

# The Crossing - Village Plan

29 September 2015

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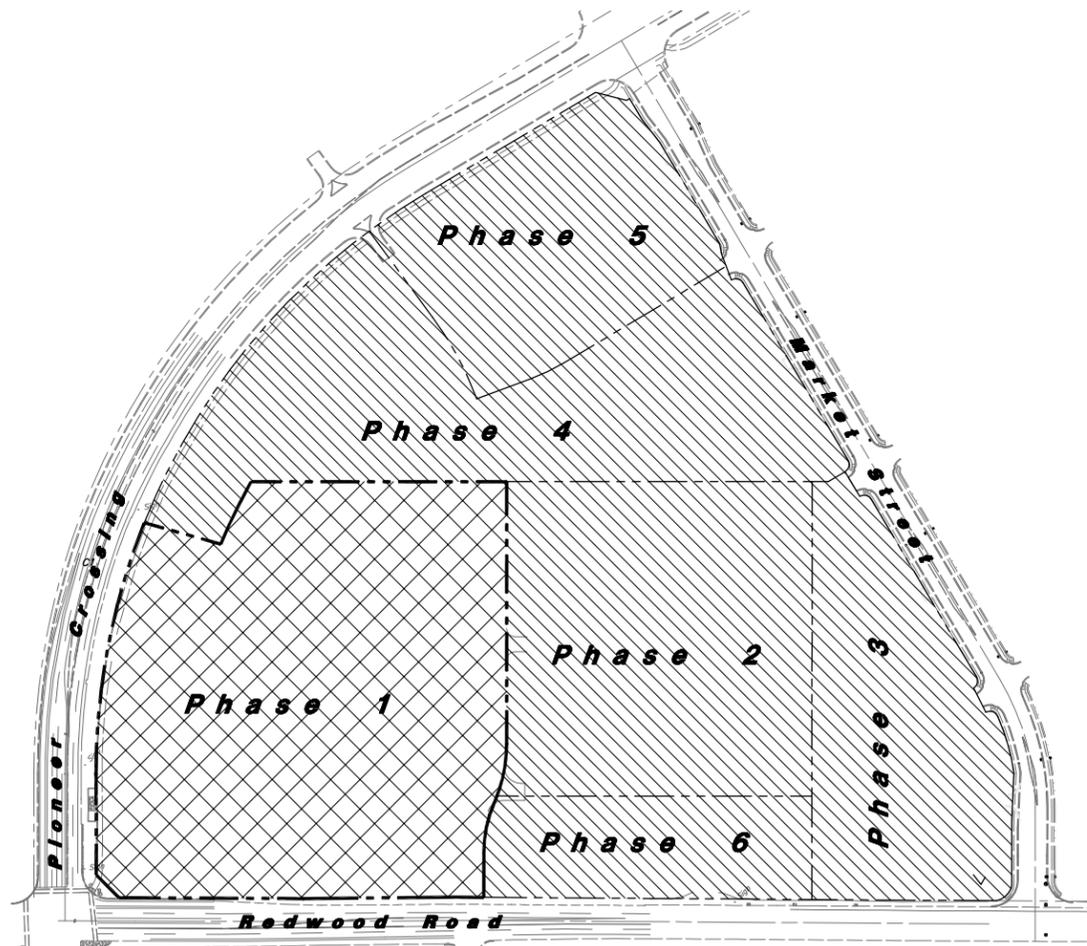


**Legal Description**

A part of the Northwest Quarter of Section 23, Township 5 South, Range 1 West, Salt Lake Base and Meridian, U.S. Survey in Utah County, Utah:

Beginning at and existing Right-of-Way monument on the West Line of Redwood Road as it exists at 56.0 foot half-width located 1269.25 feet South 0°05'22" West along the Section Line, and 2606.75 feet South 89°54'38" East from the Northwest Corner of said Section 23; and running thence South 44°56'27" West 76.93 feet to an existing Right-of-Way monument on the North Line of Pioneer Crossing; thence South 89°46'30" West 243.76 feet along said North Line; thence Northwesterly along the arc of a 1625.00 foot radius curve to the right a distance of 619.34 feet (Center bears North 0°00'12" East, Central angle equals 21°50'15" and Long Chord bears North 79°04'40" West 615.60 feet) along the Northeasterly Line of said Pioneer Crossing; thence North 15°31'33" East 191.32 feet; thence Northwesterly along the arc of a 1435.00 foot radius curve to the right a distance of 167.16 feet (Center bears North 22°40'52" East, Central Angle equals 6°40'28" and Long Chord bears North 63°58'54" West 167.07 feet); thence North 0°00'12" East 616.75 feet; thence East 631.59 feet to a point of curvature; thence Southeasterly along the arc of a 344.00 foot radius curve to the right a distance of 143.07 feet; (Central Angle equals 23°49'44" and Long Chord bears South 78°05'08" East 142.04 feet) to a point of reverse curvature; thence Southeasterly along the arc of a 300.00 foot radius curve to the left a distance of 124.63 feet (Central Angle equals 23°48'11" and Long Chord bears South 78°04'22" East 123.74 feet) to a point of tangency; thence South 89°58'27" East 108.91 feet to the West Line of Redwood Road; thence along said West Line the following four courses: South 0°22'55" West 76.18 feet to an existing Right-of-Way monument; South 0°34'22" East 359.78 feet to an existing Right-of-Way monument; South 0°16'42" West 406.89 feet; and Southerly along the arc of a 20,056.60 foot radius curve to the left a distance of 37.82 feet (Center bears South 89°37'21" East, Central Angle equals 0°06'29" and Long Chord bears South 0°19'25" West 37.82 feet) to the point of beginning.

Contains 915,484 sq. ft.  
or 21.017 acres



Site Map



Vicinity Map



**Legend**

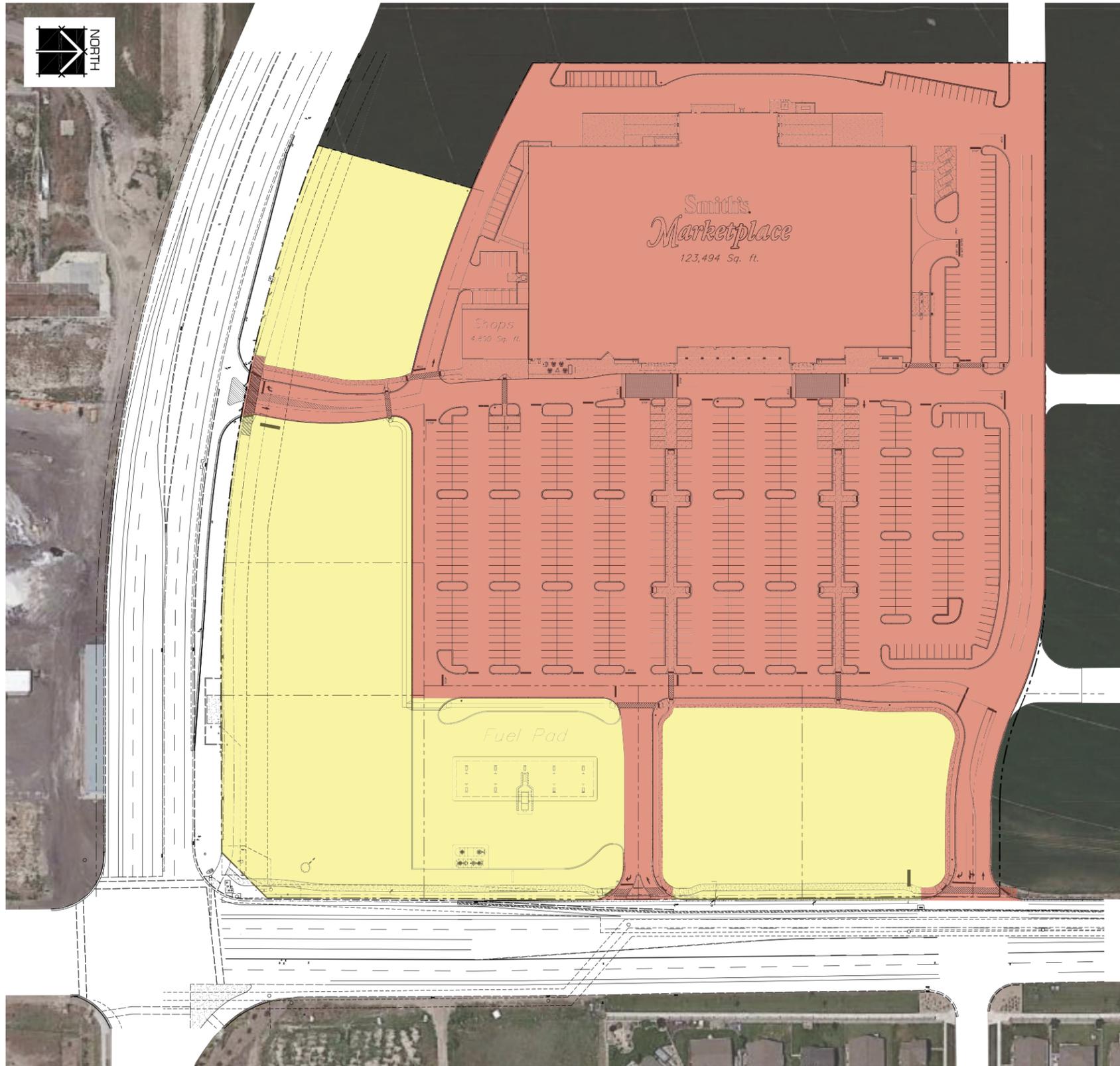
-  **Community Plan Area**
-  **Village Plan #1 Area**



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**REGIONAL RETAIL USES**



Anchor Retail



Retail / Restaurant

Per the Community Plan, the Phase I Village Plan is allowed to contain Regional Retail uses as defined in the District Area Plan.

Specific uses shall comply with the Regional Commercial uses as permitted or conditionally permitted as outlined in Section 19.04 of the Saratoga Springs Municipal Code with the exceptions that Retail, Big Box, Fitness Center (5001 sq. ft. or larger) and Automotive Fueling Stations shall be deemed a permitted use.

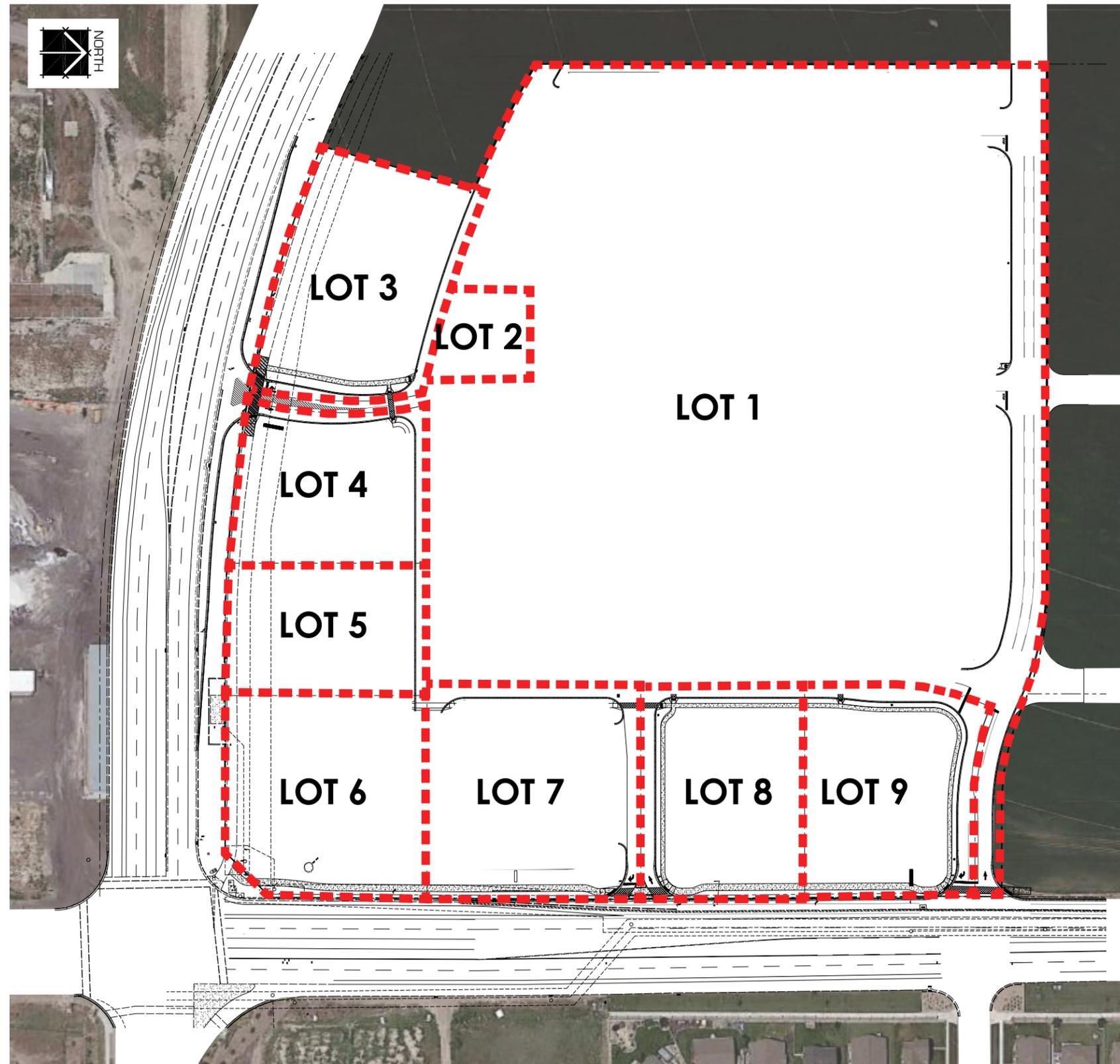
Refer to Community Plan for additional information.



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**LOT BREAKDOWN**

Phase #	Acres	Open Space %	Maximum Building SF***	ERU Allocation****
Lot 1	12.29	6% min.*	251,616	116.25
Lot 2	0.28	6% min.*	5,732	2.65
Lot 3	1.35	6% min.*	27,639	12.77
Lot 4	0.96	6% min.*	19,654	9.08
Lot 5	0.92	6% min.*	18,835	8.70
Lot 6	1.37	6% min.*	28,048	12.96
Lot 7	1.50	6% min.*	30,710	14.19
Lot 8	1.17	6% min.*	23,954	11.07
Lot 9	1.21	6% min.*	24,773	11.44
<b>Total</b>	<b>21.05</b>	<b>11% min.**</b>	<b>430,961</b>	<b>199.10</b>

\* Not including landscape buffers along Redwood Road and Pioneer Crossing which provide 5% of the minimum open space required in the Phase I Village Plan. Additional open space must be provided on each Lot to meet the minimum open space listed in the Community Plan.

\*\* Per Community Plan, Including landscape buffers

\*\*\* Based on a 0.47 FAR

\*\*\*\* Undeveloped ERU's shall be reserved for future development within project.

**FUTURE PROJECTIONS**

Projected population = 0 future residents  
 Projected employment = 500 future employees (estimated)

**EQUIVALENT RESIDENTIAL UNITS**

**District Area Plan:**

Per the District Area Plan, 4,620 ERUs are allowed for every 10 Million square feet of commercial building area which is the equivalent of 2,164.5 square feet per ERU.

**Community Plan:**

A maximum of 1,413,879 square feet of building area is anticipated at the completion of all phases. Per the table above, the 69 acres included in this Community Plan translates to a total of 653 ERUs for the Community Plan.

**Phase I Village Plan:**

A maximum of 430,961 square feet of building area is anticipated at the completion of all phases of the Village Plan. Per the table above, the 21.05 acres included in this Phase I Village Plan translates to a total of 199 ERUs.



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## DEVELOPMENT STANDARDS

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### Height Restrictions:

No structure shall be taller than fifty feet.

### Setbacks:

See Community Plan, Exhibit #5 - Guiding Principles.

### Parking Requirements:

See Community Plan, Exhibit #5 - Guiding Principles.

### Open Space & Landscaping:

The total open space for all lots within the Phase 1 Village Plan shall constitute a minimum of 11-14% of the total site area as required by the Community Plan. See open space requirements for each Lot listed in the table on Page 4. See pages 10-11 for landscape requirements

### Outdoor Display Areas:

Outdoor storage, display, and sales areas are permitted on the sidewalks along building frontages with the following restrictions:

1. Such areas shall be clearly defined during site plan review per Section 19.14 of the Saratoga Springs Municipal Code, and
2. Such areas shall not interfere with required pedestrian access and vehicular circulation.

### Outdoor Seating/Dining Areas:

Outdoor seating and dining areas are permitted on the sidewalks along building frontages with the following restrictions:

1. Such areas shall be clearly defined during site plan review per Section 19.14 of the Saratoga Springs Municipal Code, and
2. Such areas shall not interfere with required pedestrian access and vehicular circulation.

**Building Design Criteria:**

Buildings and permanent structures within the Phase I Village Plan shall comply with the design guidelines indicated in the Community Plan including:

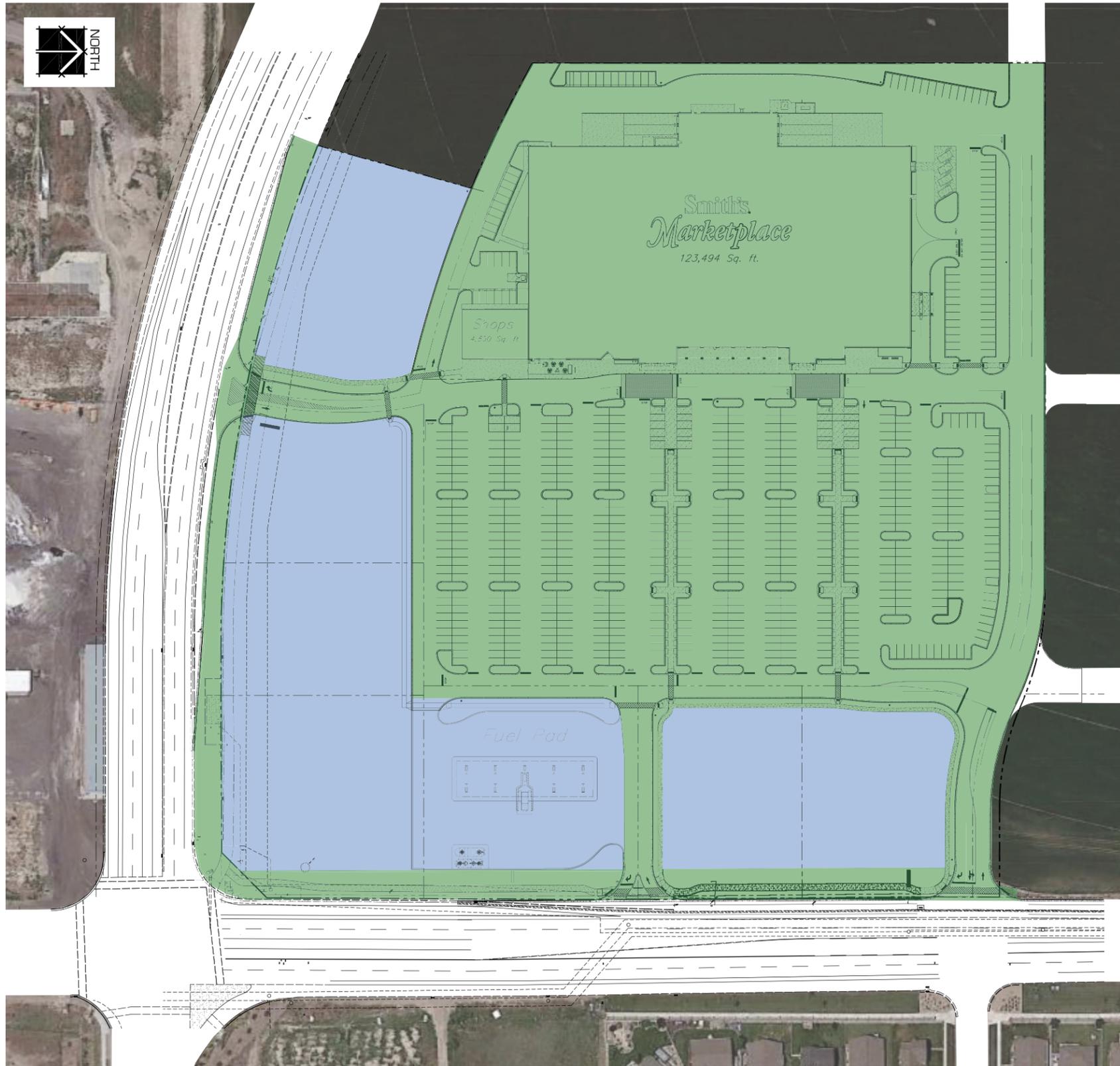
1. Acceptable building forms
2. Exterior building finishes, materials and colors
3. Primary and secondary facade treatments
4. Minimum glazing requirements
5. Roof construction and roof top mechanical equipment screening
6. Loading and service area requirements
7. Drive-thru facility requirements
8. Acceptable site furnishings
9. Thematic elements
10. Etc.

See Exhibit 14 of the Phase I Village Plan for conceptual examples of acceptable building elevations that adhere to this criteria.



*All development, future development and maintenance will be governed by the leases and agreements (e.g. Operations and Easement Agreement) encumbering the property.*

*The City of Saratoga Springs shall maintain all areas from back of curb to back of sidewalk along Redwood Road and Pioneer Crossing.*



PHASES

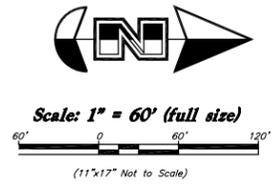
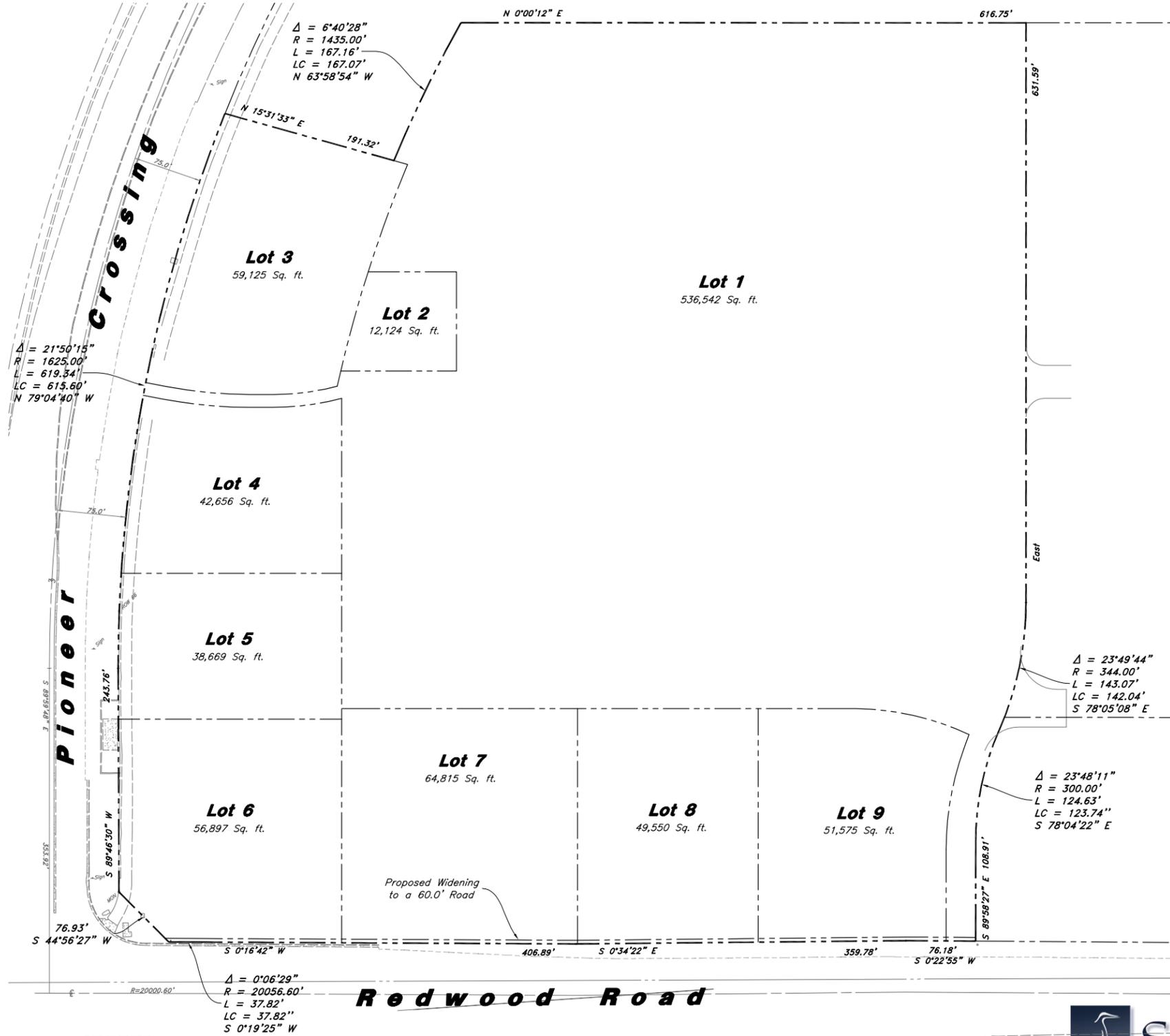
- Phase I
- Future Phases



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Conceptual Landscape Plan: Adjust Planting as Needed for Site Plan. Adhere to Required Landscape & Open Space Percentage Specified in the Community Plan. Adhere to the City of Saratoga Minimum Landscape Standards for RC Zone for Quantity of Trees, Shrubs, and Lawn.

Legend

- Accent Area
- Project Street
- Lawn Area
- Planting Area

See Community Plan Plant List for Required Plant Material

Note:  
Building and Parking Layouts are Conceptual and are Subject to all Development Requirements and Approvals.

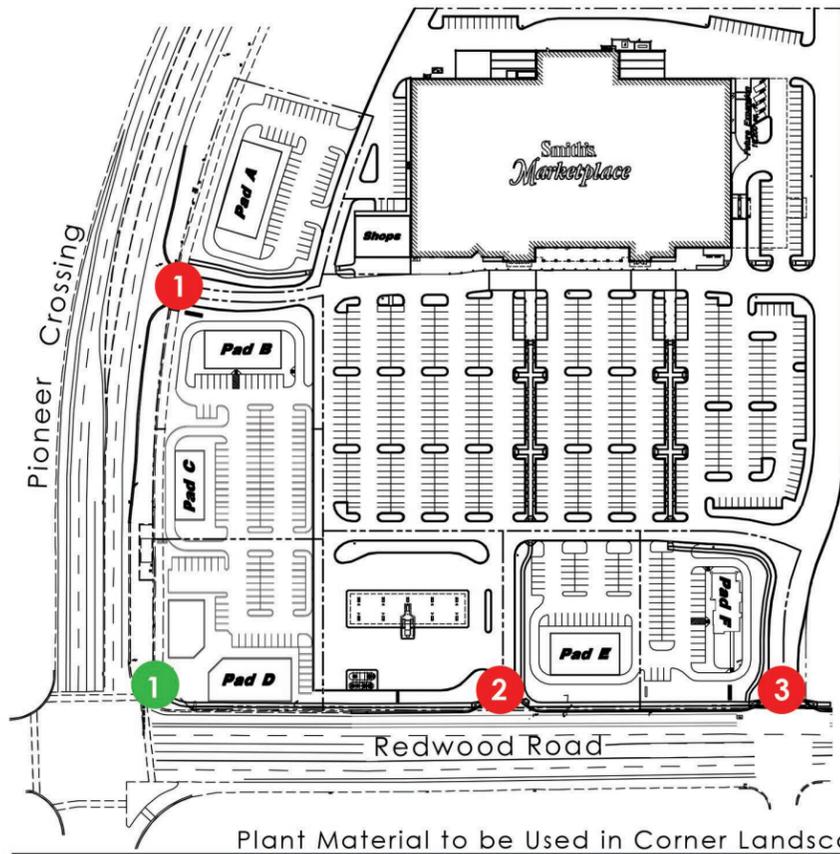
Note:  
Open Space Areas Shown Here are Conceptual and the Total Open Space for all Lots Within the Phase I Village Plan Shall Constitute a Minimum of 11% of the Total Site Area and are Subject to all Development Requirements and Approvals.



SARATOGA SPRINGS



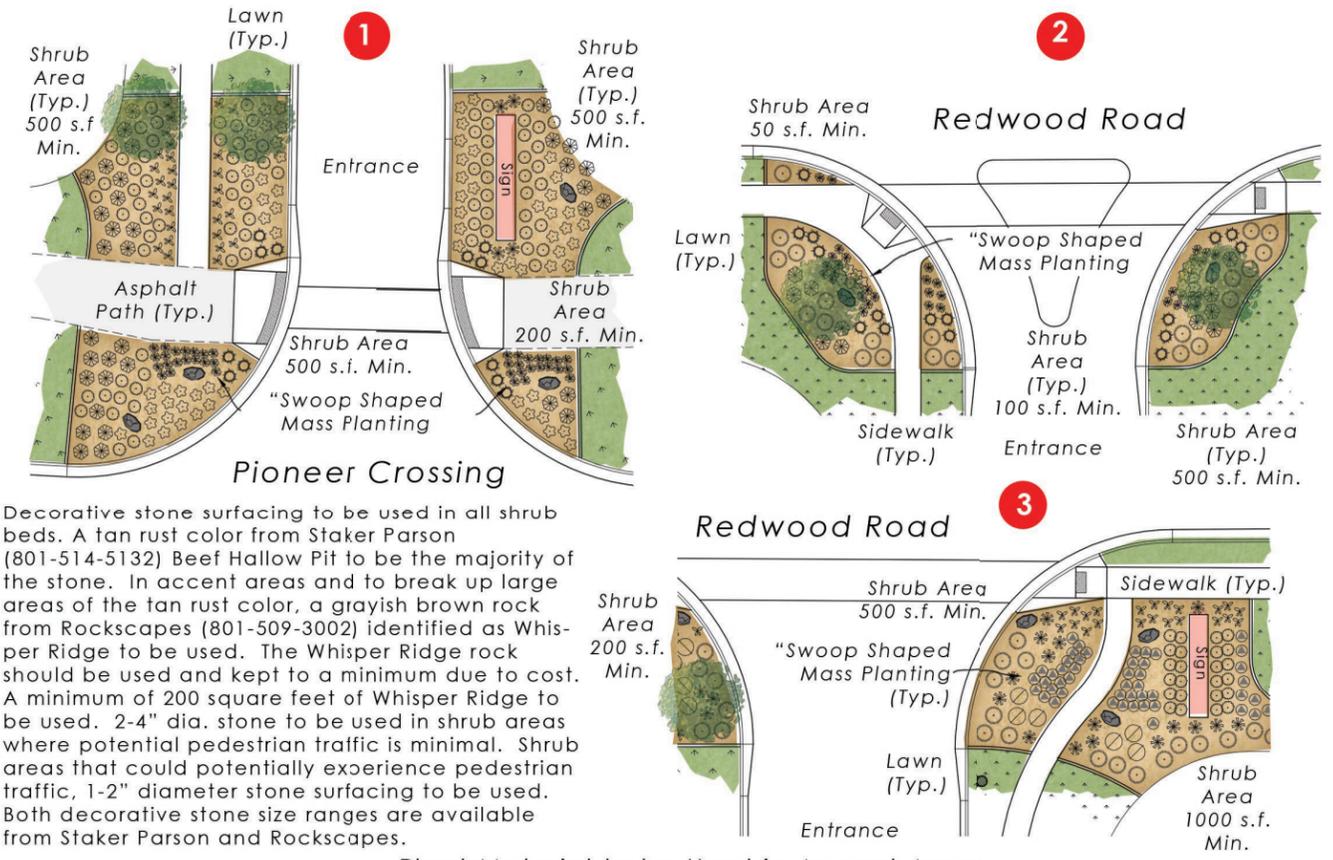
BOYER



Plant Material to be Used in Corner Landscaping Areas

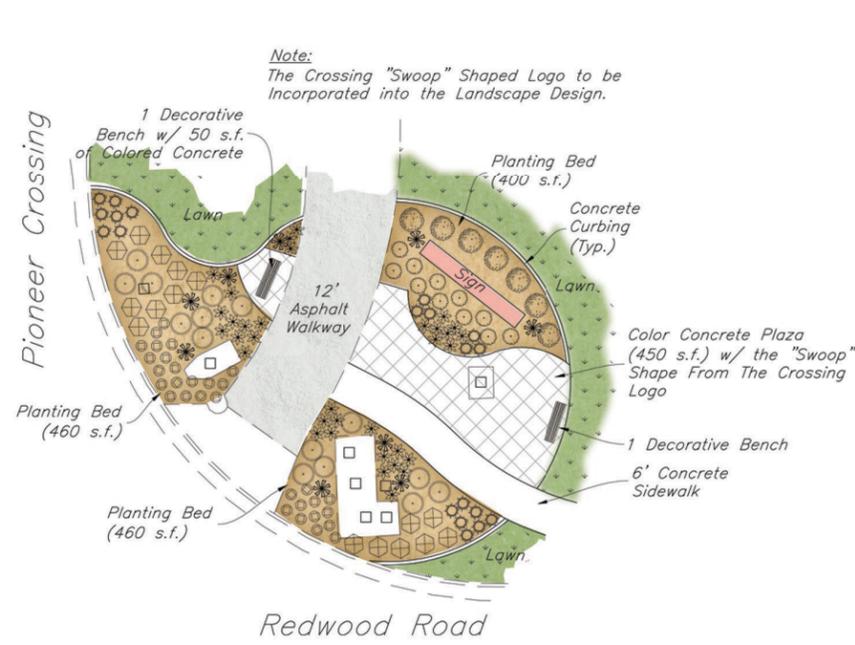
- 1-3 Accent Areas:**  
 Enhancements to include:
- 1) Low Growing Plant Material to Not Obstruct Site Triangles and Block Signage.
  - 2) Combination of Evergreen & Deciduous Shrubs & Colorful Perennials.
  - 3) The "Swoop" Shape Logo for the Crossings to be Incorporated in the Landscape Layout.
  - 4) Entrances w/ Signs to Have a Minimum of 1,000 s.f. of Shrub Bed Area.
  - 5) Entrances w/o Signs to Have a Minimum of 2,000 s.f. of Shrub Bed Area.
  - 6) Shrub Areas to be Carried into Parkstrip Areas.

- 1 Street Corner Landscaping:**  
 See Community Plan for Landscaping Criteria



Decorative stone surfacing to be used in all shrub beds. A tan rust color from Staker Parson (801-514-5132) Beef Hollow Pit to be the majority of the stone. In accent areas and to break up large areas of the tan rust color, a grayish brown rock from Rockscapes (801-509-3002) identified as Whisper Ridge to be used. The Whisper Ridge rock should be used and kept to a minimum due to cost. A minimum of 200 square feet of Whisper Ridge to be used. 2-4" dia. stone to be used in shrub areas where potential pedestrian traffic is minimal. Shrub areas that could potentially experience pedestrian traffic, 1-2" diameter stone surfacing to be used. Both decorative stone size ranges are available from Staker Parson and Rockscapes.

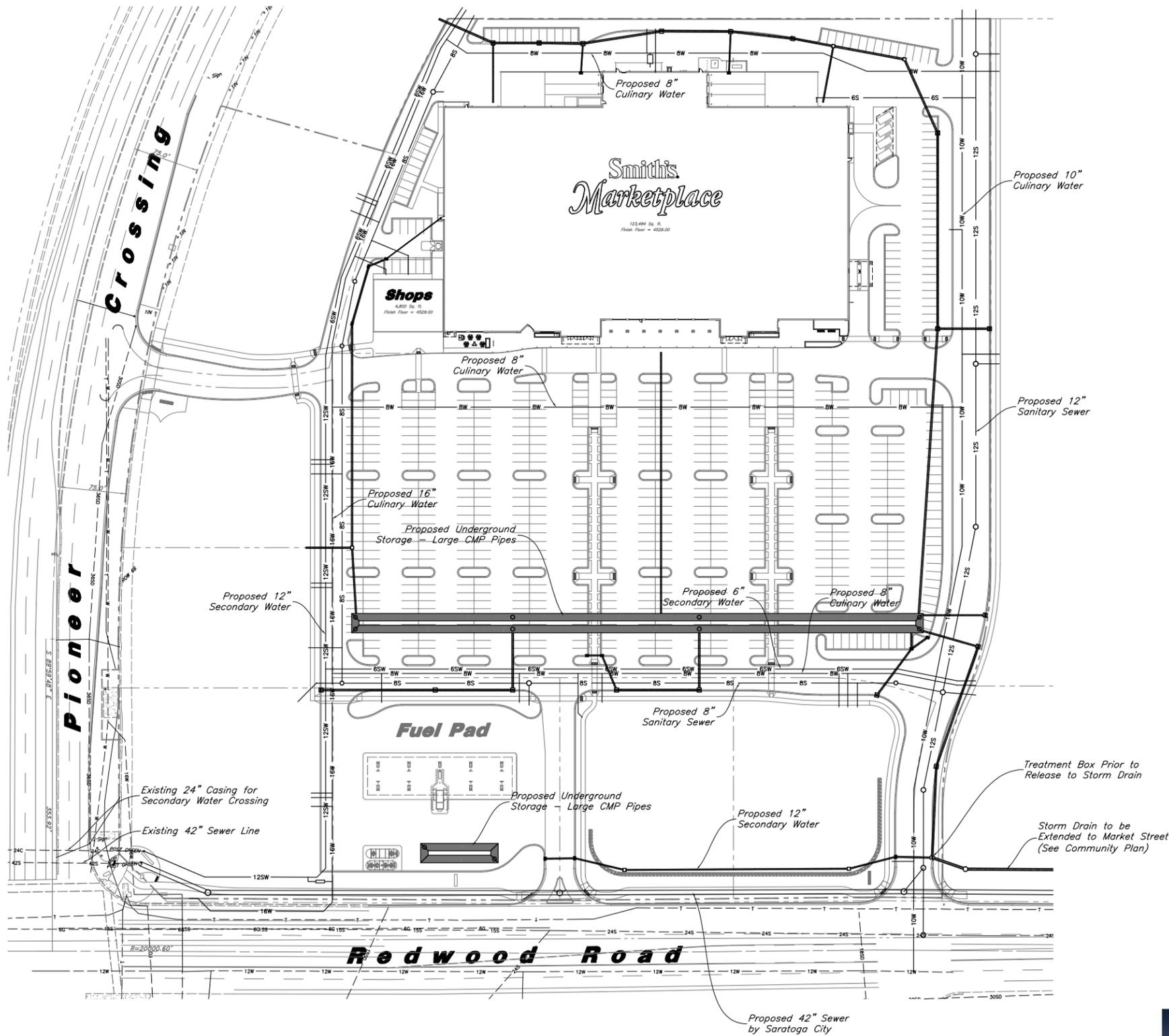
Plant Material to be Used in Accent Areas



**1 Conceptual Street Corner Landscaping**

- Grow Low Sumac
- Mugo Pine
- Oregon Grape
- Catmint
- Black-Eyed Susan
- Karl Forester Grass
- Golden Privet

- Gold Finger Potentilla
- English Lavender
- Mugo Pine
- Limemound Spirea
- Oregon Grape
- Purple Salvia
- Stella De Oro Daylily
- Hameln Grass
- Firecracker Penstemon



Scale: 1" = 60' (full size)  
 60' 0 60' 120'  
 (11"x17" Not to Scale)

**Note:**  
 Layout of Site and Utilities is Conceptual.  
 Final Utility layout will be determined at Site  
 Plan approval. Utility connections will be  
 provided to each lot.

**Legend**

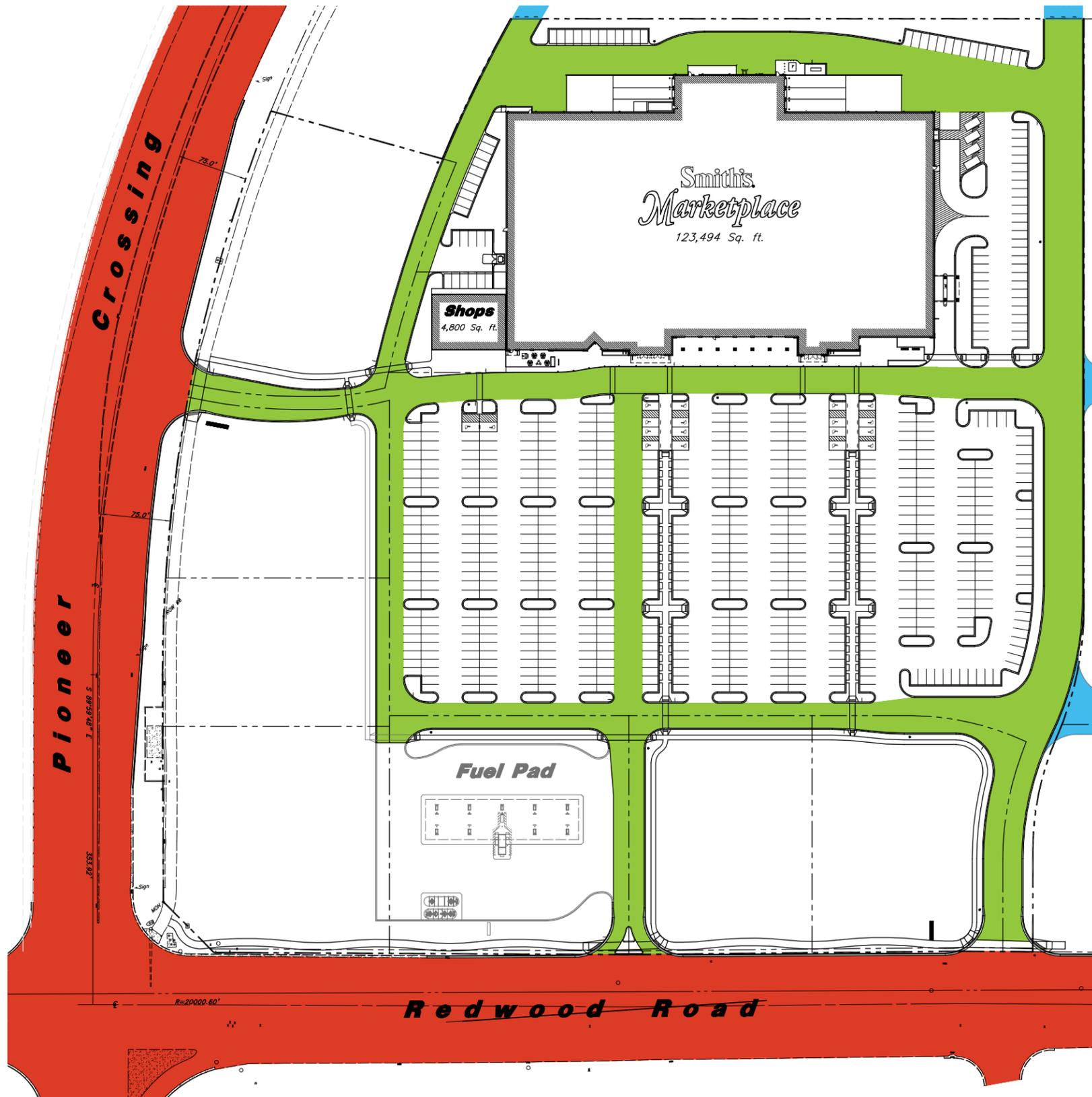
Proposed Fire Hydrant	—FH—
Proposed Water Valve	—WV—
Proposed Water Line	—W—
Proposed Sanitary Sewer	—S—
Proposed Storm Drain	—SD—
Proposed Conduit Line	—C—
Proposed Power Line	—P—
Proposed Gas Line	—G—
Proposed Secondary Water Line	—SW—
Proposed Roof Drain	—RD—
Existing Inlet Box	□
Existing Catch Basin	□
Existing Manhole	○
Existing Fire Hydrant	□ FH
Existing Water Valve	□ WV
Existing Overhead Power Line	—HW—
Existing Water	—W—
Existing Secondary Water	—SW—
Existing Sewer	—S—
Existing Storm Drain	—SD—
Existing Gas	—G—
Existing Power	—P—
Existing Telephone	—T—
Existing Telephone Box	□ TB
Existing Power Meter	□ PM
Existing Electrical Box	□ EB
Existing Electrical Cabinet	□ ECAB
Existing Gas Meter	□ GM
Existing Water Meter	□ WM
Existing Irrig. Control Box	□ ICB
Existing Bollard	• BOL



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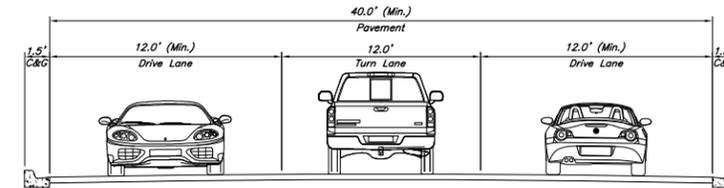


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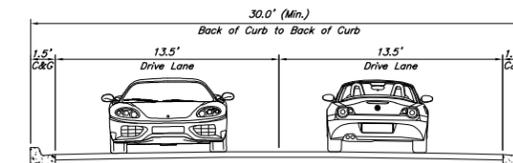


STREETS/ROADS

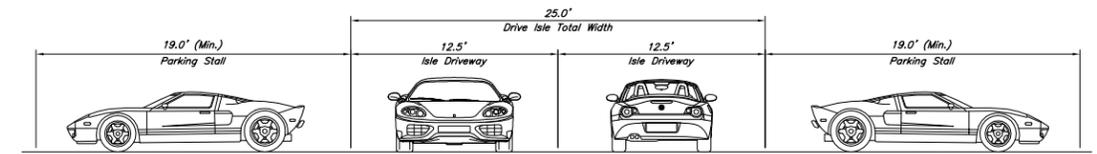
- Public**
- Private**
- Future Private**



**A Main Drive with Turn Lane**



**B Two Way Drive without Parking**



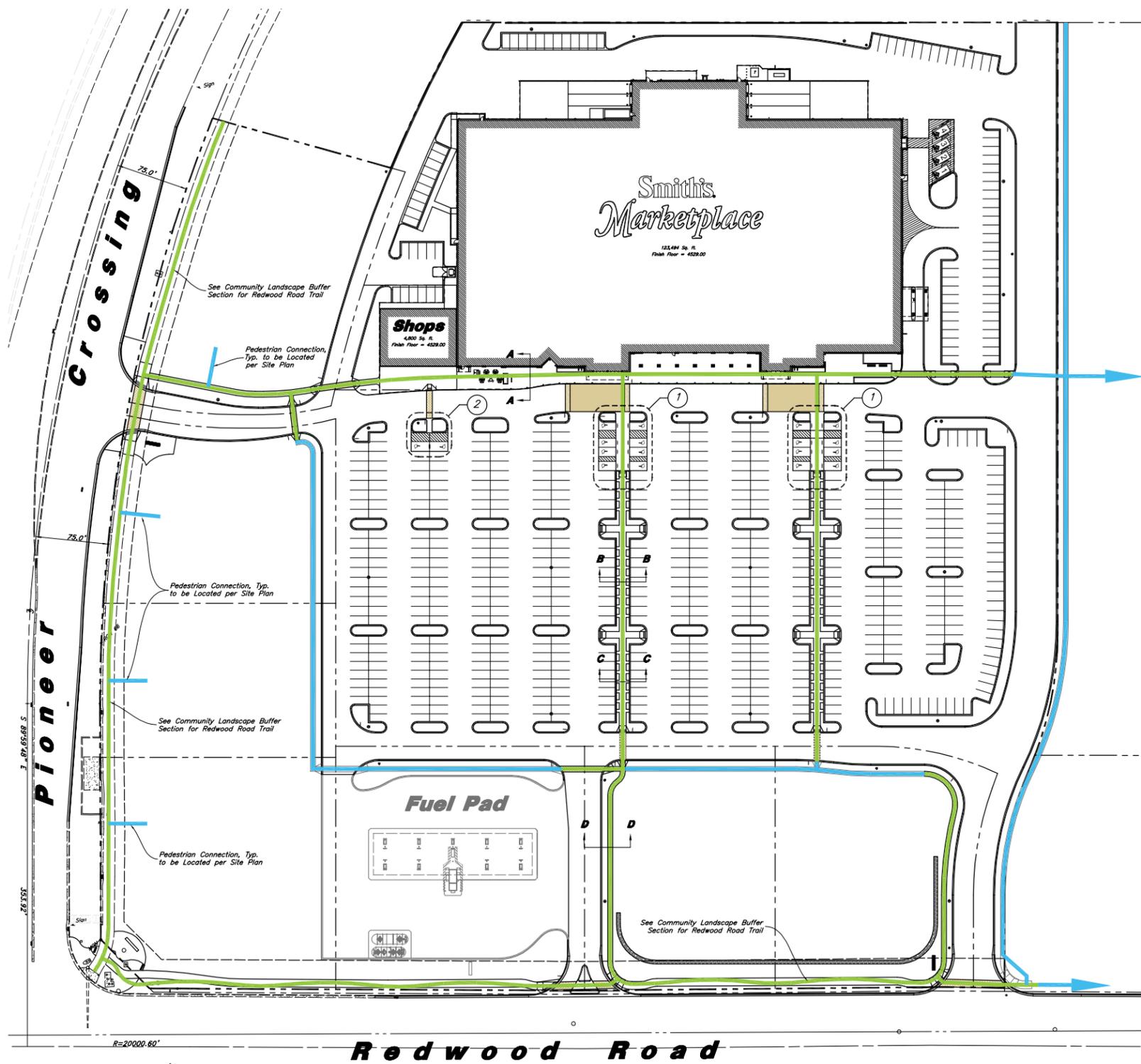
**C Two Way Drive with Parking**



SARATOGA SPRINGS



**BOYER**

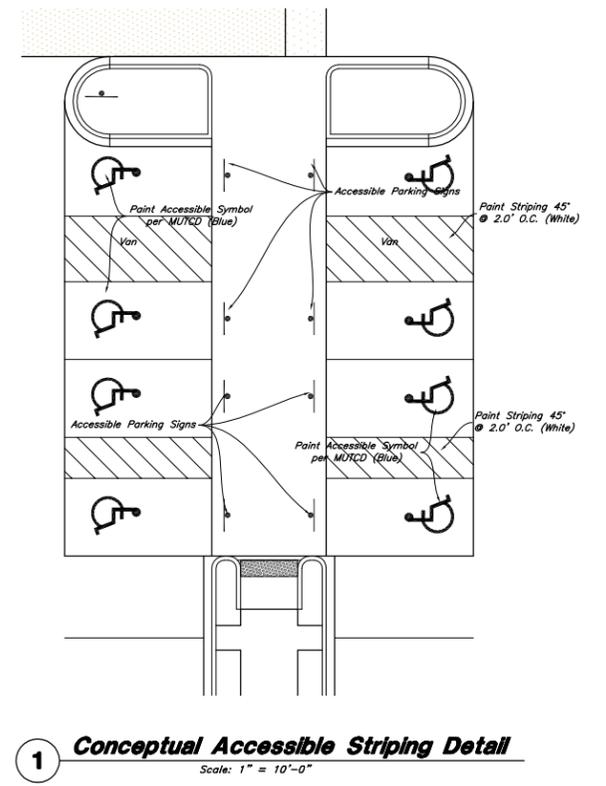
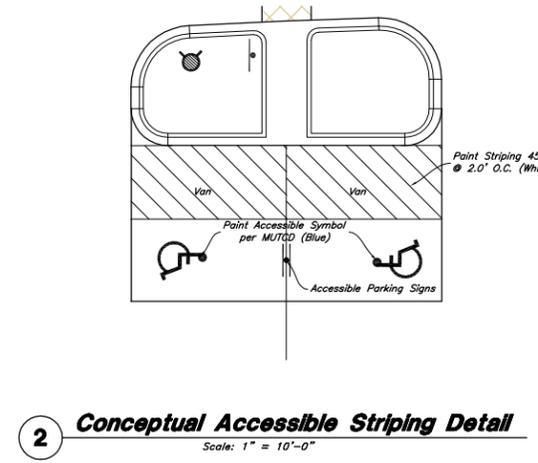
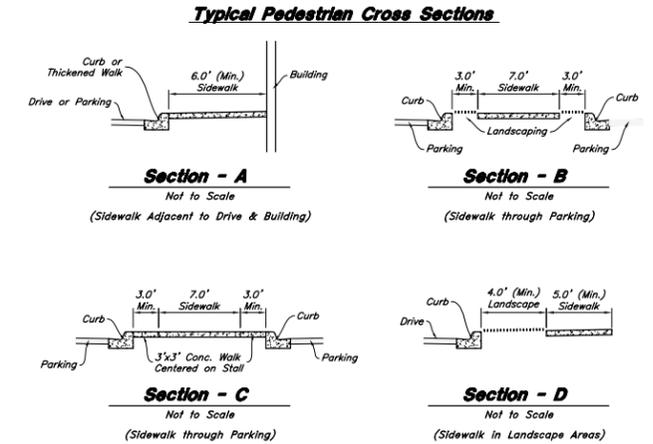


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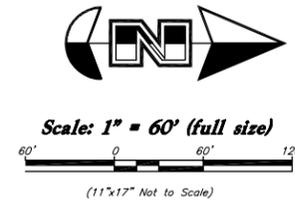
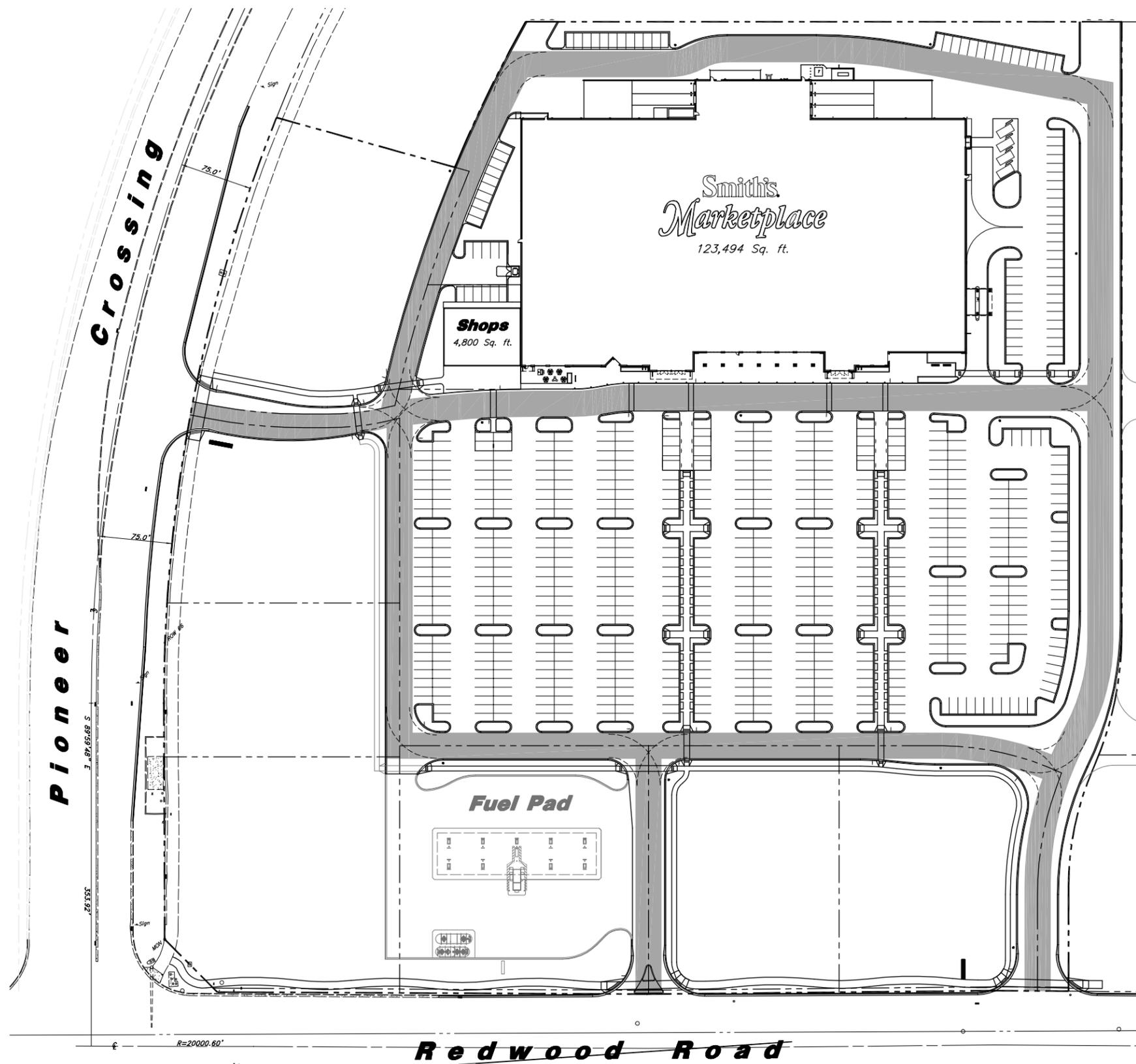
PEDESTRIAN PLAN

- Walkways
- Future Connection\*

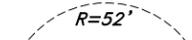
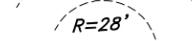
\*Note: A safe Pedestrian Connection must be provided to each pad; locations shown are conceptual and actual location may vary.  
 Minimum width for a concrete sidewalk is 5' (feet).



No density transfers are applicable or provided.



**Legend**

-  Fire Lane Limits
-  Typical Turning Radius
-  Typical Turning Radius
-  Fire Hydrant
-  Existing Fire Hydrant

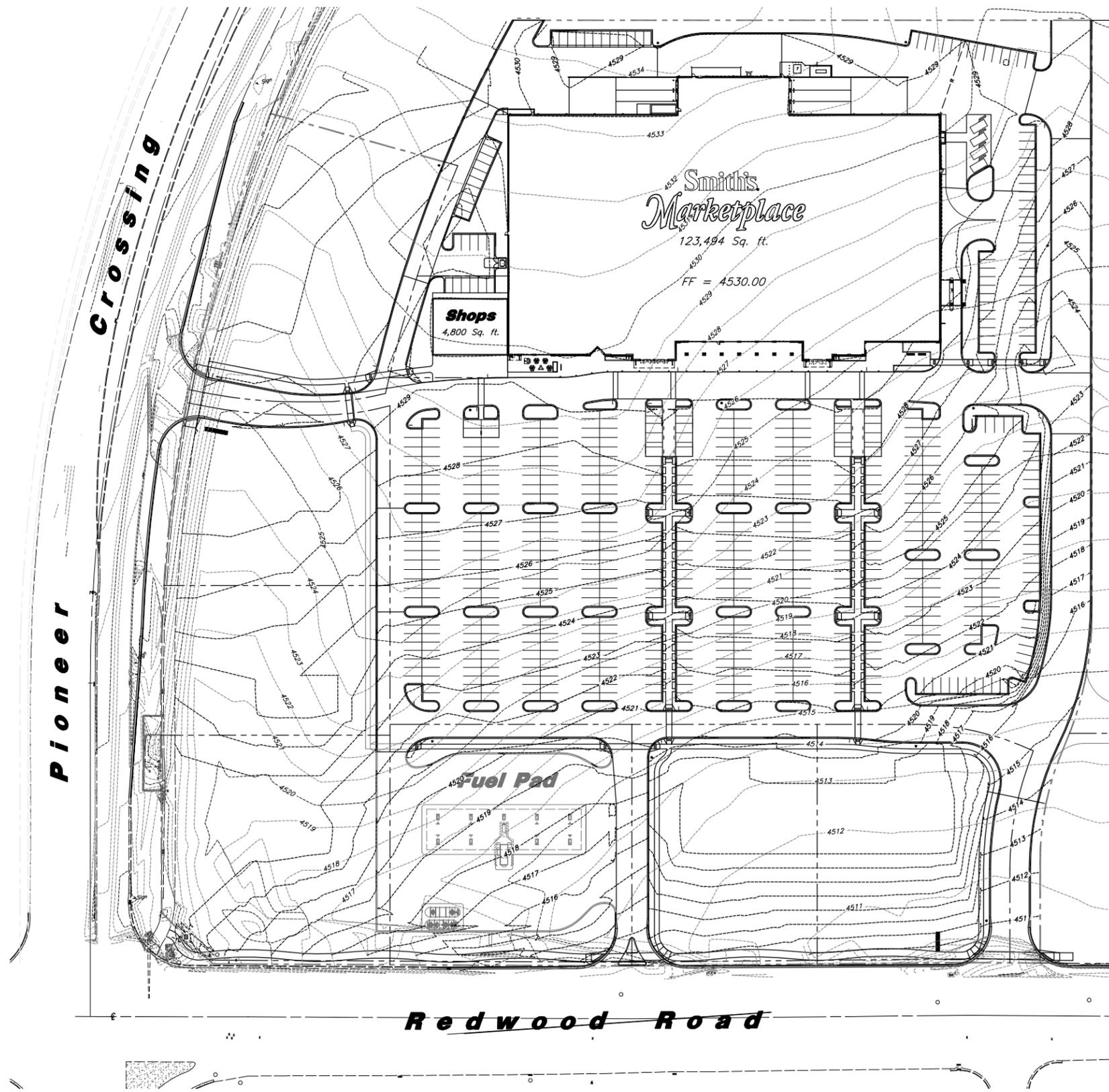
*Fire Lane Notes:*

1. Minimum fire lane width shall be 20 feet.
2. Fire lane width shall be 26 feet at hydrants.
3. Fire lane shall be asphalt or concrete, capable of supporting the imposed load of fire apparatus weighing at least 75,000 pounds.
4. Minimum turning radius shall be 28 feet inside and 52 feet outside.
5. Maximum slope for fire lane shall be 10%.



SARATOGA SPRINGS





Storm Drainage for each lot of the Village plan will be determined individually per current Saratoga City requirements. Detention shall be provided in an above ground pond or underground storage system.

Storm Water Treatment Systems shall be constructed at all new points of connection to the City's Storm Drain System and prior to any discharge to a drainage, river, or lake. Treatment systems shall meet the following criteria:

- a. Treatment systems shall be designed to treat all of the flow from developed areas with no bypass into the City storm water system of the treatment design storm parameters.
- b. Systems shall be designed to remove all of the oils and floatables from the storm water and 80% of the total suspended solids (TSS) 110 microns or larger.
- c. Systems shall be sized to treat 100% of the first flush (5-year storm event) and to pass the 100 year peak flow with no washout.

**Detention Systems:**

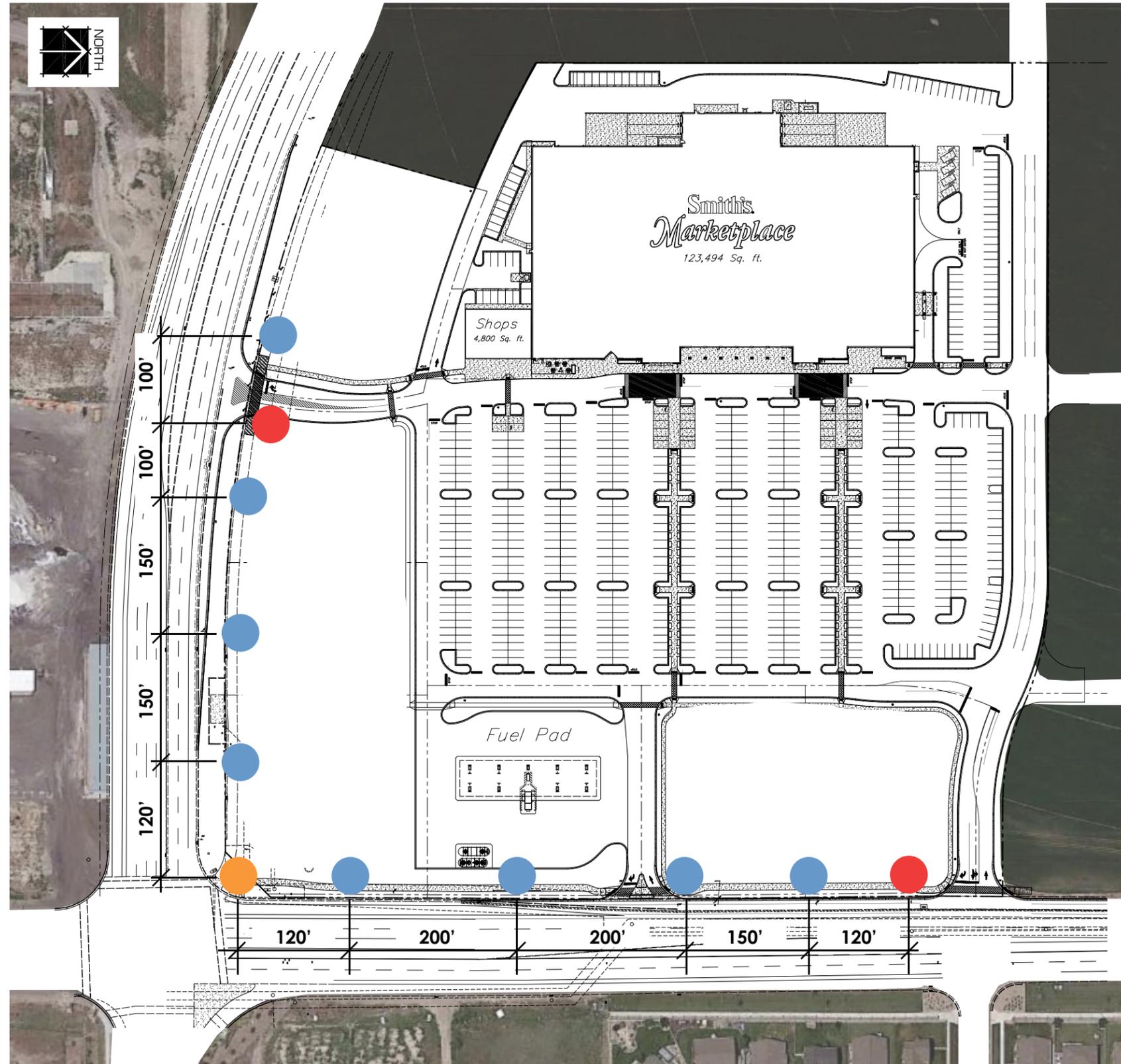
- a. The capacity of all detention systems shall be sufficient to contain the anticipated runoff volume from a 100-year 24-hour storm event over those portions of the gross aggregate area under design; with a maximum release of 0.2 cfs/acre or the historic flow rate, whichever is less.
- b. Systems shall be constructed as described and as shown in the City's Standards.
- c. Low flows, where applicable, shall be piped through the detention system.
- d. Detention system capacity may not be reduced for infiltration or evaporation rates.
- e. Retention systems are no permitted. All systems must have both an outfall and overflow system.
- f. Ponds are to be landscaped per City's Standards.
- g. Provide access roads to all inlet/outlet structures.
- h. All ponds shall have a minimum of 1' of free board above the 100 year high water elevation.
- i. Maximum interior and exterior slopes shall be 3:1.
- j. Detention areas may not be located within residential lots.
- k. Detention areas shall be a minimum of 10' from property lines.
- l. Underground systems shall have impermeable liners and shall not be permitted to infiltrate.



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### SIGNAGE LEGEND

Section 19.18 Sign Regulations shall govern. Dimensions shown on the diagram at the left are proposed spacing. Actual locations may vary but may not deviate from the minimum spacing outlined in Section 19.18. The terms "Pedestal Sign" and "Pylon Sign" shall be synonymous and are permitted.

- Monument Sign
- Pedestal/Pylon Sign
- Project Identification Sign

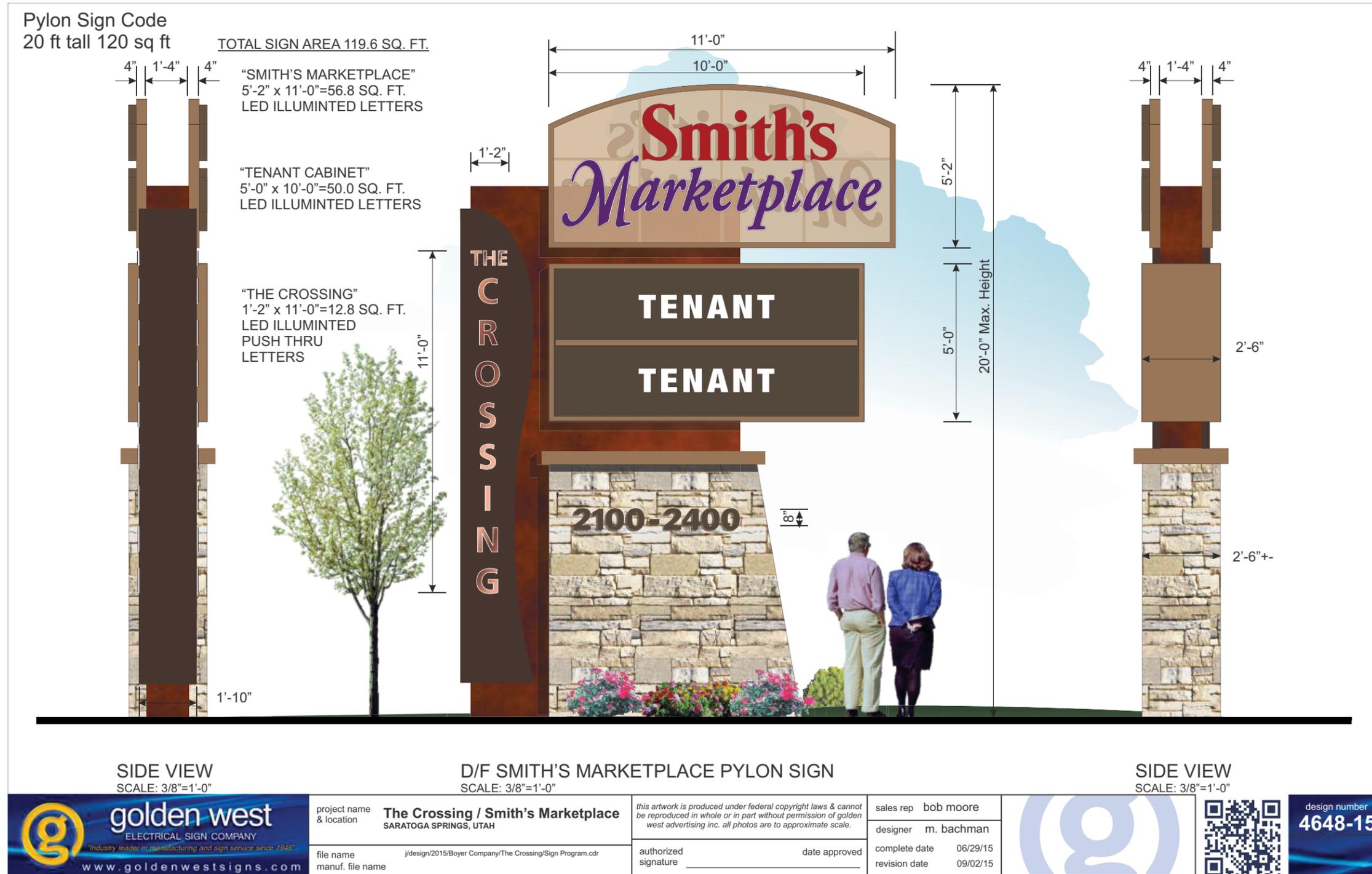


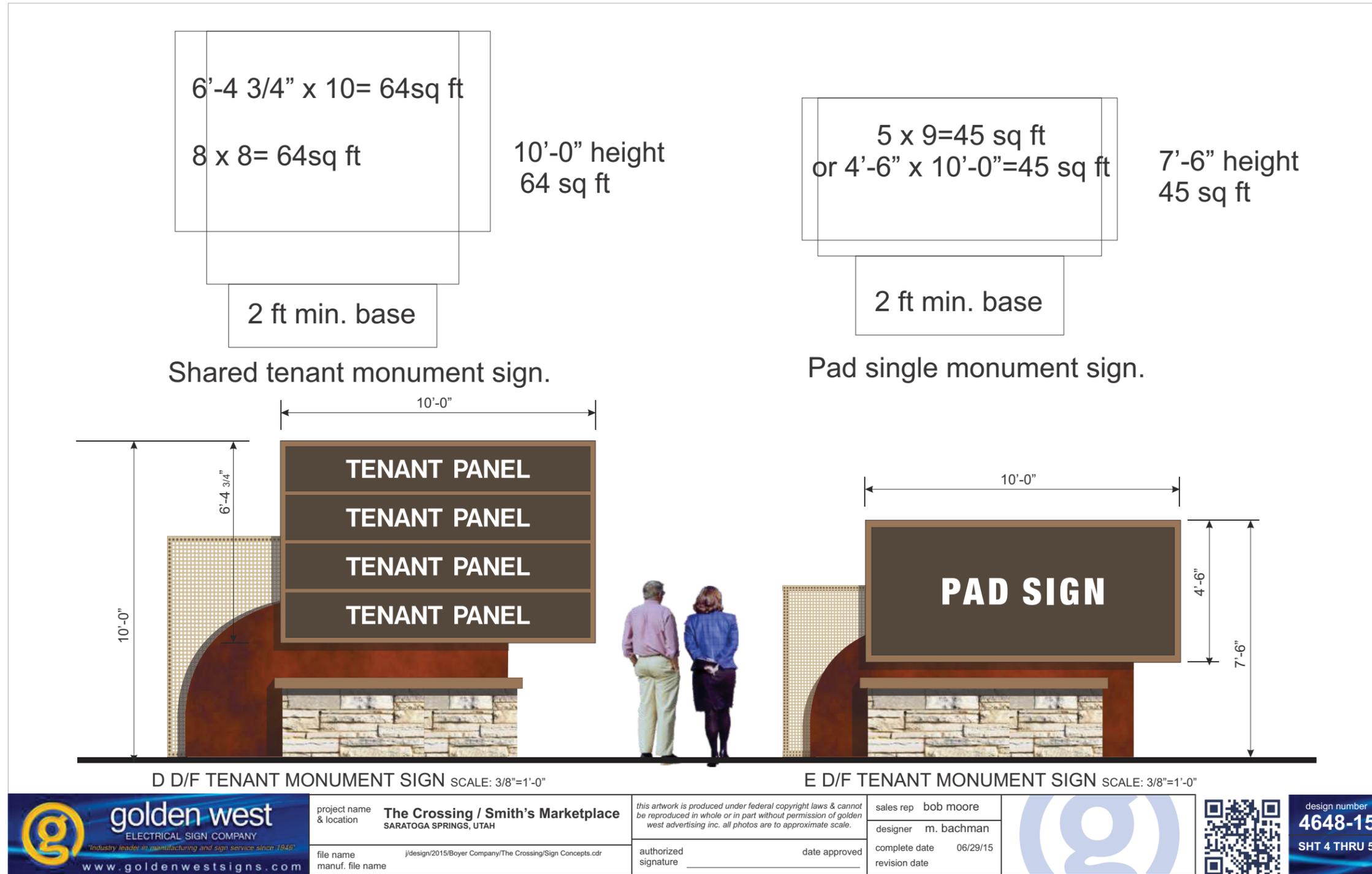
Conceptual Project Identification Sign

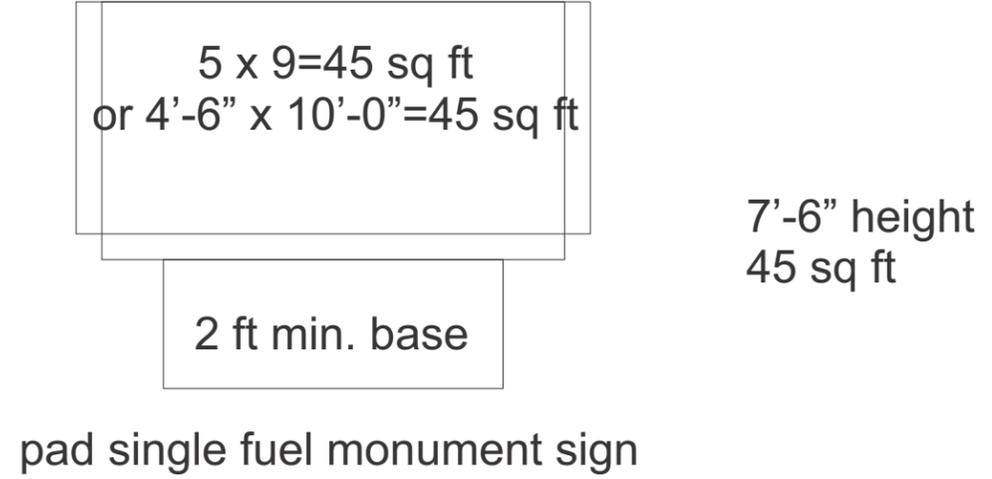


SARATOGA SPRINGS



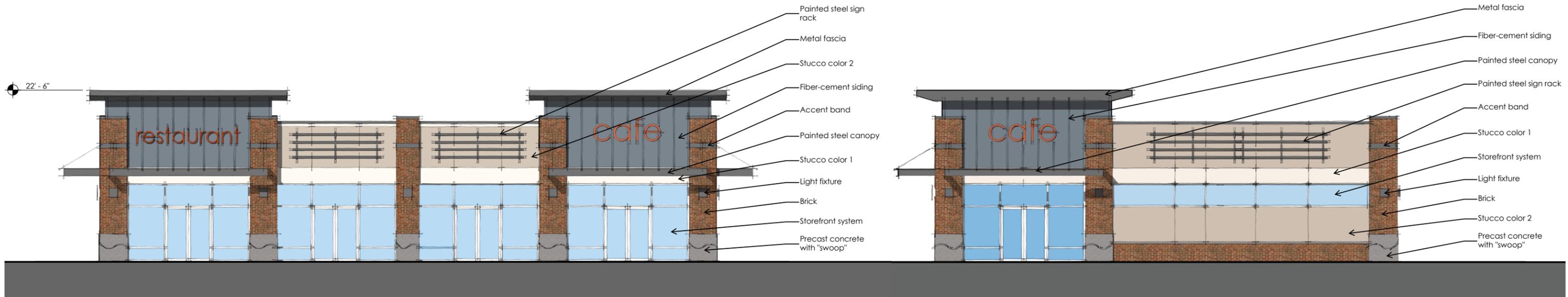




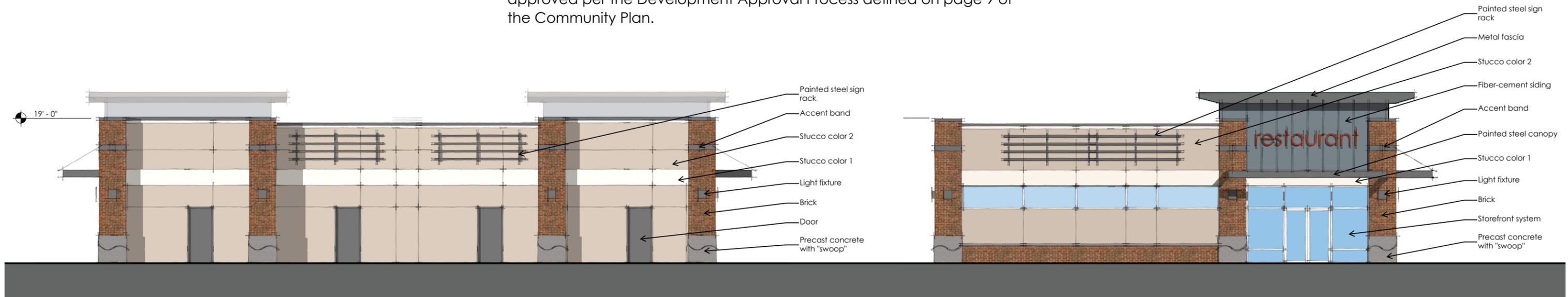


<p>golden west ELECTRICAL SIGN COMPANY www.goldenwestsigns.com</p>	<p>project name &amp; location <b>The Crossing / Smith's Marketplace</b> SARATOGA SPRINGS, UTAH</p>	<p><small>this artwork is produced under federal copyright laws &amp; cannot be reproduced in whole or in part without permission of golden west advertising inc. all photos are to approximate scale.</small></p>	<p>sales rep bob moore</p>		<p>design number <b>4648-15</b></p>
	<p>file name jdesign\2015\Boyer Company\The Crossing\Sign Concepts.cdr</p> <p>manuf. file name</p>		<p>designer m. bachman</p> <p>complete date 06/29/15</p> <p>revision date</p>		<p>authorized signature _____</p> <p>date approved _____</p>



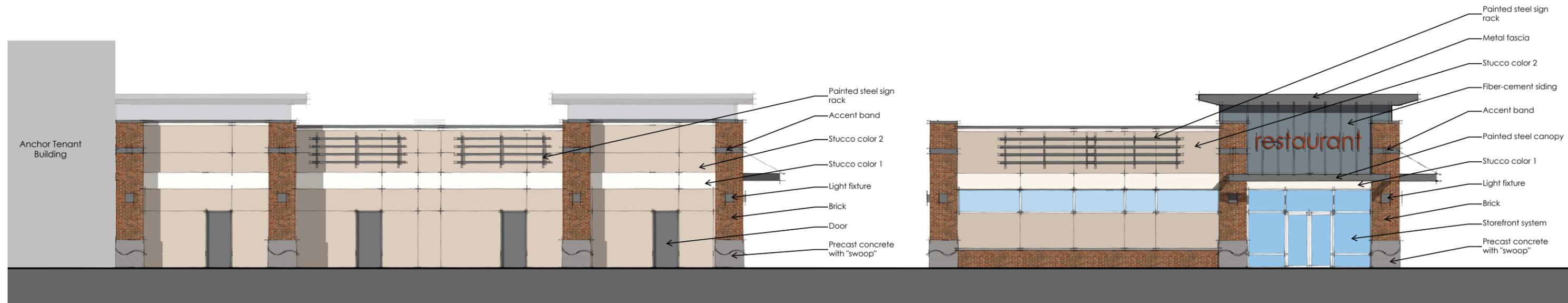


Note:  
Elevations are conceptual only and illustrate potential ways of incorporating the design guidelines outlined in Exhibit 5 of the Community Plan. Actual elevations will vary per lot and must be submitted and approved per the Development Approval Process defined on page 9 of the Community Plan.



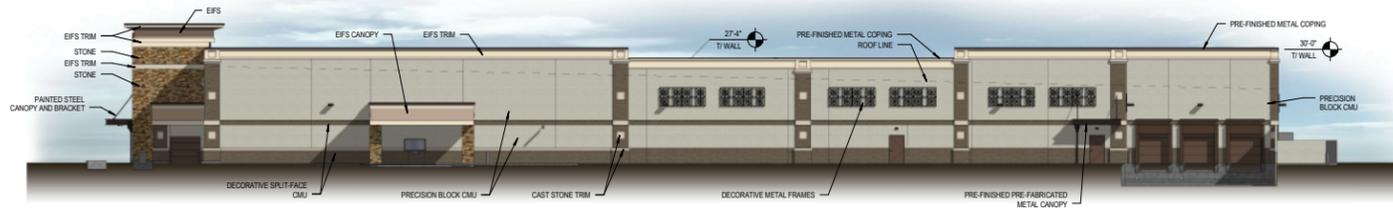


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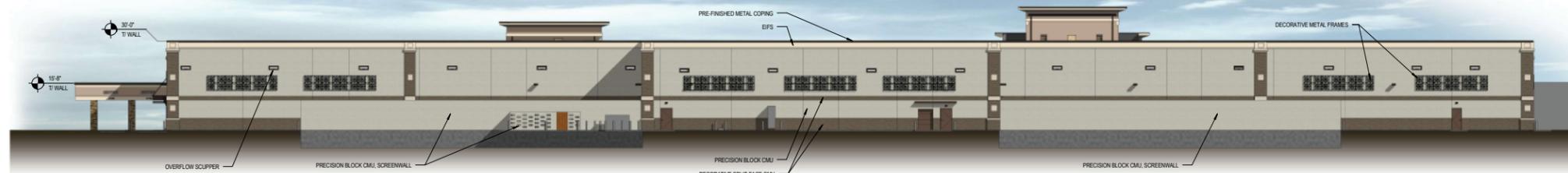




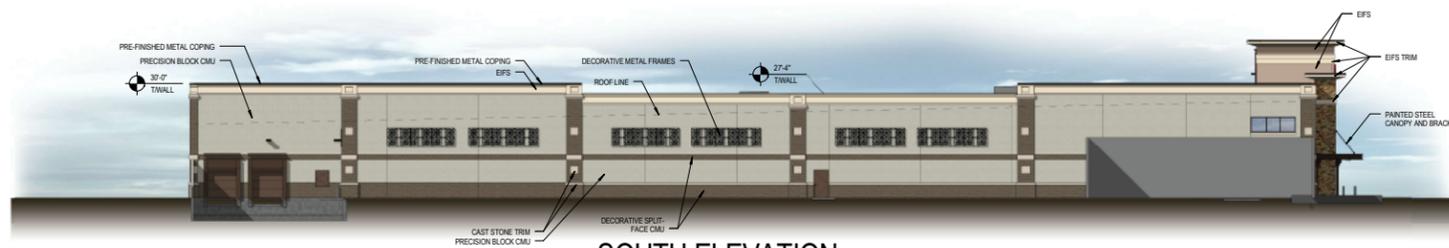
EAST ELEVATION



NORTH ELEVATION



WEST ELEVATION



SOUTH ELEVATION

SMITH'S STORE SM207

Saratoga Springs, UT

515414



Elevations are conceptual only and changes may be necessary to comply with CP/VP/Code standards. Final approval of elevations to be provided at Site Plan Approval application.



SARATOGA SPRINGS





SMITH'S STORE SM207

Saratoga Springs, UT

K515414



Elevations are conceptual only and changes may be necessary to comply with CP/VP/Code standards. Final approval of elevations to be provided at Site Plan Approval application.

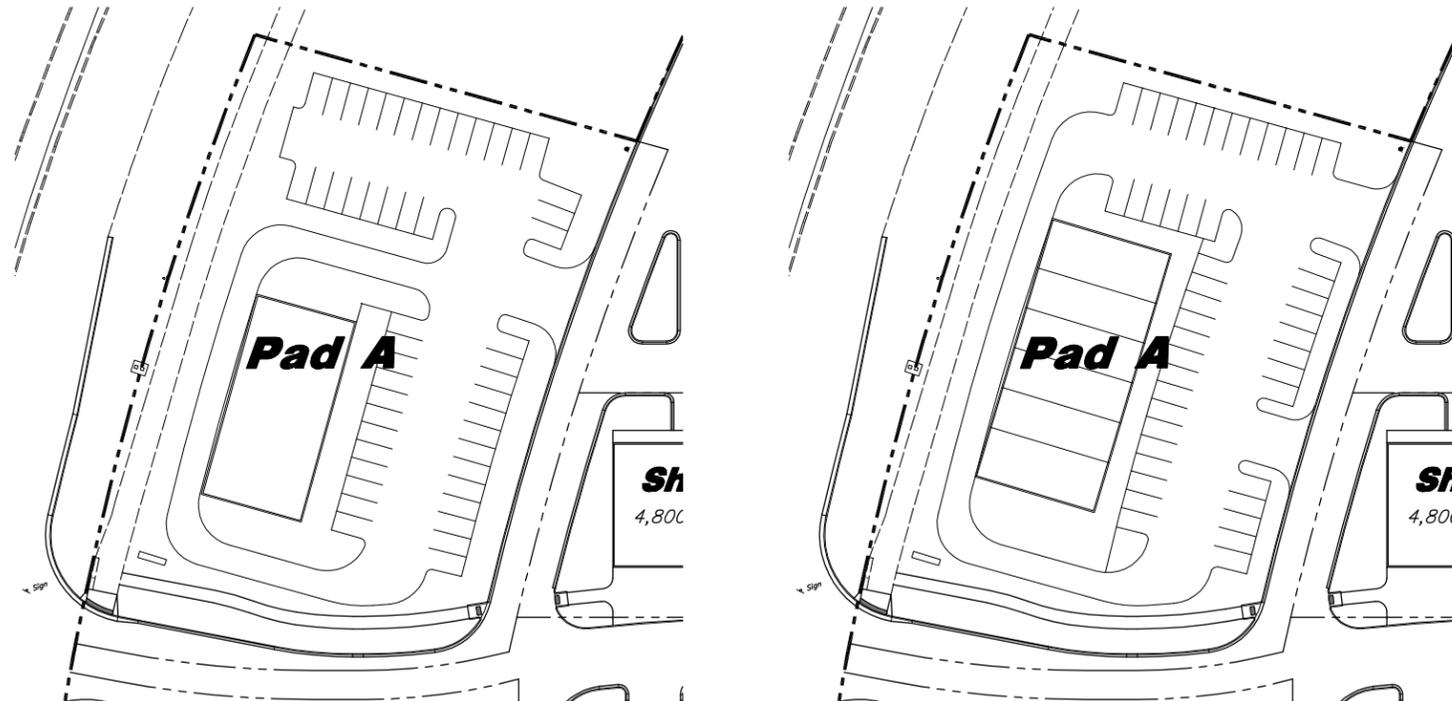
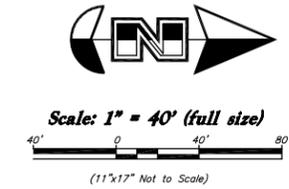


SARATOGA SPRINGS

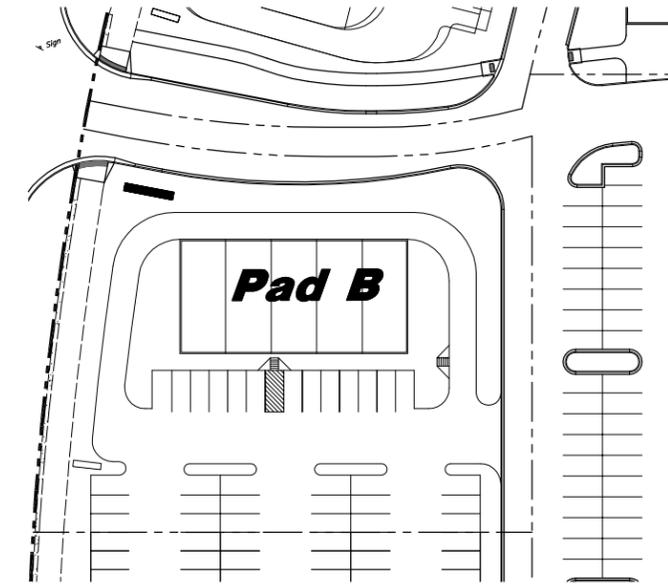
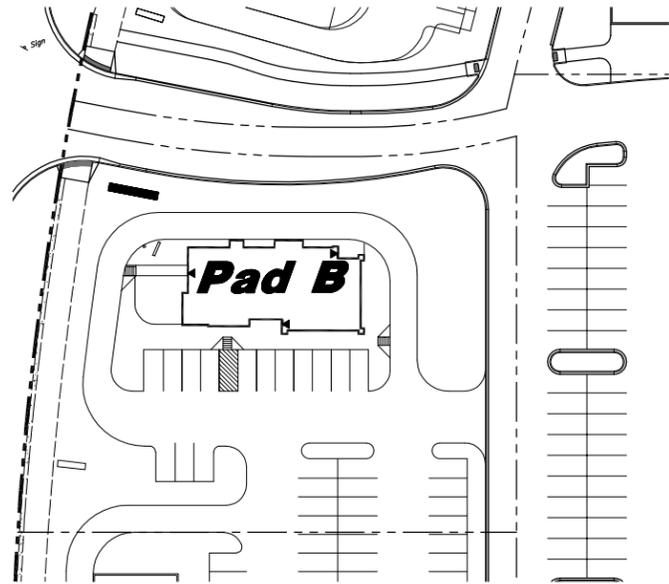
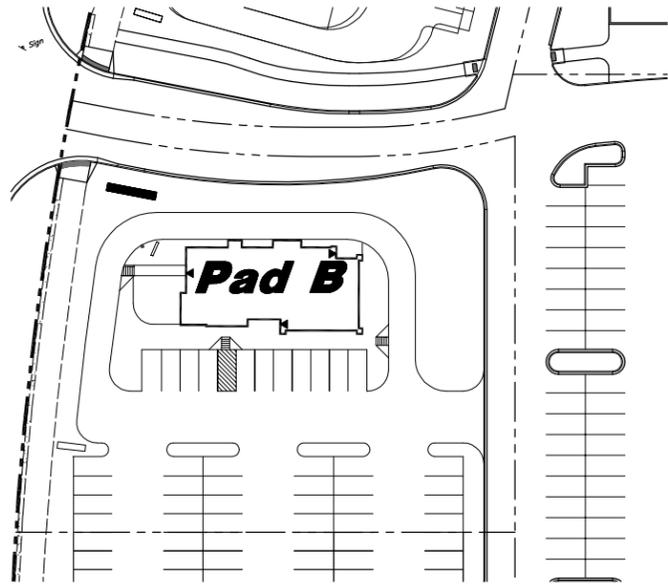
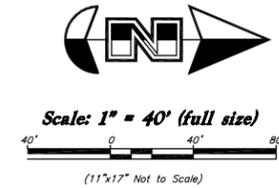




**Note:**  
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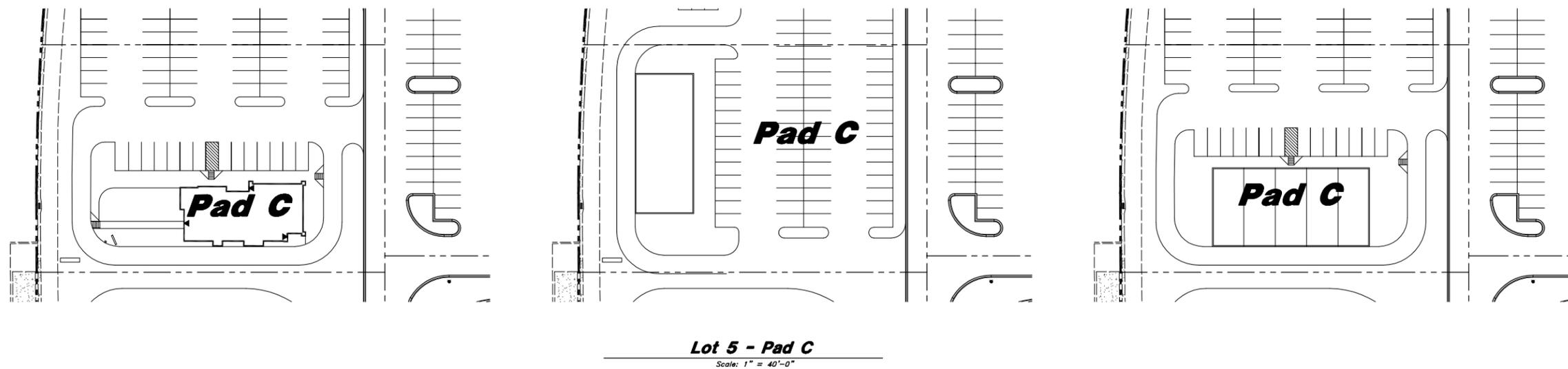
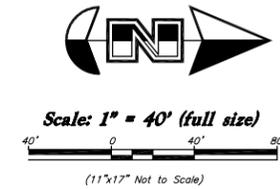


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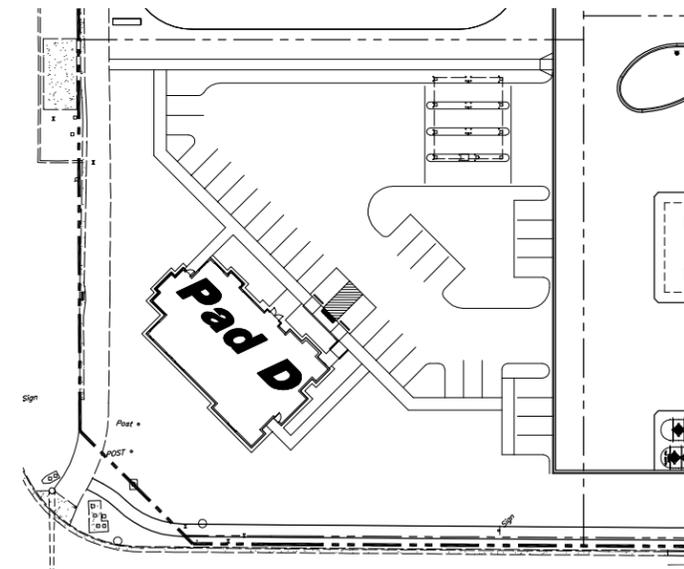
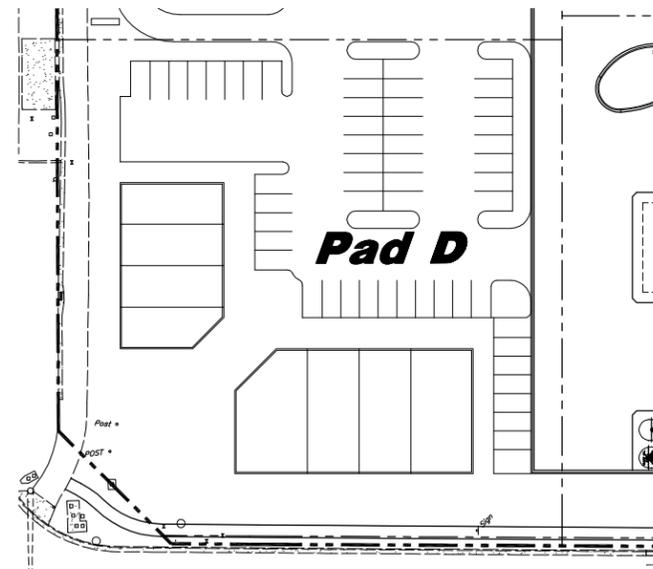
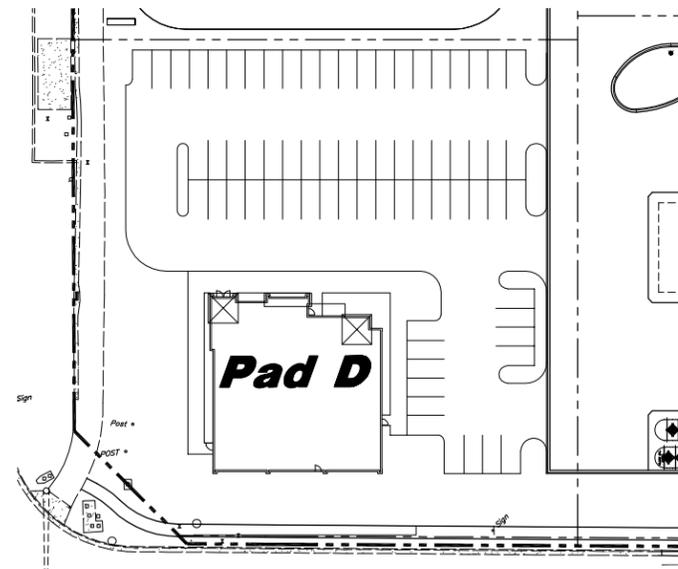
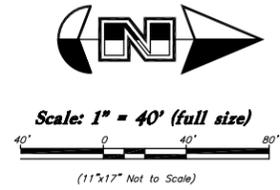


**Lot 4 - Pad B**  
Scale: 1" = 40'-0"

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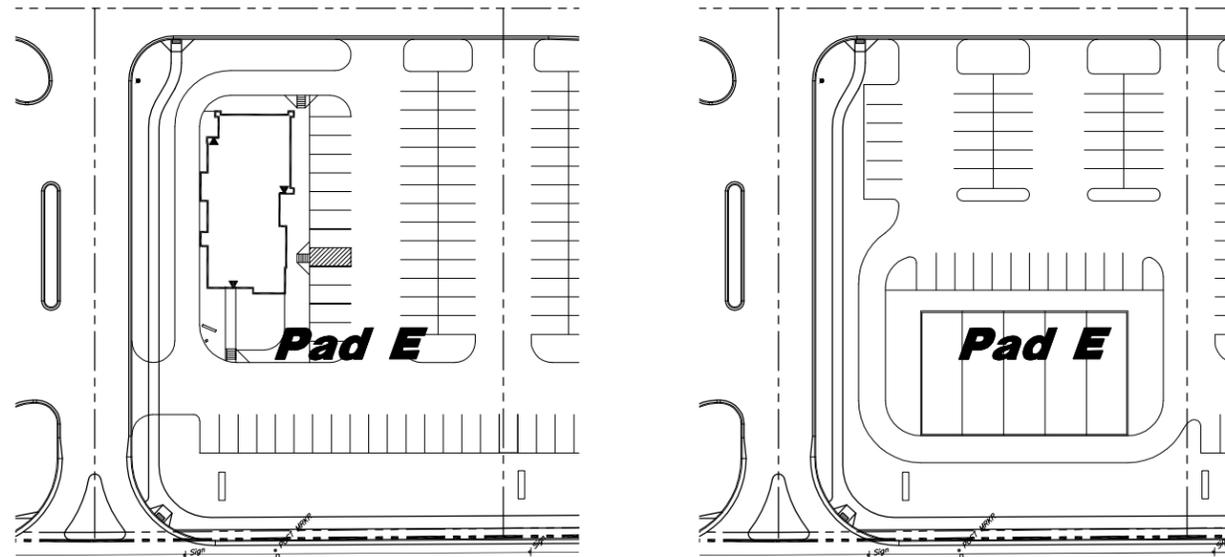
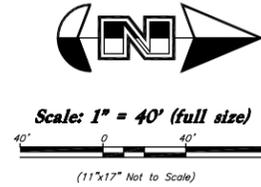


**Note:**  
*Building and Parking Layouts are conceptual and are subject to all development requirements and approvals. Staff may require full review and approval of any site plan by the City Council should a proposal not meet the specified design requirements listed in the Village Plan.*



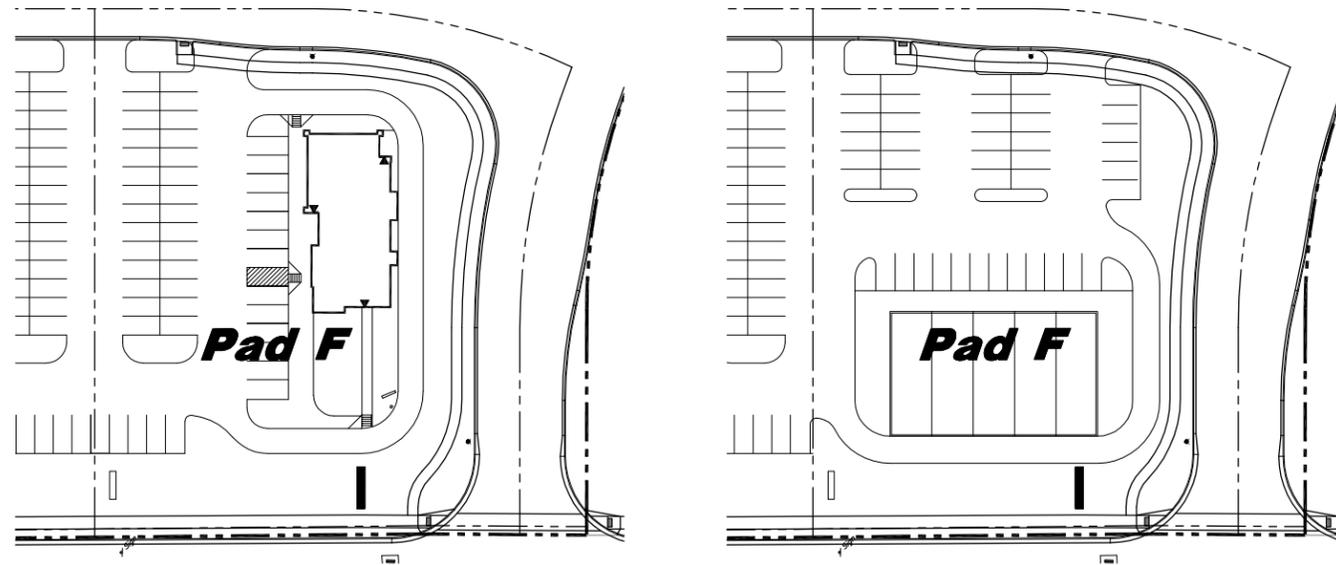
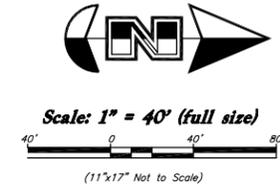
**Lot 6 - Pad D**  
 Scale: 1" = 40'-0"

**Note:**  
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**Lot 7 - Pad E**  
Scale: 1" = 40'-0"

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**Lot 8 - Pad F**  
Scale: 1" = 40'-0"

**SENSITIVE LANDS**

There are no sensitive lands within the project boundaries.

**WATERWAYS**

There are no waterways within the project boundaries.

**FAULT LINES & GEOLOGICAL INFORMATION**

The proposed project site is located within the Intermountain Seismic Belt, a seismically active region that extends from Arizona to Montana (Smith and Arabasz, 1991). Biek (2004) has mapped traces of the Jordan Fault approximately 0.5 miles east of the site. Active faults in the region are potential sources for seismic loading hazards at the site. A fault is considered to be active if displacement has occurred within the past 10,000 years. Based on our soils investigation and subsequent analysis, the subsurface soils at the site correspond with a Site Class D. In conjunction with the ground shaking potential of large magnitude seismic events as discussed previously, the site also possess a high potential for liquefaction during a seismic event.

**GENERAL SOILS DATA**

A geotechnical investigation was performed by Kleinfelder. The report indicates that the site is suitable for construction. The soils consist of clays and silts overlain with topsoil. Groundwater was encountered 17 feet below the surface.

**SLOPES**

The site currently slopes from West to East at approximately 3%. No slopes greater than 30% exist on the site.

**Findings for Village Plan per Section 19.26:**

- a. This Village Plan for Phase I as presented is consistent with the adopted Community Plan; this first phase is critical to set the tone and the energy for the remainder of the project. This Village Plan is situated on the corner of Pioneer Crossing and Redwood Road with views and access from both major arterials. Taking the vocabulary of the Community Plan we have carried through the Village Plan, the critical design elements including the branding we have created with a relaxed swoop that is replicated in the project signage, landscaping, sidewalk furniture and building elevations. Perhaps the most identifying design element will be the Project Identification Sign at the corner of the intersection.
- b. This Village Plan anticipates a maximum square footage of 430,961 square feet at full build out. The utilization of the maximum Floor Area Ratio and total build out will be achieved over an extended period of time as the project grows with the community. The Community Plan anticipated this scenario and planned for the ultimate build out at not to exceed 430,961 square feet.
- c. The Equivalent Residential Units of 199 units is consistent with the community plan that contemplated this first phase Village Plan. This Village plan does not exceed the total number of equivalent residential units dictated in the adopted Community Plan and does not anticipate a need for a transfer of density per the provisions of the Community Plan. Consistent with finding b above, the realization of all of the allowable residential units will be absorbed over time as the project matures and Floor Area Ratio expands.
- d. This Village Plan is consistent with the utility, infrastructure, and circulation plans of the Community Plan; includes adequately sized utilities, services, and roadway networks to meet demands; and mitigates the fair-share of off-site impacts. The Village Plan anticipates the transmission of a 48 inch sewer line to be either built or accommodated as called out in the Community Plan. Also, future capacity for Secondary Water Lines and future phases are addressed.
- e. This Village Plan properly integrates utility, infrastructure, open spaces, pedestrian and bicycle systems, and amenities with adjacent properties; and contains the required elements as dictated in Section 19.26.10; and meets the minimum required open space of 11-14% in the adopted Community Plan, and adopted District Area Plan.

WETLANDS

There are no existing wetlands within the project boundaries.

HISTORICAL SITES

There are no historical sites within the project boundaries.

ENDANGERED PLANTS

The site is currently being farmed. There are no endangered plants within the project boundaries.

This is a conceptual estimate prepared prior to receiving surveys or preliminary design plans and will change upon completion of these items.

**Components**

Item No.	Description	Quantity	Unit Price	Cost
<b>Earthwork</b>				
1	Cut, Place, Compact	1 LS	\$75,000.00	\$75,000.00
2	Clearing and Grubbing	25,089 SF	\$0.09	\$2,258.01
3	Fine Grading	25,089 SF	\$0.12	\$3,010.68
<b>Subtotal</b>				<b>\$80,268.69</b>
<b>Site Improvements</b>				
4	Heavy Duty Asphalt Paving and Base	29,992 SF	\$3.50	\$104,972.00
5	Concrete Paving	531 SF	\$7.50	\$3,982.50
6	30" Standard Curb and Gutter	2,322 LF	\$16.00	\$37,152.00
7	Concrete Sidewalk	4,998 SF	\$5.00	\$24,990.00
8	ADA Ramp	8 EA	\$1,000.00	\$8,000.00
9	Street Light Poles	5 EA	\$9,000.00	\$45,000.00
10	Striping and Traffic Signage	1 LS	\$5,000.00	\$5,000.00
11	Landscaping with Irrigation	SF	\$4.25	\$0.00
<b>Subtotal</b>				<b>\$229,096.50</b>
<b>Storm Drain</b>				
13	24" RCP	800 LF	\$50.00	\$40,000.00
14	UDOT Inlet Box	3 Each	\$5,000.00	\$15,000.00
<b>Subtotal</b>				<b>\$55,000.00</b>
<b>Subtotal</b>				<b>\$364,365.19</b>
<b>15% Contingency</b>				<b>\$54,654.78</b>
<b>TOTAL</b>				<b>\$419,019.97</b>