

BENCHMARK
 CP#4 BAR AND CAP ON TOP OF
 HILL ON GOLF COURSE SOUTH OF
 PROPERTY
 ELEVATION = 4584.84

R-3 ZONE
 PUD OVERLAY

ADA NOTE:
 ALL APPLICABLE ELEMENTS OF SARATOGA SPRINGS CODE 19.09.07
 WITH RESPECT TO ACCESSIBLE PARKING WILL BE ADHERED TO

LOT AREAS:

	SQ. FT. / ACRES OR % OF NET
GROSS LOT	210,889 SQ. FT. / 4.84 ACRES
FUTURE DEVELOPED AREA (UNIMPROVED)	76,820 SQ. FT. / 1.77 ACRES
NEW BUILDING FOOTPRINT	20,130 SQ. FT.
HARDSCAPE	83,245 SQ. FT.
NEW LANDSCAPING	30,494 SQ. FT.

NOTE:
 1. ALL AREA CALCULATIONS ARE APPROXIMATE AND CAN CHANGE DUE TO
 CONSTRUCTION TOLERANCES.

PARKING REQUIREMENTS:

PROPOSED	SQ. FT.	CITY REQ'T
PROFESSIONAL OFFICE	40,000 SQ. FT.	160 (4/1000)
TOTAL REQUIRED:		160
TOTAL EXISTING STALLS PROVIDED:		169
ACCESSIBLE SPACES		6

NOTE:
 1. ALL AREA CALCULATIONS ARE APPROXIMATE AND CAN CHANGE DUE TO CONSTRUCTION
 TOLERANCES.

LOT DATA:

ZONE: R-3
 BUILDING CONSTRUCTION: III-B

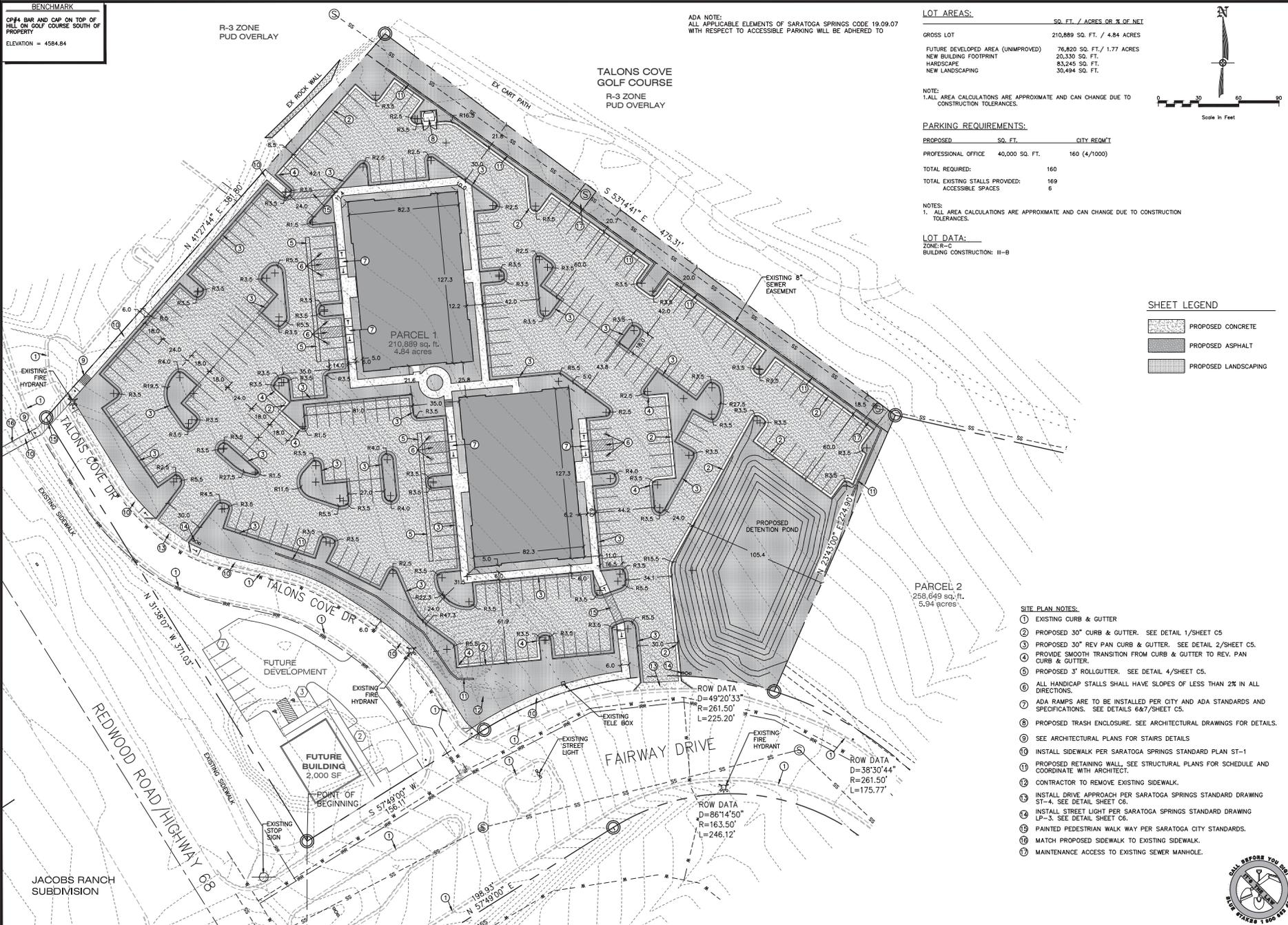


SHEET LEGEND

- PROPOSED CONCRETE
- PROPOSED ASPHALT
- PROPOSED LANDSCAPING

SITE PLAN NOTES:

- 1 EXISTING CURB & GUTTER
- 2 PROPOSED 30" CURB & GUTTER. SEE DETAIL 1/SHEET C5
- 3 PROPOSED 30" REV PAN CURB & GUTTER. SEE DETAIL 2/SHEET C5.
- 4 PROVIDE SMOOTH TRANSITION FROM CURB & GUTTER TO REV. PAN CURB & GUTTER.
- 5 PROPOSED 3" ROLLGUTTER. SEE DETAIL 4/SHEET C5.
- 6 ALL HANDICAP STALLS SHALL HAVE SLOPES OF LESS THAN 2% IN ALL DIRECTIONS.
- 7 ADA RAMP ARE TO BE INSTALLED PER CITY AND ADA STANDARDS AND SPECIFICATIONS. SEE DETAILS 6&7/SHEET C5.
- 8 PROPOSED TRASH ENCLOSURE. SEE ARCHITECTURAL DRAWINGS FOR DETAILS.
- 9 SEE ARCHITECTURAL PLANS FOR STAIRS DETAILS
- 10 INSTALL SIDEWALK PER SARATOGA SPRINGS STANDARD PLAN ST-1
- 11 PROPOSED RETAINING WALL, SEE STRUCTURAL PLANS FOR SCHEDULE AND COORDINATE WITH ARCHITECT.
- 12 CONTRACTOR TO REMOVE EXISTING SIDEWALK.
- 13 INSTALL DRIVE APPROACH PER SARATOGA SPRINGS STANDARD DRAWING ST-4. SEE DETAIL SHEET C6.
- 14 INSTALL STREET LIGHT PER SARATOGA SPRINGS STANDARD DRAWING LP-3. SEE DETAIL SHEET C6.
- 15 PAINTED PEDESTRIAN WALK WAY PER SARATOGA CITY STANDARDS.
- 16 MATCH PROPOSED SIDEWALK TO EXISTING SIDEWALK.
- 17 MAINTENANCE ACCESS TO EXISTING SEWER MANHOLE.



NO.	REVISIONS	BY	DATE

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TALONS COVE PARCEL 1 PROJECT
 TALON COVE AND FAIRWAY BLVD, SARATOGA SPRINGS, UTAH
 SITE PLAN



SHEET NO.
C1
 PROJECT ID: W1003-01
 DATE: 07/27/15
 FILE NAME: PR1-TOP
 SCALE: 1"=30'

JACOBS RANCH
 SUBDIVISION



STREET VIEW WEST



WEST BUILDING ENTRY SOUTHWEST



BUILDING ENTRY NORTHWEST



**SAMUEL J.
BRADY**

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FAIRWAY BLVD. &
TALONS COVE DR.

SARATOGA
SPRINGS, UT
THE FAIRWAYS
OFFICE PARK

EXTERIOR RENDERINGS

JULY 27, 2015
1431501'32.dwg

A3.2