

The Crossing

Redwood Road & Pioneer Crossing

Saratoga Springs, Utah

Site Data

Overall Site Area	= 915,500 Sq. ft.
Total Impervious Area	= 439,988 Sq. ft.
Total Future Pad Area	= 282,359 Sq. ft.
Total Landscape Area	= 64,859 Sq. ft.
Total Right-of-Way Dedication	= 3,530 Sq. ft.
Total Number of Lots	= 9

- City Standard Notes**
- Contractor shall field verify locations and invert elevations of existing manholes and other utilities before staking or constructing any new sewer lines.
 - Contractor shall field verify locations and invert elevations of existing storm drain structures and other utilities before staking or constructing any new storm drain lines.
 - All construction shall comply to the Standard Technical Specifications and Drawings for the City of Saratoga Springs, Utah.
 - Existing Utilities have been noted to the best of Engineers knowledge, it is the owners and contractors responsibility to locate utilities in the field and notify Engineer and City if discrepancies exist.
 - Post-approval alterations to lighting plans or intended substitutions for approved lighting equipment shall be submitted to the City for review and approval.
 - The City reserves the right to conduct post-installation inspections to verify compliance with the City's requirements and approved lighting plan commitments, and if deemed appropriate by the City, to require remedial action at no expense to the City.
 - All exterior lighting shall meet IESNA full-cutoff criteria unless otherwise approved by the City.

Abbreviations

BOL	Ballard	PP	Power Pole
BRW	Finish Grade - Bottom of Retaining Wall	PVC	Polyvinyl Chloride
CATV	Cable Television Box	RCP	Reinforced Concrete Pipe
CB	Catch Basin	RD	Roof Drain
CMP	Corrugated Metal Pipe	SB	Signal Box
COB	Cleanout Box	SD	Storm Drain
COTG	Cleanout to Grade	SDMH	Storm Drain Manhole
EA	Edge of Asphalt	SMH	Sanitary Sewer Manhole
EB	Electrical Box	SP	Signal Pole
ECAB	Electrical Cabinet	SS	Sanitary Sewer
EMH	Electrical Manhole	SVZ	Sight Visibility Zone
FH	Fire Hydrant	SW	Secondary Water
FL	Flowline	TA	Top of Asphalt
g	Ground	TB	Telephone Box
GB	Grade Break	TBC	Top Back of Curb
GM	Gas Meter	TG	Top of Grate
HB	Hose Bib	TMH	Telephone Manhole
I	Irrigation Line	TP	Top of Concrete
ICB	Irrigation Control Box	TRW	Finish Grade - Top of Retaining Wall
Lip	Lip of Gutter	TW	Top of Walk
LP	Light Pole	WL	Waterline
MH	Manhole	WP	Working Point
Mon	Monument	WV	Water Valve
PM	Power Meter		

Legend

Proposed Curb & Gutter	Existing Improvements	Proposed Spot
Proposed Open Face C & G	Existing Asphalt	ADA Accessible Route
Proposed Asphalt	Existing Concrete	Property Line
Proposed Concrete	Existing Inlet Box	Sawcut Line
Proposed Truncated Domes	Existing Catch Basin	Proposed Light Pole
Proposed Inlet Box	Existing Manhole	Proposed Street Light
Proposed Catch Basin	Existing Fire Hydrant	Proposed Building
Proposed Manhole	Existing Water Valve	Existing Power Pole
Proposed Transformer	Existing Overhead Power Line	Existing Power Pole w/ Guy
Proposed Meter Box	Existing Water	Existing Utility Marker
Proposed Water Meter	Existing Secondary Water	Existing Post
Proposed Combo Box	Existing Sewer	
Proposed Fire Hydrant	Existing Storm Drain	
Proposed Water Valve	Existing Gas	
Proposed Water Line	Existing Power	
Proposed Sanitary Sewer	Existing Telephone	
Proposed Storm Drain	Existing Fence	
Proposed Conduit Line	Flowline	
Proposed Power Line	Centerline	
Proposed Gas Line	Existing Contour	
Proposed Secondary Water Line	Existing Spot	
Proposed Roof Drain	Existing Light Pole	
Proposed Ridge Line	Existing Street Line	
Proposed Grade Break	Existing Building	
Proposed Contour	Existing Telephone Box	
Direction of Drainage	Existing Power Meter	
Proposed Spot	Existing Electrical Box	
ADA Accessible Route	Existing Electrical Cabinet	
Property Line	Existing Gas Meter	
Sawcut Line	Existing Water Meter	
Proposed Light Pole	Existing Irrig. Control Box	
Proposed Street Light	Existing Ballard	
Proposed Building	Existing Hose Bib	
Existing Power Pole	Working Point	
Existing Power Pole w/ Guy	Existing Deciduous Tree	
Existing Utility Marker	Existing Coniferous Tree	
Existing Post	Detail Number	
	Sheet Number	



Vicinity Map
Not to Scale

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- UDOT General Notes**
- UDOT reserves the right, at its option, to install a raised median island or restrict the access to a right-in or right-out at any time.
 - Work on the UDOT right-of-way is restricted from October 15 - April 15.
 - ROW Work: Work is not allowed on the right-of-way during the AM/PM peak traffic hours (6:00-9:00 AM and 3:30 - 6:00 PM). Additional work restrictions or modifications may be imposed at the time of the encroachment permit.
 - Replace all pavement markings in kind (tape with tape and paint with paint). Install all paint lines with permanent paint application per UDOT specification 02765. Paint must have at least 6 months life as determined by UDOT's Permits Officer.
 - All new pavement words, arrows and symbols marking within the right-of-way shall be performed thermo plastic. All letters, arrows, and symbols shall conform with the "Standard Alphabet for Highway Signs and Pavement Markings" adopted by the Federal Highway Administration.
 - All signs installed on the UDOT right-of-way must be high intensity grade (Type IX sheeting) with a B3 slip base. Install all signs per UDOT SN series Standard Drawings.
 - Before commencing work on the State highway, the general contractor is required to obtain an encroachment permit from the applicable Region's Permits Office before working within the State right-of-way.
 - No road cuts allowed on this job.
 - For all utility taps (road cuts), use flowable fill per UDOT's current mix design (50-150psf) UDOT spec. 03575.
 - All utilities within the paved surface must be bored.
 - For excavations outside of the roadway, backfill with UDOT approved granular borrow and road base. Compaction per UDOT spec. 2056 and 2721.
 - Owner, developer, and/or the contractor is required to hire and independent company for all testing within the UDOT right-of-way.
 - Owner, developer, and the contractor are responsible for any damage to the UDOT right-of-way that may be directly or indirectly caused by the development activity.
 - Traffic signal installation or modification requires a separate warranty bond once the work has been completed and accepted. The permittee is responsible for hiring an independent inspection company to perform inspection services for all signal work completed. For a list of the UDOT approved contractors and consultants contact the appropriate Regions Traffic Signals Engineer.
 - Partial concrete panel replacement is not allowed. When panels are removed, the entire panel is required to be replaced per UDOT standards, specifications, and standard drawings.
 - Double saw cut the concrete to prevent the spalling of other concrete panels and to avoid over cuts. Over cuts and spalls will require full panel replacement.
 - All above ground features including utility (poles, fire hydrants, boxes, etc.) must be relocated out of the AASHTO clear zone or a minimum of 18" behind curb.

Private Engineer's Notice to Contractors

The Contractor agrees that he shall assume sole and complete responsibility for job site conditions during the course of construction of this project, including safety of all persons and property; that this requirement shall apply continuously and not be limited to normal working hours; and that the contractor shall defend, indemnify, and hold the owner and the engineer harmless from any and all liability, real or alleged, in connection with the performance of work on this project, excepting for liability arising from the sole negligence of the owner or the engineer.

Survey Control Note

The contractor or surveyor shall be responsible for following the National Society of Professional Surveyors (NSPS) model standards for any surveying or construction layout to be completed using Anderson Wahlen and Associates ALTA Surveys or Anderson Wahlen and Associates construction improvement plans. Prior to proceeding with construction staking, the surveyor shall be responsible for verifying horizontal control from the survey monuments and for verifying any additional control points shown on an ALTA survey, improvement plan, or on electronic data provided by Anderson Wahlen and Associates. The surveyor shall also use the benchmarks as shown on the plan, and verify them against no less than three existing hard improvement elevations included on these plans or on electronic data provided by Anderson Wahlen and Associates. If any discrepancies are encountered, the surveyor shall immediately notify the engineer and resolve the discrepancies before proceeding with any construction staking.

Flood Zone

This property lies entirely within Flood Zone X as designated on FEMA Flood Insurance Rate Map for Utah County, Utah and Incorporated Areas Map Number 4902500115 A dated 17 July 2002. Flood Zone X is defined as "Areas determined to be outside the 0.2% annual chance floodplain." (no shading)

Basis of Bearings

A line between monuments found for West Quarter Corner of Section 14 and the Northwest Corner of Section 23 was assigned the Utah County Survey bearing of South 02°05'17" West as the Basis of Bearings to retrace and honor the previous Survey.

Benchmark

Brass Cap Monument for the Northwest Corner of Section 23, T5S, R1W, S1B&M
Elevation = 4567.96' feet (NGVD, 29)
Utah County Surveyor Tie Sheet, Published (3/23/02)
Observed (3/10/15)

Contacts

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Saratoga Springs, Utah

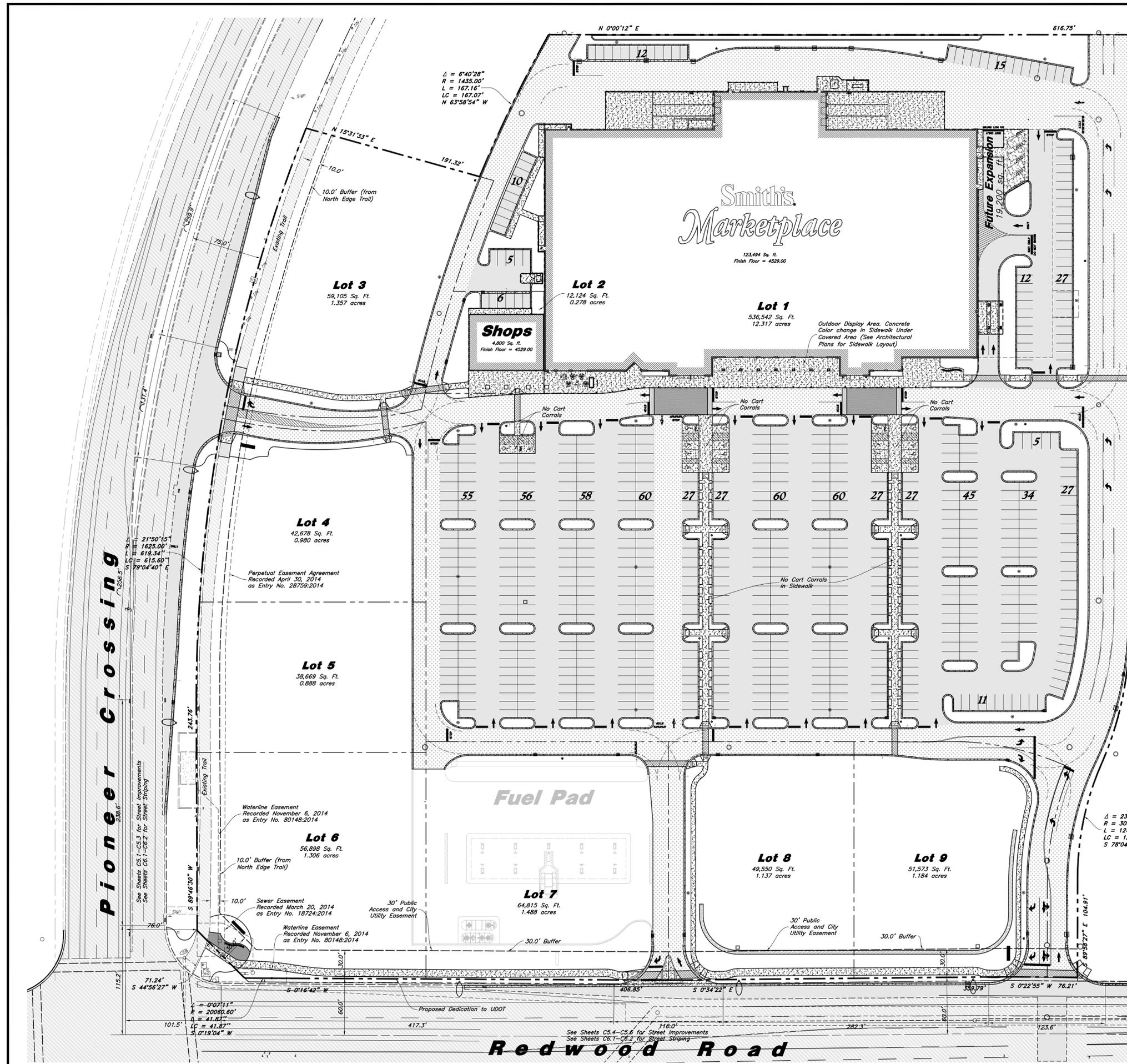
Anderson Wahlen & Associates
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801.521.8529 - AWEngineering.net

COVER SHEET

The Crossing
Redwood Road & Pioneer Crossing
Saratoga Springs, Utah

16 Nov, 2015

SHEET NO. **CV**



Scale: 1" = 50'



Site Data Table		
	Area	Calculation
Total Project Area	20,935	100%
Total Number of Lots, Dwellings and Buildings	9	
Building Footprint (sq. ft.)	128,294	
Proposed Parking Garage Spaces	0	
Proposed Surface Parking Spaces	666	
% of Buildable Land		89%
Acres of Sensitive Lands	0	0%
% of Total Sensitive Lands		
Area and % of Open Space/Landscaping	87,689	11%
Area of Right-of-Way Dedication	3,530	
Net Density of dwellings (acre)	n/a	
Number of off-street parking spaces	0	

Legend

- Existing Asphalt
- Standard Asphalt
- Heavy Duty Asphalt
- Concrete Paving
- Crosswalk
- Entrance Decorative Paving
- Entrance Decorative Paving

Fire Lane Notes:



Note:
Future Pad Areas (Lots 3-6 & 8-9) to be Rough Graded. Place 2" Compacted Clean Gravel.

Cart Corral Note:
Cart corrals are not to be placed in an area that will restrict pedestrian walkways.

Light Note:
Lighting to be controlled in compliance with 19.11.

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801.521.8529 - AWEngineering.net

Overall Site Plan

The Crossing

Redwood Road & Pioneer Crossing
Saratoga Springs, Utah

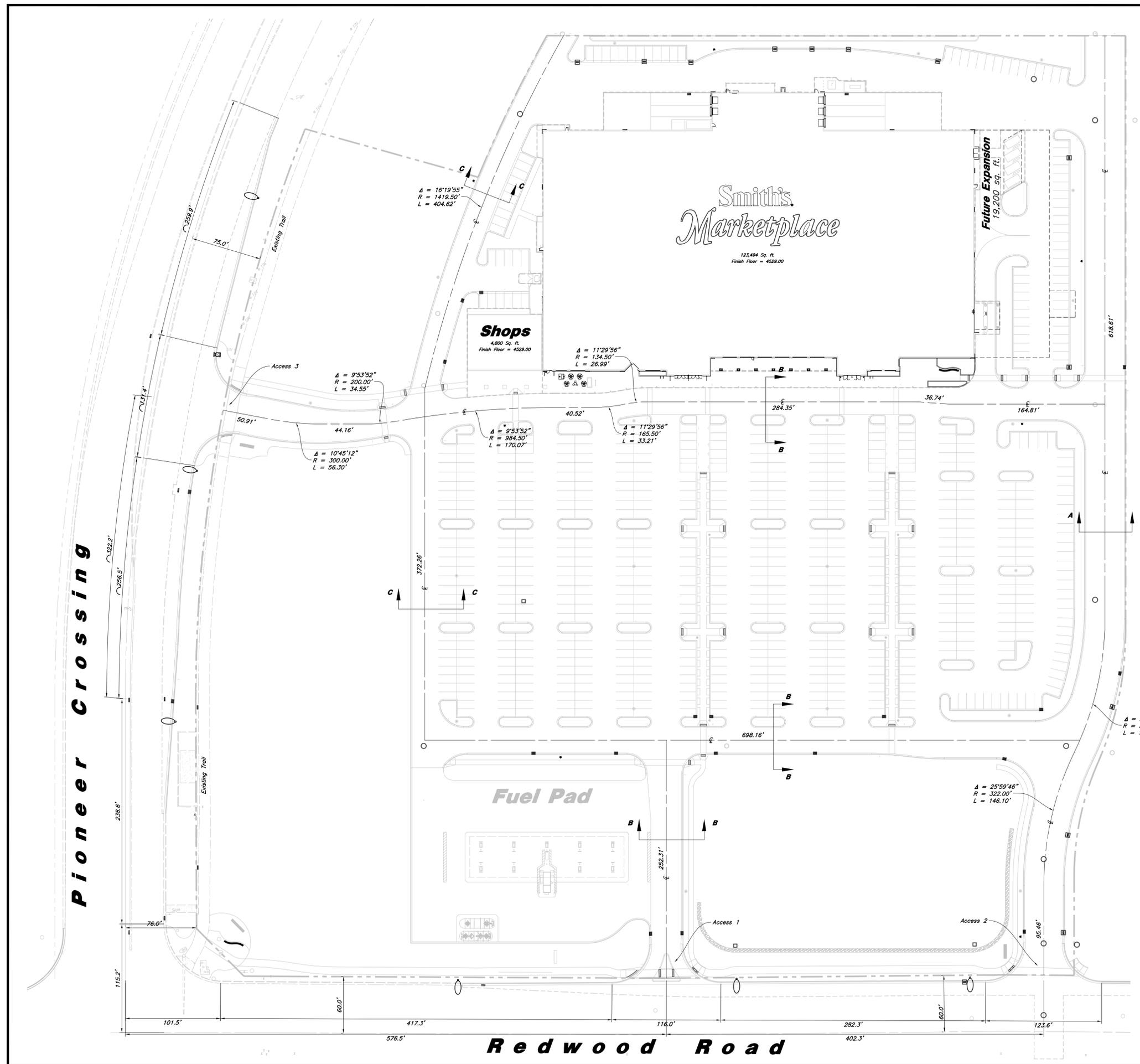
16 Nov, 2015

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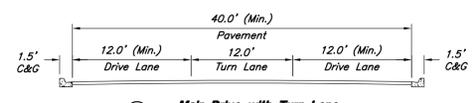
Boyer
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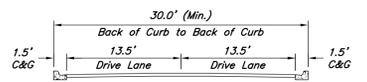
#207
Saratoga Springs, Utah



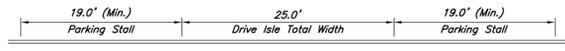
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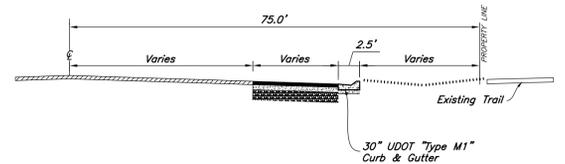
(A) Main Drive with Turn Lane



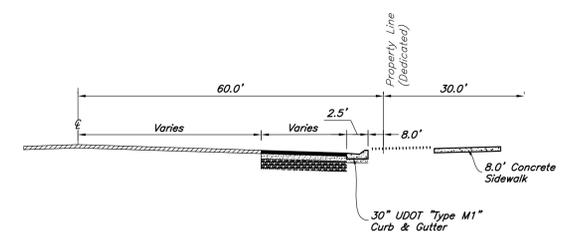
(B) Two Way Drive without Parking



(C) Two Way Drive with Parking



Pioneer Crossing Typical Street Section
No Scale



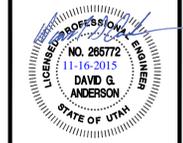
Redwood Road Typical Street Section
No Scale

NO.	DATE	DESCRIPTION

Designed by: DA
 Drafted by: LC/DC/NN
 Client Name:
 Smith's Food & Drugs Store
 smc207-OVS

AWA
ANDERSON WAHLEN & ASSOCIATES
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 801-521-8529 - AWEngineering.net

Overall Site Plan
The Crossing
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 Saratoga Springs, Utah



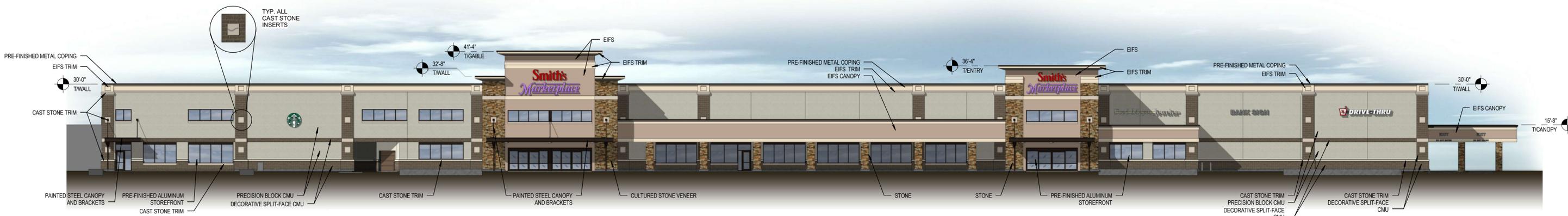
16 Nov, 2015
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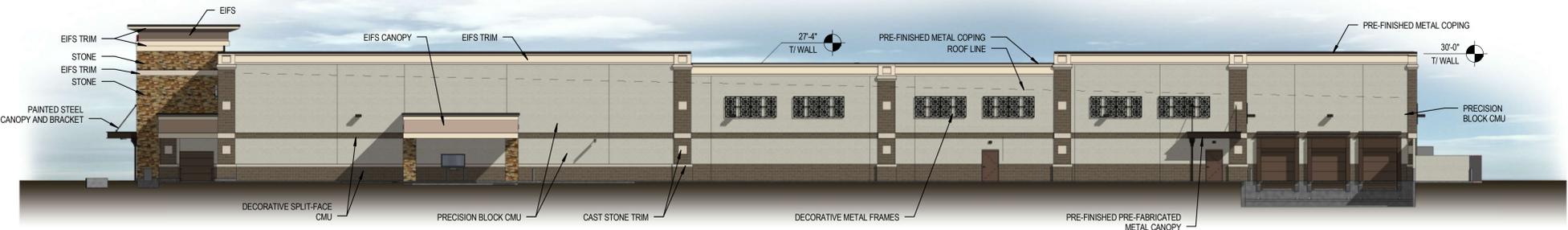
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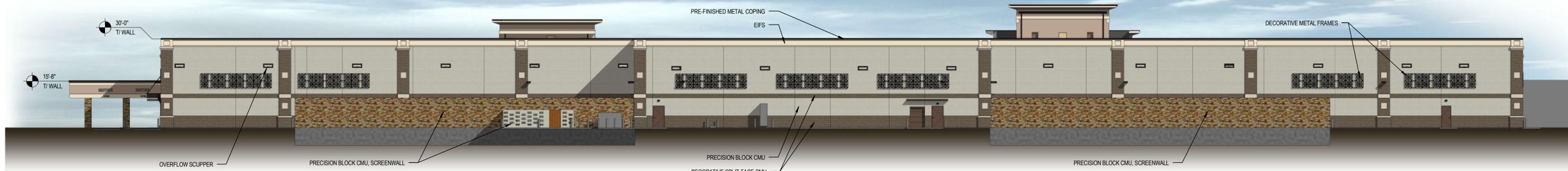
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EAST ELEVATION



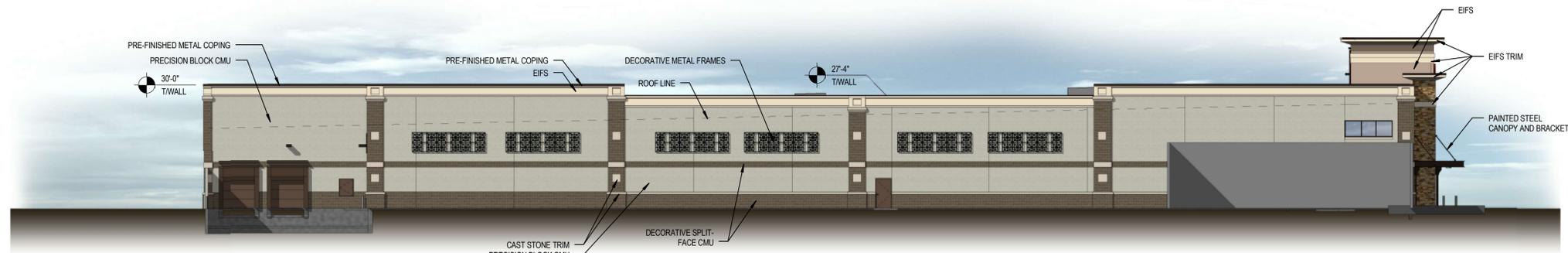
NORTH ELEVATION



WEST ELEVATION

MATERIAL TAKE OFF

<p>SOUTH ELEVATION</p> <ul style="list-style-type: none"> EIFS- 81 SF (1%) CMU- 6713 SF (85%) SPLIT FACE- 1040 SF (13%) CAST STONE- 110 SF (1%) <p>WEST ELEVATION</p> <ul style="list-style-type: none"> EIFS- 164 SF (1%) CMU- 15,410 SF (71%) SPLIT FACE- 3570 SF (16%) STONE- 2366 SF (11%) CAST STONE- 220 SF (1%) 	<p>EAST ELEVATION</p> <ul style="list-style-type: none"> EIFS- 2419 SF (10%) CMU- 15,410 SF (68%) SPLIT FACE- 1635 SF (7%) STONE- 3244 SF (14%) CAST STONE- 220 SF (1%) <p>NORTH ELEVATION</p> <ul style="list-style-type: none"> EIFS- 79 SF (1%) CMU- 6424 SF (79%) SPLIT FACE- 1245 SF (16%) STONE- 276 SF (3%) CAST STONE- 110 SF (1%)
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SOUTH ELEVATION

SMITH'S STORE SM207



November 5th, 2015

Saratoga Springs, UT



515414