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7-1-2014



LEGACY FARMS

COMMUNITY PLAN

MARCH 23, 2015

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7-1-2014



LEGACY FARMS
COMMUNITY PLAN

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INTRODUCTION -Community Plan

Community Plans define the structure of future neighborhoods, urban districts, and rural settlements. A network of streets is designed to define blocks, within which future development will occur. Each block is subject to further and more detailed plan submissions which determine the final layout and character.

Community Plans provide the City with short-term growth projections, including phasing and arrangement of use intensities, but do not define specific land uses.

With this Community Plan the approach is being taken to capitalize on work done previously by Property Reserve Inc./ Suburban Land Reserve Inc. (PRI/SLR) in the creation of a model land-use and development code. In that work Duany Plater-Zyberk (DPZ) was hired to develop a model land plan and model planning, design and development code to guide the process associated with assembling future community and Village Plans as required by the Planned Community Zone.

The basis for this Community Plan is to work from the "blue print" structure created by DPZ to provide the substance and process that is necessary to objectively measure project submittals. In that defined structure, along with the identified requirements for a Community Plan under the PC Zone requirements, the objectives consist of the following:

- Assignment of ERUs for the subject neighborhood
- Establishment of thoroughfare standards
- Establishment of neighborhood level thoroughfare network
- Establishment of neighborhood blocks
- Establishment of community and neighborhood level open space
- Assignment of ERU ranges within individual neighborhood blocks
- Establishment of design standards guiding neighborhood character & theme and building architecture

GUIDING PRINCIPLES

The design and planning for Legacy Farms has taken to heart the creation of a community that will embrace its residents by providing a healthy, social and active lifestyle. Legacy Farms implements the following principles in its community design:

- Compact and pedestrian oriented neighborhood
- Pedestrian proximity and distances to community features and amenities
- Inter-connected network of thoroughfares which disperses traffic and reduces the length and need of vehicle trips
- A range of housing types, sizes, and price levels which accommodates a diverse range of ages and incomes
- A variety of open space that is distributed within the neighborhood

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Community Plan

EXHIBIT 1 - Findings Statement

Legacy Farms is a 182-acre project and is the first phase of the approximately 3000-acre SLR property in Saratoga Springs. As part of the Saratoga Springs City Center District Area Plan (DAP) the project is designated as a Traditional Neighborhood under the Planned Community (PC) Zone. The Legacy Farms Community Plan is compliant with all PC Zone requirements for Community Plans as defined in title 19.26.05 of the Saratoga Springs Municipal Code.

a. Legacy Farms is consistent with the goals, objectives, and policies of the General Plan, with particular emphasis placed upon those policies related to community identity, distinctive qualities in communities and neighborhoods, diversity of housing, integration of uses, pedestrian and transit design, and environmental protection;

The plan for Legacy Farms strives to create a memorable residential experience by establishing a strong identity through community theming based upon the rich agrarian legacy in Saratoga Springs, architectural purity, housing diversity, and the integration of unique community amenities in a highly walkable environment.

b. Legacy Farms does not exceed the number of equivalent residential units (ERU's) and square footage of nonresidential uses of the General Plan;

Legacy Farms contains a maximum of 1,055 ERU's and is consistent with a distribution by percentage of acreage and entitled units calculation under the Saratoga Springs City Center DAP. The DAP establishes an overall entitlement of 16,000 ERUs on the 3000-acre property. Legacy Farms constitutes 6.1% of the total acreage within the DAP. Using the same percentage applied to 16,000 ERUs ($16,000 \times .061 = 976$), the 1,055 ERU maximum for Legacy Farms is mathematically consistent with an equitable distribution of units across the property.

c. Legacy Farms contains sufficient standards to guide the creation of innovative design that responds to unique conditions;

The standards contained in this Community Plan establish design direction for all community-wide features and amenities. Community open space was configured to accommodate some unique off-site frontage conditions and Tickville Wash. The Architectural Standards present an innovative design approach to incorporate historic Utah styles.

d. Legacy Farms is compatible with surrounding development and properly integrates land uses and infrastructure with adjacent properties;

Special attention was paid to edge conditions, especially where future development abuts existing development. Proposed land uses in these adjacent areas are compatible in terms of density/intensity of use and form. During the design process our planning team discussed the 20' buffer requirement in Section 19.26.06.5 with City Staff and members of the Planning Commission and City Council. It was determined collectively that because of safety concerns with such a narrow corridor, it would be better served to locate this open space and pedestrian facility on-street. Therefore the south and east side of Sherwood Drive contains a 22' wide enhanced pedestrian corridor, comprised of a 8' trail and a 14' landscape park lawn.

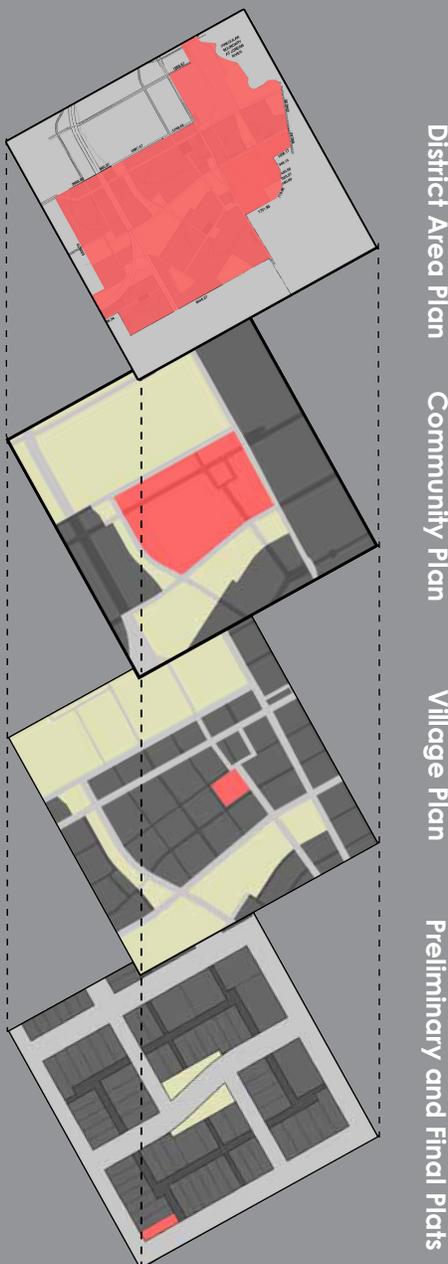
In addition, primary residential structures are not permitted within 20' of the property boundary along the perimeter that abuts existing development.

e. Legacy Farms includes adequate provisions for utilities, services, roadway networks, and emergency vehicle access; and public safety service demands will not exceed the capacity of existing and planned systems without adequate mitigation;

f. Legacy Farms is consistent with the guiding standards listed in Section 19.26.06; and contains the required elements as dictated in Section 19.26.07

COMMENTARY

The diagram below illustrates how the PC Zone regulates development from large scale future land use planning to the regulation of individual buildings and lots. The diagram starts with District Area Plans, indicating in red the area of a Community Plan and then the subsequent steps required to get down to the lot level.



PC ZONE

The Legacy Farms Community Plan, consistent with the criteria established in Section 19.26.07 of the planned community Zone (PC Zone), refers to 4 levels of plans: *District Area Plans*, *Community Plans*, *Village Plans*, and *Preliminary and Final Plat*.

District Area Plan

District Area Plans establish neighborhood boundaries, primary *thoroughfares*, general locations for schools, major civic institutions, regional open space, and *special districts*

- a. *District Area Plans* are prepared by the landowner, their agents or designee, in consultation with the Planning Department, and all affected municipal entities
- b. The City Council has approval authority over *District Area Plans*, after review and recommendation from Planning Commission
- c. *District Area Plans* are regulated by Section 19.26.13 of the Saratoga Springs municipal code
- d. The Saratoga Springs City Center District Area Plan, that governs the Legacy Farms Community Plan, was adopted by the Saratoga Springs City Council in August 2010

Community Plan

Community Plans establish *block type* boundaries, secondary *thoroughfares*, *special districts* and *overlay districts*.

- a. *Community Plans* are prepared by the landowner, their agents or designee, in consultation with the Planning Department, and all affected municipal entities
- b. *Community Plans* may include multiple *Village Plans*.
- c. *Village Plans* may be submitted concurrently with *Community Plans*
- d. The City Council has administrative approval authority over *Community Plans*, after review and recommendation from Planning Commission
- e. Each *District Area Plan* includes one, or multiple, *Community Plans*
- f. *Community Plans* must be prepared in a manner consistent with a governing *District Area Plan*.
- g. *Community Plans* are regulated by Section 19.26.06 of the Saratoga Springs municipal code
- h. Text in the *Community Plan*, including text contained in tables, takes precedence over diagrams and illustrations, in case of conflict
- i. Text and images in the *Community Plan* located within boxes labeled "Commentary" are not regulatory. These images and text are intended to assist in the understanding of the terms

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Community Plan

and concepts within this Chapter which may differ from terms and concepts in other similar regulatory documents. Images illustrating Sections of this Chapter demonstrate single concepts and do not demonstrate the combined regulations of each Section or the Chapter as a whole

- j. To the extent the provisions of the Community Plan conflict with the provisions of any other portion of Chapter 19 of the City Code, the provisions of this Community/Village Plan shall take precedence, except as to Local Health and Safety Codes and Local, State, and National Building Codes
- k. Any matters not specifically addressed in the Community Plan will be governed by other applicable regulations and standards as set forth in the City Code

Village Plan

Village Plans establish transect sub-district boundaries, minor thoroughfares, and civic special districts

- a. *Village Plans* are prepared by the landowner and/or their agents or designee, in consultation with the Planning Department
- b. Multiple *Village Plans* may be submitted concurrently
- c. Each *Village Plan* may include one or multiple *Plats*
- d. The City Council has administrative approval authority over *Village Plans*, after review and recommendation from the Planning Commission public hearing
- e. *Village Plans* must be prepared in a manner consistent with a governing *Community Plan*
- f. *Village Plans* are regulated by Section 19.26.10 of the Saratoga Springs municipal code
- g. A Master Development Agreement must be approved with a *Village Plan*

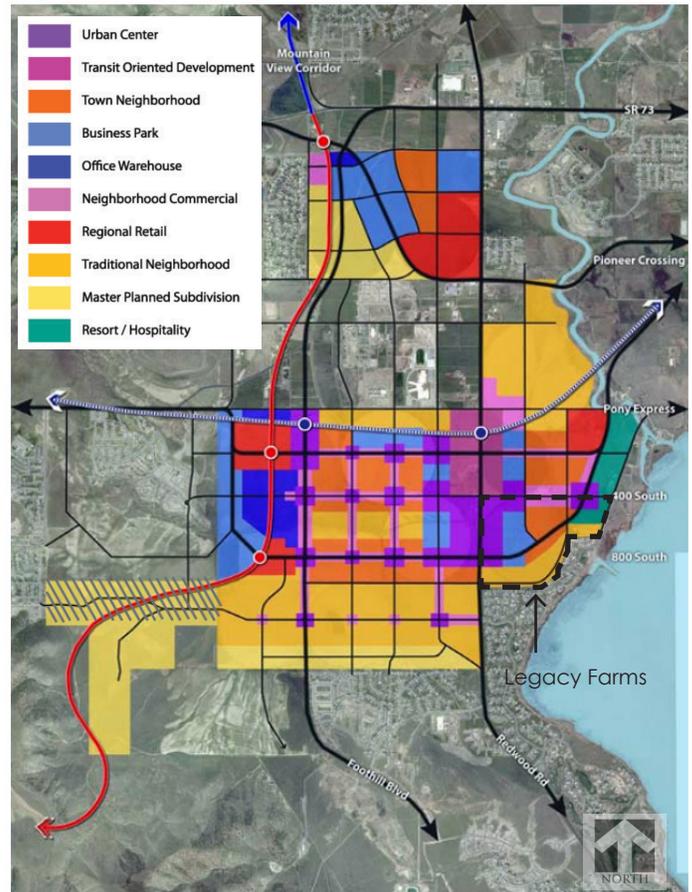
Preliminary and Final Plats

Preliminary and Final Plats pertain to individual lots and establish building placement, form, materials, sitework, landscaping, and other elements required for permitting.

- a. This Chapter does not supersede IBC,IFC, and/or any other life safety regulations, adherence to which is required for approval and permitting
- b. *Preliminary and Final Plat* are prepared by the landowner, agents, or designees
- c. The *City Council* has administrative approval authority over *Preliminary and Final Plats*. *Staff or Planning Commission approval is warranted if lawfully delegated*
- d. Each *Preliminary and Final Plat* must be consistent with the approved *Village Plan*
- e. *Preliminary and Final Plats* are regulated by the Master Development Agreement
- f. *Preliminary and Final Plats* can be submitted simultaneously and run through the approval process concurrently
- g. The *Preliminary Plat* must be approved before the *Final Plat*

Proposed Concept Map - Option 5

EXHIBIT 4



The graphic above is one of six scenarios presented in the Saratoga Springs City Center District Area Plan

DISTRICT AREA PLAN: Traditional Neighborhood

The governing *District Area Plan* defines a Traditional Neighborhood as:

"a medium density residential area typically comprised of many small lot single-family dwellings, some townhomes and small scale apartments. Houses in these neighborhoods are close enough to the street to encourage interaction among neighbors and create a 'front porch' culture. Houses are closer together and on smaller lots than in a master planned subdivision. There are small neighborhood serving parks and connections to trails. Street connectivity is relatively favorable, allowing for a walkable environment and transit options. On-street parking slows traffic and creates a buffer between traffic and pedestrians on the sidewalks."

Conventional development practices over the past half century have heavily favored patterns emphasizing the automobile. While the automobile is an important element in our everyday lives the approach that has been taken with this design of the neighborhood is to create an environment that reflects the lives of its future residents, at a human scale, while ensuring proper accommodations for the automobile.

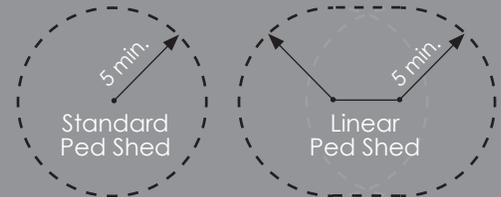
With this in mind great attention was taken to provide a comfortable pedestrian environment. Pedestrian comfort is derived from feeling safe, having multiple routes to take, having places of interest to go, and a visually/aesthetically pleasing environment to experience. All of these aspects have been provided for creating a community that will help in serving as a regional standard for walkable neighborhoods.

COMMENTARY

PEDESTRIAN SHED (Ped Shed)

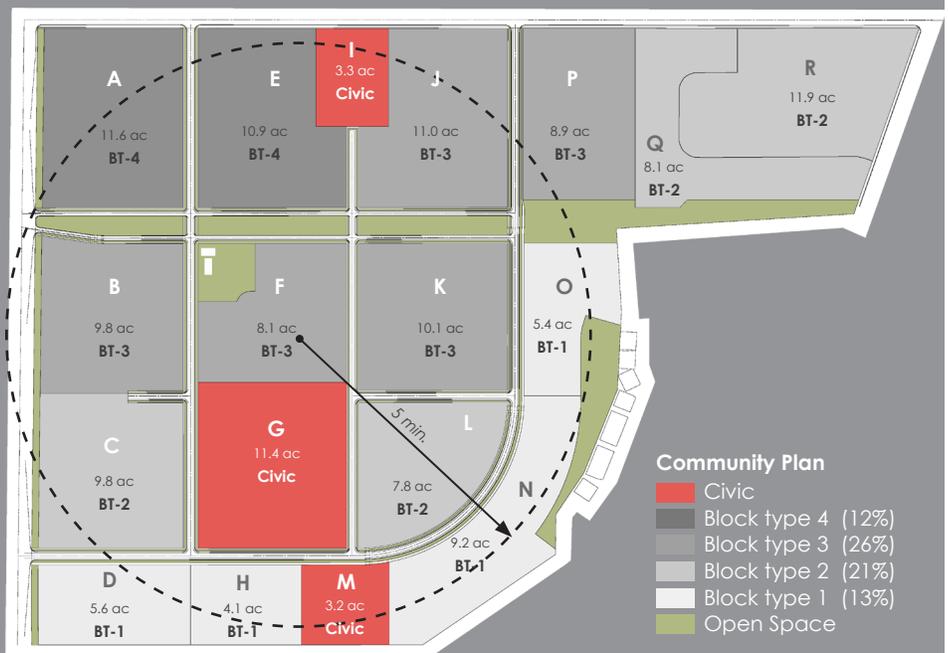
A tool which assists in determining the walkability of community units.

Traditionally pedestrian sheds define the area of a neighborhood within a 5 minute walk from services at the neighborhood's center, like a church, school, post office, or neighborhood market.



Pedestrian shed size is determined by the intensity of the destinations at its center. Intense centers have a stronger pedestrian draw than do low intensity centers. Pedestrian sheds are therefore sized according to the potential intensity of the destinations at their centers, which is a result of the overall development intensity of the community unit. Traditional neighborhoods have a 5-minute pedestrian shed.

The diagram to the right demonstrates a plan for a single community unit. Community Plans define block types, which are colored by type below. A community unit is similar to a neighborhood like the Avenues, Sugar House, or Yalecrest. These three places would be considered traditional neighborhood community units.



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Community Plan

TABLE 1 - BLOCK TYPE ASSIGNMENTS

COMMUNITY UNIT TYPE	BLOCK TYPE PERCENTAGES				
	BT-1	BT-2	BT-3	BT-4	Roads, Open Space, Civic
TRADITIONAL NEIGHBORHOOD	max. 40%	20 - 50%	10 - 40%	max. 25%	
PROPOSED PERCENTAGE	13%	21%	26%	12%	28%

BLOCK TYPE DESCRIPTIONS

General description

BT-1: A primarily single-use area characterized by low-density residential and rural units, including (but not limited to) small and large single family houses, and small agricultural properties. BT-1 should be located towards the edge of community units, within or outside of a pedestrian shed. BT-1 may be located adjacent to existing single family residentially zoned properties.

BT-2: A low-intensity primarily single-use area characterized mainly by residential development while potentially allowing for some home businesses. Dwelling units could include twin homes, small and large single family houses. *Open space* in the form of *greens* or *playgrounds* are common. BT-2 should be located towards the edge of community units, within or outside of a pedestrian shed. BT-2 may be located adjacent to existing single family residentially zoned properties. Where this occurs T3 or T3R must be assigned to the adjacent edges.

BT-3: A moderate intensity area potentially composed of single use and some mixed-use areas characterized mainly by residential units with home businesses, corner shops, and/or a small amount of retail and office uses. Dwelling units could include townhouses, duplexes and small single family houses. *Open space* in the form of *greens* or *playgrounds* is common. BT-3 should be located within pedestrian sheds. BT-3 may be located adjacent to existing single family residentially zoned properties (subject to conformity with existing edge conditions). Where this occurs T3 should be assigned to the adjacent edges.

BT-4: A high intensity mixed-use area potentially characterized by both mid- to high-density residential units adjacent to townhouses, and could also include small retail shops and professional offices along a main street. *Open space* in the form of *plazas*, *greens*, and *playgrounds* are common. BT-4 should be located within pedestrian sheds, along major thoroughfares and/or adjacent to a main civic space. BT-4 should not be located adjacent to existing single-family residentially zoned properties.

COMMENTARY

Block Type

The illustration below demonstrates the extent of a single block type. Block types are arranged by intensity from BT-4 (highest) to BT-1 (lowest). Multiple blocks can have the same block type, urban or rural in nature. Block types define buildable lots within each block and the zoning sub-districts that regulate the permitted use and form standards for future buildings.



TRANSITION

Along a neighborhood edge where development already exists, proposed development must be like or less intense than what presently exists. This is done by applying the least intense block type (Community Plan) with the least intense transect sub-district (Village Plan) that is most similar to the presently existing land use (Refer to block type location table).

Blocks along the edge of a neighborhood may deviate from block size minimum requirements in order to accommodate existing edge conditions, ensuring smoother transitions between current circumstances and future development.

TABLE 2 - BLOCK TYPE LOCATION		
BLOCK TYPE	LOCATION	ADJACENCIES
BT-1	<i>BT-1 should be located towards the edge of community units, within or outside of the pedestrian shed.</i>	<i>BT-1 may be located adjacent to existing single-family residentially zoned properties.</i>
BT-2	<i>BT-2 should be located towards the edge of community units, within or outside of the pedestrian shed.</i>	<i>BT-2 may be located adjacent to existing single-family residentially zoned properties. Where this occurs, a Village Plan must assign T3 or T3R at adjacent edges.</i>
BT-3	<i>BT-3 should be located within pedestrian sheds.</i>	<i>BT-3 may be located adjacent to existing single-family residentially zoned properties. Where this occurs, a special requirement map must assign T3 at adjacent edges.</i>
BT-4	<i>BT-4 should be located within pedestrian sheds, along major thoroughfares and adjacent to the main civic space.</i>	<i>BT-4 should not be located adjacent to existing single-family residentially zoned properties.</i>

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Community Plan

STANDARDS

Instructions

1. Within *the PC Zone*, the landowner of a mapped *place type* (via an approved *District Area Plan*), or a landowner subject to a *Community Plan* in accordance with Section 19.26, their agents, or designee must prepare a *Community Plan* to guide future development
 - a. A *Community Plan* must be prepared in a manner consistent with a governing *District Area Plan*
2. The landowner, their agents, or designee must consult with the Planning Department, and all affected municipal entities for input and feedback in the preparation of a *Community Plan*
3. A *Community Plan* is subject to approval by the City Council, following review and recommendations by the Planning Commission. *Community Plan* approvals may be delegated to City Staff at the discretion of the City Council
4. *Community Plans* shall expire 24 months after approval if not acted upon further through the adoption of a *Village Plan*. 12 month time extensions may be granted by the Planning Commission or City Council upon request. No more than 3 extensions may be granted
5. A *Community Plan* must assign all land within the *place type* to *thoroughfares, block types, and districts*. *Special districts, regional open space, and thoroughfares, located adjacent to and outside of the subject community unit, must also be assigned when applicable*
6. A *Community Plan* submitted for approval must demonstrate compliance with:
 - a. *Block type* standards
 - b. *Transportation* network standards
 - c. *District* standards
 - d. *Special requirements, if any*
 - e. *Phasing* standards

Submission Requirements

1. A *Community Plan* submittal must include the following exhibits:
 - a. Exhibit 1: Findings Statement
 - b. Exhibit 2: Legal Description, including a legal description of the property.
 - c. Exhibit 3: Boundary Survey and Preliminary Title Report Exhibit
 - d. Exhibit 4: *District Area Plan*, indicating the *place type* subject to this *Community Plan*.
 - e. Exhibit 5: Boundary Map, including:
 - i. Name and ownership of the property or properties,
 - ii. Acreage of the property or properties,
 - iii. Boundary of the property or properties with dimensions,
 - iv. Existing land use of all properties within 500 feet of the *place type* boundaries.
 - f. Exhibit 6: Constraints Map, including:
 - i. Portions of the property or properties currently designated as flood plain and wetlands, water bodies, slopes in excess of 30% and other *sensitive lands*. If future action is to be taken to modify or mitigate these constraints, this map should be updated to reflect any changes.
 - g. Exhibit 7: Community Plan, including:
 - i. Block type boundaries and IDs and a data table including block type assignment, net acreage and gross acreage of each block type.
 - ii. *Open space* boundaries, and a data table including types, acreages, and any assigned uses.
 - iii. A data table including the gross acreage and net acreage of the *place type*, net acres of developable land and total acreage assigned to *thoroughfares*.
 - iv. A data table indicating the total aggregated gross acreage of each *block type* and *civic district* (e.g. 50.03 acres of BT-2) and percentage of the gross *place type* acreage (e.g. BT-2 is 20% of the gross *place type* acreage).
 - h. Exhibit 8: Civic Plan, including
 - i. Schools,
 - ii. Churches
 - iii. Public safety facilities,
 - iv. *Main civic space*,
 - v. Any additional *civic districts*.
 - i. Exhibit 9: Transportation Network Plan, including:
 - i. A key showing the *thoroughfare* network of the *governing District Area Plan* and the transportation master plan.
 - ii. Existing, new, and modified *thoroughfares*.
 - iii. New and modified *intersections*, identifying the type.
 - iv. Existing, new, and relocated major utility easements.
 - v. A data table including all *thoroughfares* within the *community unit*, indicating ownership, Right-of-Way width, number of vehicular lanes, *thoroughfare* type, and transportation provisions.

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Community Plan

- j. Exhibit 10: Thoroughfare Naming Plan, including:
 - i. Names for each *thoroughfare* within the *place type* in accordance with the City's street naming ordinance.
 - k. Exhibit 11: Thoroughfare Assemblies, including:
 - i. *Thoroughfare assemblies* for new and modified existing *thoroughfares*.
 - l. Exhibit 12: Intersection Assemblies, including:
 - i. *Intersection assemblies* for all new or modified *intersections*.
 - m. Exhibit 13: General Architectural Standards providing for architectural regulation addressing details of proposed architectural styles (colors and materials addressed at Village Plan).
 - n. Exhibit 14: Open Space Plan, including:
 - i. Intended use of community wide open spaces types,
 - ii. Conformance with the regional *open space* and master trails plan,
 - iii. Neighborhood *open space* network,
 - iv. Neighborhood trail network,
 - v. Ownership and maintenance responsibility for all spaces within the *main civic space*.
 - o. Exhibit 15: Phasing Plan, including:
 - i. Phase boundaries, acreages, and sequence for each phase.
 - p. Exhibit 16: Traffic Study, including
 - i. Street system within the applicable community unit
 - ii. Adjacent streets outside of community unit,
 - iii. Connecting streets to other community units (if applicable)
 - q. Exhibit 17: Title Report
2. All exhibits must include:
 - i. North arrow, graphic scale, and date.
 3. All documents must be submitted digitally in portable document format (PDF) and hard copy format, including both a submission booklet at 8.5" x 11" (seven [7] copies) and any large-scale exhibits at 24" x 36" (five [5] copies).
 4. Application forms and fees must be submitted according to the City of Saratoga Springs Fee Schedule.

COMMENTARY

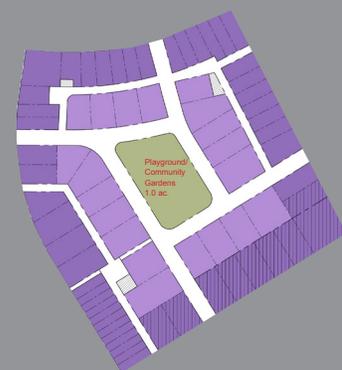
Block Type

A regulatory boundary mapped on a Community Plan.

A block type represents a standard unit of planning approximately the size of one block in downtown Salt Lake City as well as one block in many early towns, villages, and hamlets throughout the region. By defining an urban pattern of this scale, local and regional transportation networks function as connected grids, which are the most efficient form of transportation distribution.

A Community Plan defines the boundaries of block types, their intensities (BT-1 being the least intense and BT-4 the most intense), their relationship to other block types, districts, and adjacent properties, and location within the local and regional transportation network.

Each block type identified in the Community Plan will be further detailed at the Village Plan level to show block level intensities through the use of transect sub-districts. Transect-sub districts are used to group similar products with the same intensity.



Example of a Village Plan for BT-3.

Block Type Standards

1. Each block defined by the *thoroughfare network* grid must be assigned a single *block type*.
2. *Block type* assignments are limited by *community unit* type according to *block type* descriptions in this document.
 - a. The percentage of each *block type* is calculated as the sum of the *gross block type area* for each *block type* designation divided by the gross acreage of the *community unit*.

Transportation Network Standards

1. *Community Plans* must map existing and planned *thoroughfares* including the following:
 - a. The major *thoroughfare network* as mapped in the *District Area Plan*,
 - b. Existing *thoroughfares* not mapped on the major *thoroughfare network*.
2. *Community Plans* must map a future minor *thoroughfare network*, consisting of the following:
 - a. Modifications to existing *thoroughfares*,
 - b. New *thoroughfares*,
 - c. Modifications to existing *intersections*,
 - d. New *intersections*.
3. The *thoroughfare network* must be configured as a *grid* creating blocks according to the following:
 - a. Blocks must be sized according to Table 3- Thoroughfare Network Requirements,
 - b. Blocks containing *civic districts* may exceed 15 acres.
 - c. Perimeter blocks along the edge of a neighborhood may deviate from block size minimum requirements in order to accommodate existing edge conditions, ensuring a more smooth transitions between current circumstances and future development.
4. *Thoroughfares* and *intersections* must be configured according to the following:
 - a. All *thoroughfares* must connect to other *thoroughfares* with *intersections*, forming a network.
 - i. Close-ended streets (cul-de-sacs) may be permitted within *BT-1* and *BT-2*, or adjacent to natural or man-made boundaries that limit vehicular connectivity.
 - ii. Close-ended streets (cul-de-sacs) may not exceed 650' in length, measured along the centerline from the nearest intersection to the center of the cul-de-sac.
 - b. New *thoroughfares* must connect wherever possible to *thoroughfares* outside of the *community unit*,
 - c. New *thoroughfares* are limited by right-of-way width according to *Table 3 - Thoroughfare Network Requirements, permitted thoroughfares*,
 - d. New *intersections* are limited by type according to *Table 3- Thoroughfare Network Requirements, permitted intersections*.
5. *Compliance with clearview triangle standards for corner lots must be demonstrated at Preliminary Plat.*

TABLE 3 - THOROUGHFARE NETWORK REQUIREMENTS

COMMUNITY UNIT TYPE	THOROUGHFARE NETWORK*			
	Block Size (Net Acres)	Block Shape	Permitted Thoroughfares	Permitted Intersections
TRADITIONAL NEIGHBORHOOD	8 acres min. 12 acres max. 15 acres for sensitive lands	40% min. Orthogonal or Rhomboidal	26 ft ROW 30 ft ROW 32 ft ROW 33 ft ROW 36 ft ROW** 54 ft ROW 60 ft ROW 66 ft ROW 74 ft ROW	T, 4W, SI, TN, TC, SA

* The thoroughfares listed as permitted are for the thoroughfare network of the Community Plan.

** 36 ft represents the one-way portion of the primary neighborhood entrance street adjacent to the greenway park. The complete street will be comprised of 2 such facilities running in opposite directions.

Thoroughfares of 33 and 32 ft ROW and Rear Lanes of 30 and 26 ft ROW may be permitted within a block plan.

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Community Plan

6. *Thoroughfare assemblies* and *intersection assemblies* must be included for each mapped *thoroughfare* and *intersection*.
7. *Community Plans* must map internal utility easements; those not traversing more than the community unit, should also be shown.
 - a. Major utility easements should be assigned to *thoroughfare* rights-of-way.
 - b. Future major utility easements should avoid entering *community units* when possible.
8. Transportation network designations must be consistent with the Saratoga Springs transportation master plan

Civic District Standards

1. Land designated as *civic district* is reserved for public open space and *civic buildings*.
2. A *Community Plan* must assign *civic districts* in the amount required in the Block Type section of the Community Plan.
3. A designation of *civic open space (CS)* may be applied to any *civic district*, restricting its use to those *civic space* types specified in the open space section of the Community Plan, and associated structures. *Civic open space* must be publicly accessible.
4. The City of Saratoga Springs has discretion to own any park or open space amenity regardless of size. If an open space amenity is owned by the City it will be maintained by the City with access granted to the general public. Open space amenities that are owned by a Community Association will be maintained by the Community Association with access granted to community residents. A Master Home Owners Association will need to be assigned in coordination with the City.
5. A *Community Plan* may designate *civic districts* reserved for school sites and other buildings of civic importance, to be used as *civic open space* temporarily. Temporary open space will not be counted as part of the permanent open space requirement.
6. A designation of *civic building (CB)* may be applied to any *civic district*, or portion thereof, less than 2 acres in area, restricting its use to those *civic building* types specified in the open space section of the Community Plan.

Phasing Standards

1. A *Community Plan* must include a phasing plan indicating the anticipated sequential order and areas where development will occur.
2. Phases may not include partial *block types*. *Village Plan* phasing will identify sub-phases.
3. Phase numbers must be indicated in the phasing plan, along with the anticipated starting date of Phase 1.

PLAN KEY INSTRUCTIONS

The plan key below will be used extensively in the Legacy Farms Community Plan and subsequent Village Plan documents. It is designed to assist the reader to understand relevance of specific information within the various stages in the development process.

DAP	Traditional Neighborhood						
CP	BT-1						
		BT-2					
			BT-3				
				BT-4			
VP	T2	T3-R	T3	T4-R	T4-SL	T4	T5-R

As per the Planned Community (PC) Zone process, there are a series of steps that are to be taken in order to address the nature of decision making relative to the necessary planning steps associated with taking a large property and systematically breaking it down into more workable pieces. As the size of the property is addressed (going from the total property at the District Area Plan (DAP) level to a neighborhood size at the Community Plan (CP) level, and subsequently moving to the block and lot at the Village Plan (VP) level) decision making can occur in a more appropriate fashion as opposed to attempting to address all levels simultaneously.

To assist in this process a plan key will be used which associates the different PC Zone steps with the direct applicability of a placemaking element to the associative step. In doing this, it will be much easier to measure the compatibility and relationships of open space, thoroughfares and housing types to the regulatory standards associated with the Community and Village Plan requirements.

The plan key will assist in identifying the qualification of an item through its assignment to Block Type(s) and accompanying Transect Subdistrict(s). Being able to quickly assess compatibility, appropriateness will be enhanced making review more timely.

Below is an example of how this table has specific information removed to indicate only those categories that are not applicable. If you were to see this table on a thoroughfare sheet you would know that the thoroughfare would only apply to Block Types 3 and 4 in the Community Plan and be allowed in Transect Sub-districts T3, T4-R, T4, and T5-R in the Village Plan.

DAP	Traditional Neighborhood						
CP							
			BT-3				
				BT-4			
VP			T3	T4-R	T4-SL	T4	T5-R

← Non-applicable categories are removed from the key

LEGACY FARMS

Community Plan

EXHIBIT 2: LEGAL DESCRIPTION

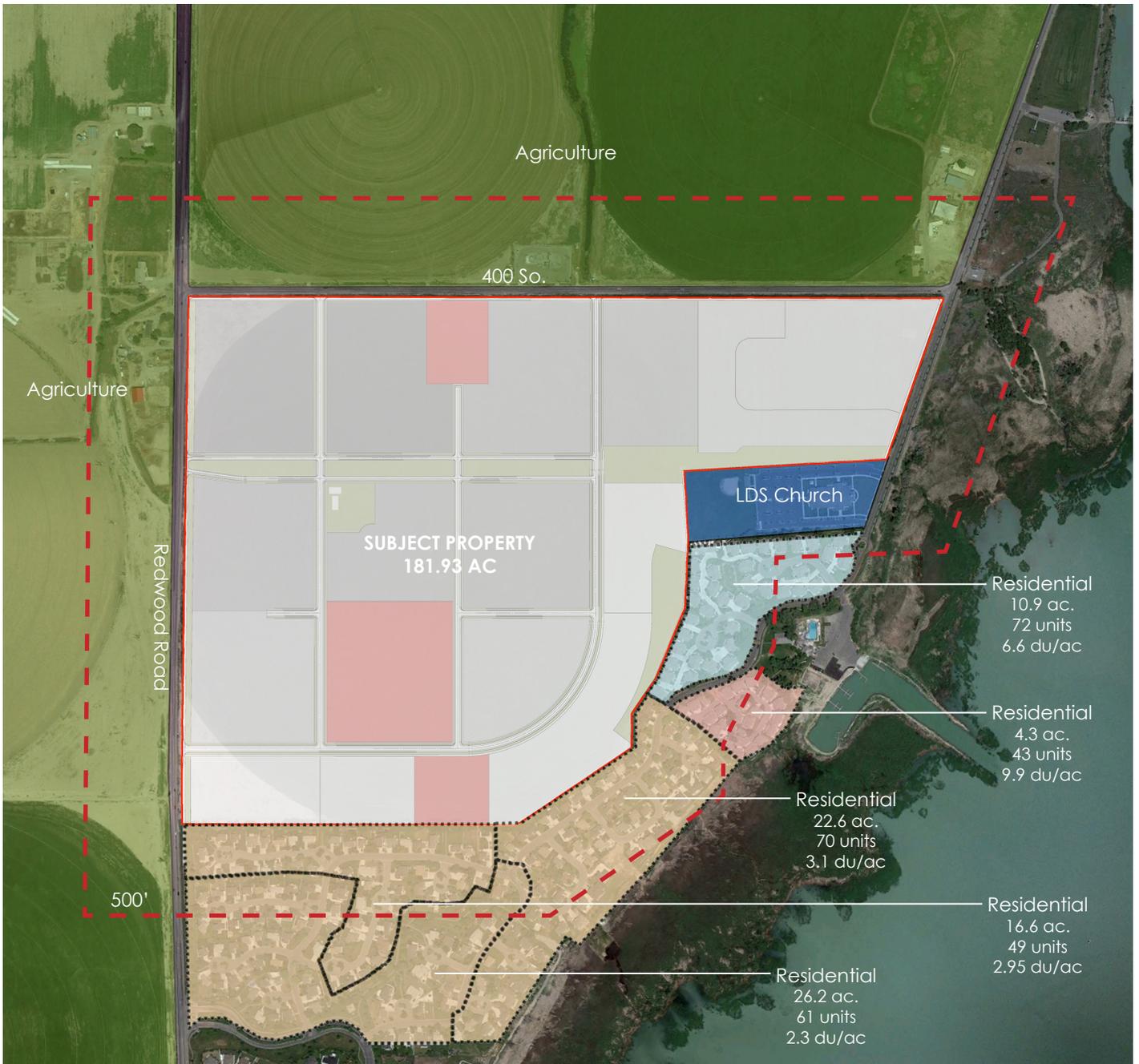
SURVEYED PARCEL "B"
SOUTH PARCEL EAST OF REDWOOD ROAD SURVEY DESCRIPTION
(INCLUDES PARCEL NO. 8-9)

ALL OF THAT REAL PROPERTY KNOWN AS PARCEL #2, SARATOGA DRIVE CHURCH SUBDIVISION ACCORDING TO THE OFFICIAL PLAT THEREOF ON FILE IN THE OFFICE OF THE UTAH COUNTY RECORDER AS ENTRY NO. 140578:2004, MAP NO. 10844 TOGETHER WITH THAT REAL PROPERTY DESCRIBED IN DEED ENTRY NO. 72399:1994 IN THE OFFICIAL RECORDS OF UTAH COUNTY, LESS THAT REAL PROPERTY DESCRIBED IN DEED ENTRY NO. 91623:2009 IN THE OFFICIAL RECORDS OF UTAH COUNTY LOCATED IN SECTIONS 25 & 26, TOWNSHIP 5 SOUTH, RANGE 1 WEST, SALT LAKE BASE & MERIDIAN, SARATOGA SPRINGS, UTAH COUNTY, UTAH, AS SURVEYED AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE NORTH LINE OF PARCEL #2, SARATOGA DRIVE CHURCH SUBDIVISION ACCORDING TO THE OFFICIAL PLAT THEREOF ON FILE IN THE OFFICE OF THE UTAH COUNTY RECORDER AS ENTRY NO. 140578:2004, MAP NO. 10844 LOCATED S0°33'18"W ALONG THE SECTION LINE 33.94 FEET FROM THE EAST 1/4 CORNER OF SECTION 26, T5S, R1W, S.L.B. & M.; THENCE ALONG SAID PARCEL #2 THE FOLLOWING NINE (9) COURSES: N89°56'07"E 1,352.69 FEET; THENCE S19°21'26"W 886.43 FEET; THENCE S86°28'54"W 1,066.18 FEET; THENCE S3°31'06"E 374.34 FEET; THENCE S2°54'37"W 348.75 FEET; THENCE S21°58'07"W 403.00 FEET; THENCE S34°00'07"W 223.27 FEET; THENCE S0°41'07"W 180.00 FEET; THENCE S55°45'07"W 719.98 FEET TO THE NORTH LINE OF SARATOGA SPRINGS NO. 3 SUBDIVISION; THENCE S89°57'59"W ALONG THE NORTH LINE OF SARATOGA SPRINGS NO. 3 AND NO. 2 SUBDIVISIONS 1,751.96 FEET TO THE INTERSECTION WITH THE EASTERLY RIGHT-OF-WAY LINE OF REDWOOD ROAD (SR-68) ACCORDING TO THE OFFICIAL MAPS THEREOF AND AS DESCRIBED IN DEED ENTRY NO. 91623:2009 IN THE OFFICIAL RECORDS OF UTAH COUNTY; THENCE ALONG SAID EASTERLY RIGHT-OF-WAY LINE THE FOLLOWING TWO (2) COURSES: NORTHWESTERLY ALONG THE ARC OF A 9,940.00 FOOT RADIUS NON-TANGENT CURVE TO THE RIGHT (RADIUS BEARS: N88°51'47"E) 307.55 FEET THROUGH A CENTRAL ANGLE OF 1°46'22" (CHORD: N0°15'02"W 307.54 FEET); THENCE N0°38'09"E 2,456.88 FEET TO THE NORTH LINE OF SAID PARCEL #2; THENCE N89°56'07"E ALONG SAID NORTH LINE 2,598.98 FEET TO THE POINT OF BEGINNING.

CONTAINS: ±181.93 ACRES

BOUNDARY MAP



0' 500'

EXHIBIT 5

LEGACY FARMS

Community Plan

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ERU ALLOCATION

As per requirements set forth in the PC Zone there is an assignment process that occurs associated with the submittal steps:

- District Area Plan - ERUs are assigned to the entire property
- Community Plan - ERUs are assigned to the neighborhood
- Village Plan - ERUs are assigned to the individual blocks
- Preliminary & Final Plat - ERUs are assigned to individual lots

Allocation at the level of the District Area Plan has been previously approved assigning 16,000 residential units and 10 million square feet of non-residential to the entire property (refer to District Area Plan document, page 3).

In the assignment process at the Community Plan level the following steps have been taken:

1. Determination of ERU range based on gross acreage, block types and underlying transect sub district requirements,
2. Determination of associative ERU assignments based on transect sub-district requirements,
3. Assignment of ERU total based on allowable range associated with the assigned place type, gross acreage, transportation requirements, and general market demands.

Through the analysis associated with the above mentioned criteria the following allocations were identified:

- Under a traditional neighborhood place type an ERU range of 842 to 1,782 is allowable
- An ERU total of 1,055 is more in line with market and site conditions

Establishing 1,055 ERUs for the neighborhood will then allow for more detailed planning to then take place, based on Village Plan requirements, for more detailed allocation of ERUs to occur within the blocks identified in the Community Plan.

TABLE 4 - ALLOWABLE ERUs (DAP CALCULATION)

PLACE TYPE	Acreage	Dwelling units / Acre (range)	
		Low	High
TRADITIONAL NEIGHBORHOOD	182	5	32
	TOTAL	900	5,760

TABLE 5 - ALLOWABLE ERUs (COMMUNITY PLAN CALCULATION)

	BT-1	BT-2	BT-3	BT-4	TOTALS
ERU - Low	61	154	307	320	842
ERU - High	113	314	770	585	1,782
TOTALS	174	468	1,077	905	

LEGACY FARMS

Community Plan

THOROUGHFARES

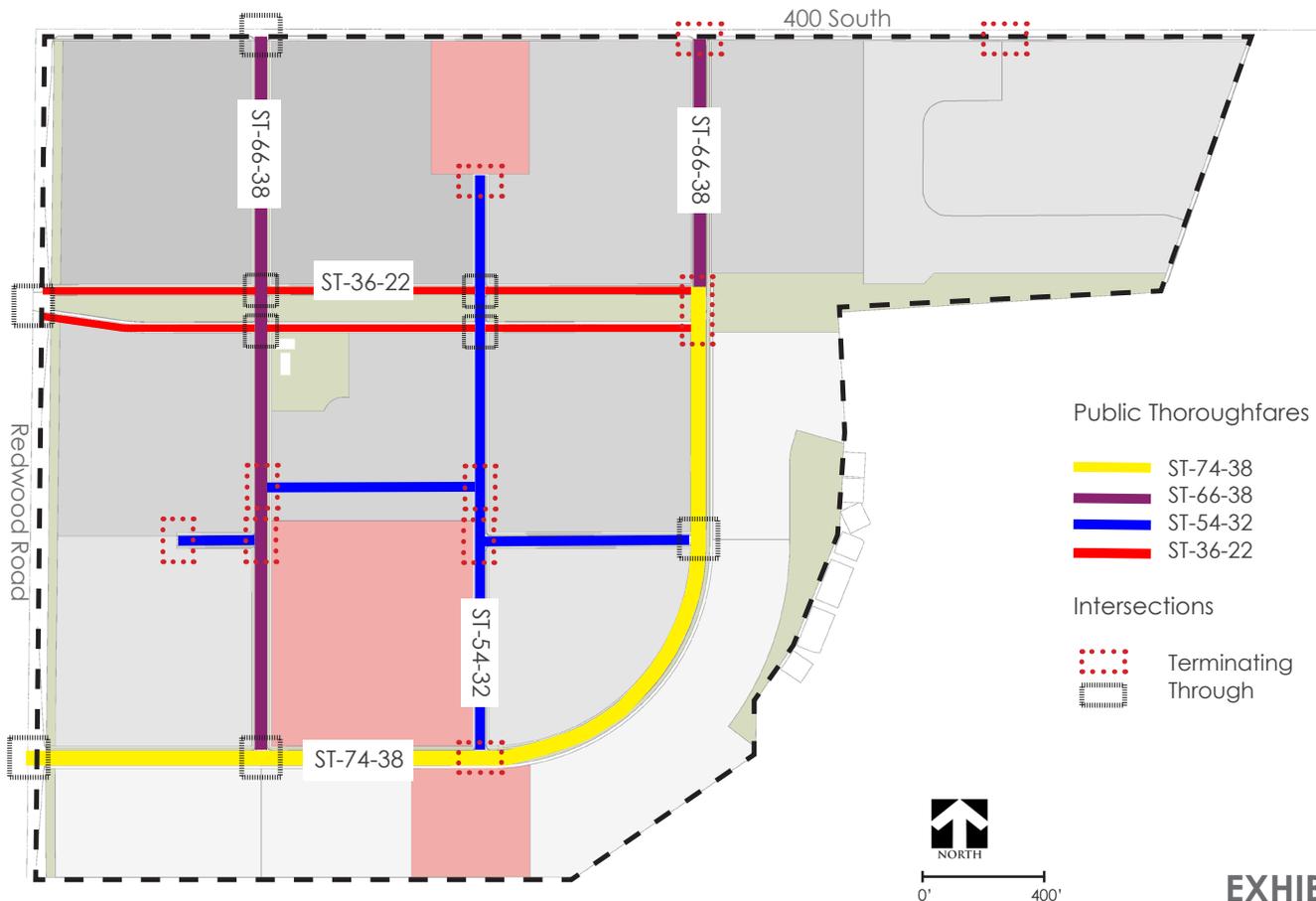
The *District Area Plan* identifies the principles/purposes associated with a comprehensive transportation system under the PC Zone. The general intent, that then carries forward into this *Community Plan*, calls out the need for an interconnected thoroughfare system that is intended to provide multiple pathways of movement through a neighborhood. The transportation system must also be multi-modal in nature meaning that it is accommodating to the automobile while also supporting pedestrian and bicycle traffic. On-street parking is encouraged, both for ease of residents and to slow traffic.

It is important to note that the area covered by this *Community Plan* is primarily residential in nature. Because of the residential emphasis the thoroughfare network, as defined in the *District Area Plan*, "do not serve regional traffic." Rather, the residential streets are intended to be "low-volume and neighborhood serving." The developer is responsible for standard improvements along Redwood Road and 400 South as required in the City Code.

The thoroughfare network is also designed to define blocks, within which future development will occur. While the *Community Plan* establishes the blocks it is the *Village Plan* that will complete the thoroughfare network by identifying the streets internal to the blocks.

Lastly, this *Community Plan* with its thoroughfare regulating elements will serve the purpose of managing the relationships that exist between the public and private realm. This is critical in order to plan and design in a manner that ensures the relationship between the street and its right-of-way (public realm) will work in harmony with the adjoining homes and open space (private realm).

THOROUGHFARE NETWORK PLAN



Street Names

Street names for community level grid streets are derived from the rich agrarian history of this area in Utah County. Sherwood, Highpoint, and Ironhorse as well as others to be used for interior streets are the names of prominent historic farms. These names will reinforce the community theme to assist in cognitive mapping. Additionally, street names within blocks will share the specific theme of individual blocks.

THOROUGHFARE NAMING PLAN

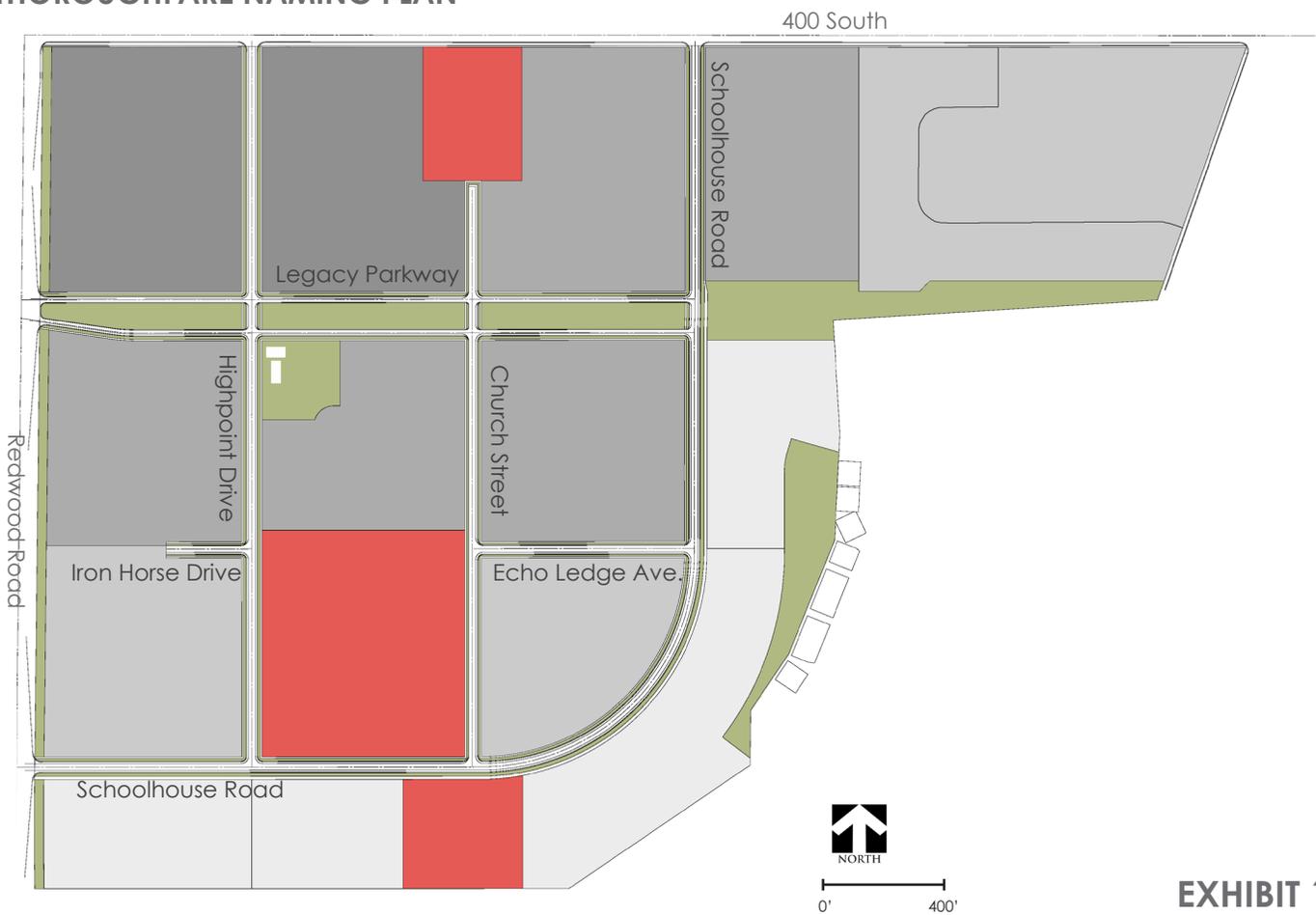


EXHIBIT 10

LEGACY FARMS

Community Plan

PEDESTRIAN NETWORK PLAN

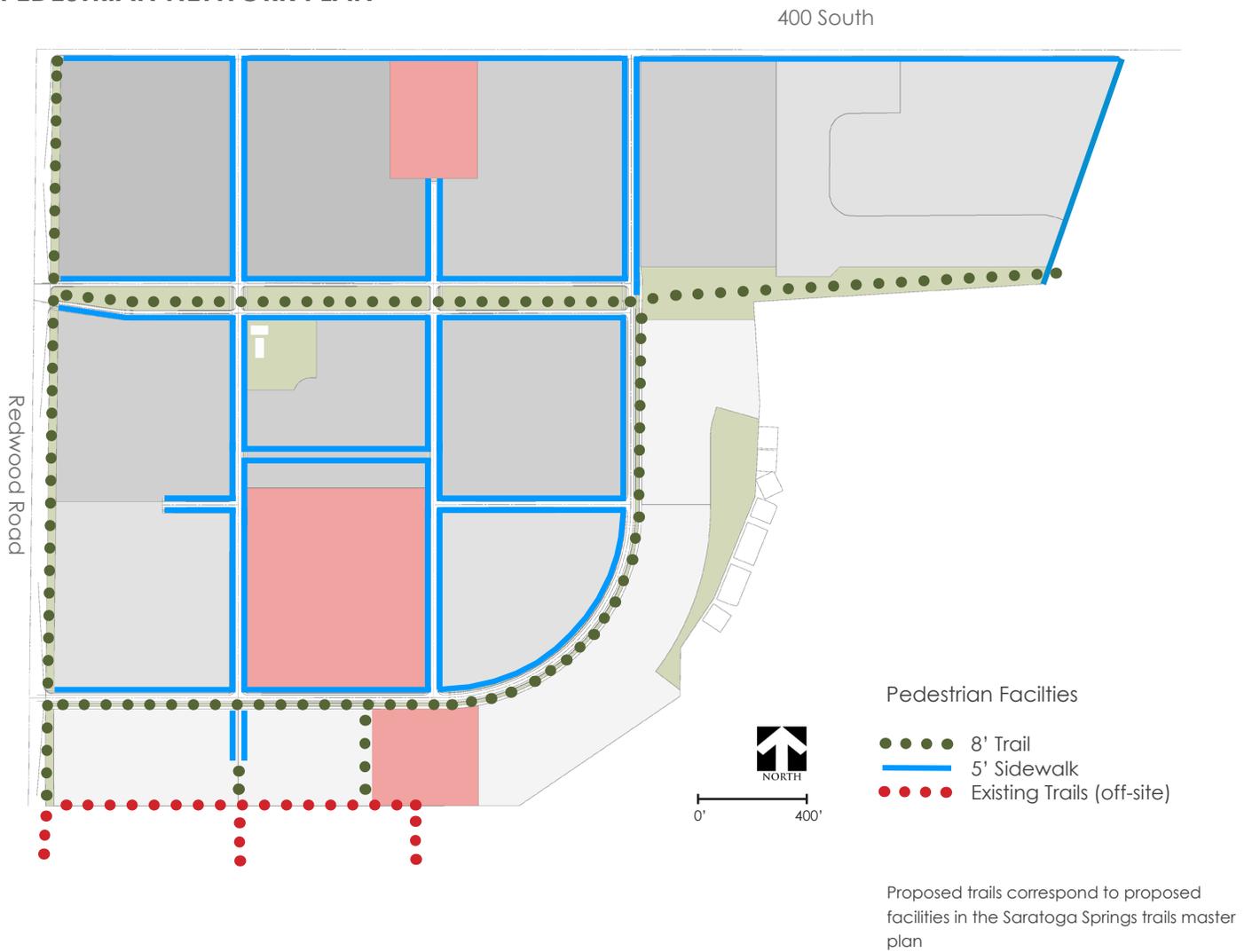
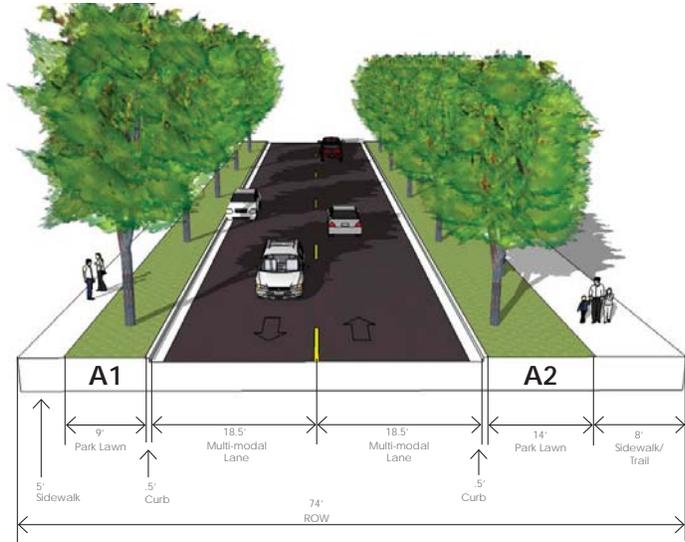


TABLE 6A - THOROUGHFARE ST-74-38

KEY	ST-74-38
Thoroughfare Type	
Right of Way Width	
Pavement Width	

Note: Lane structure may be reconfigured to accommodate a center turn lane within the prescribed pavement section to provide access to civic districts.

DAP	Traditional Neighborhood						
CP	BT-1						
		BT-2					
		BT-3					
			BT-4				
VP	T2	T3-R	T3	T4-R	T4-SL	T4	T5-R



ASSEMBLY ST-74-38

Right-of-Way Width	74 ft	Pavement Width	38 ft
TRANSPORTATION WAY			
Direction of Travel	Two-way	Parking Lane Type	Parallel
Vehicular Lane Count (total)	2	Parking Lane Count	2
Multi-modal Lane Width	18.5 ft	Parking Zone Width	8.5 ft

PUBLIC FRONTAGE		A1	A2
Assembly Width		14 ft	22 ft
Transect Context		T3, T4-R, T4	T2, T3-R, T3
See: Table 11, Table 19, Table 15, Table 18, Table 16			
Curbing	Type Cuts	6" Raised curb radius	6" Raised curb radius
Walkway	Type Width	Sidewalk 5 ft	Sidewalk 8 ft
	Surface	Concrete	Concrete, Asphalt
Planter	Type Width	Continuous 9 ft	Continuous 14 ft
	Surface	Ground cover	Ground cover
	Planting	Large shade tree	Large shade tree
Planting	Species Type	Single Rounded, vase	Single Rounded, vase
	Arrangement	Regular	Regular
	Spacing	Regular 40 ft o.c.	Regular 40 ft o.c.
Verge	Width	4 ft	8 ft
	Light Spacing	Post 300 ft o.c.	Post 300 ft o.c.

LEGACY FARMS

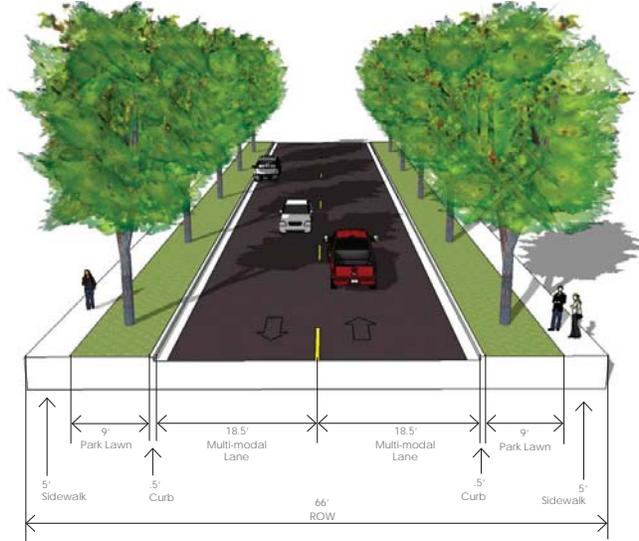
Community Plan

TABLE 6B - THOROUGHFARE ST-66-38

KEY		ST-66-38	
Thoroughfare Type			
Right of Way Width			
Pavement Width			

Note: Multi-modal lane structure may be reconfigured at neighborhood entrances to accommodate a 6' planted median. Sidewalk position within the parklawn may also be shifted up to 5 ft from back of curb to accommodate signage.

DAP	Traditional Neighborhood						
CP	BT-1						
	BT-2						
	BT-3						
	BT-4						
VP	T2	T3-R	T3	T4-R	T4-SL	T4	T5-R



ASSEMBLY ST-66-38

Right-of-Way Width	66 ft	Pavement Width	38 ft
TRANSPORTATION WAY			
Direction of Travel	Two-way	Parking Lane Type	Parallel
Vehicular Lane Count (total)	2	Parking Lane Count	2
Multi-modal Lane Width	18.5 ft	Parking Zone Width	8.5 ft

PUBLIC FRONTAGE		A	D
Assembly Width		14 ft	14 ft
Transect Context		ALL	T4-R, T4-SL, T4, T5-R
See: Table 11, Table 19, Table 15, Table 18, Table 16			
Curbing	Type Cuts	6" Raised curb radius	6" Raised curb taper
Walkway	Type Width	Sidewalk 5 ft	Sidewalk 8 ft
	Surface	Concrete	Concrete
Planter	Type Width	Continuous 9 ft	Long Tree Well 6'W x 14'L
	Surface	Ground cover	Ground cover
	Planting	Large shade tree	Large shade tree
Planting	Species Type	Single Rounded, vase	Single Rounded, vase
	Arrangement	Regular	Regular
	Spacing	Regular 40 ft o.c.	Regular 40 ft o.c.
Verge	Width	4 ft	6 ft
	Light Spacing	Post 300 ft o.c.	Column 200 ft o.c.

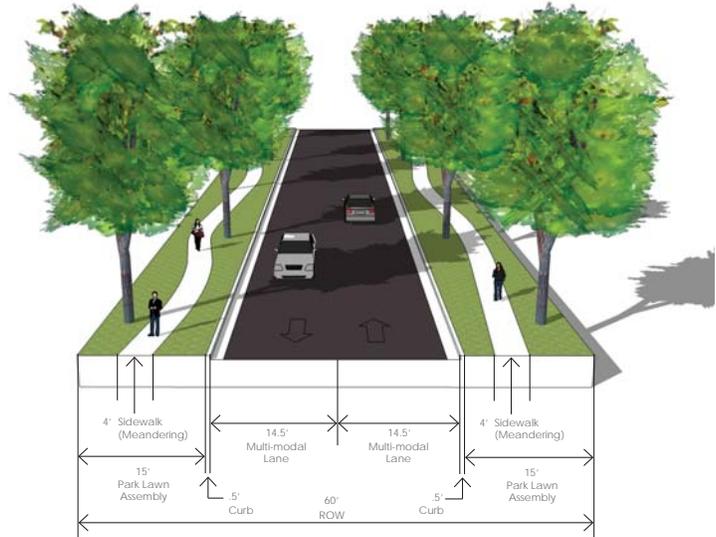
Note: Lane structure may be reconfigured to accommodate a center turn lane within the prescribed pavement section to provide access to civic districts.

TABLE 6C - THOROUGHFARE ST-60-30 (SENIOR LANE)

KEY		ST-60-30	
Thoroughfare Type			
Right of Way Width			
Pavement Width			

Note: Meandering sidewalk must not encroach within the city utility easement located 6 ft from back of curb.

DAP	Traditional Neighborhood			
CP	BT-2			
VP	T3-R	T3	T4-R	T4



ASSEMBLY ST-60-28 (SENIOR LANE)

Right-of-Way Width	60 ft	Pavement Width	30 ft
TRANSPORTATION WAY			
Direction of Travel	Two-way	Parking Lane Type	None
Vehicular Lane Count (total)	2	Parking Lane Count	N/A
Mult-modal Lane Width	14.5 ft	Parking Lane Width	N/A

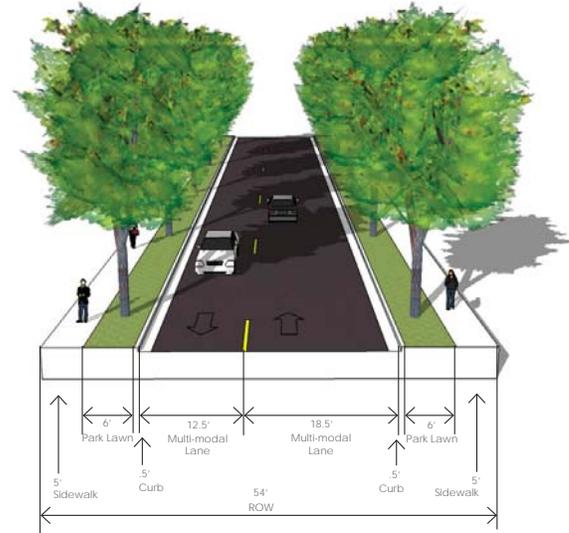
PUBLIC FRONTAGE		B
Assembly Width		15 ft
Transect Context		T3-R, T3, T4-R, T4
See: Table 11, Table 19, Table 15, Table 18, Table 16		
Curbing	Type Cuts	6" Raised curb radius
Walkway	Type Width	Sidewalk 4 ft Meandering
	Surface	Concrete
Planter	Type Width	Continuous Varies (3 ft min)
	Surface	Ground cover
	Planting	Large shade tree
Planting	Species Type	Single Rounded, vase
	Arrangement	Regular
	Spacing	Regular 40 ft o.c.
Verge	Width	6 ft
	Light Spacing	Post 300 ft o.c.

LEGACY FARMS

Community Plan

TABLE 6D - THOROUGHFARE ST-54-32

KEY		ST-54-32	
Thoroughfare Type			
Right of Way Width			
Pavement Width			
DAP	Traditional Neighborhood		
CP	BT-1		
		BT-2	
	BT-3		
	BT-4		
VP	T2	T3-R	T3
	T4-R	T4-SL	T4
			T5-R



ASSEMBLY ST-54-32

Right-of-Way Width	54 ft	Pavement Width	32 ft
TRANSPORTATION WAY			
Direction of Travel	Two-way	Parking Lane Type	Parallel
Vehicular Lane Count (total)	2	Parking Lane Count	1
Multi-modal Lane Width	12.5 ft/18/5 ft	Parking Zone Width	8.5 ft

PUBLIC FRONTAGE		B	D
Assembly Width		11 ft	11 ft
Transect Context		ALL	T4-R, T4-SL, T4, T5-R
See: Table 11, Table 19, Table 15, Table 18, Table 16			
Curbing	Type Cuts	6" Raised curb radius	6" Raised curb taper
Walkway	Type Width	Sidewalk 5 ft	Sidewalk 6 ft
	Surface	Concrete	Concrete
Planter	Type Width	Continuous 6 ft	Long Tree Well 5'W x 6'L
	Surface	Ground cover	Ground cover
	Planting	Large shade tree	Large shade tree
Planting	Species Type	Single Rounded, vase	Single Rounded, vase
	Arrangement	Regular	Opportunistic
	Spacing	Regular 40 ft o.c.	Opportunistic
Verge	Width	4 ft	4 ft
	Light Spacing	Post 300 ft o.c.	Column 200 ft o.c.

Note: Lane structure may be reconfigured to accommodate a center turn lane within the prescribed pavement section to provide access to civic districts.

TABLE 6E - THOROUGHFARE ST-36-22

KEY		ST-36-22				
Thoroughfare Type						
Right of Way Width						
Pavement Width						
DAP	Traditional Neighborhood					
CP						
	BT-3					
	BT-4					
VP	T3	T4-R	T4-SL	T4	T5-R	



ASSEMBLY ST-36-22

Right-of-Way Width	36 ft	Pavement Width	22 ft
TRANSPORTATION WAY			
Direction of Travel	One-way	Parking Lane Type	Parallel
Vehicular Lane Count (total)	1	Parking Lane Count	1
Multi-modal Lane Width	21 ft	Parking Lane Width	8.5 ft

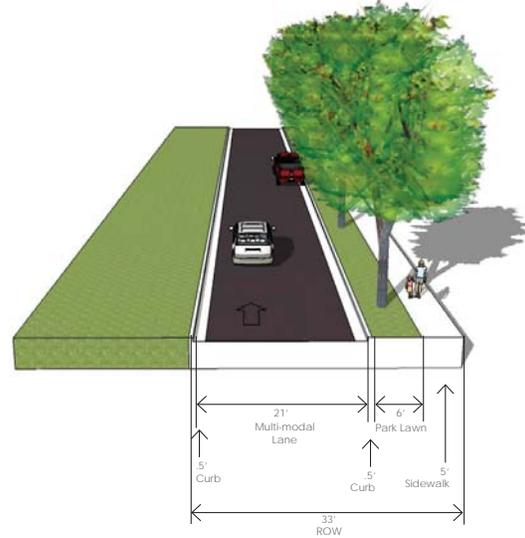
PUBLIC FRONTAGE		A		
Assembly Width		14 ft		
Transect Context		T3R, T3, T4-R, T4-SL, T4, T5-R		
See: Table 11, Table 19, Table 15, Table 18, Table 16				
Curbing	Type Cuts	6" Raised curb radius		
Walkway	Type Width	Sidewalk 5 ft		
	Surface	Concrete		
Planter	Type Width	Continuous 9 ft		
	Surface	Ground cover		
	Planting	Large shade tree		
Planting	Species Type	Single Rounded, vase		
	Arrangement	Regular		
	Spacing	Regular 30 ft o.c.		
Verge	Width	4 ft		
	Light Spacing	Column 200 ft o.c.		

LEGACY FARMS

Community Plan

TABLE 6F - THOROUGHFARE ST-33-22

KEY		ST-33-22
Thoroughfare Type		
Right of Way Width		
Pavement Width		
DAP	Traditional Neighborhood	
CP	BT-2	
	BT-3	
VP	T3-R	T3
	T4-R	



ASSEMBLY ST-66-38

Right-of-Way Width	33 ft	Pavement Width	22 ft
TRANSPORTATION WAY			
Direction of Travel	One-way	Parking Lane Type	Parallel
Vehicular Lane Count (total)	1	Parking Lane Count	1
Multi-modal Lane Width	21 ft	Parking Zone Width	8.5 ft

PUBLIC FRONTAGE		A	
Assembly Width		11 ft	
Transect Context		T3R, T3, T4-R	
See: Table 11, Table 19, Table 15, Table 18, Table 16			
Curbing	Type Cuts	6" Raised curb radius	
Walkway	Type Width	Sidewalk 5 ft	
	Surface	Concrete	
Planter	Type Width	Continuous 6 ft	
	Surface	Ground cover	
	Planting	Large shade tree	
Planting	Species Type	Single Rounded, vase	
	Arrangement	Regular	
	Spacing	Regular 40 ft o.c.	
Verge	Width	4 ft	
	Light Spacing	Column 300 ft o.c.	

TABLE 6G - THOROUGHFARE ST-32-24 (SHARED LANE)

KEY		ST-32-24
Thoroughfare Type		
Right of Way Width		
Pavement Width		
DAP	Traditional Neighborhood	
CP	BT-3	
	BT-4	
VP	T4-SL	T4



ASSEMBLY ST-32-24			
Right-of-Way Width	32 ft	Pavement Width	24 ft
TRANSPORTATION WAY			
Direction of Travel	N/A	Parking Lane Type	None
Vehicular Lane Count (total)	2	Parking Lane Count**	N/A
Vehicular Lane Width	12 ft	Parking Lane Width	N/A
Median Width	8 ft		
PUBLIC FRONTAGE	SPECIALIZED		
Assembly Width	32 ft		
Transect Context	T4-SL, T4		
See: Table 11, Table 19, Table 15, Table 18, Table 16			
Curbing	Type Cuts	N/A	
Walkway	Type Width	Shared Lane 12 ft	
	Surface	Concrete	
Planter	Type Width	Long Tree Wells (Median) 8'W x varies	
	Surface	Ground cover Pervious Hardscape	
	Planting	Large shade tree	
Planting	Species Type	Single Rounded, vase	
	Arrangement	Opportunistic	
	Spacing	Opportunistic	
Verge	Width	N/A	
	Light Spacing	N/A	

LEGACY FARMS

Community Plan

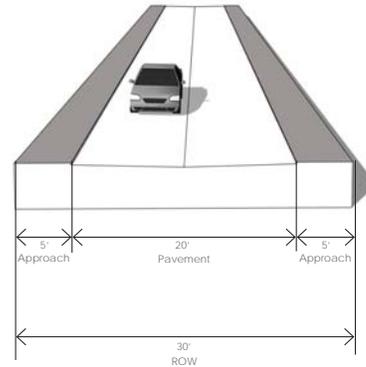


CONCEPTUAL SHARED LANE CONFIGURATION

TABLE 6H - THOROUGHFARE RL-30-20

KEY	RL-30-20
Thoroughfare Type	
Right of Way Width	
Pavement Width	

DAP	Traditional Neighborhood			
CP				
			BT-3	
VP			BT-4	
		T4-R	T4-SL	T4



ASSEMBLY RL-30-20

Right-of-Way Width	30 ft	Pavement Width	20 ft
--------------------	-------	----------------	-------

TRANSPORTATION WAY

Direction of Travel	N/A	Parking Lane Type	-
Vehicular Lane Count (total)	1	Parking Lane Count**	-
Vehicular Lane Width	20 ft	Parking Lane Width	-
	-		

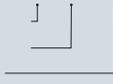
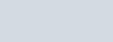
PUBLIC FRONTAGE

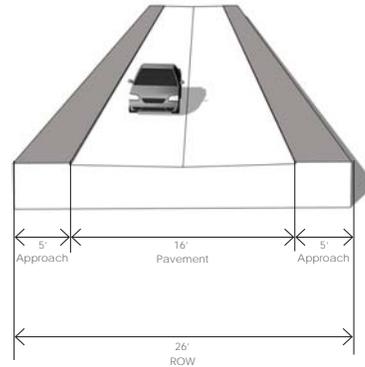
Assembly Width			
Transect Context			
See: Table 11, Table 19, Table 15, Table 18, Table 16			
Curbing	Type Cuts		
Walkway	Type Width		
	Surface		
Planter	Type Width		
	Surface		
	Planting		
Planting	Species Type		
	Arrangement		
	Spacing		
Lighting	Location	Affixed to structures	
	Light Spacing	Wall-Mount Opportunistic	

LEGACY FARMS

Community Plan

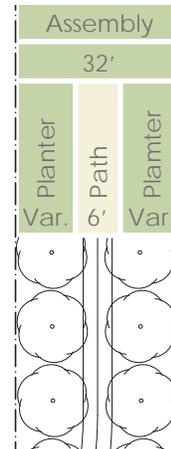
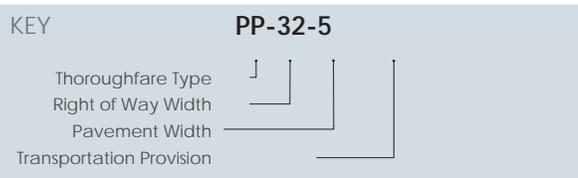
TABLE 6I - THOROUGHFARE RL-26-16

KEY		RL-26-16
Thoroughfare Type		
Right of Way Width		
Pavement Width		
DAP	Traditional Neighborhood	
CP		
	BT-3	
	BT-4	
VP	T4-R	T4-SL
	T4	T5-R



ASSEMBLY RL-26-16			
Right-of-Way Width	26 ft	Pavement Width	16 ft
TRANSPORTATION WAY			
Direction of Travel	N/A	Parking Lane Type	-
Vehicular Lane Count (total)	1	Parking Lane Count**	-
Vehicular Lane Width	16 ft	Parking Lane Width	-
	-		
PUBLIC FRONTAGE			
Assembly Width			
Transect Context			
See:			
Table 11, Table 19, Table 15, Table 18, Table 16			
Curbing	Type Cuts		
Walkway	Type Width		
	Surface		
Planter	Type Width		
	Surface		
	Planting		
Planting	Species Type		
	Arrangement		
	Spacing		
Lighting	Location	Affixed to structures	
	Light Spacing	Wall-Mount Opportunistic	

TABLE 6J - THOROUGHFARE PP-32-5



DAP	Traditional Neighborhood						
CP	BT-1						
		BT-2					
		BT-3					
		BT-4					
VP	T2	T3-R	T3	T4-R	T4-SL	T4	T5-R

ASSEMBLY PP-32-5

Right-of-Way Width	32 ft	Pavement Width	5 ft path min.
--------------------	-------	----------------	----------------

TRANSPORTATION WAY

Direction of Travel	-	Parking Lane Type	-
Vehicular Lane Count (total)	-	Parking Lane Count**	-
Vehicular Lane Width	-	Parking Lane Width	-
Median Width	-	Pedestrian Crossing Time	-
Median Planting	-	Transportation Provision	-
Median Surface	-	Target Speed	-

PUBLIC FRONTAGE		SPECIALIZED	SPECIALIZED
Assembly Width		32 ft	32 ft
Transect Context		ALL	T4-R, T4-SL, T4, T5-R
Curbing	Type Cuts	-	-
Walkway	Type Width	5 ft path min.	5 ft path min.
	Surface	Concrete	Concrete, Previous surface
Planter	Type Width	Continuous Variable	Continuous Variable
	Surface	Ground cover, natural	Ground cover, Xeriscape
	Planting	Mixed	Mixed
Planting	Species Type	Mixed Mixed	Alternating Rounded, vase
	Arrangement	Clustered	Regular
	Spacing	Clustered	30 ft o.c.
Verge	Width	-	-
	Light Spacing	Post, bollard 150 ft o.c.	Post, bollard 150 ft o.c.

LEGACY FARMS

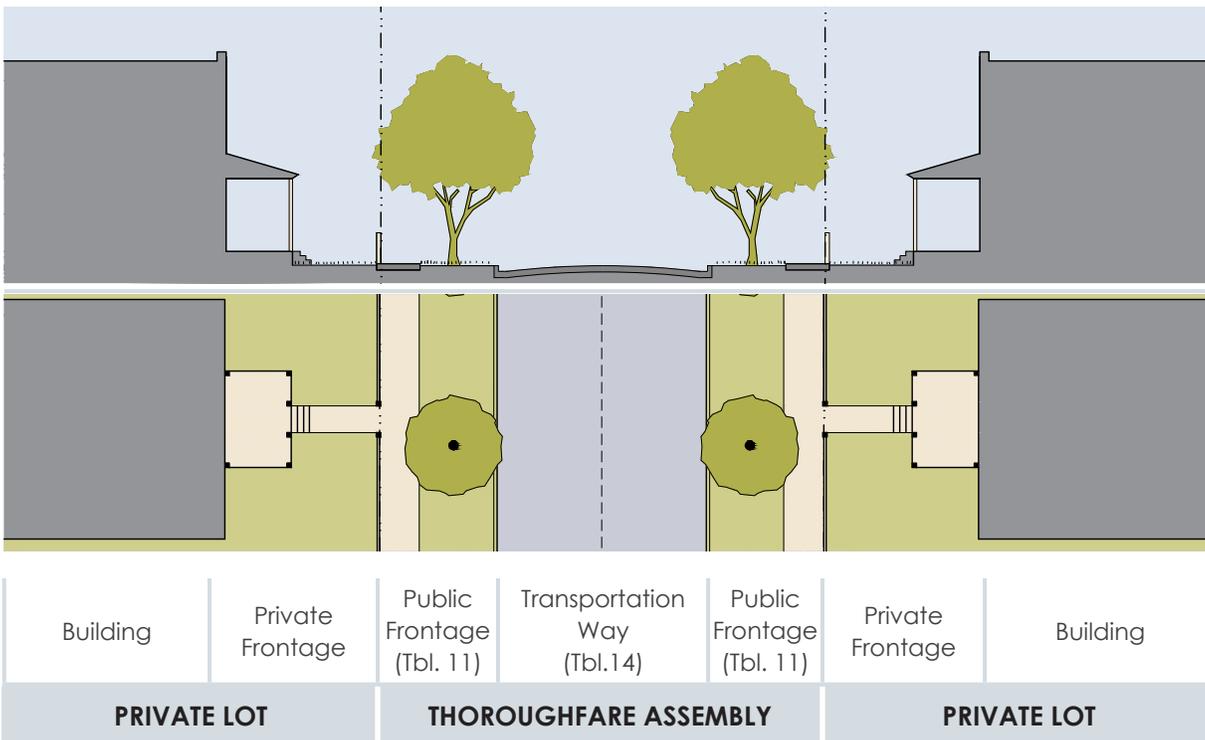
Community Plan

TABLE 6K - THOROUGHFARE PP-22-5

KEY		PP-22-5							Assembly		
Thoroughfare Type									22'		
Right of Way Width									Planter		
Pavement Width									5'		
Transportation Provision									Planter		
DAP	Traditional Neighborhood										
CP	BT-1										
		BT-2									
		BT-3									
		BT-4									
VP	T2	T3-R	T3	T4-R	T4-SL	T4	T5-R				
ASSEMBLY PP-22-5											
Right-of-Way Width				22 ft			Pavement Width			5 ft path min.	
TRANSPORTATION WAY											
Direction of Travel				-			Parking Lane Type			-	
Vehicular Lane Count (total)				-			Parking Lane Count**			-	
Vehicular Lane Width				-			Parking Lane Width			-	
Median Width				-			Pedestrian Crossing Time			-	
Median Planting				-			Transportation Provision			-	
Median Surface				-			Target Speed			-	
PUBLIC FRONTAGE		SPECIALIZED			SPECIALIZED						
Assembly Width		22 ft			22 ft						
Transect Context		ALL			T4-R, T4-SL, T4, T5-R						
Curbing	Type Cuts	-			-						
Walkway	Type Width	5 ft path min.			5 ft path min.						
	Surface	Concrete			Concrete, Pervious surface						
Planter	Type Width	Continuous Variable			Continuous Variable						
	Surface	Ground cover, natural			Ground cover, Xeriscape						
	Planting	Mixed			Mixed						
Planting	Species Type	Mixed Mixed			Alternating Rounded, vase						
	Arrangement	Clustered			Regular						
	Spacing	Clustered			30 ft o.c.						
Verge	Width	-			-						
	Light Spacing	Post, bollard 150 ft o.c.			Post, bollard 150 ft o.c.						

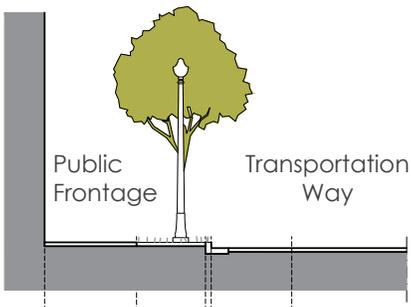
TABLE 7 - THOROUGHFARE AND FRONTAGE ILLUSTRATIONS

A.. TYPICAL SECTION



B. TYPICAL PUBLIC FRONTAGES (SEE TABLE 11)

FRONTAGE TYPE D (SUB-URBAN)



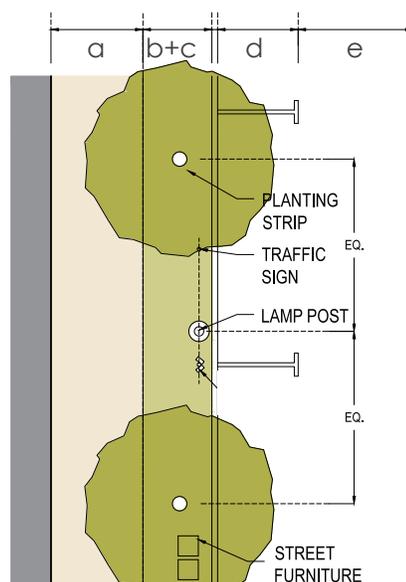
PUBLIC FRONTAGE

- a. Walkway
- b. Planter
- c. Verge

TRANSPORTATION WAY

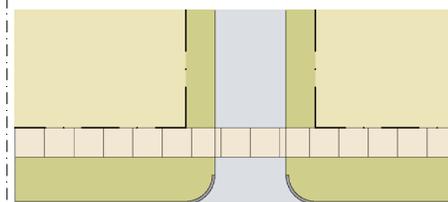
- d. Parking Lane
- e. Vehicular Lane

note: these drawings are illustrative

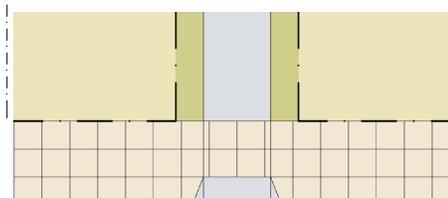


C. REAR LANE APPROACHES

Radius Approach (less urban)



Flared Approach (more urban)

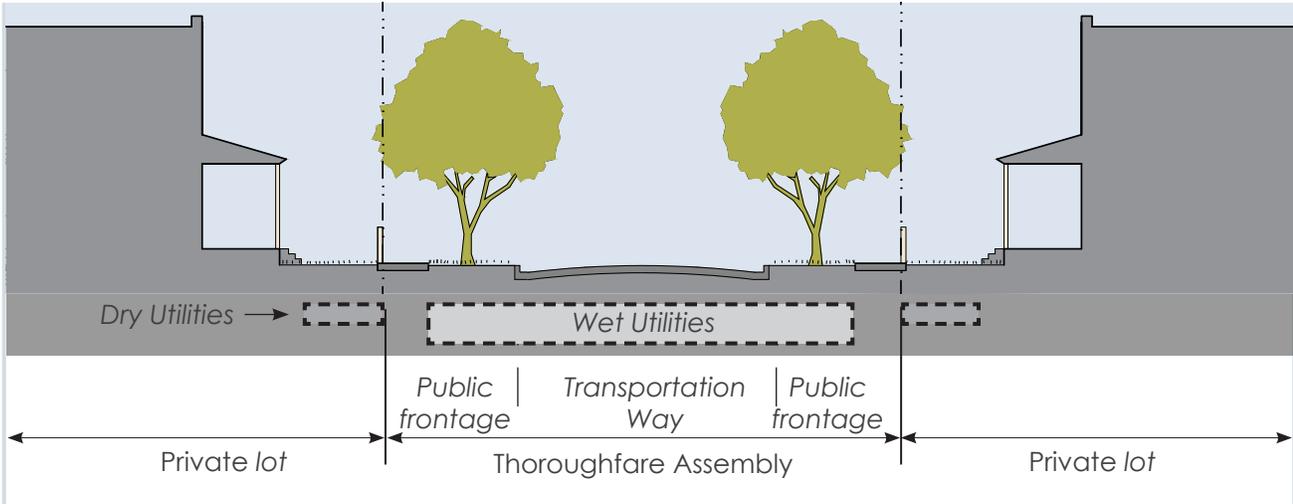


LEGACY FARMS

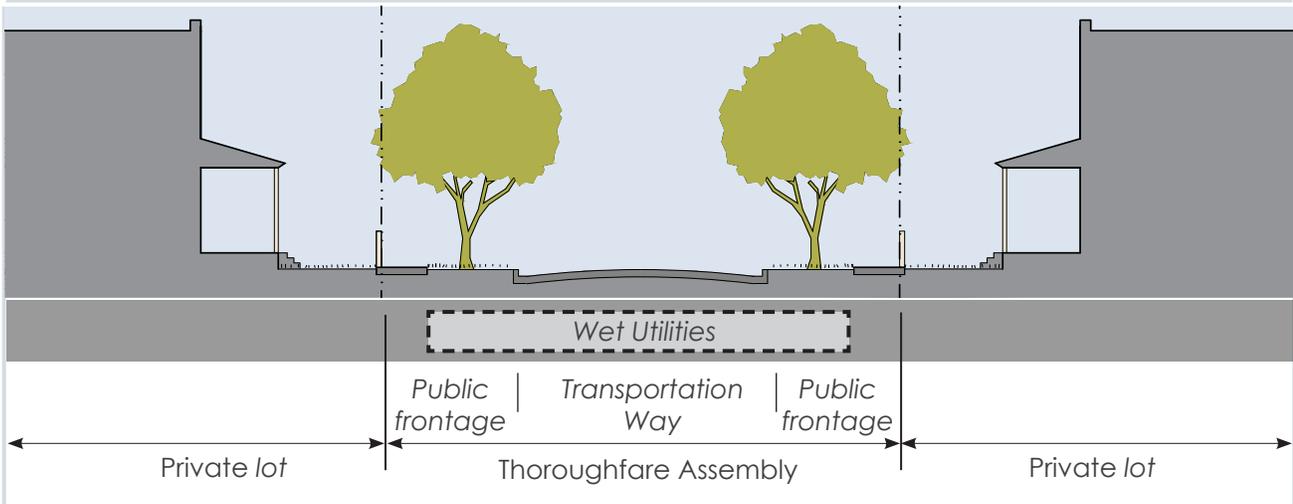
Community Plan

TABLE 8 - UNDERGROUND UTILITY EASEMENTS

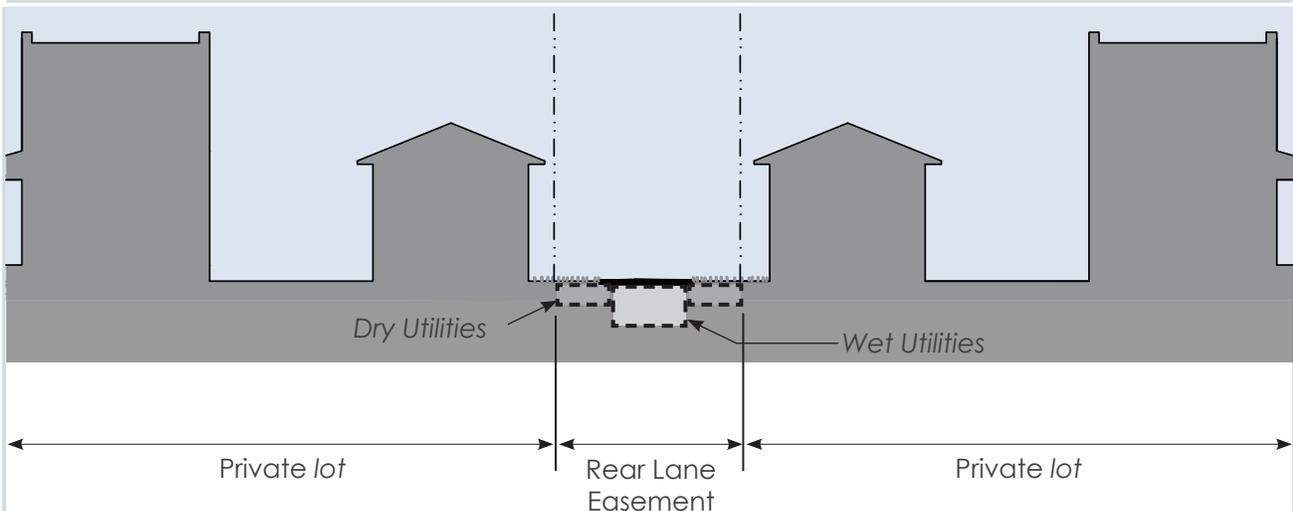
A. TYPICAL SECTION WITHOUT REAR LANE



B. TYPICAL SECTION WITH REAR LANE



C. TYPICAL REAR LANE



8D. TYPICAL SHARED LANE

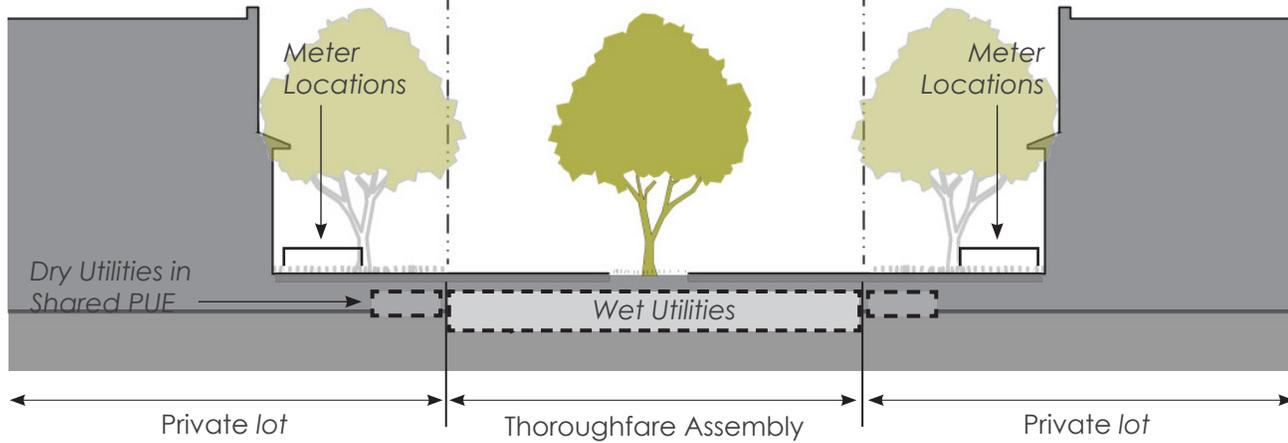


TABLE 9A - INTERSECTION ASSEMBLY TYPES

INTERSECTION TYPE	DAP	Traditional Neighborhood							DESCRIPTION	ILLUSTRATION
	CP	BT-1		BT-2			BT-3			
		BT-4								
		VP	T2	T3-R	T3	T4-R	T4-SL	T4		
T-INTERSECTION (T)		•	•	•	•	•	•	•	An standard intersection between two thoroughfares where one is terminated. <i>T-Intersections</i> cause the least vehicle to vehicle and vehicle to pedestrian conflict points. Urban <i>T-Intersections</i> provide opportunities for terminated vistas.	
4-WAY INTERSECTION (4W)		•	•	•	•	•	•	•	A standard intersection between two continuous thoroughfares at or near right angles.	
STAGGERED INTERSECTION (SI) *		•	•	•	•	•	•	•	An intersection where one continuous thoroughfare is intersected by two terminating thoroughfares in close proximity. <i>Staggered intersections</i> provide a high number of terminated vistas and are well suited at commercial streets where traffic is slow movement and encouraged along shopfronts.	
TURBINE (TN)		•	•	•	•	•	•	•	An intersection between three or four terminating thoroughfare segments creating open space or a civic district at the center. <i>Pin-wheel intersections</i> are versatile, providing opportunities for squares, greens, or playgrounds, and additional on-street parking.	

* Only available in Village Plans

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Community Plan

TABLE 9B - INTERSECTION ASSEMBLY TYPES

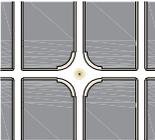
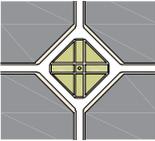
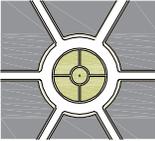
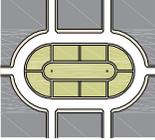
INTERSECTION TYPE	DAP	Traditional Neighborhood							DESCRIPTION	ILLUSTRATION
	CP	BT-1								
				BT-2						
				BT-3						
				BT-4						
VP	T2	T3-R	T3	T4-R	T4-	T4	T5-R			
TRAFFIC CIRCLE (TC)		•	•	•					<p>A free-movement intersection between two or more <i>thoroughfares</i>. <i>Traffic circles</i> allow vehicles to negotiate complex intersections safely without coming to a complete stop. For this reason, traffic circles are not appropriate in places with moderate to high pedestrian activity.</p>	
SQUARE ABOUT (SA)		•	•	•	•	•	•	•	<p>A free or near free-movement intersection of four or more <i>thoroughfare</i> segments in urban conditions. Unlike <i>traffic circles</i>, <i>square-about</i>s require slow speeds and are therefore pedestrian friendly. They also allow for spatial enclosure by buildings.</p>	
ROUND ABOUT (RA)					•	•	•	•	<p>A very large <i>traffic circle</i> intersecting multiple urban <i>thoroughfares</i> with a pedestrian accessible <i>civic district</i> at the center in a circular, oblong, or elliptical shape. <i>Round-about</i>s may require traffic control by timed or on-demand signalization to ensure safety at pedestrian crossings.</p>	
ELONGATED ROUND ABOUT (EA)							•	•	<p>A <i>civic district</i> including <i>civic space</i> and <i>civic buildings</i> well suited for the intersection of more than four <i>thoroughfare</i> segments in very urban environments. <i>Elongated round-about</i>s intersect the highest number of <i>thoroughfares</i> due to their size and are well suited to highly trafficked <i>thoroughfares</i> such as <i>boulevards</i>.</p>	

TABLE 10A - INTERSECTION ASSEMBLY TYPES - SPECIFIC

CONTEXT		POINTS OF INTERSECTION	INTERSECTION CONTROL	PUBLIC FRONTAGE (TBL. 7)	PEDESTRIAN CROSSINGS	ADDITIONAL PARAMETERS
	T2	1	Signal, Stop	A, B	unmarked	
	T3-R T3	1	Signal, Stop	A, B	unmarked, traverse	
	T4-R T4-SL T4	1	Signal, Stop	C, D	unmarked, traverse	
	T5-R	1	Signal, Stop	C, D	traverse, longitudinal	
	T2	2	Signal, Stop	A, B	unmarked, traverse	50 ft. min. centerline offset at SI intersections
	T3 T3-R	2	Signal, Stop	A, B	unmarked, traverse	80 ft. min. centerline offset at SI intersections
	T4-R T4-SL T4	2	Signal, Stop	C, D	traverse, longitudinal	80 ft. min. centerline offset at SI intersections
	T5-R	2	Signal, Stop	C, D	traverse, longitudinal	100 ft. min. centerline offset at SI intersections

* See Table 12 for permitted curb return radii

Note: all intersections must be illuminated and ADA compliant ramps must be provided

Note: For contexts other than transect sub-districts, refer to Table 10. Where a context is compatible with multiple transect sub-districts, any compatible row may be selected from this table.

LEGACY FARMS

Community Plan

TABLE 10B- INTERSECTION ASSEMBLY TYPES - SPECIFIC

CONTEXT		POINTS OF INTERSECTION	INTERSECTION CONTROL	PUBLIC FRONTAGE (TBL. 7)	PEDESTRIAN CROSSINGS	ADDITIONAL PARAMETERS
TC	T2	3-6	Yield, Free	A, B	unmarked, traverse	20 ft. min. internal radius*
	T3 T3-R	3-6	Stop, Yield, Free	A, B	traverse	12 ft. min. internal radius*
TN & SA	T2	3-4	Stop, Yield	A, B	traverse	
	T3-R T3	3-4	Stop, Yield, Free	A, B	traverse	
	T4-R T4-SL T4	3-4	Stop, Yield, Free	B, C, D	traverse	
	T5-R	3-8	Signal, Stop, Yield	C, D	longitudinal	
RA	T4-R T4-SL T4	3 +	Stop, Yield, Free	B, C, D	traverse, longitudinal	50 ft. min. internal radius*
	T5-R	3 +	Signal, Stop, Yield	C, D	longitudinal, diagonal	70 ft. min. internal radius*
EA	T5-R	4 +	Signal, Stop, Yield	C, D	longitudinal, diagonal	min. width by RA radius above

* See Table 12 for permitted curb return radii

Note: all intersections must be illuminated and ADA compliant ramps must be provided

Note: For contexts other than transect sub-districts, refer to Table 10. Where a context is compatible with multiple transect sub-districts, any compatible row may be selected from this table

Note: Per Utah State code all intersections will have longitudinal control

TABLE 11 - PUBLIC FRONTAGE ASSEMBLY TYPES

ASSEMBLY TYPE	A	B	C	D
a. Assembly: The principal variables are the type and dimension of curbs, walkways, planters and landscape.				
Total Width (ROW to BOC)	14 ft min.	11 ft min.	11 ft min.	11 ft min.
b. Curbing: The detailing of the edge of the vehicular way, incorporating drainage.				
Curbing Type Alley & Drive Approach	Raised Curb Radius	Raised Curb Radius	Raised Curb Flared	Raised Curb Flared
c. Walkway (WW): The portion of the thoroughfare dedicated exclusively to pedestrian activity.				
Type Width	Sidewalk 5 - 8 ft	Sidewalk 5 - 6 ft	Sidewalk 5 ft. min.	Sidewalk 5 ft. min.
d. Planter: The portion of the thoroughfare with street trees and other landscape.				
Arrangement	Regular	Regular	Regular	Opportunistic
Type	Regular	Regular	Regular	Similar
Mix	Similar	Similar	Similar	Similar
Sequence	Single	Single	Single	Single
Spacing	Regular	Regular	Regular	Regular / Irregular
Planter Type*	Continuous Planter	Continuous Planter	Continuous Planter	Long Tree Well
Planter Width	9 ft min.	6 ft min.	6 ft min.	6 ft x 12 ft min.
Public Planting Type (Table 19)	Columnar, Rounded, Vase, Pole	Columnar, Rounded, Vase, Pole	Columnar, Rounded, Pole	Columnar, Rounded, Pole
e. Verge: Provides locations for <i>public infrastructure</i> and <i>public furniture</i> outside of access ways. Within 2 feet of EOP.				
Verge Width	4 ft	4 ft	5 ft	5 ft
Verge Material	match planter	match planter	match planter	match walkway or pervious
Lighting Type (Table 18)	Post, Column	Post, Column	Post, Column Bollard	Column, Double Column, Bollard

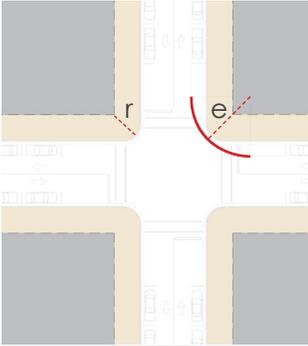
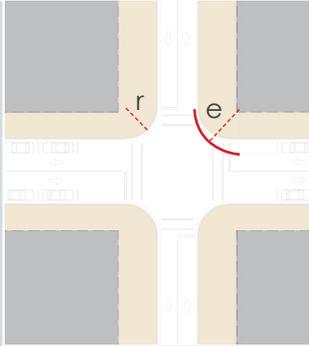
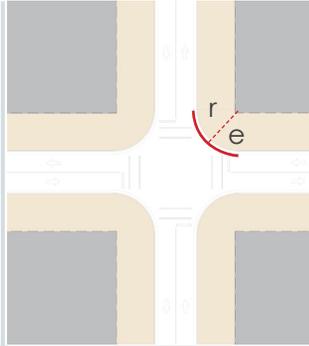
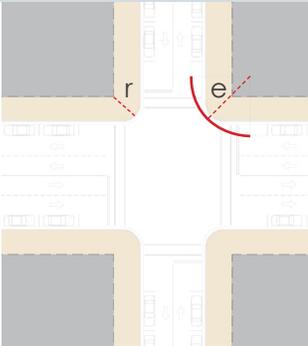
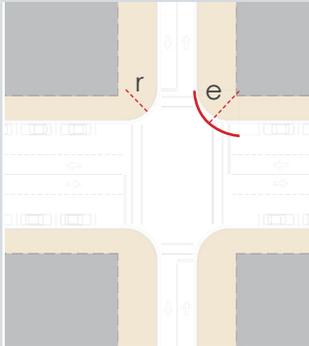
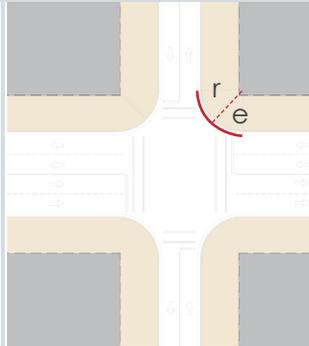
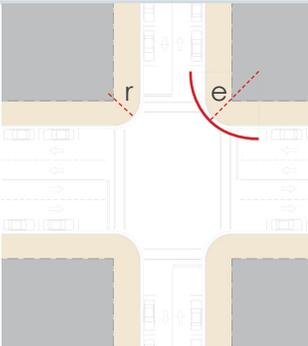
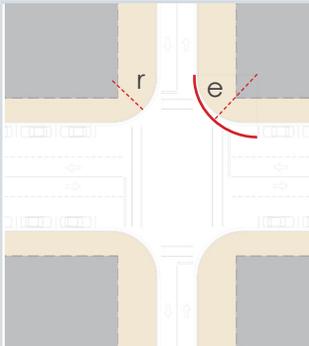
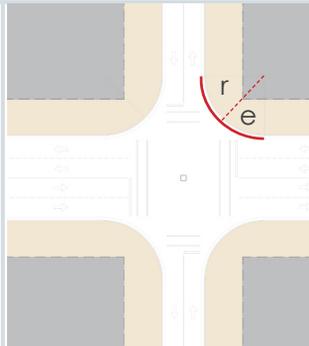
* Planter surface based on block or neighborhood hydrology

Note: Saratoga Springs City standards apply to public roads, Community Plan standards apply to private roads

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Community Plan

TABLE 12 - EFFECTIVE TURNING RADII

Thoroughfare Network Type	Parking Lanes - All	Parking Lanes - One	Parking Lanes - None
Local Thoroughfares, Shared Lanes, and Private Streets			
Curb Return Radius * (r)	10 ft. min.	18 ft. min.	25 ft. min.
Effective Radius ** (e)	25 ft. min.	25 ft. min.	25 ft. min.
Minor Thoroughfare Network			
Curb Return Radius * (r)	10 ft. min.	18 ft. min.	25 ft. min.
Effective Radius ** (e)	25 ft. min.	25 ft. min.	25 ft. min.
Major Thoroughfare Network			
Curb Return Radius * (r)	15 ft. min.	26 ft. min.	35 ft. min.
Effective Radius ** (e)	35 ft. min.	35 ft. min.	35 ft. min.

* The Curb Return Radius is measured along the vertical face of curb.

** The tangents of the Effective Radius are measured at the outside edge of the traveled way.

TABLE 13- PEDESTRIAN CROSSINGS									
	Unmarked			Transverse			Longitudinal		
Transect sub-district	T2	T3-R T3	T4-R T4-SL T4	T3-R T3	T4-R T4-SL T4	T5-R	T4-R T4-SL T4	T5-R	
Crosswalk Assembly The principle variables are the type, dimension and angle of markings									
Total Width	n/a			10 feet min.			10 feet min.		
Stripe Width	n/a			1 foot			1 foot		
Transverse Line Offset	n/a			10 feet o.c. min.			n/a		
Longitudinal Line Offset	n/a			n/a			3 feet o.c.		
Material	n/a			Chlorinated Paint Pavement Marking Tape			Chlorinated Paint Pavement Marking Tape Thermoplastic		
Special Locations	n/a			n/a			n/a		
Intersection Signaling	Yield, Stop			Stop, Signal			Stop, Signal		

TABLE 14 - THOROUGHFARE ASSEMBLIES - SPECIFIC								
Context	Move-ment	Public Frontage (Table 7)	Multi-Modal Lanes			Median	Centerline Striping	
			Travel Lanes	Width	Parking Lanes*			
ST	T2	two-way	A, B	1-2	One way = 21 ft.	0-2	No	Optional
	T3-R T3	one-way or two-way	A, B, C	1-2		0-2	No	Optional
	T4-R T4-SL T4	one-way or two-way	A, B, C, D	1-2	Two way = 18.5 ft. or 12.5 ft.	1-2	No	Optional
	T5-R	one-way or two-way	C, D	1-2	2	No	Optional	

Note: For contexts other than transect sub-districts, refer to Table 6. Where a context is compatible with multiple transect sub-districts, any compatible row may be selected from this table

Lane structure may be reconfigured to accommodate a center turn lane within the prescribed pavement section to provide access to civic districts

* Multi-modal lane width includes gutter pan where installed

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Community Plan

TABLE 15 - TREE PLANTING PATTERNS

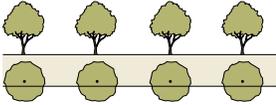
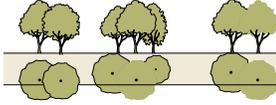
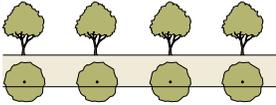
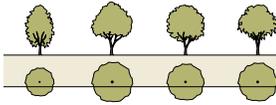
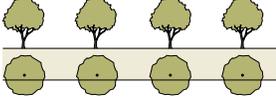
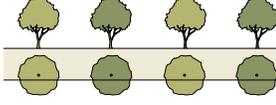
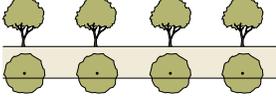
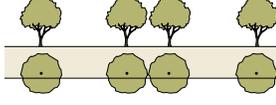
	Regular	Naturalistic / Clustered
A. ARRANGEMENT Opportunistic arrangement is not illustrated.		
B. TYPE MIX	Single 	Varied 
C. SEQUENCE	Single 	Alternating 
D. SPACING	Regular 	Irregular 

TABLE 16 - TREE PLANTERS

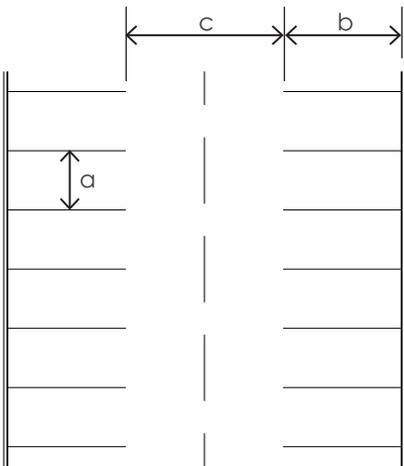
CONTINUOUS PLANTER	NARROW (<5 FEET)	WIDE (>5 FEET)	CONFIGURATION
			
LONG TREE WELL	Partially Covered 1	Partially Covered 2	
			Where parallel parking is adjacent to the planter, a minimum 1 foot wide walkway should be provided between the planter and curb.
TREE WELL	Fully Covered Narrow (<5 feet)	Fully Covered Wide (>5 feet)	
			Where parallel parking is adjacent to the planter, a minimum 1 foot wide walkway should be provided between the planter and curb.

TABLE 17- PARKING REQUIREMENTS

The number of required parking stalls is prescribed by product type and will be specified at the Village Plan level. In accordance with the Saratoga Springs City Center District Area Plan on-street parking is encouraged in Legacy Farms.

ON AND OFF-STREET PARKING CONFIGURATION

Angle x	Stall width a	Stall Depth b	Aisle Width c	Skew Width d
90	9'	18'	24' min.	
60	9'	18'	18'	9.8'
45	9'	18.75'	11'	12'
30	9'	16.5'	12'	17'
0	8.5'	22'	11.5'	

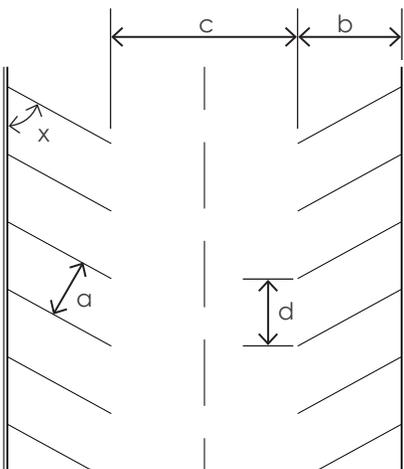


SARATOGA SPRINGS CITY CENTER DISTRICT AREA PLAN

STREET CONCEPTS

Neighborhood Residential Streets

Neighborhood residential streets do not serve regional traffic, rather they are low-volume and neighborhood serving. The urban design of residential streets includes sidewalks, street trees and building frontages. On street parking is encouraged, both for ease of residents and to slow traffic. Driveways and garages may be in the back of buildings and accessed by an alley which decreases the number of driveways entering onto the street.



Neighborhood Residential



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LIGHTING STANDARDS

Public lighting in parking lots and along the peripheral arterial roadways, Redwood Road and 400 So., will comply with Saratoga Springs City *Standard Street Light Details*. Public lighting for all public and private thoroughfares internal to the Community Plan will comply with the standards contained in Table 18. The aesthetic style of light fixtures within Legacy Farms will be consistent with the style of fixture prescribed by Saratoga Springs City lighting standards.

Only full cut-off fixtures are permitted. No uplight for area and street lighting is allowed to reduce glare, light trespass, and skyglow. Lumen levels should not exceed 1.25 foot candles, or 3,500 base foot candles per site. Lighting may be used for safety and convenience but it is not necessarily uniform or continuous. After curfew, most lighting should be extinguished or reduced as activity levels decline.

Uplighting from low-voltage landscape light fixtures is permitted to illuminate vegetation, tree canopy and architectural interest. The term low voltage landscape and architectural lighting, for the purpose of these standards, refers to permanently installed outdoor lighting fixtures operating at 12 volts or less, which illuminate landscape environments and exterior structures.

TABLE 18 - PUBLIC LIGHTING							
TYPE		HEIGHT	SPACING	TYPE		SIZE/HEIGHT	SPACING
COLUMN 	T2			WALL-MOUNT 	T2		
	T3-R T3	10 - 14 ft.	300 ft. on center min.		T3-R T3	Appropriate to achieve proper architectural scale	Opportunistic
	T4-R T4-SL T4	10 - 14 ft.	300 ft. on center min.		T4-R T4-SL T4		Opportunistic
	T5-R	12 - 16 ft.	200 ft. on center min.		T5-R		Opportunistic
POST 	T2			BOLLARD 	T2		
	T3-R T3	8 - 10 ft.	300 ft. on center min.		T3-R T3		
	T4-R T4-SL T4	10 - 14 ft.	200 ft. on center min.		T4-R T4-SL T4	3 ft. max.	20 ft. on center min.
	T5-R		.		T5-R	3 ft. max.	20 ft. on center min.

Note: Where possible, lights should be located in line with side lot lines.

GENERAL ARCHITECTURAL STANDARDS

Mechanism

In accordance with section 19.26.030,2,d of the Planned Community Zone, a home owners association (HOA), master association, design review committee, or other governing body will be established to review, approve, and enforce architectural requirements in conjunction with the first Village Plan for Legacy Farms. All architectural elements will be reviewed and approved by the HOA Architectural Design Review Committee prior to going before the Saratoga Springs Design Review Committee. Compliance with design guidelines will be established through the building permit process by the planning department.

Objective

The architectural criteria presented in this document are meant to act as guidelines for the design of homes at Legacy Farms. These guidelines are not prescriptive; rather, they comprise a body of design elements and characteristics which, when implemented correctly, can create a diverse and harmonious architectural landscape.

The buildings shown in the document are possible interpretations of the proposed architectural styles, not templates for future construction. There are many possible successful interpretations of the proposed architectural styles. It should not be expected nor desired that each building will incorporate all elements of a style, or that each style will be equally represented. The design of individual buildings and the implementation of styles will be determined at building permit.

The architectural style and theme for Legacy Farms is derived from local precedent. The following architectural standards will govern product design within Legacy Farms. Only the architectural styles listed below are permitted within Legacy Farms:

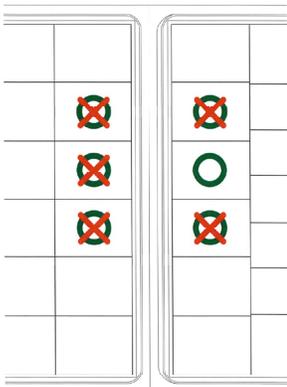
- Legacy Craftsman
- Legacy Modern
- Legacy Farmhouse
- Legacy Prairie
- Legacy Traditional

Repetition

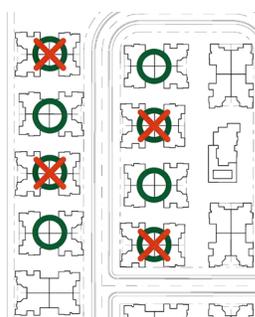
Legacy Farms should provide a variety of home styles on each street to create a diverse and interesting street scene. Neighborhoods with little product variation, and architectural styles that are too homogenous are not permitted in order to ensure that street scenes are non-repetitive,

Single Family Detached Guideline:

Single Family Detached



Attached Residential



Single-family homes with the same style or color scheme shall not be built on adjacent lots, or on lots directly across or diagonally from one another on the same street. Additionally, single family homes with the same color scheme, regardless of floor plan and/or style, shall not be built on adjacent lots, or on lots directly across or diagonally from one another on the same street.

Attached Residential Guideline:

Attached residential buildings that have the same style or color scheme shall not be built on adjacent lots or on lots directly across from one another on the same street.

LEGACY FARMS

Community Plan

INTRODUCTION



Legacy Craftsman



Legacy Prairie



Legacy Farmhouse



Legacy Traditional



Legacy Modern

The architectural styles chosen for Legacy Farms aim to create a neighborhood with a diverse and harmonious built environment and a strong sense of place. The five styles are Legacy Craftsman, Legacy Farmhouse, Legacy Modern, Legacy Prairie, and Legacy Traditional. The Legacy styles, as defined in this document, shall create a strong architectural character for Legacy Farms that is timeless and unassuming.

Many things contribute to defining a particular style. In some cases, the use of just a handful of elements can be successful in creating an authentic architectural composition. Not all possible arrangements and details have been presented. Creative application of the design principles is encouraged. Unlike the more prescriptive standards one may find in a zoning code, the principles and guidelines in this document are aimed at allowing for flexibility while promoting design quality and consistency. Following these guidelines will help achieve cohesive and harmonious streetscapes at Legacy Farms.

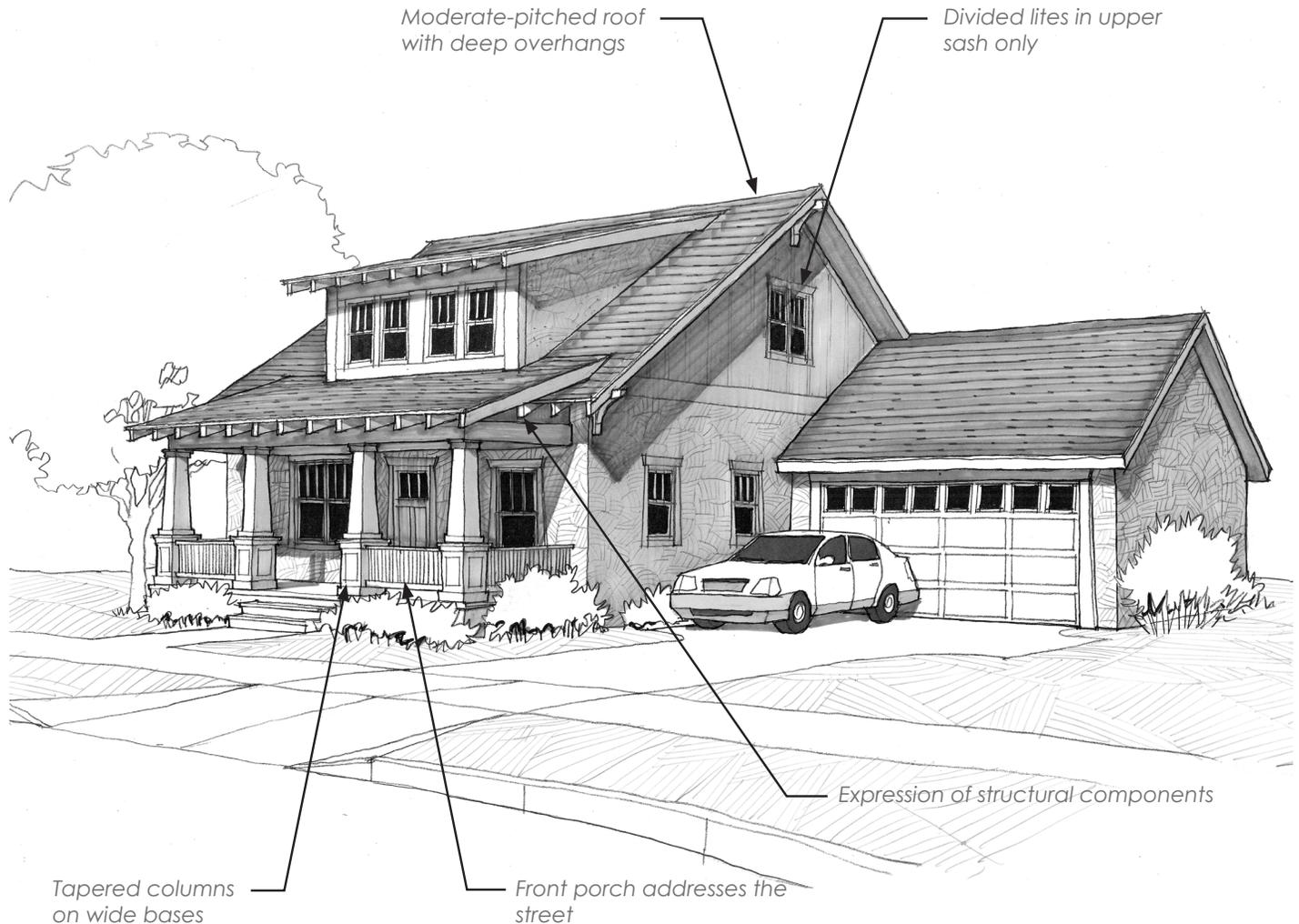
LEGACY CRAFTSMAN

The Legacy Craftsman style is a close interpretation of the Craftsman style that developed from the Arts and Crafts movement of the late 19th and early 20th centuries. This movement addressed design on many levels, from architecture to furniture and pottery. Proponents of the Arts and Crafts movement advocated a fully integrated approach to house design and furnishings, with a design philosophy based on simplicity, durability and harmony with nature. Special attention was given to the way pieces were joined together. A new structural expression was developed, including exposing beams, columns and joists. The Craftsman style flourished in the United States in the early 20th century, and was frequently applied to modest and small houses.

The Legacy Craftsman style is characterized by simplicity, the expression of certain structural members, and attention to wood joinery, especially at porches. Legacy Craftsman homes feature moderate-pitched gable roofs with wide overhangs and large porches with substantial columns and bases.

LEGACY FARMS

Community Plan



LEGACY CRAFTSMAN

The principal features of the Legacy Craftsman style are low- to moderate-pitched gable roofs with wide overhangs, exposed rafters at porches and, wherever feasible, generous porches with substantial columns and bases. Dormers are typical on 1½-story designs. Symmetry is optional and depends on the orientation of the principal roof.

Ornamentation is restrained. Details that are characteristic of the style include exposed rafter tails, tapered columns and trim elements, and diagonal knee braces at gable ends. Wall materials may include stone, brick, stucco, shingles, and siding.

The example above is one interpretation of the Legacy Craftsman style. There are many possible successful interpretations. All elements shown here, and described in this style, are not required on every building. Elements not listed are prohibited.

LEGACY CRAFTSMAN

Massing

- A side gable, center gable facing the street, or cross gable with dormers is typical for the primary roof form.
- One-story and 1½-story massing compositions are permitted, although 2-story compositions can also be acceptable.
- Dormers are typical in 1½-story designs.
- Emphasis should be on horizontal rather than vertical lines.

Roof

- Low-sloping gable roofs with wide overhangs are typical.
- Shed or pitched dormers are common.
- Generously sized eaves with exposed decorative rafters are characteristic of the style, but not required.
- Roof pitches: 3:12 to 8:12
- Roof overhangs: 12 - 30 inches at rakes and eaves

Windows & Doors

- Individual windows are typically square or vertically oriented.
- Windows are often mulled together in pairs or threes.
- Double-hung windows with divided lites in upper sashes only, usually in a three-over-one configuration, are typical.
- Limited use of small accent windows and angled bays

in encouraged.

- A single, rectilinear door is typical.
- Large lites in doors are common and are often divided to match the windows.
- Wide trim (5 to 6-inch) with head trim extending past the jamb is typical for doors and windows. Tapered side trims are typical.

Porch / Entry

- Porches facing the street are common.
- Porch columns typically sit on wider bases or low walls.
- Tapered or double-columns with header and base details are common.

Details

- Expression of structural members and attention to wood joinery is characteristic of the style.
- Beams, knee braces, and brackets are often found at gable ends.
- Extended lintels over door and porch openings are common.
- Tapered elements, including trim work and columns, are common.



Elevations of a cottage and a larger house at Legacy Farms. The building designs exemplify how the guidelines of the Legacy Craftsman architectural style can be applied at different scales.

LEGACY FARMS

Community Plan

EXAMPLES FOR VARIOUS INTERPRETATIONS OF THE CRAFTSMAN STYLE



Images depict interpretive examples of the architectural style rather than specific execution

EXAMPLES FOR VARIOUS INTERPRETATIONS OF THE CRAFTSMAN STYLE



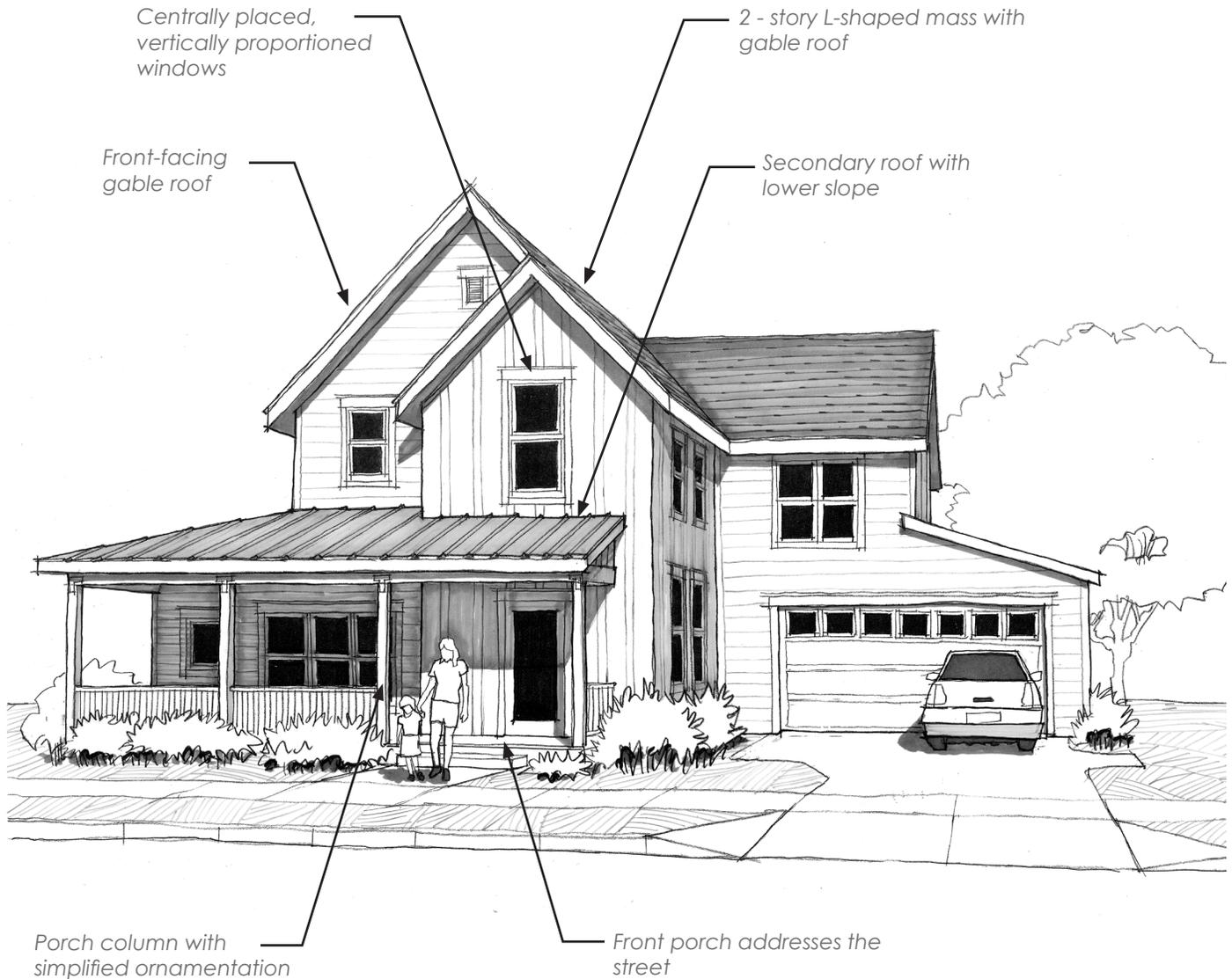
LEGACY FARMS

Community Plan

LEGACY FARMHOUSE

The Legacy Farmhouse style is a contemporary interpretation of the Folk Victorian style that was prevalent in the United States from about 1860-1910. There were many regional applications of the Victorian style, as well as combinations of specific elements into eclectic compositions. Variations of the Victorian style include Richardsonian, Romanesque, Shingle, Queen Anne, and Folk. Folk Victorian has simpler forms and details than its counterparts.

The Folk Victorian style developed and flourished as railroads spread across the country, providing a steady supply of Victorian-style millwork. Local builders and carpenters applied their skills based on their understanding of the Victorian style. Pattern books containing illustrations and details were sources of inspiration and instruction. The application of these stylistic principles to modest homes across the country resulted in Folk Victorian, with simplified forms and ornamentation applied chiefly to porches, gable ends and cornices.



LEGACY FARMHOUSE

The Legacy Farmhouse style is characterized by a gable roof facing the street. The main gable may be combined with wings on one or two sides or emerge from a larger hip-roofed rectangular volume. A one-story porch should be provided and integrated into the front facade. Gable, hip, shed, or special dormers are employed to provide additional floor area, daylight, and architectural interest. Facade compositions should feature symmetrically placed, vertically proportioned, double or single-hung windows. Symmetry in the overall composition is optional.

Detailing should be simplified. Ornamentation should be employed with restraint at porches, gable ends, and special features, such as bays. Appropriate wall materials may include horizontal lap siding and board and batten siding.

The example above is one interpretation of the Legacy Farmhouse style. There are many possible successful interpretations. All elements shown here, and described in this style, are not required on every building. Elements not listed are prohibited.

LEGACY FARMS

Community Plan

LEGACY FARMHOUSE

Massing

- A front-facing gable without side wings is typical.
- Overall massing should be simple and emphasize vertical building elements.
- Projecting bays and low-sloping shed roofs are common.
- 1½ to 2-stories are typical, with a main level floor-to-ceiling height of 8 to 10 feet.

Roofs:

- Gable roofs facing the street are typical.
- Use of shed or gable-end dormers is encouraged.
- The main gable is often intersected by other roofs.
- Main roof pitches: 6:12 to 12:12
- Secondary hip or shed roof pitches: 3:12 to 6:12
- Roof overhangs: 6 to 12 inches

Windows & Doors:

- Vertically proportioned double and single-hung windows are typical.
- Individual or paired window treatments are common.
- Square and angled bay window treatments are common.
- Wide (4 to 6-inch) exterior trim and cap moldings on windows and doors are typical.
- Limited use of multi-pane sashes with divided lites is encouraged and may occur in both sashes in the following configurations: one-over-one, two-over-one, two-over-two, four-square-grid-over-one, and four-square-grid-over-four-square-grid.

- Lites in doors are common and often express ornamentation.

Porch / Entry

- Street-facing, one-story porches are common. Wraparound porches are encouraged at corner lots.
- Porch roofs are typically forward-facing shed or hip.
- Porches may have exposed wood and metal elements.
- Square columns (at least 6x6) or round columns (at least 6 inches) are typical.
- Railings may be turned or square balusters or steel.

Detail Elements:

- Detailing is simplified and ornamentation is restrained.
- Exposed structural elements on porches are typical.
- Ogee or half-round gutters are common.
- Board & batten wainscoting (in courser spacing) is recommended.
- Square or more detailed moldings along rakes are common.



Elevations of a cottage and a larger house at Legacy Farms. The building designs exemplify how the guidelines of the Legacy Farmhouse architectural style can be applied at different scales.

EXAMPLES FOR VARIOUS INTERPRETATIONS OF THE FARMHOUSE STYLE



Images depict interpretive examples of the architectural style rather than specific execution

LEGACY FARMS

Community Plan

EXAMPLES FOR VARIOUS INTERPRETATIONS OF THE FARMHOUSE STYLE



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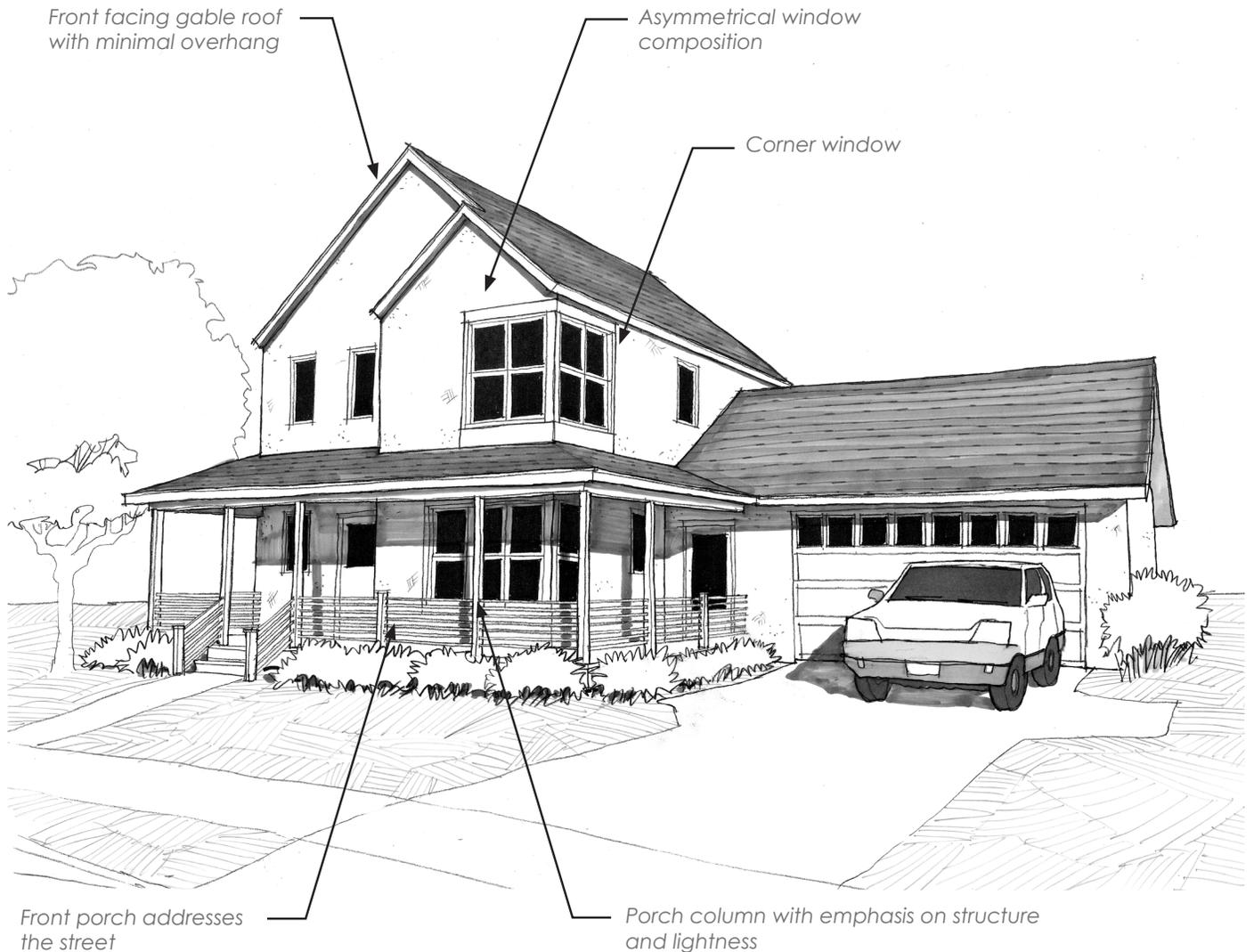
LEGACY MODERN

The Legacy Modern style is an interpretation of the early 20th century modern architecture in Europe. Pioneers of the modern movement sought to cut ties with traditional styles and achieve a universal aesthetic inspired by the workings of machines. There are many interpretations of modern architecture, but it is the work of northern European architects, such as Alvar Aalto and Eero Saarinen, which emphasized simplicity and subtle architectural expression as opposed to individual experimentation. It is the timeless and classic character of this interpretation of modern architecture that inspired the Legacy Modern style.

Common characteristics of the Legacy Modern style include simple massing, unassuming details, quiet articulation of doors and windows, and limited, if not zero-overhang, eaves and rakes. These elements support an architectural language that will be appealing when repeated along a block face and will fit with and complement the other styles provided here. The use of special effects, such as unique windows, asymmetrical roof forms, and accent colors, should be restrained to ensure a timeless and universal quality.

LEGACY FARMS

Community Plan



LEGACY MODERN

The Legacy Modern style emphasizes simple forms and minimal ornamentation. The massing is similar to Legacy Farmhouse, but the detailing and composition of doors and windows are quite distinct. In general, detailing and the use of materials create a feeling of lightness. Asymmetrical door and window compositions, window walls, and exposed structural elements at porches are characteristic of the Legacy Modern style. Horizontal railing is common.

Unlike some interpretations of the modern style, in which unique building elements are employed and exaggerated to maximize individual expression, the Legacy Modern style values simplicity and restraint. Unique and special elements should be used in moderation to achieve a harmonious neighborhood character.

The example above is one interpretation of the Legacy Modern style. There are many possible successful interpretations. All elements shown here, and described in this style, are not required on every building. Elements not listed are prohibited.

LEGACY MODERN

Massing

- General massing is similar to the Legacy Farmhouse style and respects the simplicity of basic shapes.
- Overall massing should be simple and emphasize vertical building elements.
- Projecting bays and low-sloping shed roofs are common.
- 1½ to 2-stories are typical, with a main level floor-to-ceiling height of 8-10 feet.

Roofs:

- Roof forms may include a combination of gable, shed, and hip.
- The main gable is often intersected by other roofs.
- Primary façade gable roof pitches: 6:12 to 12:12
- Secondary hip or shed roof pitches: 3:12 to 8:12
- Roof overhangs: 0 to 12 inches

Windows & Doors:

- Asymmetrical window compositions are typical.
- Horizontal windows are suitable within compositions if the overall effect is vertical.
- Corner window compositions are common.
- Window walls are common.
- Facades with window wall compositions should be balanced with smaller individual apertures.
- Casement and picture windows are typical.
- Divided lites are not used.

- Wide (4 to 6-inch) exterior trim and cap moldings on windows and doors are typical.
- Unique front doors are common.

Porch/Entry

- Street-facing porches are encouraged.
- Porches must be covered by a balcony or real roof. Trellis and other decorative roof structures are discouraged.
- Exposed structural elements on porches are common.
- Steel columns and railings are common.

Detail Elements:

- Minimal details and restrained ornamentation are typical.
- Corner boards and siding that are painted the same color to emphasize mass are common.
- Steel components are common in columns, railings, and fasteners.
- Stucco joints are often expressed in composition with other building elements.



Elevations of a cottage and a larger house at Legacy Farms. The building designs exemplify how the guidelines of the Legacy Modern architectural style can be applied at different scales.

LEGACY FARMS

Community Plan

EXAMPLES FOR VARIOUS INTERPRETATIONS OF LEGACY MODERN STYLE



Images depict interpretive examples of the architectural style rather than specific execution

EXAMPLES FOR VARIOUS INTERPRETATIONS OF LEGACY MODERN STYLE



Images depict interpretive examples of the architectural style rather than specific execution

LEGACY FARMS

Community Plan

LEGACY PRAIRIE

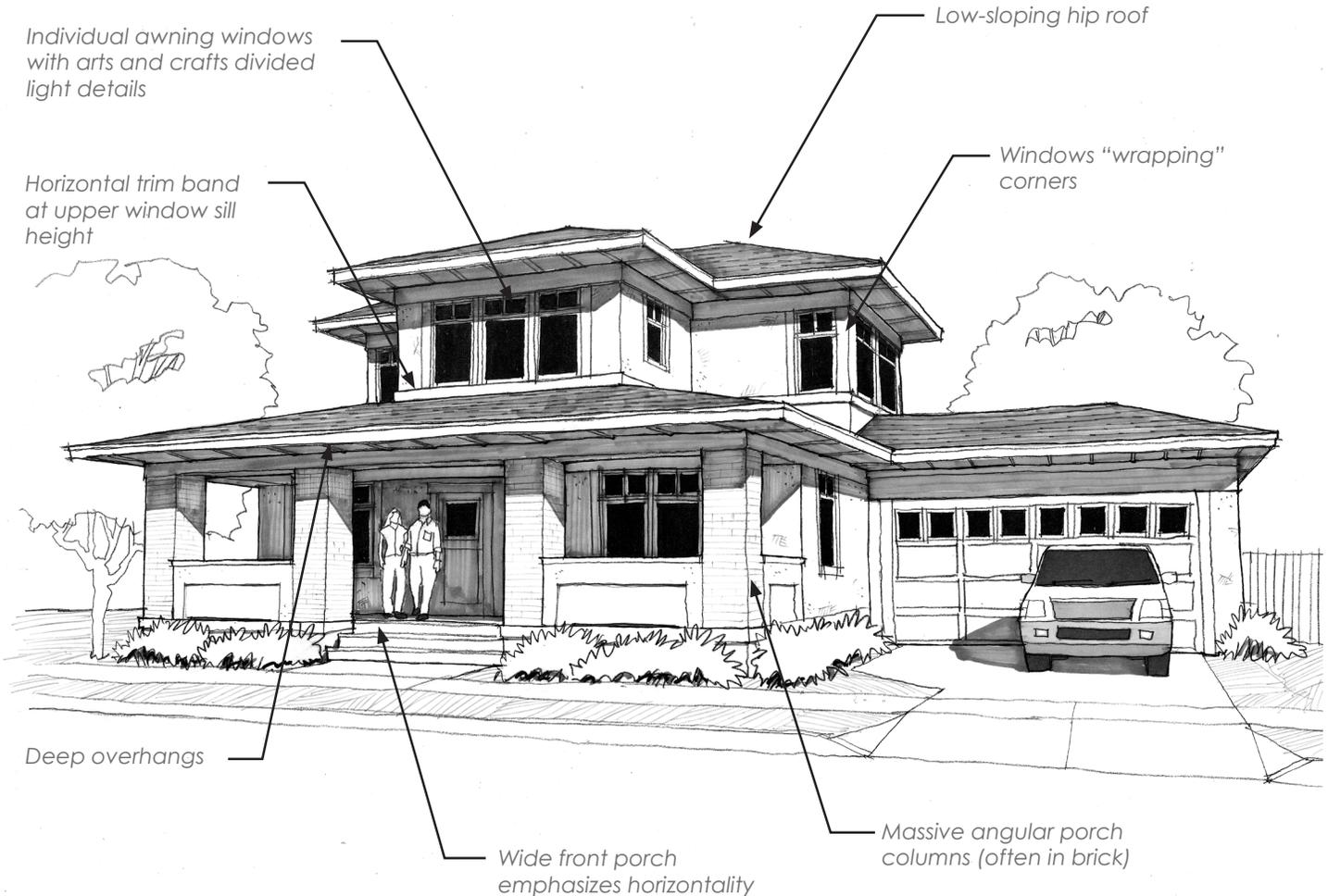
The Legacy Prairie style is an architectural response to the flat, expansive, and serene characteristics of the prairie landscape. It was first developed in the Midwest by the American architect Frank Lloyd Wright in the early decades of the 20th century. It was then adopted and further articulated by many designers as a unique architectural style.

In the early 1900's, Wright's office was exploring a unique approach to the Midwestern prairie landscape, which today one might call a regionalist response. Synthesizing regionally appropriate characteristics with elements of the Art Deco movement and even Japanese vernacular Wright created what is now known as the "Prairie Style": clean and quiet detailing meet a unique interpretation of Art Deco's abstract articulation.

The style spread throughout the country due to the use of pattern books and various articles in popular magazines. Various interpretations of the Prairie style have been developed over the years and the style has established its place in urban neighborhoods among other popular American residential architectural styles.

LEGACY FARMS

Community Plan



LEGACY PRAIRIE

The Legacy Prairie style is characterized by low, flat building massing, an emphasis on horizontality, the use of continuous bands on the façade, and strong definitions of base, middle band, and roof. The typical primary roof form is a relatively low sloping hip. Secondary roofs over porches or projections from the main building mass are also hipped. Dormers are rarely, if ever, used.

Ornamentation is restrained. Limited expression of masonry details, divided lites in windows and doors, and continuous horizontal bands are characteristic of the prairie style. Exterior materials typically include brick, stucco and wood. Brick would often be used on the first story with stucco or horizontal wood siding above. Material breaks should occur at the line of the upper level window sills.

The example above is one interpretation of the Legacy Prairie style. There are many possible successful interpretations. All elements shown here, and described in this style, are not required on every building. Elements not listed are prohibited.

LEGACY FARMS

Community Plan

LEGACY PRAIRIE

Massing

- Low, rectangular forms with an emphasis on horizontality are typical.
- Horizontal bands defined by changes in color and/or material emphasize the base, middle and top of the building mass.
- Horizontal bands (usually at sill and header heights) are continuous across building elements, such as secondary roofs and balconies.
- The base band often extends to the bottom of the second-story sill.
- Legacy Prairie should feel lighter than traditional Midwestern Prairie; the use of masonry should be less prominent in Legacy Prairie homes.

Roof:

- Low-sloping hip roofs are typical.
- Secondary roofs of porches and projections are also typically hipped.
- Clerestories are common; dormers are rarely used.
- Roofs pitches: 3:12 to 6:12
- Overhangs: at least 30 inches; larger overhangs are typical.

Porch / Entry

- Porches are often an integral part of the massing, rather than additive components; they sometimes have balconies or shed roofs above.
- Wide porch columns with decorative planters are common.
- Masonry walls are suitable in place of porch railing.

Windows & Doors

- Windows are typically arranged in compositions, rather than individually placed.
- Horizontal bands of windows are common, as well as windows wrapping corners.
- Arts and Crafts windows with divided lites are common.
- Window and door trim is often integrated into horizontal trim bands wrapping building.
- Half-lite and full-lite doors are common and often decorative. Compositions with side lites are common as well.

Details

- Building elements with rectilinear emphasis are encouraged; diagonals or curves are discouraged.
- Large, continuous trim under the eave of the primary roof is typical; trim is often integrated into the headers of second-story windows.
- Horizontal elements like sills, porch roof trim, and balconies, are often aligned to emphasize horizontality.
- Angular brick detailing with two to three colors of brick is often expressed on piers and at the top of the base band.



Elevations of a cottage and a larger house at Legacy Farms. The building designs exemplify how the guidelines of the Legacy Prairie architectural style can be applied in different scales.

EXAMPLES FOR VARIOUS INTERPRETATIONS OF THE PRAIRIE STYLE



Images depict interpretive examples of the architectural style rather than specific execution

LEGACY FARMS

Community Plan

EXAMPLES FOR VARIOUS INTERPRETATIONS OF THE PRAIRIE STYLE



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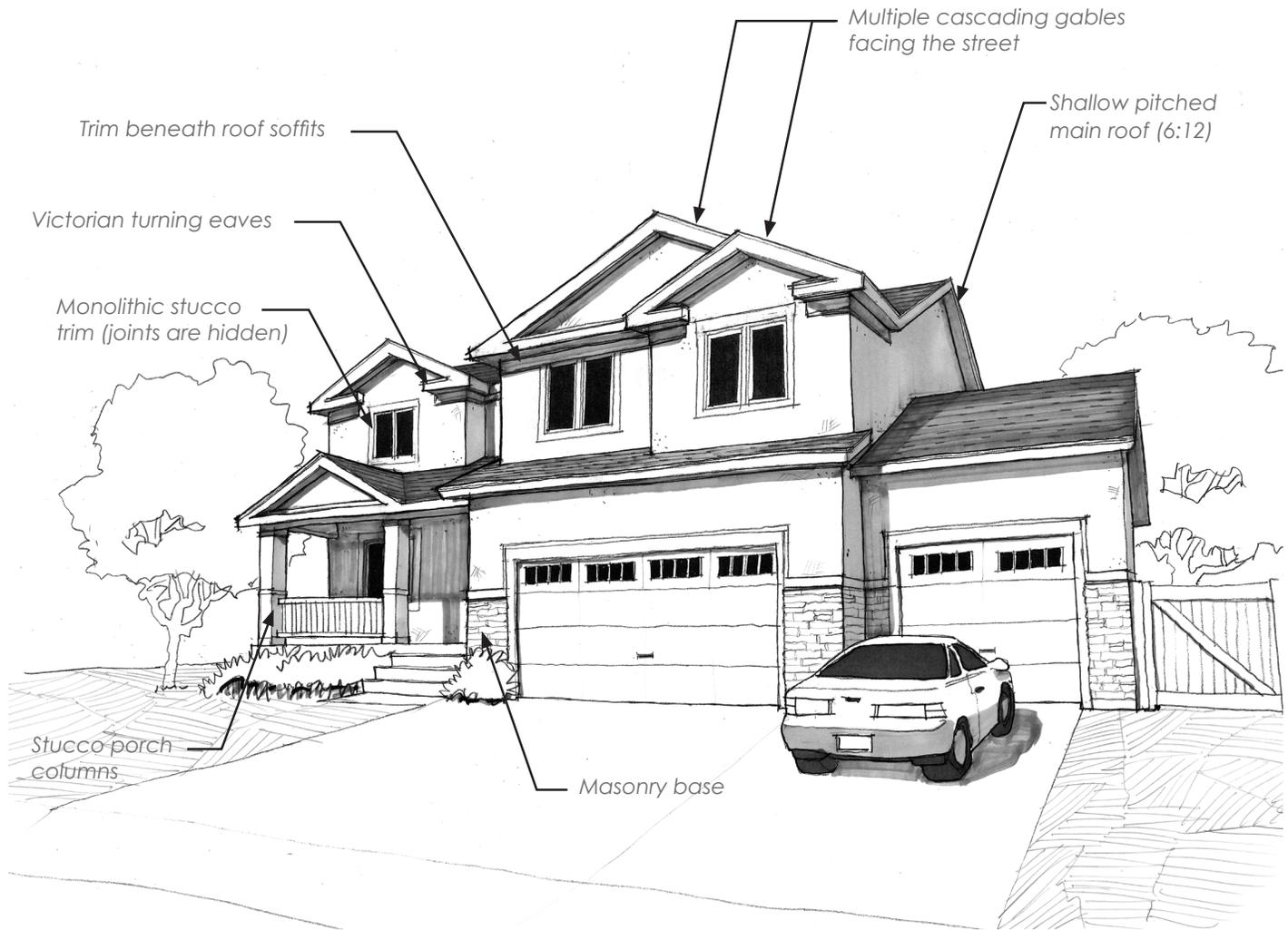
LEGACY TRADITIONAL

The Legacy Traditional style has developed as an architectural style in recent decades to accommodate large family suburban living. It brings together elements of Victorian, Craftsman, and desert architectural styles, all traditionally available in the region. The Legacy Traditional accommodates these elements to articulate larger buildings and to create compositions that enhance Utah's suburban context.

The need to access garages from the street with ease and a minimal amount of driveway created solutions where garages are located within the simple footprint of the building. Building articulation occurs with multiple gables and setbacks on the front facade. This composition resembles the family portrait of a large family with each individual expressed by a separate gable and bay. Porches are usually modest and treated as a feature to celebrate the front door. Partial masonry veneer is common.

LEGACY FARMS

Community Plan



LEGACY TRADITIONAL

The Legacy Traditional style is characterized by large front elevations with street-facing garages. Multiple gables and bays articulate massing and reduce the scale of the building. Garages are commonly accommodated within the simple footprint of the house. Porches are usually modest. Stucco is the typical exterior material. Partial masonry veneer is common.

There are many possible successful interpretations. All elements shown here, and described in this style, are not required on every building. Elements not listed are prohibited.

LEGACY TRADITIONAL

Massing

- A simple footprint accommodates street-facing garages.
- Articulation is intensified on the front elevation by means of multiple setbacks and gables.
- Cascading gables are typical.
- Asymmetrical front facade compositions to accommodate garage entrances and the front doors are common.

Roof

- Low-pitched gables are typical.
- Multiple partial front-facing gables are employed usually on the front.
- Victorian or farm house eaves and rakes are common.
- Roof pitches: 3:12 to 8:12
- Roof overhangs: 12 to 18 inches at rakes and eaves

Windows & Doors

- Asymmetrical window compositions are typical.
- Vertical and horizontal windows are accommodated within the same facade composition.
- Stucco trim is common.

Porch / Entry

- Porches are usually modest and treated as a feature to celebrate the front door.
- Large stucco columns, sometimes with masonry base are common.

Details

- Victorian eave returns are common.
- Faux shutters are typical.
- Faux gable vents are typical.

Materials

- The use of two or three different materials on the exterior is typical
- Wall materials may include stucco and limited masonry veneer to provide base for the elevation.
- On the roof, asphalt shingles are typical.
- Changes of material must occur at an inside corner.

LEGACY FARMS

Community Plan

EXAMPLES FOR VARIOUS INTERPRETATIONS OF THE TRADITIONAL STYLE



Images depict interpretive examples of the architectural style rather than specific execution

EXAMPLES FOR VARIOUS INTERPRETATIONS OF THE TRADITIONAL STYLE



Images depict interpretive examples of the architectural style rather than specific execution

LEGACY FARMS

Community Plan

OPEN SPACE

The typical approach for providing open space in a conventional suburban neighborhood usually requires a percentage total of the gross land area be set aside for open space. While this approach can work sufficiently there are ways in which this general standard can result in providing land that is labeled as open space but fails to contribute a lasting benefit to residents.

The approach that was undertaken initially with the *District Area Plan* and is continuing to be implemented with this *Community Plan* is putting a system in place which not only establishes a minimum open space threshold requirement for the neighborhood, but also assures outcomes as to what type of open space will be provided.

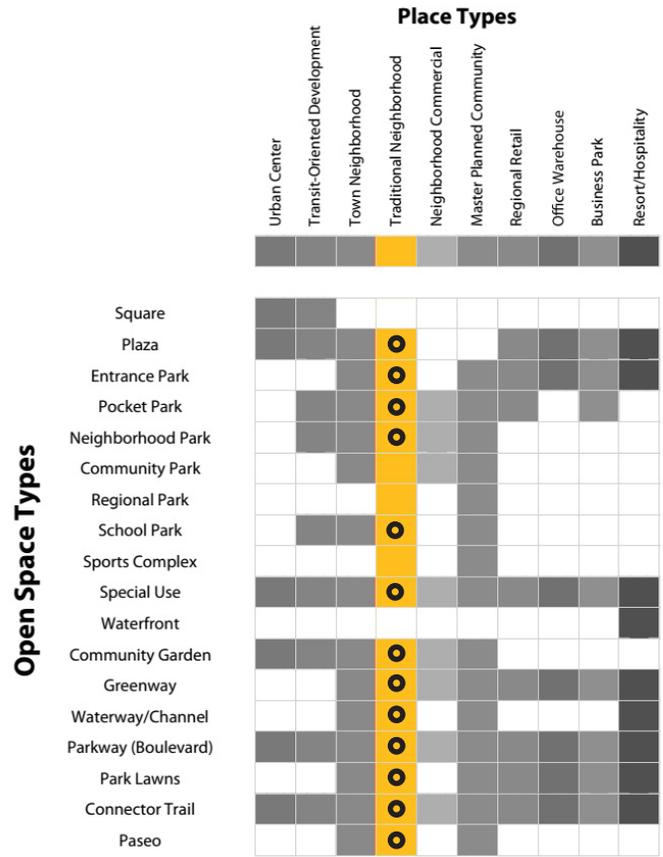
The goals for providing open space within this neighborhood consist of the following:

- Create neighborhood gathering places
- Open space system within the neighborhood based on a hierarchy of activity (active -vs- passive), programming (formal -vs- informal), and users (children, teenagers, adults)
- Distribution/proximity of open space within a short walking distance of every home
- Open space to provide dual purpose(s) with ecological functions (when appropriate)

The *Legacy Farms Community Plan* is compliant with the open space requirements specified in the *District Area Plan*, adopted August 31, 2010. Open space types in Legacy Farms are consistent with those defined in the *District Area Plan*.

Ownership and Maintenance

Maintenance corresponds to ownership. The City of Saratoga Springs has discretion to own any park or open space amenity regardless of size. If an open space amenity is owned by the City it will be maintained by the City. Open space amenities that are owned by a Community Association will be maintained by the Community Association. Determination of open space ownership by the city shall occur in the Development Agreement, which will be approved as part of the Village Plan.



○ Indicates presence in Legacy Farms Community Plan

Prescribed and Applicable Open Space

PRESCRIBED open space refers to all qualified open space that requires some form of bonding. This open space will be reflected by a "front end" ratio that must clear the minimum percentage range hurdle of the Place Type being used (in this instance, the 18-24% requirement for a Traditional Neighborhood).

APPLICABLE open space refers to the total open space being attributed to the project as a whole. This open space percentage will be reflected in a "back end" ratio that identifies the total being used for the project.

LEGACY FARMS

Community Plan



EXHIBIT 14

The diagram above demonstrates a possible configuration of an extensive open space network approach for Legacy Farms. Refer to Exhibits 7 and 8 for the established configuration of community level open space. The actual shape and location of open space types will be determined in subsequent Village Plans. Passive and active open space amenities are located within blocks in close proximity to residents. Spaces are interconnected in a way that encourages pedestrian movement toward larger community amenities.

The diagram differentiates between City maintained versus HOA maintained. The light green areas will be maintained by the City and the dark green areas will be HOA maintained. The size, shape and location of the dark green spaces are conceptual only and are subject to change. Each subsequent Village Plan will include the detailed designs for these open spaces and describe how the open space system will function. Although the diagram represents a preliminary representation of HOA maintained open space, the total amount of combined City maintained and HOA maintained open space within Legacy Farms complies with the DAP requirement of between 18 and 24% of the gross acreage.

The following pages contain descriptions and imagery representative of the types and quality of open space proposed within Legacy Farms.

LEGACY FARMS

Community Plan

Plaza

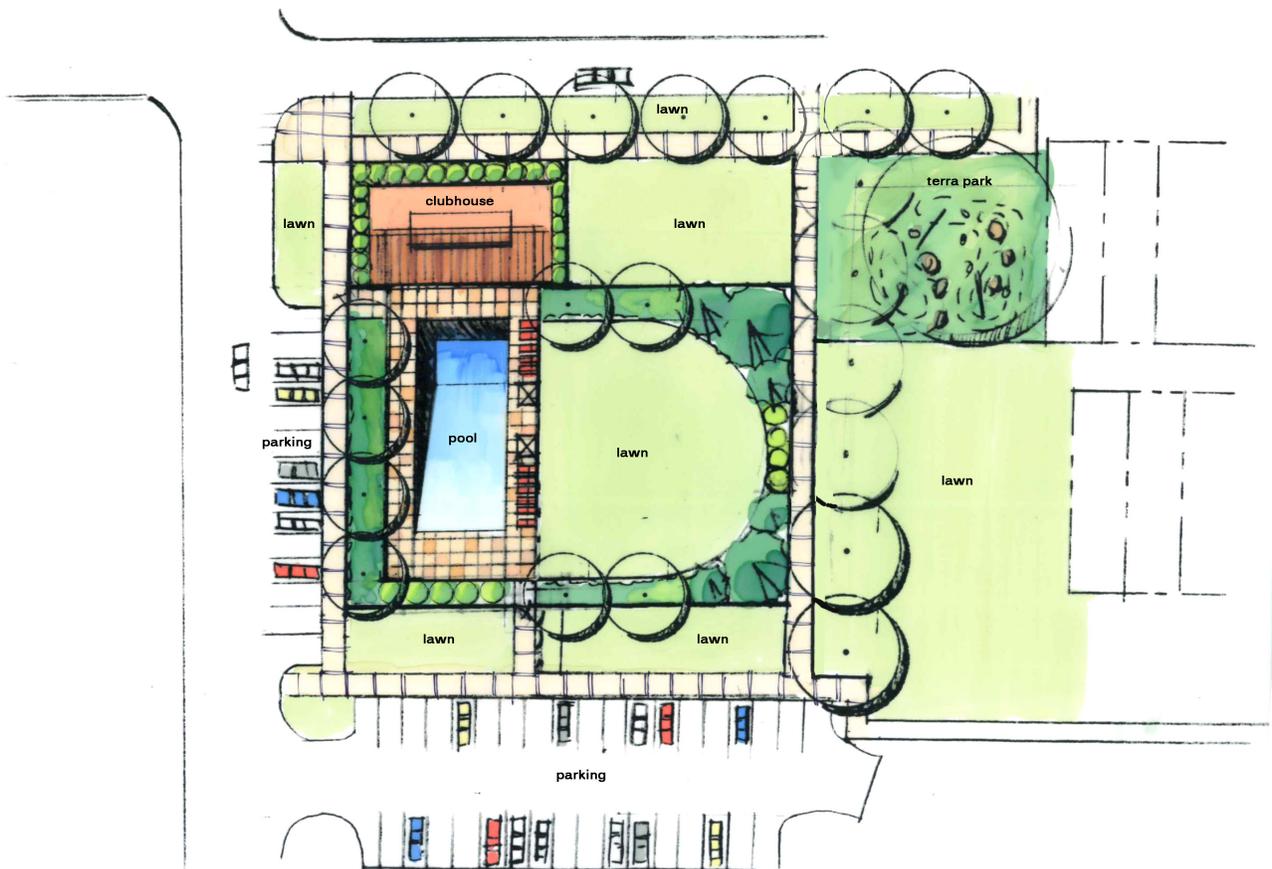
Centrally located to provide easy access, generally found at intersections of important streets. Design consists of a balance of soft, hardscape and pervious surface elements creating a strong pedestrian scale that is organized and welcoming with the intent to encourage community gatherings. Programmed with passive and semi-active uses and serves as a point of respite.

Size:

up to 2 acres

Service:

1/4 to 1/2 mile radius



The images on this page represent an artist's rendering and are conceptual in nature

Entrance Park

Formal delineation of a residential community entrance through landscaping and monumentation. It provides passive uses and creates neighborhood identity

Size:
up to 1 acre

Service:
varies

Example:
Entrance to Daybreak -
South Jordan, Utah



School Park

The school park fulfills public space requirements not provided in the other types of parks in Legacy Farms. The focus of this park is on ball fields and informal active recreation. Because these parks are associated with a school, a joint-use agreement is required.

Size:
2 to 5 acres

Service:
1/4 mile to 1/2 mile radius

Example:
East Lake Elementary -
South Jordan, Utah



LEGACY FARMS

Community Plan

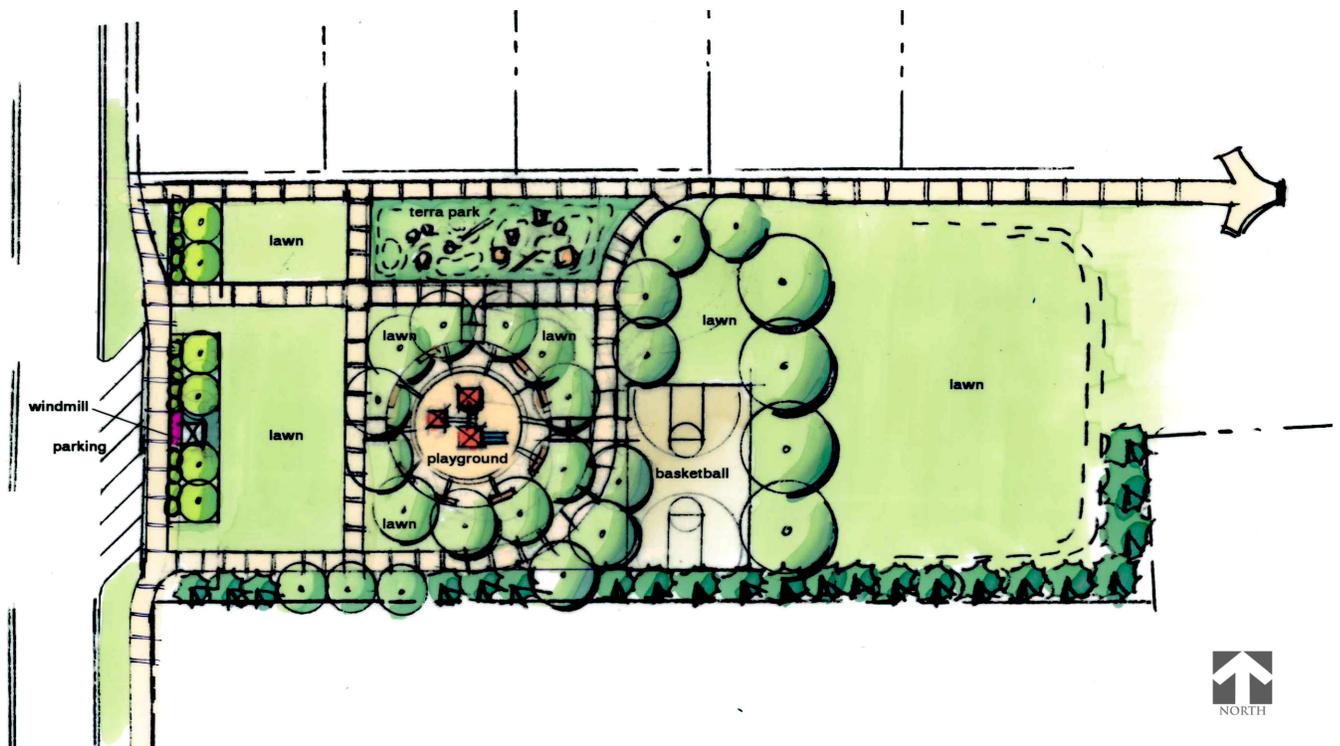
Neighborhood Park

The neighborhood park remains the basic unit of the park system and serves as the recreational anchor of the neighborhood. The focus of this park is on informal active recreation with an appropriate presence of passive elements to encourage gathering and encourage creative solution for a broad population. Frequently these parks are centrally located and developed in close proximity to civic uses such as elementary schools

Size:
3 to 5 acres

Service:
1/4 mile to 1/2 mile radius

Example:
Reservoir Park - Salt Lake City, Utah



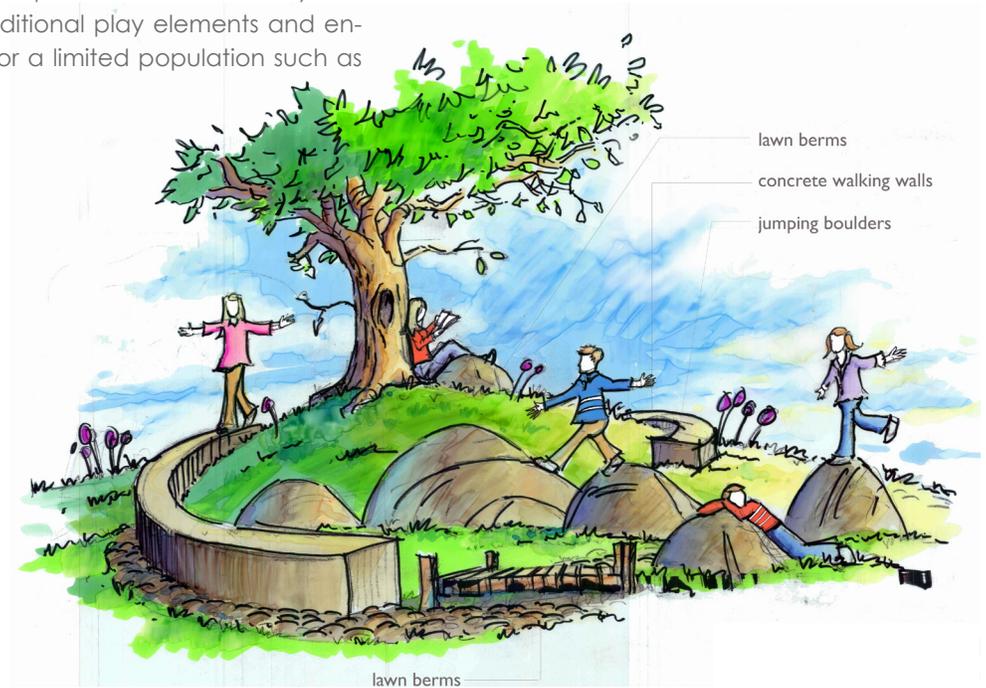
Pocket Parks

Small and frequent, providing a balance of passive and active recreation that ensures walkable green space access for everyone. May contain traditional and non-traditional play elements and encourages creative design solutions for a limited population such as tots, pets, or teens.

Size:
2,500 s.f. to 1 acre

Service:
1/4 mile radius

Example:
Davis Park - Salt Lake City, Utah



Special Use

Covers a range of parks and recreation oriented towards single-purpose use. Special uses generally fall into three categories; Historic, Cultural, or Social Sites (ex. Arboretums, ornamental and passive strolling gardens, amphitheaters, etc.)

Size:
varies

Service:
varies

LEGACY FARMS

Community Plan

Community Garden

Space programmed specifically for gardening. Strategically located within the neighborhood to provide convenient and safe access. Often times included in pocket parks and neighborhood parks. They are a valued asset in urban areas where residential yards are rare.

Size:
up to 1 acre

Service:
1/8 mile to 1/4 mile radius

Examples:
Daybreak Community Garden -
South Jordan, Utah



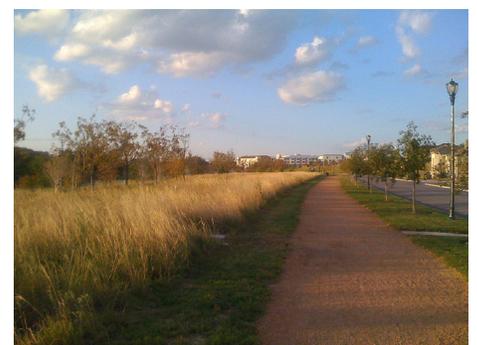
Greenway

A linear open space feature with passive and active recreational elements designed to incorporate the space located around or within a natural resource area (stream, wetlands). Uses include modal sports recreation, nature viewing and study, small gathering spaces, pervious pedestrian spaces, and passive play areas and amenities. Greenways also function as a connection within the larger park system allowing uninterrupted pedestrian movement. Corridor width range between 8-200 feet.

Size:
varies

Service:
varies

Examples:
Daybreak Linear Park - South Jordan,
Utah
Boise River Greenbelt - Boise, Idaho

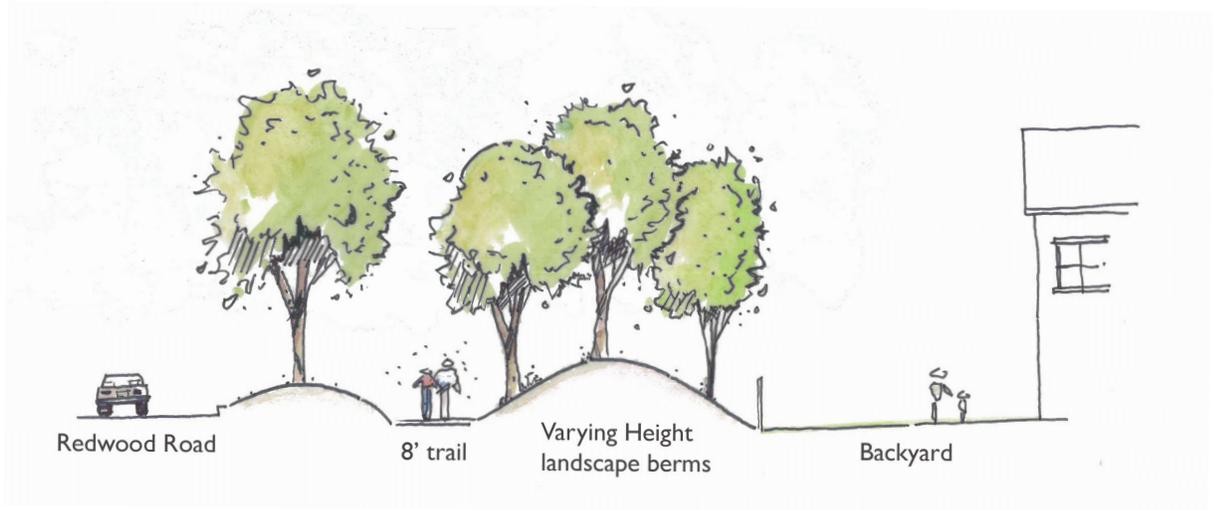


Parkway

Urban streets that provide comfortable and safe pedestrian and cyclist connections. May include landscaped center median, large shade trees on or off-street bikeways and seating.

Size:
varies

Service:
varies



Paseo

Linear pedestrian corridor that is defined by homes fronting the space. Often includes passive activities as well as tot lots, community gardens, half-court basketball or other limited space ball games.

Size:
0.5 to 2 acres

Service:
varies

Examples:
Daybreak - South Jordan, Utah



LEGACY FARMS

Community Plan

Connector Trail

Secondary public connection for pedestrians and cyclists. Located as mid-block linkages between other park spaces. Typically less than 30 feet in width with minimal landscaping.

Size:
varies

Service:
varies

Examples:
Jordan River Trail - Lehi, Utah



Park Lawn

Open space within a public right-of-way that allows for passive use, bus stops, shade trees and ornamental landscaping.

Size:
Varies

Service:
Varies

Example:
South Temple - Salt Lake City, Utah



The images on this page represent an artist's rendering and are conceptual in nature

Waterway/Channel

Linear space defined by a waterway. The space serves as a pedestrian connection, recreation opportunity, and property value creation (waterfront property). It can serve as a secondary connection to a greenway or parkway.

Size:
varies

Service:
varies

Examples:
Jordan River

LANDSCAPE GUIDELINES

All planting in the private and public frontage and private lots must consist of species as specified in Table 19- Public Planting. Where possible water wise plantings are encouraged.

For residential lots, a walkway no wider than 6 feet providing access to the principal entrance is permitted at all frontages. Secondary entrances shall be accessed off of principle entrances and not the street.

All frontages must be landscaped as follows:

- A minimum of one tree must be planted in the private frontage for every 40 feet of frontage line, calculated as the frontage width divided by 40. Remainders over one half are rounded up. When a home is located on a corner lot landscaping shall be required for both street faces. Tree and shrub location is at the owner's discretion provided that the clearview triangle is not compromised.
- Approved ground cover such as cobble rock up to 6" in size; colored gravel between 1" and 2.5" in size; and decorative crushed stone a maximum of 1" in size may be considered for use in place of turf grass. The percentage of stone or gravel used as a ground cover may not exceed 1/3 of the total landscaped area for traditional landscapes and may not exceed 2/3's for waterwise landscapes.

Parking lots must be landscaped as follows:

- 16.2 s.f. of landscape is required for every parking stall.
- One tree for every 4200 s.f. of parking lot area is required within the parking lot.
- Parking areas included within a rear lane or shared lanes are exempted from these parking lot requirements.
- Landscape areas adjacent to and within impervious surfaces may be placed lower than the paving and designed to receive storm water run-off in the form of a bio-swale.

Initial planting sizes for trees as follows:

- 1.5" caliper min. for deciduous trees
- 5 feet to 6 feet height for evergreen trees

LEGACY FARMS

Community Plan

TABLE 19A - PUBLIC PLANTING

	SPECIFIC NAME (BOTANICAL)	TYPE	SIZE (H X SPREAD)	TRAN-SECT	CIVIC	PATTERN	PRODUCE / COLOR IN BLOOM	SPECIAL INSTRUCTIONS
Large Shade Trees > 50 ft	Bloodgood London Plane Tree (<i>Platanus acerifolia</i> 'Bloodgood')		60' x 60'	T4, T3, T2	PK	Allee Regular Clustered	1/3" berry / N/A	Tolerates salt, yellow fall color
	Bur Oak * (<i>Quercus macrocarpa</i>)		60' x 60'	All	PK, SQ	Allee Regular	Nut / N/A	Tolerant of Urban conditions, soil adaptable
	Sycamore Maple * (<i>Acer psuedoplatanus</i>)		60' x 40'	All	PK, SQ	Allee Regular	Samara / N/A	Tolerates alkaline and salt conditions
	Silver Linden * (<i>Tilia Tomentosa</i>)		60' x 40'	All	PK, SQ	Allee Regular Clustered	N/A / Yellow green	Green leaf surface, silver underside. Tolerant of heat/drought
	Espresso Kentucky Coffee Tree (<i>Gymnocladus dioica</i> 'Espresso')		60' x 40'	T4, T3, T2	PK	Allee Regular Clustered	1/3" berry / N/A	Tolerates wide range of conditions/salt
	Cimmaron Green Ash * (<i>Fraxinus pennsylvanica</i> 'Cimmaron')		60' x 30'	All	PK, SQ	Allee Regular Clustered	Samara / N/A	Tolerates high ph, salt, urban conditions Nice red-orange fall color
	Emerald Queen Norway Maple * (<i>Acer platanoides</i> 'Emerald Queen')		50' x 40'	T5, T4, T3	PK, GR, SQ, PZ, PG	Allee Regular Clustered	Samara / N/A	Tolerant of Urban conditions, soil adaptable
	Accolade Hybrid Elm (<i>Ulmus</i> x 'Accolade')		50' x 40'	All	PK, SQ, GR	Allee Regular	Samara / N/A	Pollution/salt/drought tolerant
	Crimson King Maple (<i>Acer platanoides</i> 'Crimson King')		50' x 40'	All	PK, GR, SQ, PZ, PG	Allee Regular Clustered	Samara / N/A	Well adapted to extremes in soils. Withstands hoit, dry conditions.

* Denotes compatibility for use as a street tree.

TABLE 19B - PUBLIC PLANTING

	SPECIFIC NAME (BOTANICAL)	TYPE	SIZE (H X SPREAD)	TRAN-SECT	CIVIC	PATTERN	PRODUCE / COLOR IN BLOOM	SPECIAL INSTRUCTIONS
Large Shade Trees > 50 ft	Magyar Maidenhair Tree * (<i>Ginkgo biloba</i> 'Magyar') male species only		50' x 30'	All	PK, GR, SQ, PZ, PG	Regular, Clustered	N/A / N/A	Tolerates high ph, salt, urban conditions. Excellent yellow fall color
	Catalpa (<i>catalpa speciosa</i>) Podless only		50' x 30'	All	PK, GR, SQ	Allee Regular Clustered	White	Attractive flower, withstands dry, alkaline conditions
	Austrian Pine (<i>Pinus nigra</i>)		50' x 30'	T4, T3, T2	PK, PG	Clustered	Cone	Can withstand urban conditions and alkaline soils
	Scotch Pine (<i>Pinus sylvestris</i>)		50' x 30'	T4, T3, T2	PK, PG	Clustered	Cone	Can withstand urban conditions and alkaline soils
	Cottonwood (<i>Populus sargentii</i>) cottonless variety		80' x 50'	T2	PK	Regular	N/A / N/A	Great fall color. Tolerant of poor soils/salt/drought
	Globe Willow (<i>Salix matsudana umbraculifera</i>)		50' x 40'	T3, T2	PK, GR, PG	Allee Regular Clustered	N/A / N/A	Prefers wet conditions. Salt tolerant.
	English Columnar Oak (<i>Quercus robur</i> 'Fastigiata')		60' x 15'	T5, T4, T3, T2	PK, GR, SQ, PZ, PG	Allee Regular Clustered	Acorn / Red	Prefers well drained soil and alkaline conditions

* Denotes compatibility for use as a street tree.

LEGACY FARMS

Community Plan

TABLE 19C - PUBLIC PLANTING

	SPECIFIC NAME (BOTANICAL)	TYPE	SIZE (H X SPREAD)	TRAN-SECT	CIVIC	PATTERN	PRODUCE / COLOR IN BLOOM	SPECIAL INSTRUCTIONS
Medium Shade Trees 45 ft to 30 ft	Queen Elizabeth Hedge Maple (<i>Acer Campestre</i> 'Queen Elizabeth')		45' x 45'	T5, T4, T3	PK, GR	Regular Clustered	N/A / N/A	Pollution/salt/drought tolerant
	Rocky Mountain Juniper (<i>Juniperus scopulorum</i>)		40' x 15'	T2	PK	Regular Clustered	Cone / N/A	Drought tolerant. Native
	Shangri-la Maidenhair Tree * (<i>Ginkgo biloba</i> 'Shangri-la')		45' x 25'	All	PK, GR, SQ, PZ, PG	Allee Regular Clustered	Seed / N/A	Males should be planted, excellent yellow fall color
	Armstrong Maple * (<i>Acer freemanii</i>)		45' x 15'	All	PK, SQ, PG	Allee Regular Clustered	Samara / N/A	Distinctly upright, soil adaptable
	Common Hackberry * (<i>Celtis occidentalis</i>)		40' x 30'	T4, T3, T2	PK, GR	Regular Clustered	1/3" berry / N/A	Tolerates drought/pollution/poor soils/salt
	Little Leaf Linden * (<i>Tilia cordata</i>)		40' x 25'	All	PK, GR, SQ, PZ, PG	Allee Regular Clustered	N/A / Yellow green	Tolerant of urban conditions, soil adaptable
	Sensation Box Elder * (<i>Acer negundo</i> 'Sensation')		30' x 30'	All	PK, GR, SQ, PZ, PG	Allee Regular Clustered	Samara / N/A	Tolerant of urban conditions/poor soils/salt
	Thornless Honeylocust * (<i>Gleditsia triacanthos</i> var. <i>inermis</i>)		30' x 25'	T4, T3, T2	PK, GR, PG	Regular Clustered	Samara / N/A	Brilliant red fall color

* Denotes compatibility for use as a street tree.

TABLE 19D - PUBLIC PLANTING

	SPECIFIC NAME (BOTANICAL)	TYPE	SIZE (H X SPREAD)	TRAN-SECT	CIVIC	PATTERN	PRODUCE / COLOR IN BLOOM	SPECIAL INSTRUCTIONS
Medium Shade Trees 45 ft to 30 ft	Gambel Oak (<i>Quercus gambelii</i>)		25' x 20'	T2	PK	Clustered	Acorns / N/A	Native. Great red fall color.
	Big Tooth Maple (<i>Acer grandidentatum</i>)		30' x 20'	T2	PK	Clustered	Samara / N/A	Great red fall color. Requires well drained soil.
	Sky Rocket Juniper (<i>Juniperus scopulorum</i> 'Skyrocket')		20' x 3'	T5, T4, T3, T2	PK, GR, SQ, PZ, PG	Allee, Regular, Clustered	Cones / N/A	Drought tolerant. Withstands alkaline conditons.
	Frontier Elm * (<i>Ulmus x 'frontier'</i>)		30' x 25'	All	PK, GR, SQ, PZ, PG	Allee, Regular, Clustered	N/A / N/A	Resistant to Dutch Elm disease

* Denotes compatibility for use as a street tree.

LEGACY FARMS

Community Plan

TABLE 19E - PUBLIC PLANTING

	SPECIFIC NAME (BOTANICAL)	TYPE	SIZE (H X SPREAD)	TRAN-SECT	CIVIC	PATTERN	PRODUCE / COLOR IN BLOOM	SPECIAL INSTRUCTIONS
Small- Shade Trees < 25 ft	Service Berry (<i>Amelanchia sp.</i>)		25' x 20'	All	PK, GR, SQ, PZ, PG	Regular, Clustered	Nut / White	Cream white fragrant flower, tolerates poor soils
	Tatarian Maple * (<i>Acer Tataricum</i>)		25' x 20'	All	PK, GR, SQ, PZ, PG	Clustered	Samara / N/A	Tolerates cold,drought, high ph soil. Excellent red fall color
	Lavalle Hawthorn * (<i>Crataegus x laval- lei</i>)		25' x 20'	All	PK, GR, SQ, PZ, PG	Clustered	1/2" berry (persistent) white	Bronzy or cop- pery-red fall color with bright red persistent berries into winter
	Canada Red Chokecherry (<i>Prunus virginiana</i> 'Canada Red')		25' x 20'	All	PK, GR, SQ, PZ, PG	Allee, Regular, Clustered	1/3" berry white	Soil adaptable, tolerant of urban conditions, very attractive foliage
	Amur Maackia (<i>Maackia amuren- sis</i>)		20' x 20'	All	PK, GR, SQ, PZ, PG	Allee, Regular, Clustered	1/3" berry / White	Bronzy or cop- pery-red fall color with bright red persistent berries into winter
	Flowering Plum (<i>Prunus cerasifera</i> 'Thundercloud')		20' x 15'	All	PK, GR, SQ, PZ, PG	Allee, Regular, Clustered	N/A / pink flowers	Purple leaf. Tol- erant of urban conditions.
	Crabapple (<i>Malus</i> 'Indian Magic')		20' x 20'	All	PK, GR, SQ, PZ, PG	Allee, Regular, Clustered	Orange berry / Deep pink blossoms	Persistent fruit. Tolerates uran conditions.
	Crabapple (<i>Malus</i> 'Prairifire')		20' x 20'	All	PK, GR, SQ, PZ, PG	Allee, Regular, Clustered	Red berry / Red blossoms	Persistent fruit. Tolerates uran conditions.

* Denotes compatibility for use as a street tree.

TABLE 19F - PUBLIC PLANTING

	SPECIFIC NAME (BOTANICAL)	SIZE (H X SPREAD)	TRAN-SECT	CIVIC	PATTERN	PRODUCE / COLOR IN BLOOM	SPECIAL INSTRUCTIONS
Hedge	Karl Foerster Feather Reed Grass (<i>Calamagrostis x acutiflora</i> 'Karl Foerster')	4'	All	PK, GR, SQ, PZ, PG	Formal Massing	Seed heads / White/gold	Very attractive as a hedge in formal massings
	Blue Mist Spirea (<i>Caryopteris x clandonensis</i>)	3 - 5'	All	PK, GR, SQ, PZ, PG	Formal Massing	N/A / Blue/Purple	Flowers in summer/early fall
	Rubber Rabbit Brush (<i>Chrysothamnus nauseosus</i>)	4'	T4, T3, T2	PK, GR, SQ, PZ, PG	Informal Grouping	N/A / Yellow	Yellow fall cover; seeds and cover for birds
	Red Osier Dogwood (<i>Cornus sericea</i>)	8 - 15'	T4, T3, T2	PK, GR, SQ, PZ, PG	Informal Grouping	White berries / White	Attractive winter red twigs
	Hedge Cotoneaster (<i>Cotoneaster lucida</i>)	4 - 6'	T4, T3, T2	PK, GR, SQ, PZ, PG	Informal Grouping	Black berries / White	Dark green lustrous leaves in summer
	Mormon Tea (<i>Ephedra nevadensis</i>)	2 - 4'	T4, T3, T2	PK, GR, SQ, PZ, PG	Informal Grouping	N/A / N/A	Drought tolerant, evergreen
	Forsythia (<i>Forsythia</i>)	4 - 6'	All	PK, GR, SQ, PZ, PG	Formal Massing	N/A / Yellow	Early spring flowers are powerful in large massings
	Rose of Sharron (<i>Hibiscus syriacus</i>)	6 - 12'	All	PK, GR, SQ, PZ, PG	Formal Massing	N/A / White/pink/purple/blue	Showy flowers in summer

LEGACY FARMS

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TABLE 19G - PUBLIC PLANTING

	SPECIFIC NAME (BOTANICAL)	SIZE (H X SPREAD)	TRAN-SECT	CIVIC	PATTERN	PRODUCE / COLOR IN BLOOM	SPECIAL INSTRUCTIONS
Hedge	Utah Honeysuckle (<i>Lonicera utahensis</i>)	3 - 5'	T4, T3, T2	PK, GR, SQ, PZ, PG	Formal Massing	small red berries / white	Traditional pioneer plant
	Maiden Hair Grass (<i>Miscanthus sinensis</i>)	6'	All	PK, GR, SQ, PZ, PG	Formal Massing	Seed heads / Bronze/Purple	Very attractive as a hedge in formal massings
	Heavy Metal Switch Grass (<i>Panicum virgatum</i> 'Heavy Metal')	5'	All	PK, GR, SQ, PZ, PG	Formal Massing	Seed heads / gold	Upright/stiff habit
	Mock Orange (<i>Philadelphus coronarius</i>)	8'	All	PK, GR, SQ, PZ, PG	Formal Massing	N/A / White	Traditional pioneer plant, fragrant flowers
	Purple Leaf Sand Cherry (<i>Prunus x cistena</i>)	6 - 12'	All	PK, GR, SQ, PZ, PG	Formal Massing	N/A / White	Red/purple leaves
	Squawbush Sumac (<i>Rhus trilobata</i>)	4 - 6'	T4, T3, T2	PK, GR, SQ, PZ, PG	Informal Grouping	Small red pubescent berries / White	Excellent Red Fall Color
	Golden Currant (<i>Ribes aureum</i>)	3'	T4, T3, T2	PK, GR, SQ, PZ, PG	Formal Massing	Yellow spring berries / Yellow	Red fall color; fruit for birds
	Wild Rose (<i>Rosa woodsii</i>)	2 - 6'	T4, T3, T2	PK, GR, SQ, PZ, PG	Informal Grouping	Rosehips / Pink/magenta	Drought tolerant
	Sutherland Gold Elderberry (<i>Sambucus racemosa</i> 'Sutherland Gold')	8'	All	PK, GR, SQ, PZ, PG	Formal Massing	Red/Black berries / White	Edible fruit, attractive yellow foliage
	Snow Berry (<i>Symphoricarpos alba</i>)	3'	T4, T3, T2, T1	PK, GR, SQ, PZ, PG	Informal Grouping	White berries / White	Showy white berries

MASSINGTABLE 19H - PUBLIC PLANTING

	SPECIFIC NAME (BOTANICAL)	SIZE (H X SPREAD)	TRAN-SECT	CIVIC	PATTERN	PRODUCE / COLOR IN BLOOM	SPECIAL INSTRUCTIONS
Hedge	Amur Maple (<i>Acer ginnala</i>)	10 - 20'	All	PK, GR, SQ, PZ, PG	Formal Massing	Samara / N/A	Excellent Red Fall Color
	Utah Serviceberry (<i>Amelanchier uta-hensis</i>)	6 - 15'	T4, T3, T2	PK, GR, SQ, PZ, PG	Informal Grouping	Red/purple /black pome / White	Important food source for wildlife
	Boxwood (<i>Buxus sempervi-rens</i>)	2 - 4'	All	PK, GR, SQ, PZ, PG	Formal Massing	N/A / N/A	Evergreen shrub
	River Birch (<i>Betula occidentalis 'font clump'</i>)	15' - 20'	T2	PK	Informal Cluster	Catkin / N/A	Wet conditions. Attractive red bark.
	Hicks Yew (<i>Taxus x media</i>)	4 - 10'	All	PK, GR, SQ, PZ, PG	Formal Massing	N/A / N/A	Evergreen shrub
	American Cran-berry Bush Vibur-num (<i>Viburnum trilobum 'Bailey Compact'</i>)	4'	All	PK, GR, SQ, PZ, PG	Formal Massing	N/A / N/A	Rounded formal habit

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TABLE 191 - PUBLIC PLANTING

	SPECIFIC NAME (BOTANICAL)	SIZE (H X SPREAD)	TRAN-SECT	CIVIC	PATTERN	PRODUCE / COLOR IN BLOOM	SPECIAL INSTRUCTIONS
Ground Cover	Bugleweed (<i>Ajuga</i>)	4"	All	PK, GR, SQ, PZ, PG	Formal Massing	N/A / Blue/purple	Many cultivars are well adapted to region
	Basket of Gold (<i>Alyssum</i>)	8" to 12"	All	PK, GR, SQ, PZ, PG	Informal Grouping	N/A / Yellow Flower	Early spring bloomer
	Compinkie Rock- cress (<i>Arabis alpina</i> 'Compinkie')	6"	All	PK, GR, SQ, PZ, PG	Informal Grouping	N/A / Deep Rose	Evergreen foliage
	Kinnikinnik (<i>Arctostaphylos uva ursi</i>)	6" to 8"	All	PK, GR, SQ, PZ, PG	Informal Grouping	Red Berries / N/A	Evergreen, excellent red fall color
	Rockcress (<i>Aubrieta</i>)	4" to 6"	All	PK, GR, SQ, PZ, PG	Formal Massing	N/A / Magenta	Drought tolerant once established
	Chocolate Flower (<i>Berlandiera lyrata</i>)	18"	T4, T3, T2	PK, GR, SQ, PZ, PG	Informal Grouping	N/A / Yellow	Fragrant, chocolate aroma
	Poppy Mallow (<i>Callirhoe involu-crata</i>)	2" to 4"	T4, T3, T2	PK, GR, SQ, PZ, PG	Informal Grouping	N/A / Magenta	Aggressive spreader. Attractive when paired with <i>Berlandiera</i>
	Snow in Summer (<i>Cerastium arvense</i>)	4" to 6"	All	PK, GR, SQ, PZ, PG	Formal Massing	N/A / White	
	Dwarf Tickseed (<i>Coreopsis 'nana'</i>)	6" to 8"	All	PK, GR, SQ, PZ, PG	Formal Massing	N/A / Gold	Late spring bloomer
	Hardy Ice Plant (<i>Delosperma</i>)	4" to 6"	All	PK, GR, SQ, PZ, PG	Informal Grouping	N/A / Varies	
	Yarrow (<i>Achillea millefolium</i>)	2'x 2'	T4, T3, T2	PK, GR, PG	Informal Massing	N/A / Yellow flowers	Drought tolerant.

TABLE 19J- PUBLIC PLANTING

	SPECIFIC NAME (BOTANICAL)	SIZE (H X SPREAD)	TRAN-SECT	CIVIC	PATTERN	PRODUCE / COLOR IN BLOOM	SPECIAL INSTRUCTIONS
Ground Cover	Sulphur Flower (<i>Eriogonum umbrellatum aureum</i>)	5"	All	PK, GR, SQ, PZ, PG	Informal Grouping	N/A / Yellow	Summer bloomer
	Goblin Blanket Flower (<i>Gaillardia 'Goblin'</i>)	12"	All	PK, GR, SQ, PZ, PG	Informal Grouping	N/A / Yellow/Red	Heavy reseeder
	Mountain Boxwood (<i>Pachistima myrsinides</i>)	8"	T4, T3, T2	PK	Informal Grouping	N/A / N/A	Evergreen
	Sedum (<i>Sedum</i>)	4" to 12"	All	PK, GR, SQ, PZ, PG	Informal Grouping	N/A / Varies	Many cultivars are well adapted to region
	Scarlet Globemallow (<i>Sphaeralcea coccinea</i>)	6" to 12"	All	PK, GR, SQ, PZ, PG	Informal Grouping	N/A / N/A	
	Lambs Ear (<i>Stachys Byzantine 'Helen Von Stein'</i>)	8" to 10"	T4, T3, T2	PK, GR, SQ, PZ, PG	Informal Grouping	N/A / Rose-purple	
Small Shrub	Silvermound Sage (<i>Artemisia schmidtiana</i>)	10" to 12"	T4, T3, T2	PK, GR, SQ, PZ, PG	Formal Massing	N/A / N/A	Uniform mounding shape
	Black Sage (<i>Artemisia nova</i>)	18"	T3, T2	PK, PG	Informal Grouping	N/A / N/A	Drought tolerant once established
	Creeping Potentilla (<i>Potentilla neumanniana</i>)	12"	All	PK, GR, SQ, PZ, PG	Formal Massing	N/A / Yellow	Slow growing creeping form
	Dwarf Mugo Pine (<i>Pinus mugo Mops</i>)	3' x 3'	T4, T3, T2	PK, GR, SQ, PZ, PG	Formal Massing	Cone / N/A	Evergreen
Perennial	Blue Flax (<i>Linum lewisii</i>)	15"	All	PK, GR, SQ, PZ, PG	Formal Massing	N/A / Blue	Heavy reseeder

LEGACY FARMS

Community Plan

TABLE 19K- PUBLIC PLANTING

	SPECIFIC NAME (BOTANICAL)	SIZE (H X SPREAD)	TRAN-SECT	CIVIC	PATTERN	PRODUCE / COLOR IN BLOOM	SPECIAL INSTRUCTIONS
Water-Wise	Gambel Oak (<i>Quercus gambelii</i>)	25' x 20'	T2	PK	Clustered	Acorns / N/A	Native. Great red fall color.
	Big Tooth Maple (<i>Acer grandidentatum</i>)	30' x 20'	T2	PK	Clustered	Samara / N/A	Great red fall color. Requires well drained soil.
	Utah Serviceberry (<i>Amelanchier utahensis</i>)	6 - 15'	T4, T3, T2	PK, GR, SQ, PZ, PG	Informal Grouping	Red/purple /black pome / White	Important food source for wildlife
	Rubber Rabbit Brush (<i>Chrysothamnus nauseosus</i>)	4'	T4, T3, T2	PK, GR, SQ, PZ, PG	Informal Grouping	N/A / Yellow	Yellow fall cover; seeds and cover for birds
	Wild Rose (<i>Rosa woodsii</i>)	2 - 6'	T4, T3, T2	PK, GR, SQ, PZ, PG	Informal Grouping	Rosehips / Pink/magenta	Drought tolerant
	Mormon Tea (<i>Ephedra nevadensis</i>)	2 - 4'	T4, T3, T2	PK, GR, SQ, PZ, PG	Informal Grouping	N/A / N/A	Drought tolerant, evergreen
	Snow Berry (<i>Symphoricarpos alba</i>)	3'	T4, T3, T2, T1	PK, GR, SQ, PZ, PG	Informal Grouping	White berries / White	Showy white berries
	Black Sage (<i>Artemisia nova</i>)	18"	T3, T2	PK, PG	Informal Grouping	N/A / N/A	Drought tolerant once established
	Yarrow (<i>Achillea millefolium</i>)	2'x 2'	T4, T3, T2	PK, GR, PG	Informal Massing	N/A / Yellow flowers	Drought tolerant.
	Chocolate Flower (<i>Berlandiera lyrata</i>)	18"	T4, T3, T2	PK, GR, SQ, PZ, PG	Informal Grouping	N/A / Yellow	Fragrant, chocolate aroma
	Blue Flax (<i>Linum lewisii</i>)	15"	All	PK, GR, SQ, PZ, PG	Formal Massing	N/A / Blue	Heavy reseeder

TABLE 19L- PUBLIC PLANTING							
	SPECIFIC NAME (BOTANICAL)	SIZE (H X SPREAD)	TRAN-SECT	CIVIC	PATTERN	PRODUCE / COLOR IN BLOOM	SPECIAL INSTRUCTIONS
Water-Wise	Creeping Potentilla (<i>Potentilla neumaniana</i>)	12"	All	PK, GR, SQ, PZ, PG	Formal Massing	N/A / Yellow	Slow growing creeping form
	Scarlet Globemallow (<i>Sphaeralcea coccinea</i>)	6" to 12"	All	PK, GR, SQ, PZ, PG	Informal Grouping	N/A / N/A	
	Lambs Ear (<i>Stachys Byzantine 'Helen Von Stein'</i>)	8" to 10"	T4, T3, T2	PK, GR, SQ, PZ, PG	Informal Grouping	N/A / Rose-purple	
	Sulphur Flower (<i>Eriogonum umbellatum aureum</i>)	5"	All	PK, GR, SQ, PZ, PG	Informal Grouping	N/A / Yellow	Summer bloomer
	TYPE	SIZE	TRAN-SECT	CIVIC	MAX. COVERAGE XERIC	MAX. COVERAGE TRADITIONAL	SPECIAL INSTRUCTIONS
Water-Wise	Crushed Stone	< 1"	All	PK, GR, SQ, PZ, PG	66%	33%	3" min. depth, weed barrier required
	Colored decorative gravel	1" to 2.5"	All	PK, GR, SQ, PZ, PG	66%	33%	4" min. depth, weed barrier required
	Cobble rock	3" to 6"	All	PK, GR, SQ, PZ, PG	66%	33%	4" min. depth, weed barrier required

LEGACY FARMS

Community Plan

TABLE 20A - SIGNAGE STANDARDS

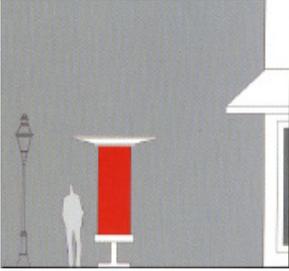
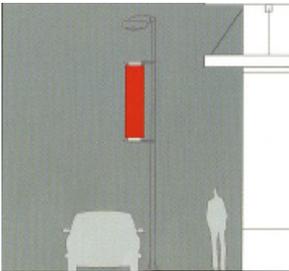
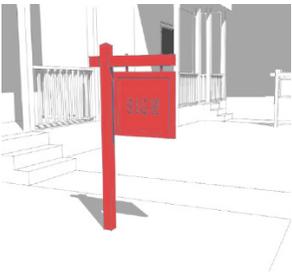
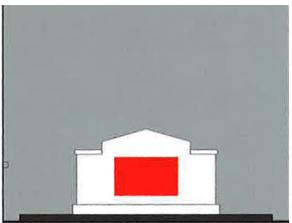
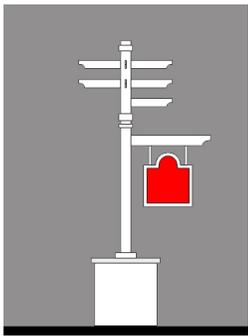
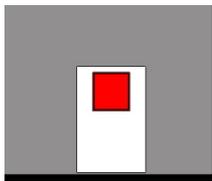
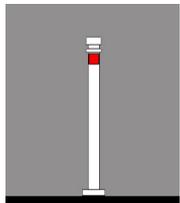
	T2	T3-R T3	T4-R T4-SL T4	T5-R	Specifications
<p>KIOSK</p> 				▪	<p>Quantity: 1 per block face</p> <p>Area: 24 sq ft max</p> <p>Width: 4 ft max</p> <p>Height: 6 ft max</p> <p>Depth / Projection: 2 ft max depth</p> <p>Clearance: N/A</p> <p>Apex: 8 ft max</p> <p>Letter Height: 12 inch max within sign, 18 in max to identify sign</p>
<p>SIDEWALK SIGN</p> 			▪	▪	<p>Quantity: 1 per business</p> <p>Area: 8 sf max</p> <p>Width: 26 in max</p> <p>Height: 42 in max</p> <p>Depth / Projection: N/A</p> <p>Clearance: N/A</p> <p>Apex: 42 in max</p> <p>Letter Height: N/A</p>
<p>BANNER</p> 			▪	▪	<p>Notes: Banner signs may be installed on City owned lighting fixtures with a time-limited permit. Size restrictions are determined by the City according to the lighting fixture.</p>
<p>ADDRESS SIGN</p> 	▪	▪	▪	▪	<p>Quantity: 1 per address</p> <p>Area: 2 sf max</p> <p>Width: 24 in max</p> <p>Height: 12 in max</p> <p>Depth / Projection: 3 in max</p> <p>Clearance: 4.5 ft min</p> <p>Apex: N/A</p> <p>Letter Height: 6 in max</p>

TABLE 20B - SIGNAGE STANDARDS

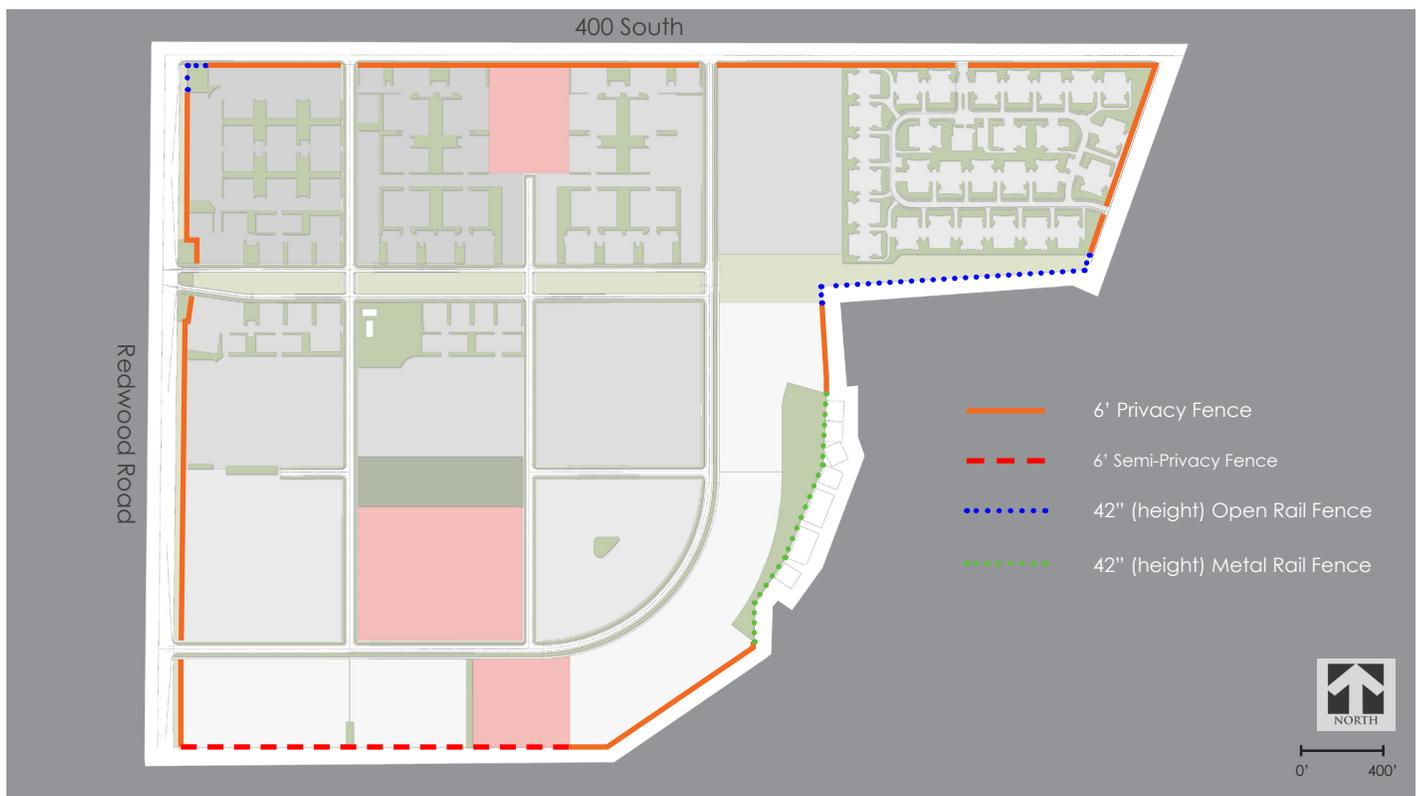
	T2	T3-R T3	T4-R T4-SL T4	T5-R	Specifications
<p>YARD SIGN</p> 	■	■	■	■	<p>Quantity: 1 per Lot max</p> <p>Area: 6 sf max</p> <p>Width: 3 ft max (not counting post)</p> <p>Height: 2 ft max (not counting post)</p> <p>Depth / Projection: N/A</p> <p>Clearance: 3 ft to sign edge min</p> <p>Apex: 6 ft to top of post max</p> <p>Letter Height: 8 in max</p>
<p>ENTRY ICON/FEATURES</p> 					<p>Quantity: 1 per vehicular entrance max</p> <p>Area: Sign - 36 sf max</p> <p>Width: Sign - 6 ft max</p> <p>Height: Sign - 6 ft max</p> <p>Depth / Projection: N/A</p> <p>Clearance: N/A</p> <p>Apex: Sign - 8 ft max</p> <p>Letter Height: N/A</p>
<p>WAYFINDING</p> 	■	■	■	■	<p>Notes: Wayfinding signs are not subject to specific regulations on quantity, size, or design. They are permitted in the public realm where managed by the city and on private non-residential properties consisting of multiple buildings. Where on private lots wayfinding signs should be sized for pedestrian legibility, consult with the Planning Department.</p>
<p>WAYFINDING</p> 		■	■	■	
		■	■	■	

LEGACY FARMS

Community Plan

FENCING STANDARDS

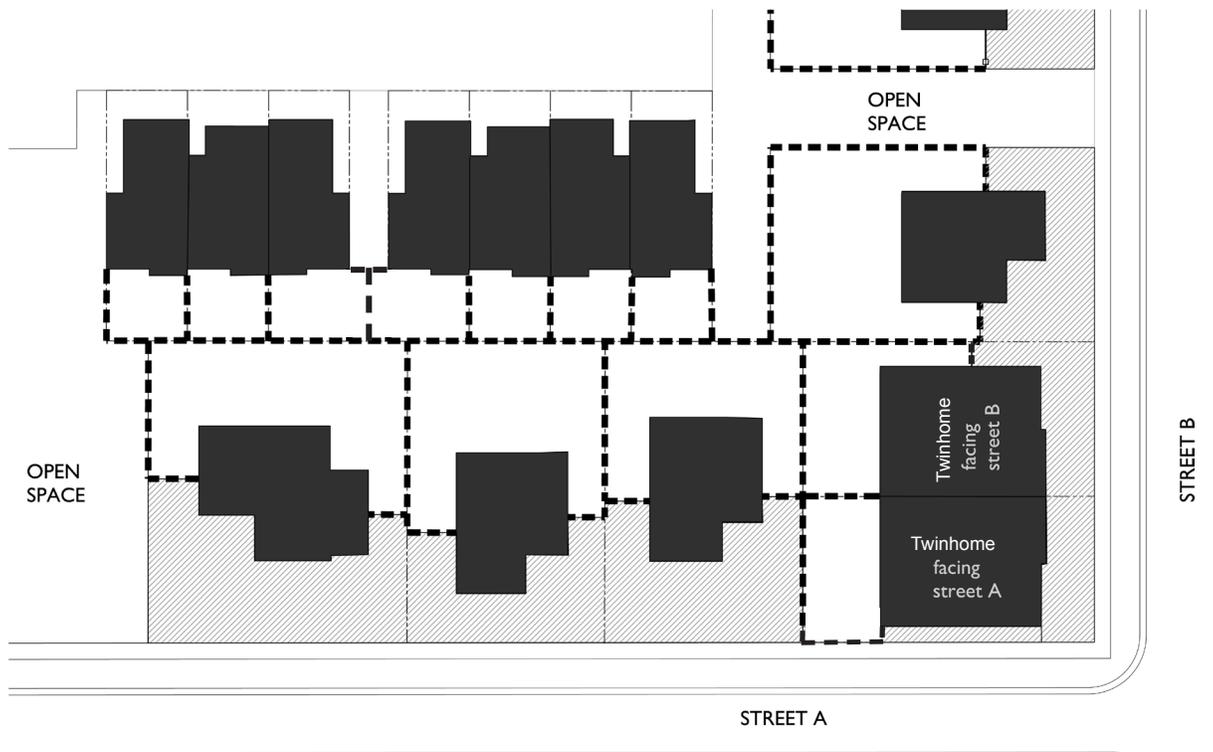
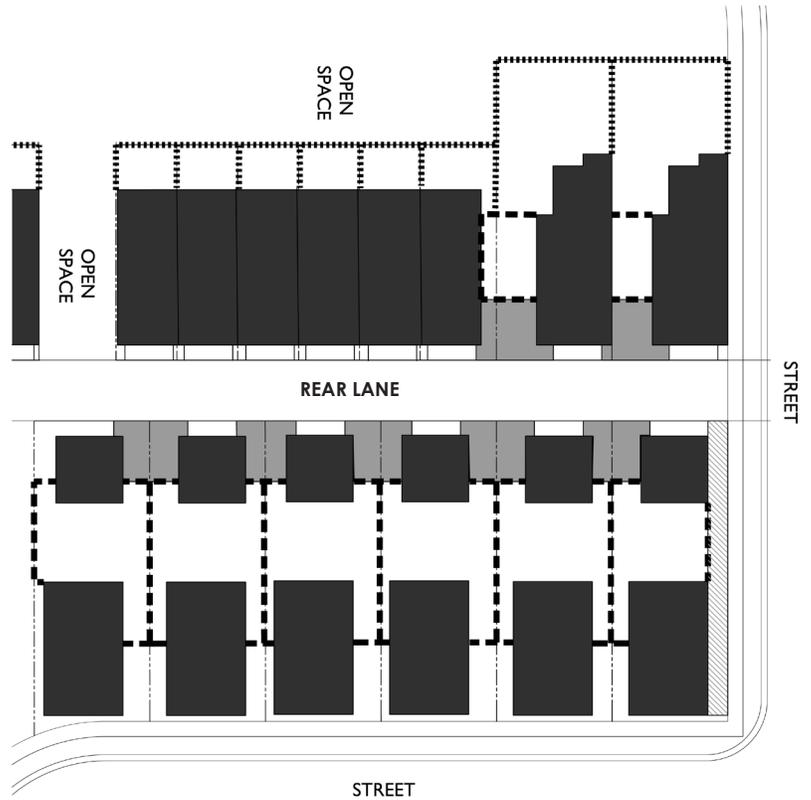
1. When fencing is installed on residential lots the following screening requirements shall be used:
 - a. A solid fence, wall, or hedge along rear property lines where there is no alley or rear lane, shall not be greater than 6 feet in height
 - b. A solid fence, wall, or hedge, no greater than 6 feet in height, may be aligned a maximum of 20 feet from the rear property line along the rear yard where there is an alley or rear lane. The area between the fence, wall or hedge and the rear property line may be used for parking, trash/recycle can storage, utilities, and landscaping
 - c. Chain link fencing is prohibited
 - d. Full privacy fencing is permitted adjacent to Redwood Road provided that no part of the fence is visible at pedestrian eye level viewed from the edge of the right-of-way, because it is concealed by landscape berming
 - e. Front yards may be enclosed with 30" to 36" fencing
 - f. Front yards on rear loaded product may have 36" fencing along the front property line with 6' privacy fence permitted between units
 - g. Fencing behind the principal frontage is permitted adjacent to the sidewalk along the secondary frontage for a corner lot as long a line of sight (view triangle) is not obstructed
 - h. Fencing around the perimeter of the property shall be consistent in terms of color, style and material and should reflect the Legacy Farms community theme
 - i. Privacy fencing between private lots and open space and trails shall be placed along the property lines abutting open space, parks, trails, and easement corridors
 - j. In an effort to promote safety for citizens using trail corridors and the security of home owners, fences along trail corridors narrower than 20' shall be semiprivate



COMMENTARY

FENCING AND REAR LANES

The diagrams to the right and below illustrate where a fence, wall, or hedge is located along the rear yard, no less than 20 feet from the rear property line where there are alleys or rear lanes. The dark grey represents buildings and outbuildings adjacent to a rear lane. The light grey represents the area between the rear lot line and the fence, wall, or hedge location. This space should be used for parking cars, storing refuse, and for utility easements, meters, landscaping, and other similar elements. Large dashed lines represent 6 foot maximum height fencing. Small dashed lines represent 30 inch to 42 inch height fencing. No fencing shall be allowed in areas that are cross-hatched.



LEGACY FARMS

Community Plan

PHASING

Legacy Farms is comprised of 5 distinct Village Plan phases. It is anticipated that within each of the phases diagrammed below there will be multiple sub-phases. Development will occur initially along Redwood Road and then step across the site toward the east over time. Village 1 will be submitted concurrently with the Community Plan. It is anticipated that the remaining Villages 2 through 5 will be submitted in December 2014.

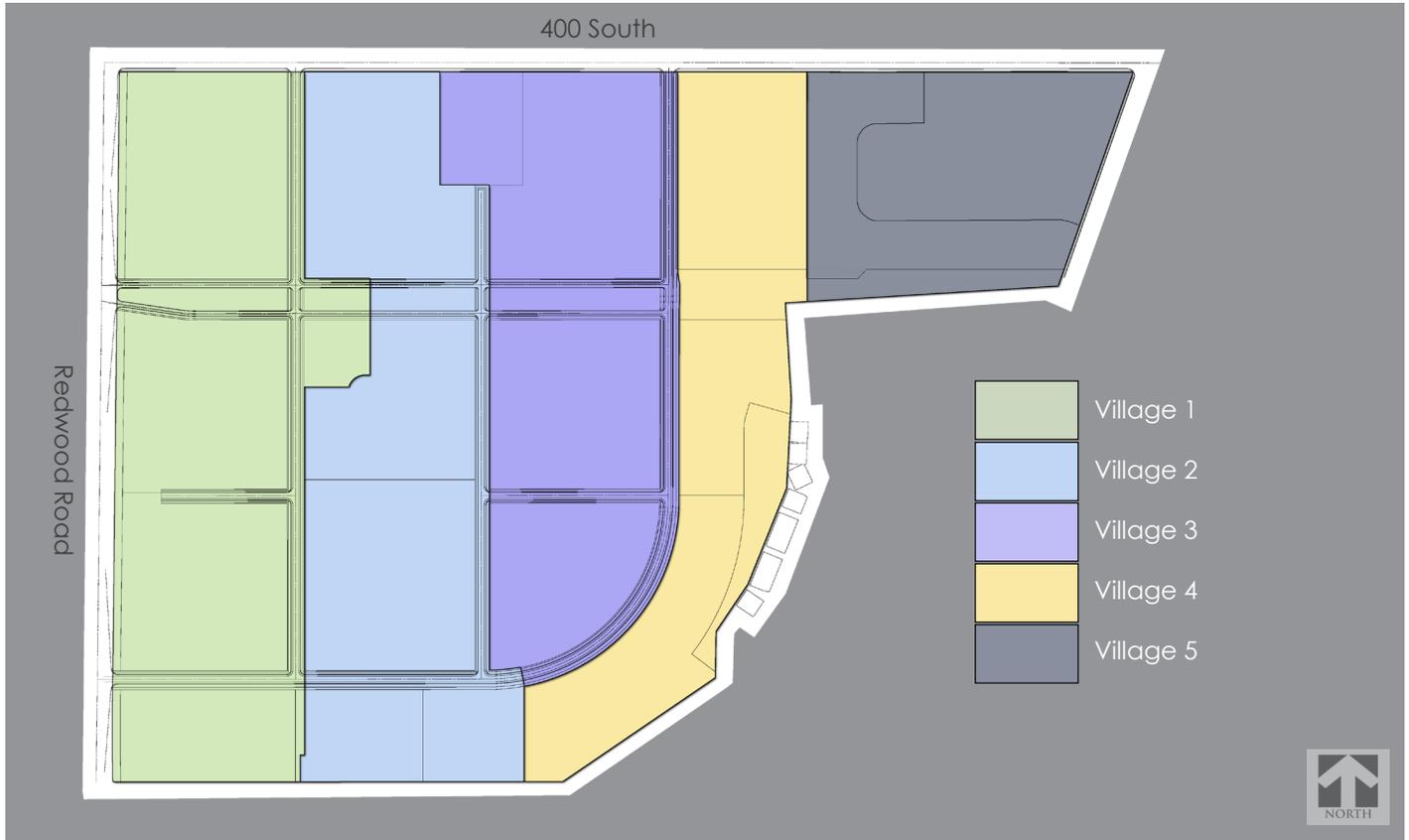


TABLE 21 - COMMUNITY PLAN PHASES

Phase	Acres	ERU Range		Max ERUs
		Low	High	
Village 1	48.94	277	557	1,000 (Residential) 55 (Non-Residential) Total Maximum = 1,055 ERUs
Village 2	42.58	220	441	
Village 3	40.03	169	410	
Village 4	28.11	91	207	
Village 5	22.27	75	164	
Totals	181.93	832	1,779	

EXHIBIT 15

LEGACY FARMS

Community Plan



Stantec Consulting Services Inc.
3995 South 700 East, Suite 300
Salt Lake City, Utah 84107

Prepared: June 17, 2014

Utility Infrastructure

The development and construction of the Legacy Farms project will require design and construction of on-site (within the boundaries of the project) and off-site (outside the boundaries of the project) utility infrastructure. The following list of improvements required for the Legacy Farms project has been put together through collaboration with City of Saratoga Springs staff. This list is based on current conditions and information available at the time it was put together and is not intended to be an exhaustive list. The infrastructure anticipated for the build out of the Legacy Farms project includes, but is not limited to, the following

- Connections to the CUWCD turnout vaults at Redwood Road/Pioneer Crossing and at 800 West/Pony Express Parkway
- A new secondary water source for the south zone 2 areas of the City's secondary water system.
- A 14" secondary water line in 400 South from Saratoga Road to Redwood Road.
- A 6" secondary waterline in Saratoga Road from 400 South to the existing secondary water system in Saratoga Springs Development (SSD).
- A 12" secondary water line in Redwood Road from 400 South and connecting to the existing 8" secondary water line in Parkway Boulevard.
- A 16" secondary water line in Redwood Road from Parkway Boulevard extending to and connecting to the existing 16" water line in Grandview Boulevard.
- A 15" sewer main in 400 South from approximately the existing power substation to the Inlet Park Lift Station.
- A 24" sewer main along the south eastern boundary of the Legacy Farms project, sufficient enough to bypass the last segment of the existing sewer main in SSD.
- Upgrades to the existing Inlet Park Lift Station.
- On site drainage and detention improvements and a storm water treatment device sufficient to meet City of Saratoga Springs standards
- Comprehensive Tickville Wash improvements sufficient to convey the 100-year storm event to Utah Lake compliant with all City, County, State and FEMA requirements.
- Frontage improvements along Redwood Road compliant with the City's transportation master plan and its engineering standards and specifications.
- Frontage improvements along 400 South compliant with the City's transportation master plan and its engineering standards and specifications.
- Frontage improvements along Saratoga Road compliant with the City's transportation master plan and its engineering standards and specifications

Nothing in document shall be construed to create or impose any obligations on the developer of Legacy Farms or the City of Saratoga Springs to construct or pay for any public improvements or utilities. The developer's rights and obligations regarding construction of public improvements/utilities and reimbursement or cost-sharing are set forth in other written agreements and in the City's Land Development Code, including, without limitation, in the Master Development Agreement for Legacy Farms and the Tickville Wash Agreement (collectively, the "Development Agreements"). In the event of any conflict between these plans/documents, on one hand, and the Development Agreements, on the other hand, the provisions of the Development Agreements shall govern.

Design with community in mind



Stantec Consulting Services Inc.
3995 South 700 East, Suite 300
Salt Lake City, Utah 84107

Utility Capacities

Sanitary Sewer:

Legacy Farms will gravity sewer to the existing City of Saratoga Springs Inlet Park Sewer Lift Station that is just north of 400 South and east of Saratoga Road. This lift station currently has capacity to support new connections based on the City's current growth projections and its Sewer Capital Facility Plan (Bowen and Collins 2014). Additional capacity is expected to be added to the lift station in 2015 through upgrades to the pumps and wet wells which is included in the City's Sewer Capital Facilities Plan.

Epic Engineering, under contract with the City, is currently studying an alignment of a proposed sewer line (known as S4). This proposed sewer will be routed along Redwood Road, east along 400 South and then north (west of the Rocky Mountain Power sub-station) through SLR property. Upon completion of the S4 sewer main, as well as other sewer mains identified on the CFP, including connection to the existing Timpanogos Special Service District main sewer line, much of the existing flow will be diverted away from the Inlet Park lift station freeing up additional capacity. This is anticipated to occur in 2018.

Another sewer main identified in the City's Sewer CFP is proposed to be constructed through the south-eastern portion of Legacy Farms. This 24" sewer main will connect to the existing Saratoga Springs Development, south of Legacy Farms and provide a bypass to the existing sewer main.. It is anticipated that a portion of Legacy Farms (along the southern and eastern boundary of the project) will gravity flow to this new sewer main.

All areas within Legacy Farms will gravity flow to the Inlet Park Lift Station. A majority of the project will be routed to the lift station through a 15" sewer outfall in 400 South, while a small portion of the project will be routed to the lift station through the 24" CFP bypass main mentioned above.

Storm Drain:

On-site storm drainage systems will be designed in accordance with City of Saratoga Springs design requirements (i.e. pipe sizes, hydrodynamic oil/water separators, etc.). The Legacy Farms site plan has identified and reserved areas where on-site detention basins will be designed and constructed. Flows from these detention areas will be routed across Saratoga Road and on to Utah Lake. All storm water will be cleaned prior to discharge in accordance with City Standards as well as with UPDES and NPDES requirements.

Nothing in document shall be construed to create or impose any obligations on the developer of Legacy Farms or the City of Saratoga Springs to construct or pay for any public improvements or utilities. The developer's rights and obligations regarding construction of public improvements/utilities and reimbursement or cost-sharing are set forth in other written agreements and in the City's Land Development Code, including, without limitation, in the Master Development Agreement for Legacy Farms and the Tickville Wash Agreement (collectively, the "Development Agreements"). In the event of any conflict between these plans/documents, on one hand, and the Development Agreements, on the other hand, the provisions of the Development Agreements shall govern.

Design with community in mind

LEGACY FARMS

Community Plan



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3995 South 700 East, Suite 300
Salt Lake City, Utah 84107

Tickville Wash:

Existing box culverts under Redwood Road divert and split storm water flows in Tickville Wash to existing ditches located along the north and south side of 400 South. These ditches flow from west to east and convey these flows to existing culverts under Saratoga Road. As a result of the flows in Tickville Wash, the northern one-third of the Legacy Farms project (along 400 South) is currently within Zone A as shown on the current National Flood Rate Insurance Program Flood Insurance Rate Map (Panel 115 of 725, Community Panel Number 4902500115 A Effective July 17, 2002). Suburban Land Reserve (SLR) and DR Horton are currently working together to find solution acceptable to the City and FEMA that will route flows in Tickville through/around the Legacy Farms project and eliminate the Zone A area within the property. Upon acceptance of the CLOMR, construction of the improvements outlined in the CLOMR and final acceptance by FEMA, FEMA will revise Flood Insurance Rate Map (FIRM) to change the Zone A within the Legacy Farms project to Zone X.

Culinary Water

The City of Saratoga Springs has an existing 12" water main located within SR-68 (Redwood Road) and a 14" water main located within Saratoga Road. The design of the initial phases of Legacy Farms will include connections to the water main in Redwood Road as well as interior loops to provide redundancy and to meet City standards for minimum pressures and flows.. A connection will be made to the water main in Saratoga Road with construction of the eastern phases of Legacy Farms or when necessary to meet City standards for minimum pressures and flows.. The City's CFP does not identify any new storage or distribution facilities needed in this area of the City within the next 10 years. Culinary water source for this project is anticipated to come from the City's existing wells as well as from water from the Central Utah Water Conservancy District (CUWCD) system. The City's CFP identifies connections that will need to be made to CUWCD turnout vaults at Redwood Road/Pioneer Crossing and at 800 West/Pony Express Parkway so that the CUWCD water can be provided to the Legacy Farms project. SLR's related entity has ample water shares/rights banked with the City of Saratoga Springs and has agreed to assign all shares/rights to the Developer that are required by City standards for the contemplated project

Nothing in document shall be construed to create or impose any obligations on the developer of Legacy Farms or the City of Saratoga Springs to construct or pay for any public improvements or utilities. The developer's rights and obligations regarding construction of public improvements/utilities and reimbursement or cost-sharing are set forth in other written agreements and in the City's Land Development Code, including, without limitation, in the Master Development Agreement for Legacy Farms and the Tickville Wash Agreement (collectively, the "Development Agreements"). In the event of any conflict between these plans/documents, on one hand, and the Development Agreements, on the other hand, the provisions of the Development Agreements shall govern.

Design with community in mind



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3995 South 700 East, Suite 300
Salt Lake City, Utah 84107

Secondary Water:

Legacy Farms will construct a 12" secondary water main from the intersection of Parkway Boulevard and SR-68 to the south boundary line of the project. This 12" main will also be constructed across the SR-68 frontage of the project to 400 South as part of the early phases of Legacy Farms. This 12" main will provide secondary water service to the project, and interior loops will provide redundancy and flow. The City's Secondary Water Master Plan also identifies a 16" secondary water main line that will be constructed from Parkway Boulevard to Grandview Boulevard. This will need to be constructed if adequate flows and pressures cannot be provided by the connection Parkway Blvd alone or if the City determines that the connection to Grandview is necessary to prevent degradation in the level of service to existing connections in SSD. The Legacy Farms project will also construct a 14" secondary water main along the south side of 400 South, from Redwood Road to Saratoga Road the construction of this secondary water line will follow the construction of 400 South, which may be phased from west to east to match the on-site phasing of Legacy Farms. Finally, a 6" secondary water main will be installed along Saratoga Road connecting the 14" main in 400 South the existing secondary water mains in SSD. The connection the the existing secondary water system in SSD at Saratoga Road may need to occur sooner in the project if necessary to meet City standards for minimum flows and pressures or if needed to prevent degradation in the level of service to existing connections in SSD with the new demand to the system created by the Legacy Farms project.

Secondary water rights for the project are anticipated to be provided from SLR from existing canal water rights (Welby Jacob and Utah Lake Distributing Canals) they currently hold. These water rights will be transferred to the City at plat recordation upon determination, by the City, that they meet all requirements for flows and volumes and have been approved for diversion from City owned facilities. It is expected that the water rights transferred for each plat will be from the Canal system that served the property when it was in agricultural use. Refer to the "Utility Infrastructure" section of this narrative for a list of secondary water infrastructure improvement that are anticipated for the build-out of the Legacy Farms project.

Note: We are coordinating with City Staff (including the City Engineer) on a regular basis regarding sewer, water, secondary water, storm drainage and Tickville Wash.

Nothing in document shall be construed to create or impose any obligations on the developer of Legacy Farms or the City of Saratoga Springs to construct or pay for any public improvements or utilities. The developer's rights and obligations regarding construction of public improvements/utilities and reimbursement or cost-sharing are set forth in other written agreements and in the City's Land Development Code, including, without limitation, in the Master Development Agreement for Legacy Farms and the Tickville Wash Agreement (collectively, the "Development Agreements"). In the event of any conflict between these plans/documents, on one hand, and the Development Agreements, on the other hand, the provisions of the Development Agreements shall govern.

Design with community in mind

LEGACY FARMS

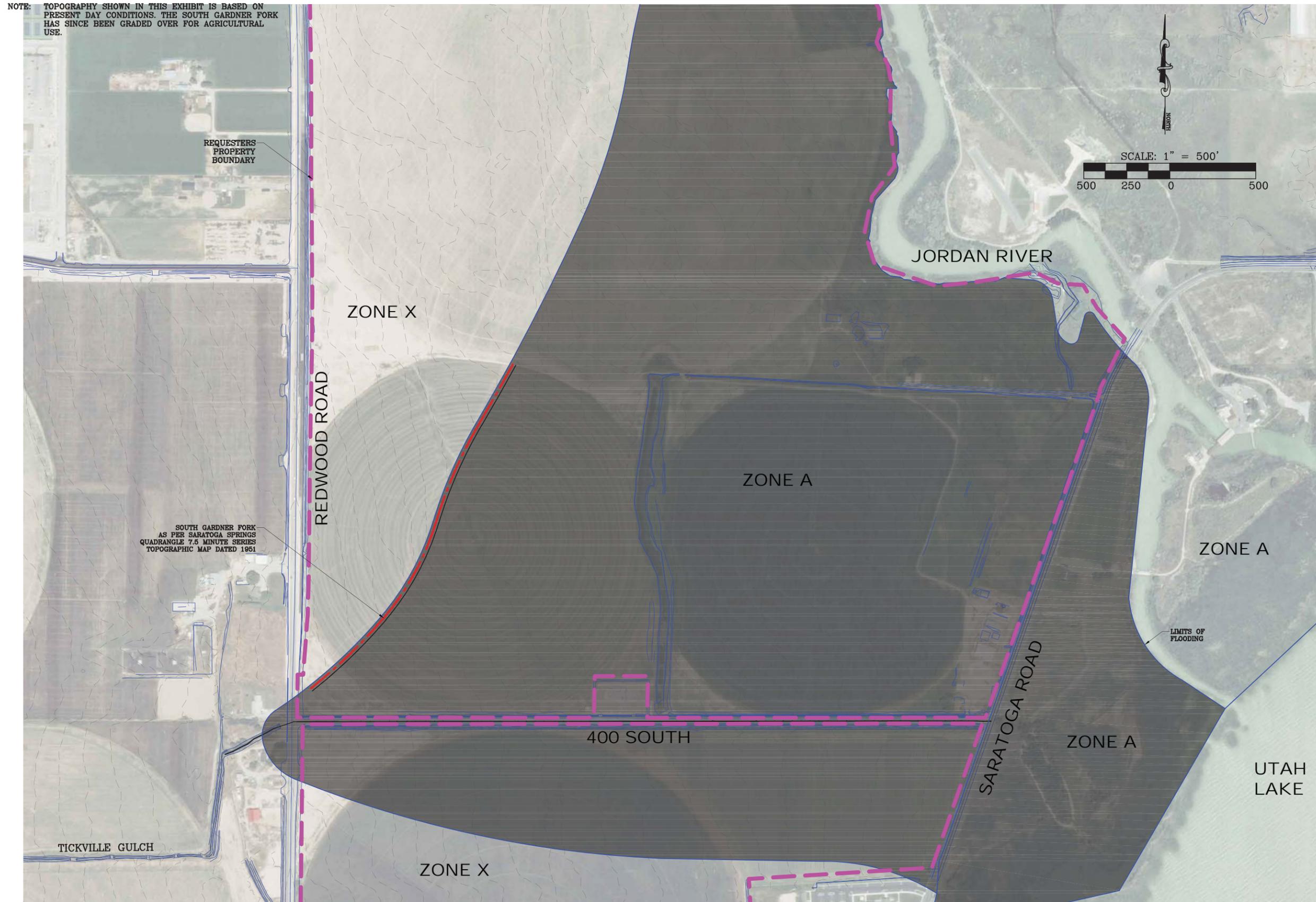
Community Plan

EXHIBIT 6: CONSTRAINTS MAP

The graphic on the following page demonstrates the physical constraints that exist on the property. Mitigation measures for Tickville Gulch are discussed in the report prepared by Stantec on pages 100-101. Research conducted through the Central Region of the Utah Division of Wildlife Resources confirmed that there are no identified wildlife corridors on the property, and therefore no wildlife mitigation measures are required.

EXHIBIT 6: CONSTRAINTS MAP

NOTE: TOPOGRAPHY SHOWN IN THIS EXHIBIT IS BASED ON PRESENT DAY CONDITIONS. THE SOUTH GARDNER FORK HAS SINCE BEEN GRADED OVER FOR AGRICULTURAL USE.



REQUESTERS PROPERTY BOUNDARY

SOUTH GARDNER FORK AS PER SARATOGA SPRINGS QUADRANGLE 7.5 MINUTE SERIES TOPOGRAPHIC MAP DATED 1951

LEI
ENGINEERS
SURVEYORS
PLANNERS
 3302 N. Main Street
 Spanish Fork, UT 84660
 Phone: 801.798.0555
 Fax: 801.798.9393
 office@lei-eng.com
 www.lei-eng.com

TICKVILLE GULCH
 SARATOGA SPRINGS, UTAH
 EXISTING FLOOD PLAIN MAP
 PANEL # 4902500115A

REVISIONS	
1	
2	
3	
4	
5	

LEI PROJECT #: 2012-1411
 DRAWN BY: DSE
 DESIGNED BY: NKW
 SCALE: 1" = 500'
 DATE: 04/10/2013

EXHIBIT
C

G:\LAND DESKTOP PROJECTS\LEI-141 SARATOGA\Drawings\LEI-C- EXHIBIT 6 PLAN.DWG 4/10/2013 12:13 PM

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ALTA/ACSM LAND TITLE SURVEY

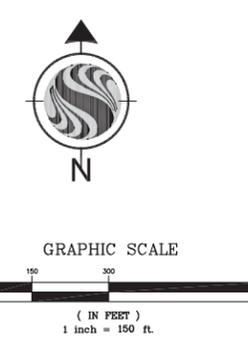
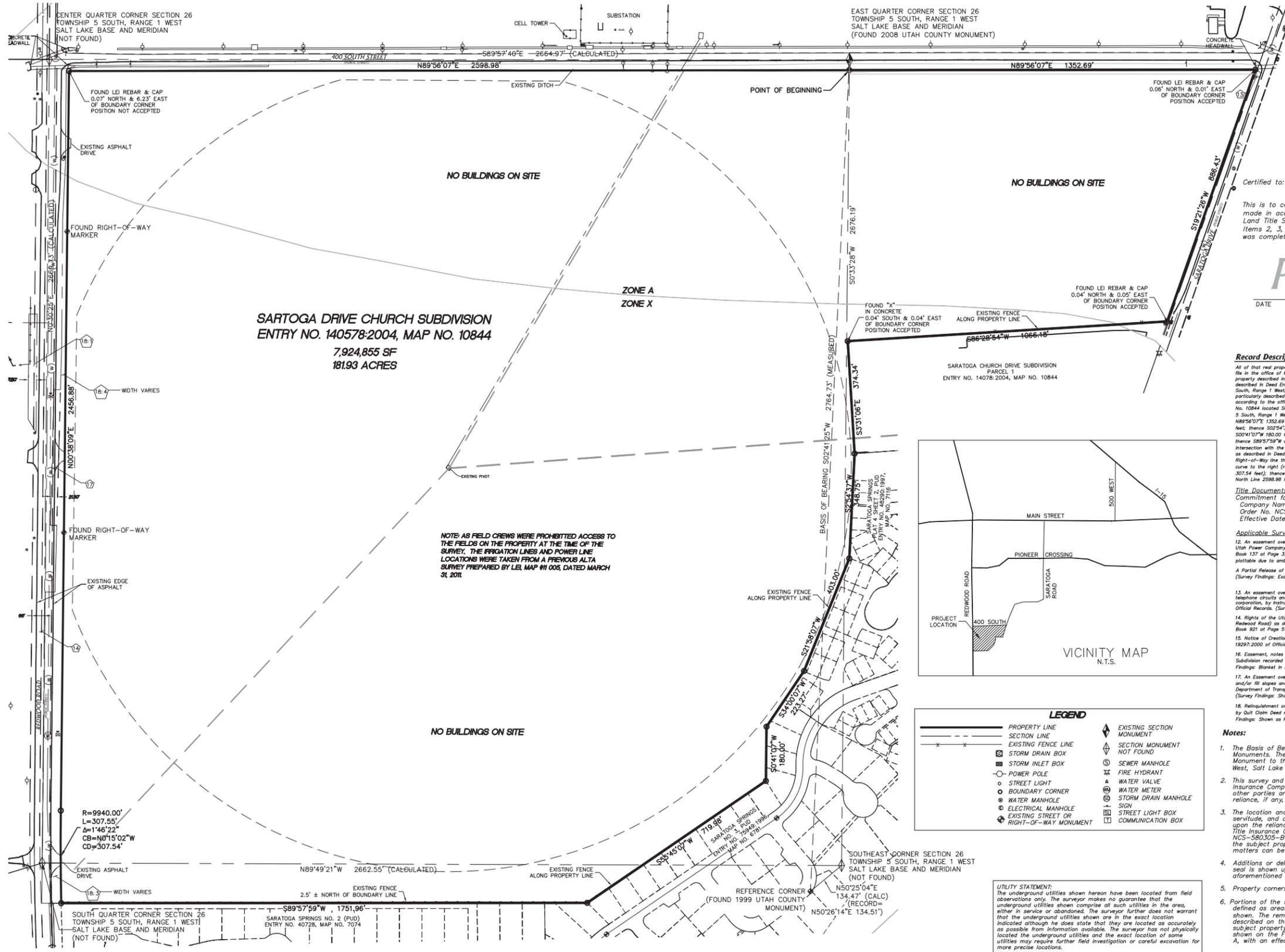
LEGACY FARMS

LOCATED IN THE SOUTHWEST QUARTER OF SECTION 25, THE SOUTHEAST QUARTER OF SECTION 26, AND PORTIONS OF NORTHEAST QUARTER SECTION 35, TOWNSHIP 5 SOUTH, RANGE 1 WEST, SALT LAKE BASE & MERIDIAN SARATOGA SPRINGS, UTAH COUNTY, UTAH

Stantec Consulting Inc.
3995 South 700 East Suite 300
Salt Lake City, UT U.S.A.
84107-2540
Tel. 801.261.0090
Fax. 801.266.1671
www.stantec.com



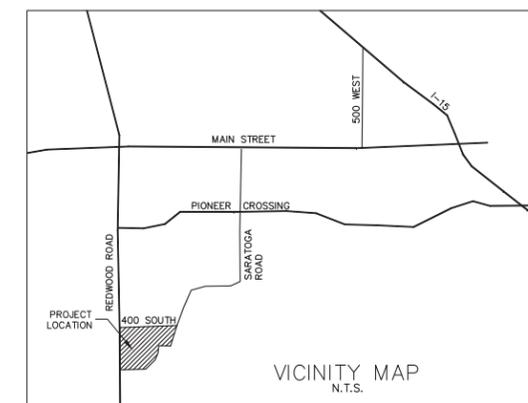
The Contractor shall verify and be responsible for all dimensions. DO NOT scale the drawing. Any errors or omissions in the design and drawings are the responsibility of the Contractor.



Certified to:
This is to certify that this map or plat and the survey on which it is based were made in accordance with 2011 Minimum Standard Detail Requirements for ALTA/ACSM Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 2, 3, 4, 7(c), 8, 11(b), 13, 18, 19, and 20(a) of Table A thereof. The field work was completed on July 17, 2013.



Record Description from Title Report:
All of that real property known as Parcel #2, Saratoga Drive Church Subdivision according to the official plat thereof on file in the office of the Utah County Recorder as Entry No. 140578:2004, Map No. 10844 together with that real property described in Deed Entry No. 92389:1994 in the official records of Utah County, less that real property described in Deed Entry No. 91623:2009 in the Official Records of Utah County located in Section 25 & 26, Township 5 South, Range 1 West, Salt Lake Base & Meridian, Saratoga Springs, Utah County, Utah, as surveyed and more particularly described as follows: Beginning at a Point on the North Line of Parcel #2, Saratoga Drive Church Subdivision according to the official plat thereof on file in the office of the Utah County Recorder as Entry No. 140578:2004, Map No. 10844 located 300'33\"/>



LEGEND

—	PROPERTY LINE	◆	EXISTING SECTION MONUMENT
- - -	SECTION LINE	◇	SECTION MONUMENT NOT FOUND
— x — x —	EXISTING FENCE LINE	⊕	SEWER MANHOLE
⊠	STORM DRAIN BOX	⊕	FIRE HYDRANT
⊠	STORM INLET BOX	⊕	WATER VALVE
— o —	POWER POLE	⊕	WATER METER
⊕	STREET LIGHT	⊕	STORM DRAIN MANHOLE
⊕	BOUNDARY CORNER	⊕	SIGN
⊕	WATER MANHOLE	⊕	STREET LIGHT BOX
⊕	ELECTRICAL MANHOLE	⊕	COMMUNICATION BOX
⊕	EXISTING STREET OR RIGHT-OF-WAY MONUMENT		

UTILITY STATEMENT:
The underground utilities shown hereon have been located from field observations only. The surveyor makes no guarantee that the underground utilities shown comprise all such utilities in the area, either in service or abandoned. The surveyor further does not warrant that the underground utilities shown are in the exact location indicated although he does state that they are located as accurately as possible from information available. The surveyor has not physically located the underground utilities and the exact location of some utilities may require further field investigation or careful excavation for more precise locations.

Project Number:	186201145		
File Name:	1145-dwg		
SRV	GAC	GAC	13.09.19
Dwn	Chkd	Dsgn	YYMMDD
Drawing No.			
Revision	Sheet		

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EXHIBIT 16: TRAFFIC STUDY

The full traffic study is available upon request of the City engineer



Addendum #1

Date: June 17, 2014
To: Krisel Travis, DR Horton
From: Ryan Hales, P.E., PTOE, AICP
Jeremy Searle, P.E.
Subject: Addendum for DR Horton TIS, dated Aug. 2013

UT13-488

This addendum addresses several comments regarding the DR Horton Traffic Impact Study (TIS), dated August 2013, and includes the updates to the site plan. The addendum is meant to replace only the sections of the TIS discussed below. The sections of the TIS that are not replaced by the addendum remain valid.

EXECUTIVE SUMMARY

This study addresses the traffic impacts associated with the proposed DR Horton project in Saratoga Springs, Utah. The proposed residential development is located on the east side of Redwood Road (SR-68) and south of 400 South.

Included within the analyses for this study are the traffic operations and recommended mitigation measures for existing conditions and plus project conditions (conditions after development of the proposed project) at key intersections and roadways in the vicinity of the site. Future 2020 and 2040 conditions are also analyzed.

TRAFFIC ANALYSIS

The following is an outline of the traffic analysis performed by Hales Engineering for the traffic conditions of this project.

Existing (2013) Background Conditions Analysis

Hales Engineering performed weekday morning (7:00 to 9:00 a.m.) and afternoon (4:00 to 6:00 p.m.) peak period traffic counts at the following intersection:

- 400 South / Redwood Road



The p.m. peak hour (5:00 to 6:00 p.m.) was determined to be over 50 percent higher than the a.m. peak hour (7:00 to 8:00 a.m.). Therefore, the p.m. peak hour was identified as the critical time period for analysis.

Additional afternoon (4:00 to 6:00 p.m.) peak period traffic counts were conducted at the following intersections:

- Parkway Blvd / Redwood Road
- 400 South / Saratoga Road

The counts were performed on Tuesday, July 16, 2013. The p.m. peak hour was determined to be between the hours of 5:00 and 6:00 p.m. Detailed count data are included in Appendix A.

Based on data obtained from UDOT Truck Traffic on Utah Highways (2011), it was estimated that approximately six percent of peak hour traffic is composed of combination trucks.

As shown in Table ES-1, all study intersections currently have acceptable levels of service during the p.m. peak hour. No significant queuing issues currently exist at the study intersections.

Project Conditions Analysis

The proposed land use for the development has been identified as follows:

- Single-family dwelling units (6,000 to 10,000 sq ft lots and “cottages”): 392 units
- Townhomes (Duplexes, “Urban Towns,” and “Alley-loaded Towns”): 348 units
- Senior Adult Housing – Detached (Leisure Villas): 116 units
- Elementary School: 850 students

The total (Phase 1 and Phase 2) projected gross trip generation for the development is as follows:

- Daily Trips: 7,230
- a.m. peak Hour Trips: 856
- p.m. Peak Hour Trips: 704
- Saturday Daily Trips: 5,620
- Saturday Peak Hour Trips: 529



Existing (2013) Plus Project Conditions Analysis

As shown in Table ES-1, all study intersections except the West Access are anticipated to have an acceptable level of service during the p.m. peak hour with project traffic added. No significant queuing is expected.

Future (2020) Background Conditions Analysis

As shown in Table ES-1, all study intersections are anticipated to operate at acceptable levels of service during the p.m. peak hour. No significant queuing is expected.

Future (2020) Plus Project Conditions Analysis

As shown in Table ES-1, the 400 South / Redwood Road intersection is anticipated to operate at LOS F during the p.m. peak hour. Mitigation measures are discussed below.

Future (2020) Plus Project – Mitigated Conditions Analysis

As shown in Table ES-1, the LOS at several intersections improve and all intersections are anticipated to have acceptable levels of service.

Future (2040) Background Conditions Analysis

As shown in Table ES-1, all study intersections are anticipated to operate at acceptable levels of service during the p.m. peak hour. No significant queuing is expected.

Future (2040) Plus Project Conditions Analysis

As shown in Table ES-1, all study intersections are anticipated to operate at acceptable levels of service during the p.m. peak hour.

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Intersection	Existing 2013 Background	Existing 2013 Plus Project	Future 2020 Background	Future 2020 Plus Project	Future 2020 Plus Project - Mitigated	Future 2040 Background	Future 2040 Plus Project
Description	LOS (Sec/Veh ¹)	LOS (Sec/Veh ¹)	LOS (Sec/Veh ¹)				
400 South / Redwood Road (SR-68)	WB / B (13.6)	WB / B (12.7)	WB / C (21.9)	WB / F (>50.0)	A (7.1)	C (21.4)	C (25.7)
West Access / Redwood Road ²	-	WB / E (42.4)	-	WB / E (38.9)	WB / D (32.1)	-	WB / D (28.1)
700 South & Southwest Access / Redwood Road ²	-	WB / A (9.8)	-	WB / A (9.8)	WB / B (11.8)	D (38.3)	D (43.0)
Parkway Blvd / Redwood Road	WB / A (8.7)	WB / A (9.8)	WB / A (9.6)	WB / B (13.1)	WB / B (11.7)	WB / D (29.1)	WB / D (27.5)
Northwest Access & 100 East / 400 South ²	-	NB / A (5.2)	-	NB / A (9.0)	NB / A (6.1)	SB / A (6.2)	NB / A (8.9)
North Access / 400 South ²	-	NB / A (4.4)	-	NB / A (5.0)	NB / A (5.3)	-	NB / A (7.0)
Northeast Access / 400 South ²	-	NB / A (4.0)	-	NB / A (4.2)	NB / A (4.1)	-	NB / A (5.6)
400 South / Saratoga Road	EB / A (2.4)	EB / A (3.4)	EB / A (4.0)	EB / A (4.5)	EB / A (4.5)	EB / A (7.5)	EB / A (8.6)

1. Intersection LOS and delay (seconds/vehicle) values represent the overall intersection average for signalized and all-way stop controlled intersections and the worst approach for all other unsignalized intersections.
 2. This intersection is a project access and was only analyzed in "plus project" scenarios.

Source: Hales Engineering, June 2014

RECOMMENDATIONS

The following mitigation measures are recommended:

Existing (2013) Background Conditions Analysis

No mitigation measures are recommended. No auxiliary lanes are required on Redwood Road.

Existing (2013) Plus Project Conditions Analysis

No mitigation measures are recommended.

Future (2020) Background Conditions Analysis

Widening Redwood Road from a three- to a five-lane cross section was assumed to be completed by year 2020 based on MAG's metropolitan transportation plan.

No additional mitigation measures are recommended.



Future (2020) Plus Project Conditions Analysis

Due to the high levels of delay experienced at the one intersection, the following mitigation measures are recommended and were completed for the mitigated scenario:

400 South / Redwood Road:

- Signalize intersection

Although the 400 South / Redwood Road intersection is not currently on the Saratoga Spring Transportation Element of the General Plan or the cooperative agreement between UDOT and Saratoga Spring dated October 28, 2008 (Federal ID # 870575087), signalizing this intersection has been discussed in recent meetings with UDOT. The required signal spacing for Redwood Road was also discussed, and although the intersection does not meet minimum signal spacing (2,640 feet), UDOT agrees that the intersection will need to be signalized in the future. UDOT is in the process of updating the corridor agreement to include the 400 South / Redwood intersection as a future signal.

Future (2020) Plus Project – Mitigated Conditions Analysis

Assuming that the 400 South / Redwood Road intersection is signalized, no additional mitigation measures are recommended.

Future (2040) Background Conditions Analysis

Several improvements to the roadway system are expected by year 2040 including widening Redwood Road, the addition of 700 South and 100 East, and the continuation of 400 South. Several intersections will also likely be signalized by year 2040.

No additional mitigation measures are recommended.

Future (2040) Plus Project Conditions Analysis

No mitigation measures are recommended.

SUMMARY OF KEY FINDINGS/RECOMMENDATIONS

The following is a summary of key findings and recommendations:

- The study intersections are currently operating at acceptable levels of service.
- With full build-out of project traffic added to existing traffic conditions, no mitigation measures are required.

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- The current AWDT across Saratoga Road Bridge is 1,500 vehicles per day (vpd). This is anticipated to increase to approximately 2,500 vpd with full build-out of this project. This is well within the daily capacity of a two-lane bridge.
- Widening of Saratoga Road is not required with any phase of this development.
- By year 2020, Redwood Road is anticipated to be widened to a five-lane cross section.
- With full project build-out, a traffic signal will likely be warranted at 400 South / Redwood Road by year 2020.
- UDOT is in the process of updating the corridor agreement to include the 400 South / Redwood intersection as a future signal.
- Several roadway network improvements are anticipated to be constructed by year 2040 including widening Redwood Road, the addition of 700 South and 100 East, and the continuation of 400 South. Both 700 South and 400 South intersections at Redwood Road would need to be signalized by year 2040 even without the project traffic added.
- All access points from the project to both Redwood Road and 400 South are anticipated to operate at acceptable levels of service. Hales Engineering assumes that the access will be flared allowing for separate left- and right-turn egress lanes.
- Auxiliary lanes on Redwood Road and 400 South do not appear to be warranted.
- The project phasing is planned to occur from West to East. There do not appear to be any roadway capacity issues associated with this phasing plan, although 400 South should be widened in each case far enough to the east to provide a left-turn deceleration lane into the northern access as applicable. These flared approaches should be a minimum of 50 feet long plus taper (see 95th percentile queue lengths in Appendix D).
- An internal traffic control plan has been proposed and is included in the body of this report. The plan proposes primarily two-way stop-controlled intersections with some minor internal intersections remaining uncontrolled. No all-way stop-controlled intersections are proposed at this time.
- A left-turn pocket at the school accesses are recommended to reduce delay during the busy periods of the day. A full TWLTL along the length of the roadway is not necessary. However, if the location of the accesses for the elementary school are unknown, it may be necessary to construct a TWLTL along the length of the school frontage to accommodate a future left-turn lane.

DEFINITIONS

This Section provides definitions for terms in this Chapter that are technical in nature or that otherwise may not reflect common usage. If a term is not defined in this Section, the City Council will determine the correct definition. Items in italics refer to other terms defined in this Section.

Allee: a regularly spaced and aligned row of trees usually planted along a thoroughfare or path.

Alley: a thoroughfare or access easement, designated to be a means of vehicular access to the rear or side of properties; an Alley may connect to a vehicular driveway located to the rear of lots providing access to outbuildings, service areas and parking.

Attic: the interior part of a building contained within a pitched roof structure.

Avenue (AV): A limited distance, free-movement thoroughfare connecting civic locations within an urbanized area. Unlike a boulevard, its length is finite and its axis is terminated. An avenue may be conceived as an elongated square.

Awning: a fixed or movable shading structure, cantilevered or otherwise entirely supported from a building, used to protect outdoor spaces from sun, rain, and other natural conditions. Awnings are typically used to cover outdoor seating for restaurants and cafes.

Bed and Breakfast: an owner-occupied lodging type offering up to 5 bedrooms, permitted to serve breakfast in the mornings to guests.

Blade Sign: a sign made from rigid material mounted perpendicular to a building wall with one side attached or supported by a device extending from a building wall.

Block: the aggregate of private lots, civic districts, passages, alleys and rear lanes, circumscribed by thoroughfares.

Block Face: the aggregate of all the principal frontages on one side of a block.

Block Perimeter: the length measurement of a line on a plan drawing circumscribing a single block along thoroughfare rights of way.

BT-1 (Block Type 1): a low intensity block consisting of homes on large lots with some home occupation.

BT-2 (Block Type 2): a mixed intensity block characterized mainly by low-density residential development with some multi-family housing and work-at-home elements.

BT-3 (Block Type 3): a mixed intensity block characterized mainly by mid-density residential with some multi-unit residential, mixed-use, businesses and work-at-home elements.

BT-4 (Block Type 4): a mixed-use block characterized mainly by mid-to-high-density multi-unit residential, small shops and professional offices, and mixed-uses.

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Boulevard (BV): A long-distance, free-movement thoroughfare traversing an urbanized area. A boulevard often includes a wide median and a wide public frontage and therefore a wide right-of-way. Slip lanes are often provided to separate public frontages from the higher speed lanes.

Build-to line: a line drawn within the first lot layer in a special requirements plan that designates where a building facade must be placed. The build-to line takes precedent over setback requirements

Building Height: the vertical extent of a building measured in stories.

Bulb-out: a curb extension typically occurring at intersections, extending the line of curb into a vehicular lane.

Civic: the term defining not-for-profit organizations dedicated to arts, culture, education, recreation, government, municipal government, and transit.

Civic Building: a building operated by one or more civic organizations.

Civic Open Space: an outdoor area that provides a public realm at all scales of urbanism, from rural to urban and from region to the block. To be effective it must be specialized in function, appropriate in context and location, proximate to pedestrian routes, and adjacent to meaningful destinations. Types include parks, greens, squares, plazas, and playgrounds.

Civic District: a designation for sites dedicated for civic buildings and civic open space.

Commercial: the term collectively defining workplace, office, retail, and lodging functions.

Common Destination: an area of focused community activity, usually defining the approximate center of a pedestrian shed. It may include without limitation one or more of the following: a civic space, a civic building, a commercial center, a commercial street, or a transit station, and may act as the social center of a neighborhood.

Common Yard: a landscaped private frontage, visually continuous with adjacent yards, wherein the facade is set back from the frontage line.

Coordinated Frontage: a coherent landscape and paving design of the public frontage and private frontage.

Corner Lot: a lot or parcel of land abutting two (2) or more thoroughfares at their intersection, or two (2) parts of the same thoroughfare forming an interior angle of less than one hundred thirty-five (135) degrees.

Corridor: a continuous trajectory.

Cross Block Passage: a publicly accessible way providing pedestrian access through a block connecting to two or more thoroughfares.

Curb: the edge of the vehicular pavement that may be raised, usually incorporates the drainage system.

Curb Return Radius: the curved edge of a thoroughfare at an intersection, measured at the inside edge of the vehicular tracking along the curb.

Density: the number of equivalent residential units (ERUs) within a standard measure of land area.

Design Speed: the velocity at which a thoroughfare tends to be driven without the constraints of signage or enforcement.

Drive (DR): a thoroughfare along the boundary between an urbanized and a natural condition or civic district, usually along a waterfront, park, or promontory. One side has the urban character of a street or boulevard, while the other has the qualities of a road, with naturalistic planting and rural details.

Driveway: a vehicular lane within a lot, often leading to a garage.

Effective Turning Radius: the measurement of the inside edge of the vehicular tracking taking parking lanes into account.

Elevation: an architectural drawing consisting of a flattened image of a building along a particular plane. Elevation also refers to the visible surface of a building.

Encroach: to break the plane of a vertical or horizontal regulatory limit with a structural element, so that it extends into a setback, into the public frontage, or above a height limit.

Encroachment: any structural element that infringes upon required setbacks.

Facade: the elevation of a building that is set along a frontage line.

Fence: an outdoor partition, independent of a building, used to define private or semi-private yard space.

First Lot Layer: the area of a lot comprised of the distance between the front property line and the required setback including the private frontage.

Forecourt: a private frontage wherein a portion of the facade is close to the frontage line and the central portion is set back.

Front Setback: the distance from the frontage line to the point where a building may be constructed. This area must be maintained clear of permanent structures with the exception of permitted encroachments.

Frontage: the area between a building facade and the vehicular lanes, inclusive of its built and planted components. Frontage is divided into private frontage and public frontage.

Frontage Buildout: the percentage of the lot width that is occupied by the building facade within the first lot layer.

Frontage Encroachment: a permitted structural element that encroaches into the frontage.

Frontage Line: a lot line along a public frontage.

Fronting: an element placed or existing along a frontage.

Function: the use or uses accommodated by a building and its lot.

Green: a civic open space type for unstructured recreation, spatially defined by landscaping rather than building frontages.

Grid: a web of interconnecting thoroughfares. A regular grid consists of sets of parallel thoroughfares intersecting orthogonally. An irregular grid consists of parallel or non-parallel thoroughfares with frequent but non-orthogonal intersections.

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Gross Lot Area: the area of a lot including the net lot area and portions of street rights-of-way and other required dedications and easements up to their centerline.

Height: See building height.

Highway (HW): a rural and suburban thoroughfare of long distance and high vehicular speed and capacity. A highway should be relatively free of intersections, driveways, and adjacent buildings. This type is allocated to the more rural transect sub-districts (T-1, T-2, and T-3).

Home Occupation: non-retail commercial enterprises permitted under the Restricted office category.

Industrial: the function associated with a business or activity involving manufacturing, fabrication, assembly, distribution, disposal, warehousing or bulk storage, trucking and equipment facilities, and other business serving primarily industrial needs.

Inn: a type of lodging building function that is owner-occupied, offering 5 to 12 bedrooms, permitted to serve breakfast in the mornings to guests.

Intersection: a thoroughfare junction where two or more thoroughfares meet or cross and the preferred location for pedestrian crossings. Intersections are characterized by a high level of activity and shared use, and should be multimodal and deserving of special design treatments.

Intersection Assembly: the result of coordinating the public frontage elements assembled with the transportation way, public transportation and bicycle network elements at intersections.

Intersection, T: an intersection between two thoroughfares where one is terminated. T-Intersections cause the least vehicle to vehicle and vehicle to pedestrian conflict points. Urban T-Intersections provide opportunities for terminated vistas.

Intersection, 4W (4-way): an intersection between two continuous thoroughfares at or near right angles.

Intersection, SI (Staggered): an intersection where one continuous thoroughfare is intersected by two terminating thoroughfares in close proximity. Staggered intersections provide a high number of terminated vistas and are well suited at commercial streets where traffic movement is slow and a high degree of spatial enclosure is desired.

Intersection, TN (Turbine): An intersection between three or four terminating thoroughfare segments creating open space or a civic district at the center. Turbine intersections are versatile, providing opportunities for squares, greens, or playgrounds, and additional on-street parking.

Intersection, TC (Traffic Circle): A free-movement intersection between two or more thoroughfares. Traffic circles allow vehicles to negotiate complex intersections safely without coming to a complete stop. For this reason, traffic circles are not appropriate in places with moderate to high pedestrian activity.

Intersection, SA (Square About): A free or near free-movement intersection between four or more thoroughfares in an urban context. Unlike traffic circles, square-about require slow speeds and are therefore pedestrian friendly. They also allow for spatial enclosure by buildings.

Intersection, RA (Round About): A very large traffic circle intersecting multiple urban thoroughfares with a pedestrian accessible civic district at the center in a circular, oblong, or elliptical shape. Roundabouts may require traffic control by timed or on-demand signalization to ensure safety at pedestrian crossings.

Intersection, EA (Elongated Round About): A civic district including civic space and civic buildings well suited for the intersection of more than four thoroughfares in very urban environments. Elongated roundabouts intersect the highest number of thoroughfares due to their size and are well suited to highly trafficked thoroughfares such as boulevards.

Intensity: the magnitude of development permitted in a transect sub-district.

Irregular Block: Odd or irregular shaped blocks defined by roads or property lines.

Layer: See lot layer.

Lightwell: A private frontage type that is a below-grade entrance or recess designed to allow light into basements.

Lodging: a building function available for daily and weekly renting of bedrooms.

Lot: a parcel of land accommodating a building or buildings under single ownership.

Lot Coverage: the percentage of a lot that is covered by buildings and other roofed structures.

Lot Layer: a range of depth of a lot within which certain elements are permitted.

Lot Line: the boundary that legally and geometrically demarcates a lot.

Lot Occupation: category for the area of a lot that may contain buildings, regulated in terms of width and coverage metrics.

Lot Width: the length of the principal frontage line of a lot.

Main Civic Space: the primary outdoor gathering place for a community. The main civic space is often, but not always, associated with an important civic building.

Manufacturing: premises available for the creation, assemblage and/or repair of artifacts, using table-mounted electrical machinery or artisanal equipment, and including their retail sale.

Maximum Density: the maximum number of housing units permitted per acre of gross lot area on a single lot including adjustments for other functions. See density and base density.

Minor Thoroughfare Network: a network of thoroughfares within districts that is secondary to the thoroughfare network.

Mixed Use: multiple functions within the same building through superimposition or adjacency, or in multiple buildings by adjacency.

Mixed Use Corridor: a corridor within primarily mixed-use buildings along its length.

Net Lot Area: the area of a lot within the frontage lines, excluding any portions of street rights-of-way or other required dedications.

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Nonconformity: an existing function, structure, lot or site improvement that is in compliance with the zoning regulations that were applicable to it when it was established, and for which all required permits were issued, but which does not conform in whole or in part to the regulations of this Section. Such nonconformity is legal and may continue except as regulated by this Section.

Office: premises available for the transaction of general business but excluding retail, artisanal and manufacturing uses.

Open Space: land intended to remain undeveloped; it may be for civic space. Undeveloped does not refer to vacant. Active and passive recreational park improvements are considered undeveloped.

Open Space Corridor: a continuous corridor of open space.

Opportunistic: refers to the placement of items in the nearest available and most advantageous location.

Outbuilding: a building other than the principal building, usually located toward the rear of the same lot as a principal building, and sometimes connected to the principal building by a thin building wing.

Park: a civic open space type that is a natural preserve available for structured and unstructured recreation.

Parking Lane: A vehicular lane designated and used for parking motor vehicles.

Parking Structure: a building containing one or more stories of vehicular parking above or below grade.

Parkway (PW): a highway designed in conjunction with naturalistic landscaping, including a variable-width median. A parkway should include a wide right-of-way landscaped on both sides of vehicular lanes.

Passage (PS): a pedestrian connector, open or roofed, that passes between buildings to provide shortcuts through long blocks and connect rear parking areas to frontages.

Path (PT): a pedestrian way traversing a park or rural area, with landscape matching the contiguous open space, ideally connecting directly with the urban sidewalk network.

Pedestrian Crossing: an area designated for pedestrians when traversing a thoroughfare. Pedestrian crossings may be striped and indicated by signage.

Pedestrian Shed: an area that is centered on a common destination, defining the structure of a community unit. Its size is related to average walking distances for the applicable community unit type.

Pervious Surface: Porous surface with spaces in the material, such as landscaping, gravel, specialized concrete, and alternative pavers. Pervious surfaces allow rainwater or snowmelt to pass through into the ground, thereby reducing runoff and filtering pollutants.

Planned Community District: contiguous land mapped with a planned community zone.

Planned Community Zone: land subject to the provisions of this Section as exclusive and mandatory zoning regulation.

Planned Community Zone, Large Scale: land over 500 contiguous acres zoned planned community zone.

Planned Community Zone, Small Scale: land at or less than 500 contiguous acres zoned planned community zone.

Planter: the element of the public frontage which accommodates street trees, whether continuous or individual.

Playground: a civic open space type designed and equipped for the recreation of children.

Plaza: a civic open space type designed for civic purposes and commercial activities in the more urban transect sub-districts, generally paved and spatially defined by building frontages.

Porch: An open air room appended to a building, with floor and roof but no walls on the sides facing frontages.

Principal Building: the main building on a lot, usually located toward the frontage.

Principal Entrance: the main point of access for pedestrians into a building.

Principal Frontage: the private frontage designated to bear the address and principal entrance to the building, and the measure of minimum lot width.

Private Frontage: the privately held layer between the frontage line and the principal building facade.

Public Frontage: the area of a thoroughfare assembly between the curb of the vehicular lanes and the frontage line.

Public Frontage Assembly: the result of assembling the walkway, planter, verge, and public furniture within a thoroughfare assembly.

Public Furniture: signage, public lighting, benches, refuse containers, newspaper dispensers, and other publicly managed vertical elements within the public frontage.

Public Infrastructure: cumulatively the infrastructure elements serving individual lots and public spaces, including water, sewer, storm water, electrical power, telecom, cable, fiber-optic cable, and similar elements.

Public Lighting: lighting that is owned and maintained by the City, usually along thoroughfares and in public spaces.

Public Planting: planting that is owned and maintained by the City, usually along thoroughfares and in public spaces.

Public Space: land, including thoroughfares, that is owned and maintained by the City where public access is permitted. Time limits and other restrictions may limit access to some public spaces.

Public Space Standards: a set of requirements defining the character of public spaces.

Rear Lane: a vehicular way located to the rear of residential lots providing access to service areas, parking, and outbuildings and containing utility easements. Rear lanes may be paved lightly to driveway standards. The streetscape consists of gravel or landscaped edges, no raised curb, with drainage by inverted crown, french drain, or by percolation.

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Rear Setback: the distance from the rear lot line to the point where a building may be constructed. This area must be maintained clear of permanent structures with the exception of permitted encroachments.

Regional Infrastructure: infrastructural elements that traverse long distances, including high-voltage power lines, oil and natural gas pipelines, fiber-optic trunk lines, and other similar elements.

Regional Open Space: open space that is scaled and programmed to serve residents outside of the immediately surrounding community units.

Regular Block: Square, rectangular, or orthogonal blocks defined by streets.

Required Parking: the number of parking spaces needed to accommodate a building or buildings on a single lot according to the intensity of its function.

Residential: characterizing premises available for long-term human dwelling.

Retail: characterizing premises available for the sale of merchandise and food service.

Retail Frontage: a frontage designated on a regulating plan that requires or recommends the provision of a shopfront, encouraging the ground level to be available for retail use.

Road (RD): a local, rural and suburban thoroughfare of low-to-moderate vehicular speed and capacity. Roads tend to be rural in character without curbs or striping.

Secondary Frontage: on corner lots, the private frontage that is not the principal frontage. As it affects the public realm, its first layer is regulated.

Second Lot Layer: that portion of the lot behind the first layer which includes the portion of the principal building that enfronts the thoroughfare.

Semi-private Fence: A type of fence that allows adequate surveillance from both sides of the partition, by arranging narrow spaces between solid members.

Sensitive Lands: natural features that include, but not be limited to, canyons and slopes in excess of 30%, ridge lines, streams or other natural water features, wetlands and geologically sensitive areas.

Setback: the area of a lot measured from the lot line to a building facade or elevation that is maintained clear of permanent structures, with the exception of permitted encroachments.

Shared Vehicular Lane with Sharrow (SL): a bicycle facility consisting of signage and painting indicating that motor vehicles and bicycles have equal, shared access to a vehicular lane.

Shopfront: a private frontage conventional for retail use with substantial glazing wherein the facade is aligned close to the frontage line with the building entrance at sidewalk grade.

Sidewalk: the paved section of the public frontage dedicated exclusively to pedestrian activity.

Sign: any identification, description, illustration, or device, illuminated or non-illuminated, that is visible from a public right-of-way or is located on private property and visible to the public and which directs attention to

a product, place, activity, person, institution, business, message or solicitation, including any permanently installed or situated merchandise, with the exception of window displays, and any letter, numeral, character, figure, emblem, painting, banner, pennant, placard, or temporary sign designed to advertise, identify or convey information.

Special Requirements: provisions of this Section that modify or extend requirements as designated on a regulating plan or other map for those provisions.

Square: a civic open space type designed for unstructured recreation and civic purposes, spatially defined by building frontages and consisting of paths, lawns and trees, formally disposed.

Stoop: a private frontage wherein the facade is aligned close to the frontage line with the first story elevated from the sidewalk for privacy, with an exterior stair and landing at the entrance that does not encroach into the sidewalk.

Story: a habitable level within a building by which height is measured. A single story is between 10' to 14', and excludes the attic or raised basement. The total height of a structure may not exceed 45 feet.

Street (ST): a local urban thoroughfare of low speed and capacity.

Streetscreen: a freestanding wall or hedge built along the frontage line, or coplanar with a facade.

Substantial Modification: alteration to a building that is valued at more than 50% of the replacement cost of the entire building, if new.

Swale: a low or slightly depressed natural area for drainage.

Target Speed: the desirable velocity at which vehicles should travel on a thoroughfare.

Terrace: A frontage wherein the facade is set back from the frontage line with an elevated terrace within the entire private frontage.

Terminated Vista: a location at the axial conclusion of a thoroughfare.

Thoroughfare: a way for use by vehicular, bicycle, and pedestrian traffic providing access to lots and open spaces.

Thoroughfare Assembly: the result of the public frontage elements assembled with the transportation way, public transportation and bicycle network elements within a right-of-way.

Thoroughfare Network: an interconnected network of vehicular, pedestrian and bicycle mobility.

Transect: a cross-section of the environment showing a range of different habitats. The rural-urban transect of the human environment used in this Chapter is divided into six transect sub-districts.

Transect Sub-District: One of several areas on a regulating plan map regulated by this Section. These transect sub-districts describe the physical form and character of a place, according to the density and intensity of its land use. Transect sub-districts are administratively similar to the land use zones in conventional codes, except that in addition to the usual building use, density, height, and setback requirements, other elements of the intended habitat are integrated, including those of the private lot

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and building and public frontage.

Transition Sub-District: a sub-district with lower maximum density and heights, and fewer permitted uses, providing a transition between higher and lower intensity areas.

Transportation Provision: modes of travel that include bicycles and transit.

Transportation Way: the portion of the thoroughfare dedicated to modes of travel that include motor vehicles, bicycles and transit.

Turning Radius: the curved edge of a thoroughfare at an intersection, measured at the inside edge of the vehicular tracking. The smaller the turning radius, the smaller the pedestrian crossing distance and the more slowly the vehicle is forced to make the turn.

Urbanized: developed.

Utilities, Dry: elements of public infrastructure that do not convey liquids.

Utilities, Wet: elements of public infrastructure that convey liquids.

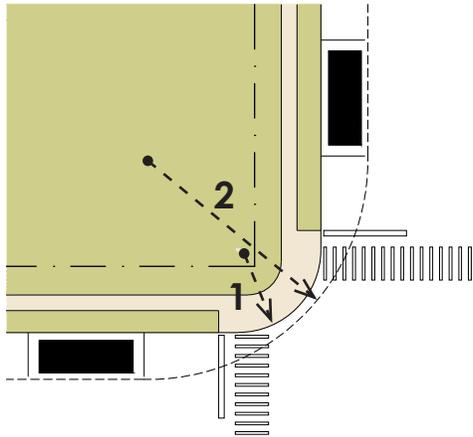
Vehicular Lane: the portion of a thoroughfare which is occupied by motor vehicles, usually the moving lanes and parking lanes.

Verge: the portion of a public frontage that contains the public furniture.

Walkway: the portion of the thoroughfare dedicated exclusively to pedestrian activity. The walkway includes sidewalks and the planting areas of the streetscape.

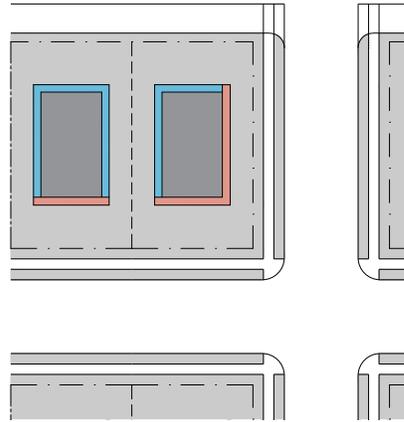
DEFINITIONS ILLUSTRATED

A. CURB RETURN RADIUS



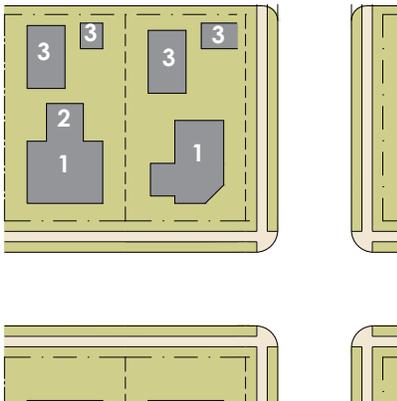
- 1-Curb return radius
- 2-Effective Radius (± 8 ft)

B. FRONTAGE LINES, LOT LINES & ELEVATIONS

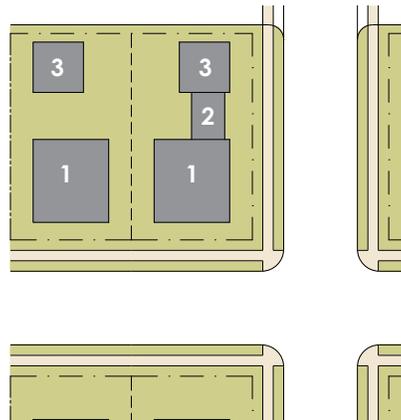


- frontage line
- - - lot line
- facade
- elevation

C. BUILDING DISPOSITION



- building footprint
- 1- principal building
- 2- backbuilding
- 3- outbuilding

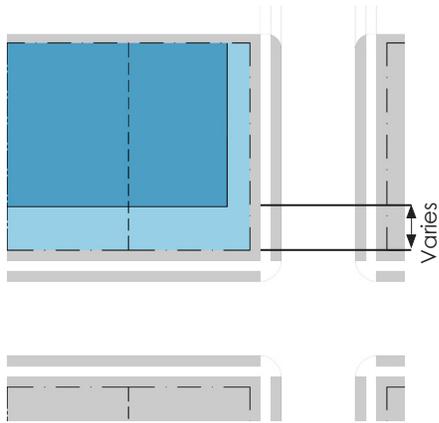


LEGACY FARMS

Community Plan

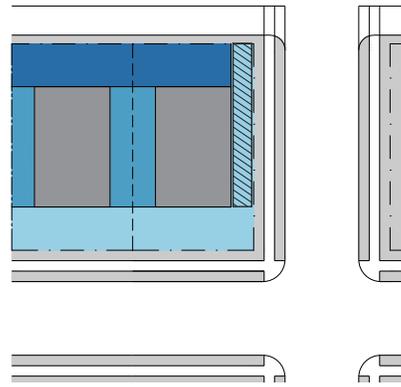
DEFINITIONS ILLUSTRATED

D. LOT LAYERS



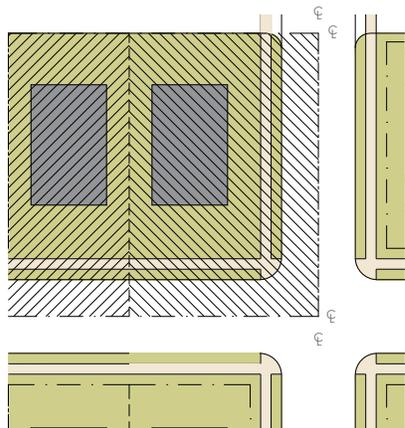
- 1st layer
- 2nd layer

E. SETBACKS



- front setback
- front setback secondary
- side setback
- rear setback
- buildable area

F. GROSS LOT AREA



G. LOT AREA

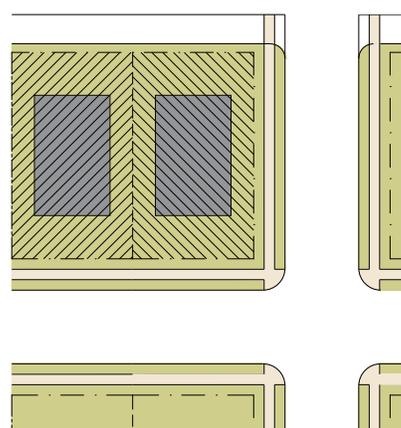


EXHIBIT 17: Title Report

COMMITMENT FOR TITLE INSURANCE

ISSUED BY

First American Title Insurance Company National Commercial Services
560 South 300 East, Salt Lake City, UT 84111
Phone: (801)536-3100 | Fax: (866)344-5051

Property Reserve, Inc.
Attn:
51 Main Street, Suite 301
Salt Lake City, UT 84180-1127

July 09, 2013
Order Number: NCS-580305-B1
Ref No.

RE: Proposed Owner/Applicant: Suburban Land Reserve, Inc.

We agree to issue a policy to you according to the terms of this Commitment. When we show the policy amount and your name as the proposed insured in Schedule A, this Commitment becomes effective as of the Commitment Date shown in Schedule A.

If the Requirements shown in this Commitment have not been met within six months after the Commitment Date, our obligation under this Commitment will end. Also, our obligation under this Commitment will end when the Policy is issued and then our obligation to you will be under the Policy.

Our obligation under this commitment is limited by the following:

- The Provisions in Schedule A.
- The Requirements in Schedule B-1.
- The Exceptions in Schedule B-2.
- The Conditions on the inside cover page.

The Commitment is not valid with out SCHEDULE A and Sections 1 and 2 of SCHEDULE B.

Underwritten by:

First American Title Insurance Company



Dennis J. Gilmore
President



Timothy Kemp
Secretary



SCHEDULE A

ESCROW/CLOSING INQUIRIES should be directed to your Escrow Officer: Jay Thompson at (801)536-3100 located at 560 South 300 East, Salt Lake City, UT 84111.

Effective Date: July 2, 2013 at 7:30 a.m.

1. Policy or (Policies) to be issued:

ALTA 2006 Standard Owner's for \$0.00 PREMIUM \$

Proposed Insured:
Suburban Land Reserve, Inc.

Endorsements PREMIUM \$

2. The estate or interest in the land described or referred to in this commitment and covered herein is fee simple and title thereto is at the effective date hereof vested in:

Corporation of the Presiding Bishop of the Church of Jesus Christ of Latter Day Saints, a corporation sole

3. The land referred to in this Commitment is located in Utah County, UT and is described as:

ALL OF THAT REAL PROPERTY KNOWN AS PARCEL #2, SARATOGA DRIVE CHURCH SUBDIVISION ACCORDING TO THE OFFICIAL PLAT THEREOF ON FILE IN THE OFFICE OF THE UTAH COUNTY RECORDER AS ENTRY NO. 140578:2004, MAP NO. 10844 TOGETHER WITH THAT REAL PROPERTY DESCRIBED IN DEED ENTRY NO. 72399:1994 IN THE OFFICIAL RECORDS OF UTAH COUNTY, LESS THAT REAL PROPERTY DESCRIBED IN DEED ENTRY NO. 91623:2009 IN THE OFFICIAL RECORDS OF UTAH COUNTY LOCATED IN SECTIONS 25 & 26, TOWNSHIP 5 SOUTH, RANGE 1 WEST, SALT LAKE BASE & MERIDIAN, SARATOGA SPRINGS, UTAH COUNTY, UTAH, AS SURVEYED AND MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT A POINT ON THE NORTH LINE OF PARCEL #2, SARATOGA DRIVE CHURCH SUBDIVISION ACCORDING TO THE OFFICIAL PLAT THEREOF ON FILE IN THE OFFICE OF THE UTAH COUNTY RECORDER AS ENTRY NO. 140578:2004, MAP NO. 10844 LOCATED S0°33'18"W ALONG THE SECTION LINE 33.94 FEET FROM THE EAST 1/4 CORNER OF SECTION 26, T5S, R1W, S.L.B. & M.; THENCE ALONG SAID PARCEL #2 THE FOLLOWING NINE (9) COURSES: N89°56'07"E 1,352.69 FEET; THENCE S19°21'26"W 886.43 FEET; THENCE S86°28'54"W 1,066.18 FEET; THENCE S3°31'06"E 374.34 FEET; THENCE S2°54'37"W 348.75 FEET; THENCE S21°58'07"W 403.00 FEET; THENCE S34°00'07"W 223.27 FEET; THENCE S0°41'07"W 180.00 FEET; THENCE S55°45'07"W 719.98 FEET TO THE NORTH LINE OF SARATOGA SPRINGS NO. 3 SUBDIVISION; THENCE S89°57'59"W ALONG THE NORTH LINE OF SARATOGA SPRINGS NO. 3 AND NO. 2 SUBDIVISIONS 1,751.96 FEET TO THE INTERSECTION WITH THE EASTERLY RIGHT-OF-WAY LINE OF REDWOOD ROAD (SR-68) ACCORDING TO THE OFFICIAL MAPS THEREOF AND AS DESCRIBED IN DEED ENTRY NO. 91623:2009 IN THE OFFICIAL RECORDS OF UTAH COUNTY; THENCE ALONG SAID EASTERLY RIGHT-OF-WAY LINE THE FOLLOWING TWO (2) COURSES: NORTHWESTERLY ALONG THE ARC OF A 9,940.00 FOOT RADIUS NON-TANGENT CURVE TO THE RIGHT (RADIUS BEARS: N88°51'47"E) 307.55 FEET THROUGH A CENTRAL

ANGLE OF 1°46'22" (CHORD: N0°15'02"W 307.54 FEET); THENCE N0°38'09"E 2,456.88 FEET TO THE NORTH LINE OF SAID PARCEL #2; THENCE N89°56'07"E ALONG SAID NORTH LINE 2,598.98 FEET TO THE POINT OF BEGINNING.

**SCHEDULE B - Section 1
Requirements**

The following are the requirements to be complied with:

1. Pay the agreed amounts for interest in the land and/or the mortgage or deed of trust to be insured.
2. Pay us the premiums, fees and charges for the policy. In the event the transaction for which this commitment is furnished cancels, a cancellation fee will be imposed.
3. Provide us with releases, reconveyances or other instruments, acceptable to us, including payment of any amounts due, removing the encumbrances shown in Schedule B-2 that are objectionable to the proposed insured.
4. Provide us with copies of appropriate agreements, resolutions, certificates, or other evidence needed to identify the parties authorized to execute the documents creating the interest to be insured.
5. The documents creating the interest to be insured must be signed, delivered and recorded.
6. You must tell us, in writing, the name of anyone not referred to in this Commitment who will receive an interest in, or who will make a loan secured by a deed of trust or mortgage secured by, the land described in this Commitment.
7. After we have received the information requested in these requirements, together with any other information about the transaction, we will have the right to add requirements to this Schedule B-1 or special exceptions to Schedule B-2.

SCHEDULE B - Section 2
Exceptions

Any policy we issue will have the following exceptions unless they are taken care of to our satisfaction.

1. Taxes or assessments which are not shown as existing liens by the records of any taxing authority that levies taxes or assessments on real property or by the public records.
2. Any facts, rights, interest or claims which are not shown by the public records but which could be ascertained by an inspection of said land or by making inquiry of persons in possession thereof.
3. Easements, claims of easements or encumbrances which are not shown by the public records.
4. Discrepancies, conflicts in boundary lines, shortage in area, encroachments and any other facts which a correct survey would disclose, and which are not shown by public records.
5. Unpatented mining claims; reservations or exceptions in patents or in Acts authorizing the issuance thereof, water rights, claims or title to water.
6. Any lien, or right to a lien, for services, labor or material heretofore or hereafter furnished, imposed by law and not shown by the public records.
7. Defects, liens, encumbrances, adverse claims or other matters, if any, created, first appearing in the public records or attaching subsequent to the effective date hereof but prior to the date the proposed insured acquires of record for value the estate or interest or mortgage thereon covered by this commitment.
8. Taxes for the year 2013 now a lien, not yet due. Tax Parcel No. 58-041-0185 and 66-058-0007
9. General property taxes were not assessed against the land because of ownership by a tax exempt entity. The land may be subject to a possible Appendix Roll Tax from the time of transfer into a non-exempt entity for the remainder of the taxing year.
10. General property taxes were not assessed against the land for the year(s) 2012 because of ownership by a tax exempt entity. Tax Parcel No. 58-041-0185.

General property taxes were not assessed against the land for the year(s) 2012 because of ownership by a tax exempt entity. Tax Parcel No. 66-058-0007.

11. Any charge upon the land by reason of its inclusion in Saratoga Springs City, Utah County and are subject to the levies and assessments thereof.
12. An easement over, across or through the land for use and incidental purposes, as granted to Utah Power Company, a corporation by Instrument recorded October 9, 1912 as Entry No. 4165 in Book 137 at Page 33 of Official Records.

NOTE: The above easement purports to affect the subject property, but the exact location cannot be determined because of an incomplete legal description.

A Partial Release of Easement recorded July 31, 2012 as Entry No. 63471:2012 of Official Records.

13. An easement over, across or through the land for electric transmission, distribution and telephone circuits and incidental purposes, as granted to Utah Power & Light Company, a corporation, by Instrument recorded May 18, 1961 as Entry No. 6478 in Book 873 at Page 93 of Official Records.
14. Rights of the Utah State Department of Highways as to a 66 foot highway (State Road 68 or Redwood Road) as defined in that Quit Claim Deed recorded November 21, 1962 as Entry No. 15766 in Book 921 at Page 513 of Official Records.
15. Notice of Creation of Agriculture Protection Area recorded March 10, 2000 as Entry No. 19297:2000 of Official Records.
16. Easements, notes and restrictions as shown on subdivision plat of Saratoga Drive Church Subdivision recorded December 15, 2004 as Entry No. 140578:2004 of Official Records.
17. An easement over, across or through the land for the purposes of constructing thereon cut and/or fill slopes and appurtenant parts thereof and incidental purposes, as granted to Utah Department of Transportation recorded June 22, 2005 as Entry No. 67146:2005 of Official Records.
18. Relinquishment of Abutter's rights in favor of Utah Department of Transportation as disclosed by Quit Claim Deed recorded August 20, 2009 as Entry No. 91623:2009 of Official Records.
19. An Ordinance Creating the "Saratoga Springs Community Development And Renewal Agency" Under Title 17C of the Utah Code recorded May 2, 2012 as Entry No. 36612:2012 of Official Records.
20. Rights of the public in and to that portion of the land lying within State Road 68 (Redwood Road).

The name(s) Corporation of the Presiding Bishop of the Church of Jesus Christ of Latter-Day Saints and Suburban Land Reserve, Inc., has/have been checked for judgments, State and Federal tax liens, and bankruptcies and if any were found, are disclosed herein .

Title inquiries should be directed to Steve Nielsen @ (801)578-8826.

NOTE: The policy(ies) to be issued as a result of this Commitment contain an Arbitration Clause set forth in the Conditions/Conditions and Stipulations Section. The following is included for the information of the proposed insured(s):

Any matter in dispute between you and the company may be subject to arbitration as an alternative to court action pursuant to the rules of the American Arbitration Association or other recognized arbitrator, a copy of which is available on request from the company. Any decision reached by arbitration shall be binding upon both you and the company. The arbitration award may include attorney's fees if allowed by state law and may be entered as a judgment in any court of proper jurisdiction.

In the event the transaction for which this commitment was ordered "cancels", please refer to Paragraph B under Schedule B, Section 1 for required cancellation fee.

CONDITIONS

1. DEFINITIONS

- (a) "Mortgage" means mortgage, deed of trust or other security instrument.
- (b) "Public Records" means title records that give constructive notice of matters affecting the title according to the state law where the land is located.

2. LATER DEFECTS

The Exceptions in Schedule B may be amended to show any defects, liens or encumbrances that appear for the first time in the public records or are created or attached between the Commitment Date and the date on which all of the Requirements are met. We shall have no liability to you because of this amendment.

3. EXISTING DEFECTS

If any defects, liens or encumbrances existing at Commitment Date are not shown in Schedule B, we may amend Schedule B to show them. If we do amend Schedule B to show these defects, liens or encumbrances, we shall be liable to you according to Paragraph 4 below unless you knew of this information and did not tell us about it in writing.

4. LIMITATION OF OUR LIABILITY

Our only obligation is to issue to you the Policy referred to in this Commitment, when you have met its Requirements. If we have any liability to you for any loss you incur because of an error in this Commitment, our liability will be limited to your actual loss caused by your relying this Commitment when you acted in good faith to:

- comply with the Requirements
- or
- eliminate with our written consent any Exceptions shown in Schedule B

We shall not be liable for more than the Amount shown in Schedule A of this Commitment and our liability is subject to the terms of the Policy form to be issued to you.

5. CLAIMS MUST BE BASED ON THIS COMMITMENT

Any claims, whether or not based on negligence, which you may have against us concerning the title to the land must be based on this Commitment and is subject to its terms



PRIVACY POLICY

We Are Committed to Safeguarding Customer Information

In order to better serve your needs now and in the future, we may ask you to provide us with certain information. We understand that you may be concerned about what we will do with such information - particularly any personal or financial information. We agree that you have a right to know how we will utilize the personal information you provide to us. Therefore, together with our parent company, The First American Corporation, we have adopted this Privacy Policy to govern the use and handling of your personal information.

Applicability

This Privacy Policy governs our use of the information which you provide to us. It does not govern the manner in which we may use information we have obtained from any other source, such as information obtained from public records or from another person or entity. First American has also adopted broader guidelines that govern our use of personal information regardless of its source. First American calls these guidelines its *Fair Information Values*, a copy of which can be found on our web site at www.firstam.com.

Types of Information

Depending upon which of our services you are utilizing, the types of nonpublic personal information that we may collect include:

- Information we receive from you on applications, forms and in other communications to us, whether in writing, in person, by telephone or any other means;
- Information about your transactions with us, our affiliated companies, or others; and
- Information we receive from a consumer reporting agency.

Use of Information

We request information from you for our own legitimate business purposes and not for the benefit of any nonaffiliated party. Therefore, we will not release your information to nonaffiliated parties except: (1) as necessary for us to provide the product or service you have requested of us; or (2) as permitted by law. We may, however, store such information indefinitely, including the period after which any customer relationship has ceased. Such information may be used for any internal purpose, such as quality control efforts or customer analysis. We may also provide all of the types of nonpublic personal information listed above to one or more of our affiliated companies. Such affiliated companies include financial services providers, such as title insurers, property and casualty insurers, and trust and investment advisory companies, or companies involved in real estate services, such as appraisal companies, home warranty companies, and escrow companies. Furthermore, we may also provide all information we collect, as described above, to companies that perform marketing services on our behalf, on behalf of our affiliated companies, or to other financial institutions with whom we or our affiliated companies have joint marketing agreements.

Former Customers

Even if you are no longer our customer, our Privacy Policy will continue to apply.

Confidentiality and Security

We will use our best efforts to ensure that no unauthorized parties have access to any of your information. We restrict access to nonpublic personal information about you to those individuals and entities who need to know that information to provide products and services to you. We will use our best efforts to train and oversee our employees and agents to ensure that your information will be handled responsibly and in accordance with this Privacy Policy and First American's *Fair Information Values*. We currently maintain physical, electronic, and procedural safeguards that comply with federal regulations to guard your nonpublic personal information.

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