO CONSTRUCTION TOLERANCES.



LOT AREAS:

	SQ. FT. / ACRES
LOT	71,994 SQ. FT. / 1.65 ACRES
BUILDING FOOTPRINT	19,725 SQ. FT. / 0.45 ACRES
LANDSCAPING	16,706 SQ. FT. / 0.38 ACRES
INTERIOR PARKING	1,372 SQ. FT. / 0.03 ACRES
REMAINING	15,334 SQ. FT. / 0.35 ACRES
CONCRETE	

NOTE:
1. ALL AREA CALCULATIONS ARE APPROXIMATE AND CAN CHANGE DUE TO CONSTRUCTION TOLERANCES.

PARKING REQUIREMENTS:

	SQ. FT.	CITY REQMT
OFFICE		
MAIN	1,734 sq. ft.	8.67 (5/1000)
UPPER	1,549 sq. ft.	7.75 (5/1000)
AUTO REPAIR		
MAIN	2,204 sq. ft.	22.04 (2 PER 200 SQ. FT.)
CARWASH		
MAIN	12,490 sq. ft. +	62.45 (5/1000)
UPPER	0 sq. ft.	
AUTO, BOAT, RV, ETC. SALES & SERVICE		
MAIN	3,297 sq. ft.	16.48 (5/1000)
TOTAL REQUIRED:		118(117.39)
TOTAL PROVIDED:		85
PARKING:		83
ACCESSIBLE SPACES		2 (2 REQ'D - 51 TO 100)

REFERENCED CODES:
- SECTION 19.09.11 OF THE SARATOGA CITY, UTAH CODE (FOR CITY REQUIREMENTS)

NOTES:
1. ALL AREA CALCULATIONS ARE APPROXIMATE AND CAN CHANGE DUE TO CONSTRUCTION TOLERANCES.

LANDSCAPING AREAS:

	SQ. FT.	CITY REQ'T
PARKING AREA	#####	1/10 PARKING LOT ISLANDS REQ'D
PARKING LANDSCAPING	1,372 SQ. FT.	
TOTAL LANDSCAPED AREA	16,706 S.F. / 23.20 %	20% FRONT AND PARKING

NOTE:
1. PARKING AREA DOES NOT INCLUDE TRUCK MANEUVERING AREA OR LANDSCAPED BUFFER AS DIMENSIONED.
2. LANDSCAPED AREAS DO NOT INCLUDE HARD SURFACE AREAS (WALKWAYS, BIKE RACKS, CURB & GUTTERS) OR LANDSCAPED AREAS OUTSIDE OF THE PARKING AREA (SEE SITE PLAN FOR SPECIFIC DIMENSIONS FOR LANDSCAPED BUFFERS).
3. ALL AREA CALCULATIONS ARE APPROXIMATE AND CAN CHANGE DUE TO CONSTRUCTION TOLERANCES.

PARCEL IDENTIFICATION:
TAX ID NUMBER: 58-023-0210
ADDRESS: 2148 NORTH STAGECOACH DRIVE (CERTIFICATE OF ADDRESS NO. #####)
LEGAL DESCRIPTION (INCLUDING EXTRA SPACE STORAGE):
COM S 1269.03 FT & E 2242.01 FT FR NW COR. SEC. 11, T5S, R1W, S8&M.; E 497.35 FT; S 44 DEG 42' 0" E 137.54 FT; S 10 DEG 49' 0" E 342.87 FT; S 9 DEG 2' 11" W 8.58 FT; W 660.85 FT; N 462.66 FT TO BEG. AREA 6.490 AC.



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web page: aeurbia.com

NEW OFFICE WAREHOUSE
UNIQUE AUTOBODY / NORTH SARATOGA CENTER
2148 Stagecoach Dr., Saratoga Springs, UT

AE2013 079
Preliminary Site Plan
REVISIONS:
DATE: FEB. 5, 2014
SHEET NO.

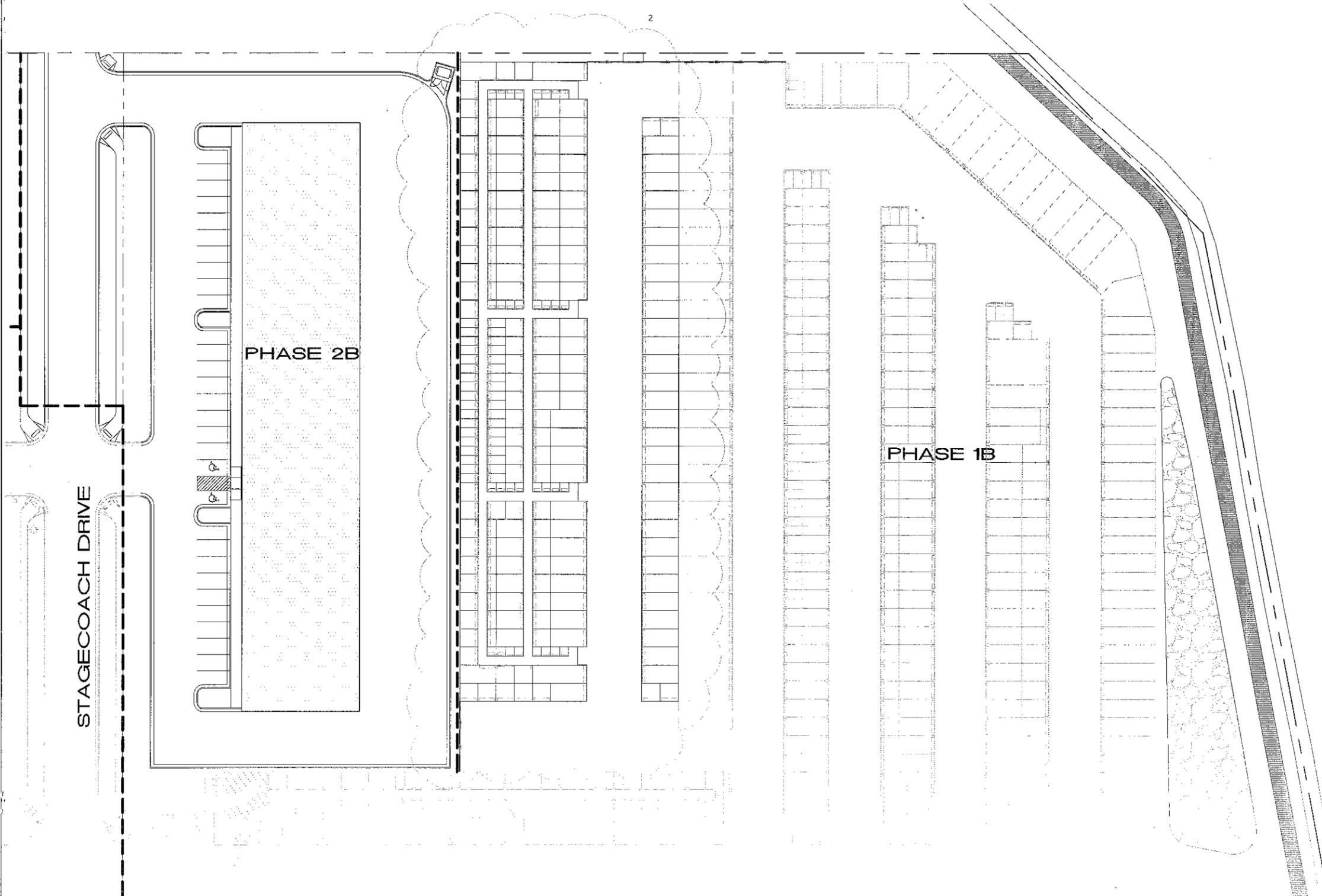
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1 PRELIMINARY SITE PLAN
SCALE (24x36): 1" = 20'
SCALE (11x17): 1" = 40'

2 VICINITY MAP
SCALE (24x36): N.T.S.
SCALE (11x17): N.T.S.

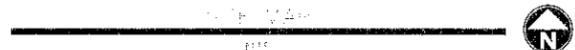
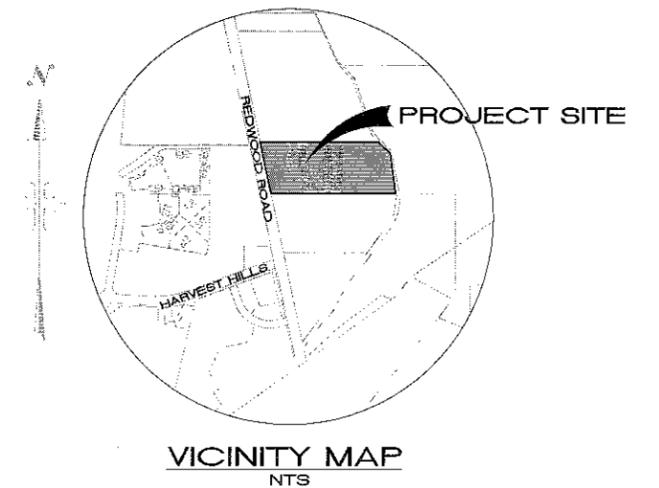
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NORTH SARATOGA CENTER - PHASE 1B & 2B AMENDED 2013 CONSTRUCTION PLANS



SHEET INDEX

SHEET NO.	SHEET NAME
1 OF 7	COVER SHEET / INDEX SHEET
2 OF 7	SITE PLAN
3 OF 7	UTILITY PLAN
4 OF 7	GRADING AND DRAINAGE PLAN
5 OF 7	LIGHTING PLAN



REVISIONS				
NO.	DATE	DESCRIPTION	BY	DATE
1	04/25/11	ADJUSTED STORAGE UNITS	TGT	
2	05/20/13	ADDITIONAL STORAGE UNITS	TGT	
3				09/05/10
4				

TRANE ENGINEERING, P.C.
 CONSULTING ENGINEERS AND LAND SURVEYORS
 170 SOUTH INTERSTATE PLAZA DRIVE SUITE 230 LEHI, UTAH 84043 (801) 768-4544

SARATOGA SPRINGS,
 UTAH

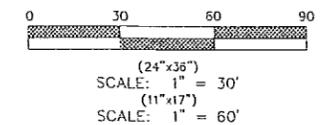
NORTH SARATOGA CENTER
 A COMMERCIAL DEVELOPMENT

COVER AND INDEX SHEET

JOB
 R. BYBEE
 SHEET NO.
 1 OF 7

RECEIVED JUN 12 2013

Site



SITE ANALYSIS

LEGAL JURISDICTION: SARATOGA SPRINGS
PLANNING ZONE: OFFICE WAREHOUSE

AREA TABULATIONS

TOTAL AREA SITE 2:	6.49 ACRES
BUILDING AREA:	111,000 SQ. FT.
OFFICE WAREHOUSE:	41,944 SQ. FT.
STORAGE UNITS:	69,276 SQ. FT.
LANDSCAPE AREA (SEE LANDSCAPE PLAN FOR OVERALL):	1.5 ACRE
PAVED SURFACE:	3.0 ACRES

PARKING TABULATIONS

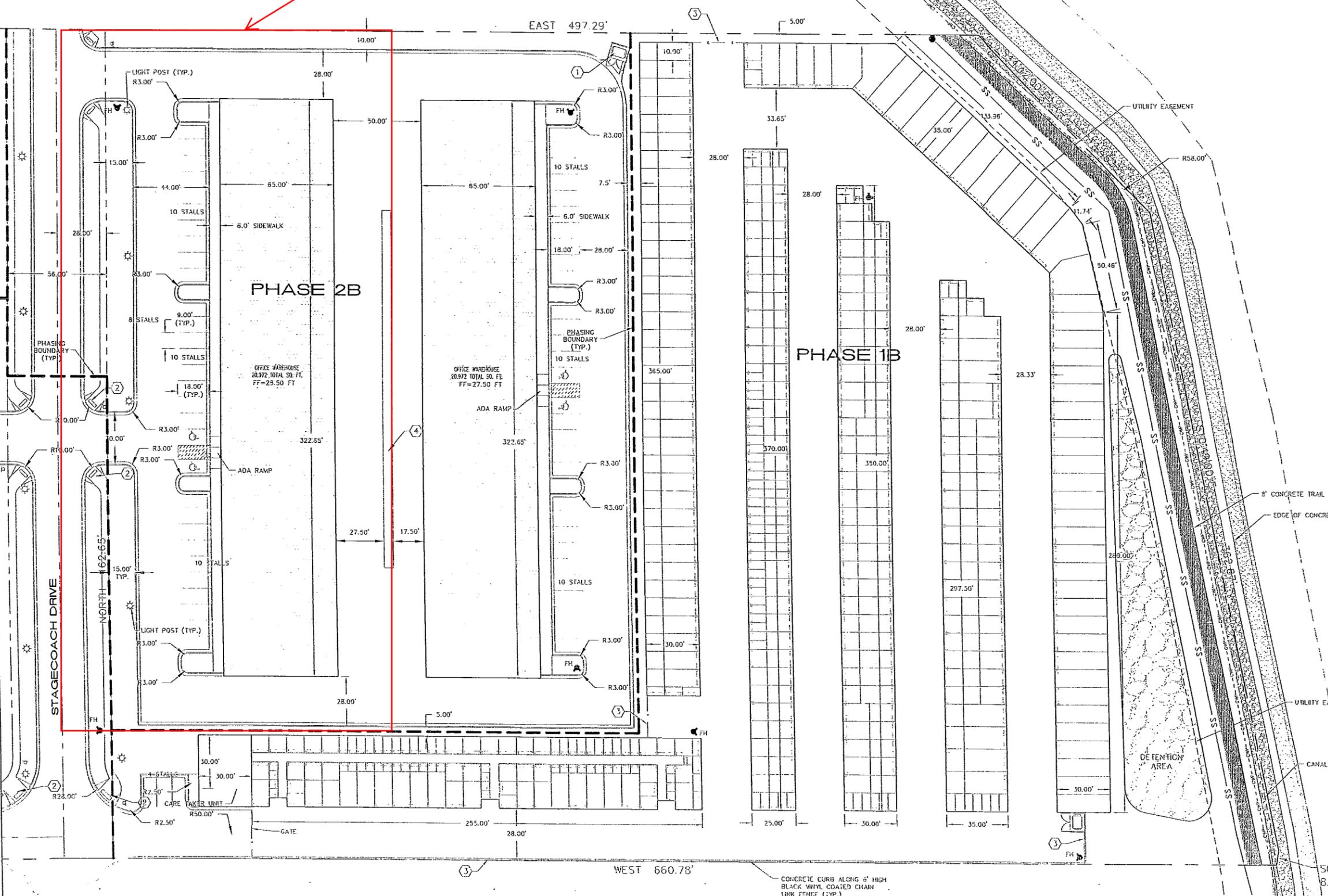
OFFICE WAREHOUSE 41,944/250 X 33% = 57 STALLS
57 SPACES REQUIRED
60 SPACES PROVIDED

KEYED NOTES

- ① PROPOSED DUMPSTER LOCATION (SEE DETAIL ON SHEET 2)
- ② CONST. ADA RAMP AS PER SARATOGA SPRINGS CITY STANDARDS
- ③ FENCING TO MATCH CONSTRUCTION OF BUILDING (SEE ARCH PLANS FOR DETAILS)
- ④ INSTALL 5.0' WATERWAY AS PER SARATOGA SPRINGS CITY STANDARD NO. ST-3

GENERAL NOTES

- 1. ALL CONSTRUCTION TO BE DONE ACCORDING TO SARATOGA SPRINGS CITY STANDARDS AND SPECIFICATIONS.
- 2. CURB AND CUTTER TO BE A REVERSE LIP WHERE ASPHALT SLOPE IS AWAY FROM CURB. WHERE ASPHALT SLOPES TOWARD CURB, USE AS STANDARD CURB (SEE DETAILS)
- 3. PERMANENT DETENTION FACILITIES TO BE OWNED AND MAINTAINED BY THE PROPERTY OWNERS AND ARE NOT TO BE ALTERED WITHOUT APPROVAL BY SARATOGA SPRINGS CITY COUNCIL AND CITY ENGINEER.
- 4. CONTRACTOR TO MEET ALL ADA REQUIREMENTS FOR THE SITE.



PHASE 2B

PHASE 1B

MARY J. FANLEY

REVISIONS				
NO.	DATE	DESCRIPTION	BY	DESIGNED BY
1	04/25/11	ADJUSTED STORAGE UNITS	TGT	DRAWN BY: WMS
2				CHECK BY: TGT
3				DATE: 09/25/10
4				COGD FILE

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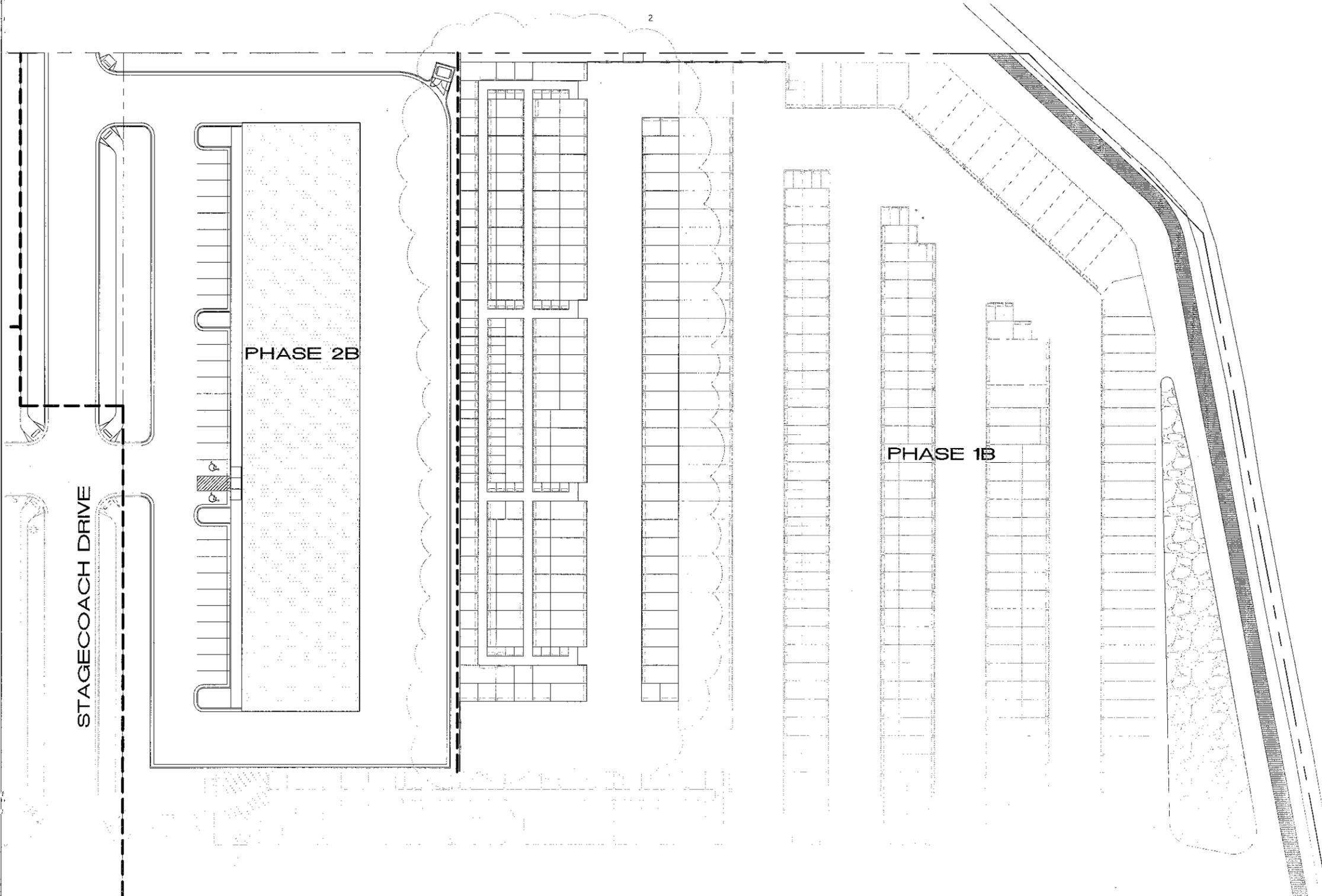
SARATOGA SPRINGS,
UTAH

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SITE PLAN

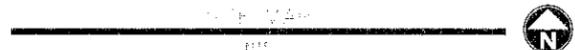
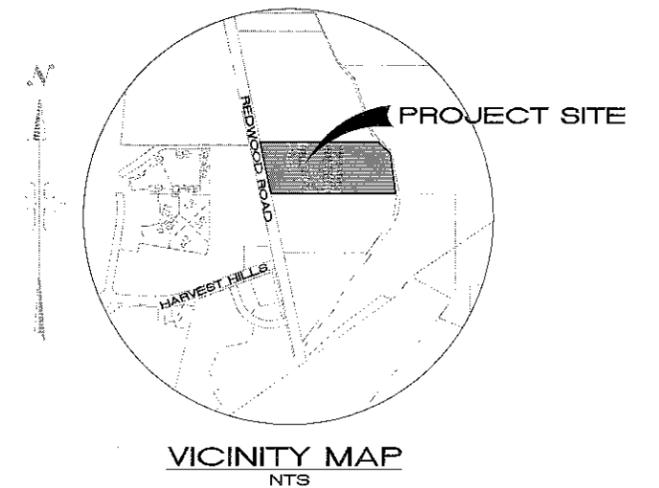
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NORTH SARATOGA CENTER - PHASE 1B & 2B AMENDED 2013 CONSTRUCTION PLANS



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