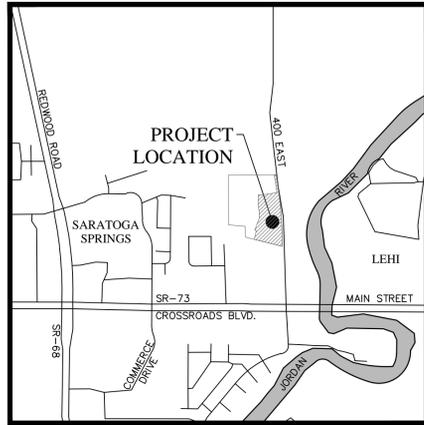


JORDAN VIEW LANDING PHASE 1

PREPARED FOR:
IVORY DEVELOPMENT
 LOCATED IN:
SARATOGA SPRINGS CITY, UTAH

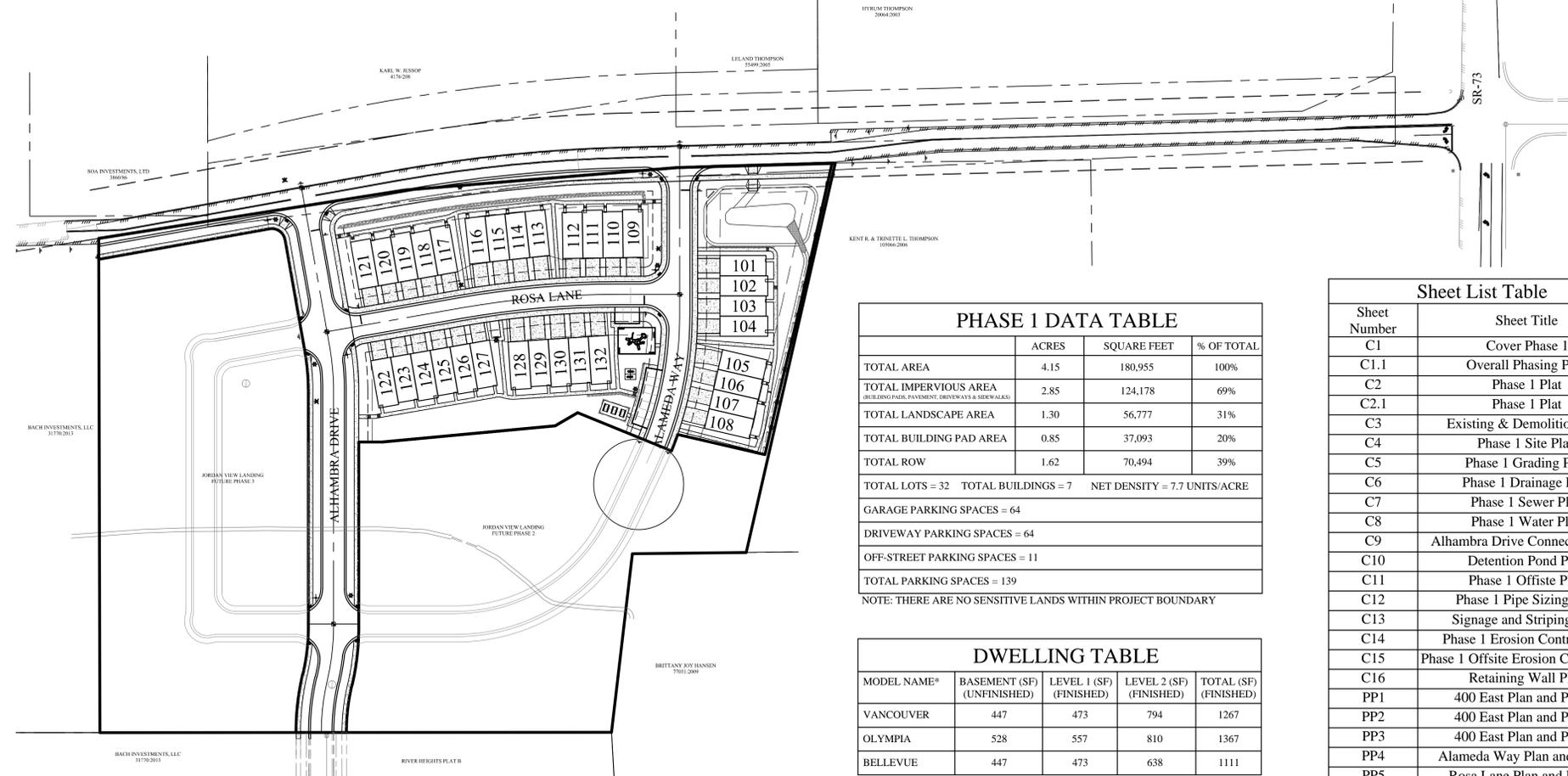


VICINITY MAP

NTS

LEGEND

---	BOUNDARY
---	ROW
---	CENTERLINE
---	LOT LINE
---	EASEMENT
---	FENCE / WALL
15 SD	15" STORM DRAIN
8 SS	8" SANITARY SEWER
8 W	8" CULINARY WATER
8 SW	8" SECONDARY WATER
XXXX	CONTOUR MAJOR
XXXX	CONTOUR MINOR
Ex SD	EXIST. STORM DRAIN
Ex SS	EXIST. SANITARY SEWER
Ex W	EXIST. CULINARY WATER
Ex SW	EXIST. SECONDARY WATER
X	EXIST. FENCE
(XXXX)	EXIST. CONTOUR MAJOR
(XXXX)	EXIST. CONTOUR MINOR
+	SIGN
⊙	STREET LIGHT
⊙	SD MH, INLET, AND COMBO
⊙	SEWER MANHOLE
⊙	VALVE, TEE & BEND
⊙	WATER BLOW-OFF
⊙	FIRE HYDRANT
⊙	STREET MONUMENT (TO BE SET)
⊙	EXIST. STREET MONUMENT
⊙	EXIST. SD INLET & MH
⊙	EXIST. SEWER MH
⊙	EXIST. VALVE, TEE, & BEND
⊙	EXIST. FIRE HYDRANT



SITE MAP

PHASE 1 DATA TABLE

	ACRES	SQUARE FEET	% OF TOTAL
TOTAL AREA	4.15	180,955	100%
TOTAL IMPERVIOUS AREA (BUILDING PADS, PAVEMENT, DRIVEWAYS & SIDEWALKS)	2.85	124,178	69%
TOTAL LANDSCAPE AREA	1.30	56,777	31%
TOTAL BUILDING PAD AREA	0.85	37,093	20%
TOTAL ROW	1.62	70,494	39%
TOTAL LOTS = 32 TOTAL BUILDINGS = 7 NET DENSITY = 7.7 UNITS/ACRE			
GARAGE PARKING SPACES = 64			
DRIVEWAY PARKING SPACES = 64			
OFF-STREET PARKING SPACES = 11			
TOTAL PARKING SPACES = 139			

NOTE: THERE ARE NO SENSITIVE LANDS WITHIN PROJECT BOUNDARY

DWELLING TABLE

MODEL NAME*	BASEMENT (SF) (UNFINISHED)	LEVEL 1 (SF) (FINISHED)	LEVEL 2 (SF) (FINISHED)	TOTAL (SF) (FINISHED)
VANCOUVER	447	473	794	1267
OLYMPIA	528	557	810	1367
BELLEVUE	447	473	638	1111

*NOTE: BUILDING PADS ARE SIZED TO ACCOMMODATE ANY OF THE 3 FLOOR PLANS

BENCHMARK

NORTHEAST CORNER OF SECTION 14
 TOWNSHIP 5 SOUTH, RANGE 1 WEST
 SALT LAKE BASE AND MERIDIAN
 ELEV: 4518.08
 DATUM: NAD83

CONTACTS

ENGINEER & SURVEYOR
 FOCUS ENGINEERING & SURVEYING
 502 WEST 8360 SOUTH
 SANDY, UTAH 84070
 (801) 352-0075
 CONTACT: TRAVIS BENSON

OWNER/DEVELOPER
 IVORY DEVELOPMENT
 978 WOODOAK LANE
 SALT LAKE CITY, UTAH 84117
 (801) 747-7000
 CONTACT: KEN WATSON

SARATOGA SPRINGS
 1307 N. COMMERCE DR. #200
 SARATOGA SPRINGS, UTAH 84045
 (801) 766-9793

QUESTAR GAS
 (801) 324-5000

ROCKY MOUNTAIN POWER
 1-800-469-3981

COMCAST
 1-800-COMCAST

CENTURY LINK
 (877) 720-3428

Sheet List Table

Sheet Number	Sheet Title
C1	Cover Phase 1
C1.1	Overall Phasing Plan
C2	Phase 1 Plat
C2.1	Phase 1 Plat
C3	Existing & Demolition Plan
C4	Phase 1 Site Plan
C5	Phase 1 Grading Plan
C6	Phase 1 Drainage Plan
C7	Phase 1 Sewer Plan
C8	Phase 1 Water Plan
C9	Alhambra Drive Connection Plan
C10	Detention Pond Plan
C11	Phase 1 Offsite Plan
C12	Phase 1 Pipe Sizing Plan
C13	Signage and Striping Plan
C14	Phase 1 Erosion Control Plan
C15	Phase 1 Offsite Erosion Control Plan
C16	Retaining Wall Plan
PP1	400 East Plan and Profile
PP2	400 East Plan and Profile
PP3	400 East Plan and Profile
PP4	Alameda Way Plan and Profile
PP5	Rosa Lane Plan and Profile
PP6	Alhambra Drive Plan and Profile
PP7	SR-73 Storm Drain Plan and Profile
L1	Phase 1 Planting Plan
L2	Phase 1 Planting Plan
L3	Overall Irrigation Plan
L4	Phase 1 Irrigation Plan
L5	Phase 1 Irrigation Plan
D1	Site Details
D2	Erosion Control BMP
D3	Erosion Control BMP

GENERAL NOTES

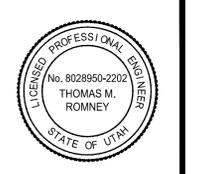
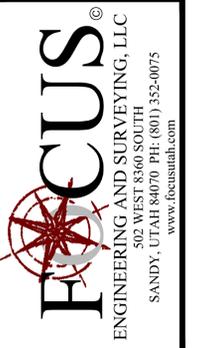
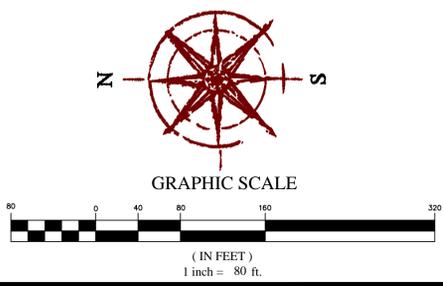
- CONTRACTOR TO FIELD VERIFY HORIZONTAL AND VERTICAL LOCATIONS OF ALL EXISTING UTILITIES PRIOR TO COMMENCEMENT OF CONSTRUCTION, AND REPORT ANY DISCREPANCIES TO THE ENGINEER.
- ANY AND ALL DISCREPANCIES IN THESE PLANS ARE TO BE BROUGHT TO THE ENGINEER'S ATTENTION PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- ALL CONSTRUCTION SHALL ADHERE TO SARATOGA SPRINGS CITY STANDARD PLANS STANDARDS AND SPECIFICATIONS.
- ALL UTILITIES AND ROAD IMPROVEMENTS SHOWN ON THE PLANS HEREIN SHALL BE CONSTRUCTED USING REFERENCE TO SURVEY CONSTRUCTION STAKES PLACED UNDER THE SUPERVISION OF A PROFESSIONAL LICENSED SURVEYOR WITH A CURRENT LICENSE ISSUED BY THE STATE OF UTAH. ANY IMPROVEMENTS INSTALLED BY ANY OTHER VERTICAL OR HORIZONTAL REFERENCE WILL NOT BE ACCEPTED OR CERTIFIED BY THE ENGINEER OF RECORD.

NOTICE

BEFORE PROCEEDING WITH THIS WORK, THE CONTRACTOR SHALL CAREFULLY CHECK AND VERIFY ALL CONDITIONS, QUANTITIES, DIMENSIONS, AND GRADE ELEVATIONS, AND SHALL REPORT ALL DISCREPANCIES TO THE ENGINEER.

ENGINEER'S NOTES TO CONTRACTOR

- THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITY PIPES, CONDUITS OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED BY A SEARCH OF THE AVAILABLE RECORDS, TO THE BEST OF OUR KNOWLEDGE. THERE ARE NO EXISTING UTILITIES EXCEPT AS SHOWN ON THESE PLANS. THE CONTRACTOR IS REQUIRED TO TAKE DUE PRECAUTIONARY MEASURES TO PROTECT THE UTILITY LINES SHOWN ON THESE DRAWINGS. THE CONTRACTOR FURTHER ASSUMES ALL LIABILITY AND RESPONSIBILITY FOR THE UTILITY PIPES, CONDUITS OR STRUCTURES SHOWN OR NOT SHOWN ON THESE DRAWINGS. IF UTILITY LINES ARE ENCOUNTERED DURING CONSTRUCTION THAT ARE NOT IDENTIFIED BY THESE PLANS, CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY.
- CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE CITY, THE OWNER, AND THE ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR THE ENGINEER.
- UNAUTHORIZED CHANGES & USES: THE ENGINEER PREPARING THESE PLANS WILL NOT BE RESPONSIBLE FOR, OR LIABLE FOR, UNAUTHORIZED CHANGES TO OR USES OF THESE PLANS. ALL CHANGES TO THE PLANS MUST BE IN WRITING AND MUST BE APPROVED BY THE PREPARER OF THESE PLANS.
- ALL CONTOUR LINES SHOWN ON THE PLANS ARE AN INTERPRETATION BY CAD SOFTWARE OF FIELD SURVEY WORK PERFORMED BY A LICENSED SURVEYOR. DUE TO THE POTENTIAL DIFFERENCES IN INTERPRETATION OF CONTOURS BY VARIOUS TYPES OF GRADING SOFTWARE BY OTHER ENGINEERS OR CONTRACTORS, FOCUS DOES NOT GUARANTEE OR WARRANT THE ACCURACY OF SUCH LINEWORK. FOR THIS REASON, FOCUS WILL NOT PROVIDE ANY GRADING CONTOURS IN CAD FOR ANY TYPE OF USE BY THE CONTRACTOR. SPOT ELEVATIONS AND PROFILE ELEVATIONS SHOWN IN THE DESIGN DRAWINGS GOVERN ALL DESIGN INFORMATION ILLUSTRATED ON THE APPROVED CONSTRUCTION SET. CONSTRUCTION EXPERTISE AND JUDGMENT BY THE CONTRACTOR IS ANTICIPATED BY THE ENGINEER TO COMPLETE BUILD-OUT OF THE INTENDED IMPROVEMENTS.



JORDAN VIEW LANDING PHASE 1
 Saratoga Springs City
 Cover Phase 1

#	DATE	DESCRIPTION
1		
2		
3		
4		
5		
6		

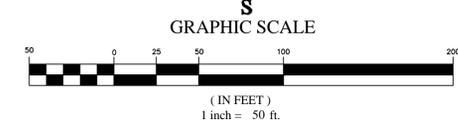
COVER PHASE 1

Scale: 1"=80' Drawn: GM
 Date: 05/21/15 Job #: 14-002
 Sheet: **C1**

21_2014\14-002_Ivory-Saratoga_Norman_Property\Design_14-002_IvoryPhase_1_Sheets\C1_Cover.dwg

JORDAN VIEW LANDING PHASE 1

LOCATED IN THE SE $\frac{1}{4}$ OF SECTION 11 AND THE NE $\frac{1}{4}$ OF SECTION 14, TOWNSHIP 5 SOUTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN SARATOGA SPRINGS CITY, UTAH COUNTY, UTAH



LEGEND

- PRIVATE AREA (SEE SHEET 2 FOR UNIT DETAILS)
- LIMITED COMMON AREA
- DEDICATED TO SARATOGA SPRINGS AS PUBLIC ROW
- OPEN SPACE / COMMON AREA
- SECTION MONUMENT (FOUND)
- STREET MONUMENT (TO BE SET)

GENERAL NOTES:

- PLAT MUST BE RECORDED WITHIN 24 MONTHS OF FINAL PLAT APPROVAL BY CITY COUNCIL. FINAL PLAT APPROVAL WAS GRANTED ON THE ____ DAY OF ____ 20__.
- THE INSTALLATION OF IMPROVEMENTS SHALL CONFORM TO ALL CITY RULES, ORDINANCES, REQUIREMENTS, STANDARDS, AND POLICIES REGARDING THE DEVELOPMENT OF THIS PROPERTY.
- PRIOR TO ANY BUILDING PERMIT BEING ISSUED, SOIL TESTING STUDIES MAY BE REQUIRED ON EACH LOT AS DETERMINED BY THE CITY BUILDING OFFICIAL.
- PLAT MAY BE SUBJECT TO A MASTER DEVELOPMENT AGREEMENT, DEVELOPMENT AGREEMENT, SUBDIVISION AGREEMENT, OR SITE PLAN AGREEMENT. SEE CITY RECORDER FOR MORE INFORMATION.
- ALL COMMON AREA AND PRIVATE ROADS ARE DEDICATED TO CITY OF SARATOGA SPRINGS AS UTILITY EASEMENTS FOR WATER, SEWER AND STORM DRAIN.
- BUILDING PERMITS WILL NOT BE ISSUED UNTIL ALL IMPROVEMENTS HAVE BEEN INSTALLED AND ACCEPTED BY THE CITY IN WRITING. ALL IMPROVEMENTS CURRENTLY MEET CITY STANDARDS; AND BONDS ARE POSTED BY THE CURRENT OWNER OF THE PROJECT PURSUANT TO CITY CODE.
- ALL BONDS AND BOND AGREEMENTS ARE BETWEEN THE CITY, DEVELOPER/OWNER AND FINANCIAL INSTITUTION. NO OTHER PARTY, INCLUDING UNIT OR LOT OWNERS, SHALL BE DEEMED A THIRD PARTY BENEFICIARIES OR HAVE ANY RIGHTS INCLUDING THE RIGHT TO BRING ANY ACTION UNDER ANY BOND OR BOND AGREEMENT.
- THE OWNER OF THIS SUBDIVISION AND ANY OTHER SUCCESSORS AND ASSIGNS ARE RESPONSIBLE FOR ENSURING THAT IMPACT AND CONNECTION FEES ARE PAID AND WATER RIGHTS ARE SECURED FOR EACH INDIVIDUAL LOT. NO BUILDING PERMITS SHALL BE ISSUED FOR ANY LOT IN THIS SUBDIVISION UNTIL ALL IMPACT AND CONNECTIONS FEES AT THE RATES IN EFFECT WHEN APPLYING FOR A BUILDING PERMIT, ARE PAID IN FULL AND WATER RIGHTS SECURED AS SPECIFIED BY CURRENT CITY ORDINANCES AND FEES SCHEDULES.
- ALL OPEN SPACE AND TRAIL IMPROVEMENTS LOCATED HEREIN ARE TO BE INSTALLED BY OWNER AND MAINTAINED BY A HOMEOWNERS ASSOCIATION UNLESS SPECIFIED OTHERWISE ON EACH IMPROVEMENT.
- ANY REFERENCE HEREIN TO OWNERS, DEVELOPERS, OR CONTRACTORS SHALL APPLY TO SUCCESSORS, AGENTS AND ASSIGNS.
- ALL UNITS WITHIN THIS SUBDIVISION WILL BE SUBJECT TO THE HOME OWNERS ASSOCIATION BYLAWS, ARTICLES OF INCORPORATION AND CC&RS.

NOTE: UPON FINAL DESIGN ALL APPLICABLE ELEMENTS OF SECTION 19.09.07 WITH RESPECT TO ACCESSIBLE PARKING WILL BE ADHERED TO.

SURVEYOR'S CERTIFICATE
 I, DENNIS P. CARLISLE, DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR AND THAT I HOLD A LICENSE, CERTIFICATE NO. 172675, IN ACCORDANCE WITH THE PROFESSIONAL ENGINEERS AND LAND SURVEYORS LICENSING ACT FOUND IN TITLE 58, CHAPTER 22 OF THE UTAH CODE. I FURTHER CERTIFY BY AUTHORITY OF THE OWNERS, I HAVE MADE A SURVEY OF THE TRACT OF LAND SHOWN ON THIS PLAT AND DESCRIBED BELOW, HAVE SUBDIVIDED SAID TRACT OF LAND INTO LOTS, STREETS, AND EASEMENTS, HAVE COMPLETED A SURVEY OF THE PROPERTY DESCRIBED ON THIS PLAT IN ACCORDANCE WITH UTAH CODE SECTION 17-23-17, HAVE VERIFIED ALL MEASUREMENTS, AND PLACED MONUMENTS AS REPRESENTED ON THE PLAT. I FURTHER CERTIFY THAT TO THE EXTENT THEY ARE DISCLOSED IN A CURRENT TITLE REPORT, ALL RIGHT-OF-WAY AND EASEMENT GRANT OF RECORD FOR UNDERGROUND FACILITIES, AS DEFINED IN UTAH CODE SECTION 54-8A-2, AND FOR OTHER UTILITY FACILITIES, ARE ACCURATELY DESCRIBED ON THIS PLAT, AND THAT THIS PLAT IS TRUE AND CORRECT. I ALSO CERTIFY THAT I HAVE FILED, OR WILL FILE WITHIN 90 DAYS OF RECORDATION OF THIS PLAT, A MAP OF THE SURVEY I HAVE COMPLETED WITH THE UTAH COUNTY SURVEYOR.

Dennis P. Carlisle _____ Date _____
 Professional Land Surveyor
 Certificate No. 172675

BOUNDARY DESCRIPTION

A portion of the SE $\frac{1}{4}$ of Section 11 & the NE $\frac{1}{4}$ of Section 14, Township 5 South, Range 1 West, Salt Lake Base & Meridian, located in Saratoga Springs, Utah, more particularly described as follows:
 Beginning at a point located S89°51'44"W along the Section line 216.35 feet and N0°08'16"W 121.48 feet from the Northeast Corner of Section 14, T5S, R1W, S.L.B. & M.; thence S8°56'16"E 343.89 feet; thence S4°42'16"E 304.40 feet; thence S1°39'16"E 172.12 feet to a fence line; thence N77°16'00"W along a fence line 166.50 feet; thence N76°24'00"W along a fence line 94.00 feet; thence N77°03'00"W along a fence line 70.55 feet; thence N12°57'44"E 99.43 feet; thence Northwesterly along the arc of a 395.00 foot radius non-tangent curve (radius bears: N19°13'53"E) 19.47 feet through a central angle of 2°49'25" (chord: N69°21'21"W 19.46 feet); thence N22°01'52"E 112.67 feet; thence N30°01'17"W 28.93 feet; thence N5°18'37"W 192.82 feet; thence North 26.31 feet; thence West 205.42 feet; thence along the arc of a 278.00 foot radius curve to the right 64.76 feet through a central angle of 13°20'46" (chord: N83°19'37"W 64.61 feet) to a point of reverse curvature; thence along the arc of a 222.00 foot radius curve to the left 52.29 feet through a central angle of 13°29'48" (chord: N83°24'08"W 52.17 feet); thence N0°02'16"W 56.00 feet; thence S07°42'16"E 65.38 feet through a central angle of 13°28'26" (chord: S83°23'27"E 65.23 feet) to a point of reverse curvature; thence along the arc of a 222.00 foot radius curve to the left 51.71 feet through a central angle of 13°20'46" (chord: S83°19'37"E 51.59 feet); thence East 264.37 feet; thence along the arc of a 222.00 foot radius curve to the left 39.05 feet through a central angle of 10°04'44" (chord: N84°57'38"E 39.00 feet); thence N79°55'16"E 127.83 feet; thence along the arc of a 15.00 foot radius curve to the left 23.56 feet through a central angle of 90°00'00" (chord: N34°55'16"E 21.21 feet); thence N10°04'44"W 192.70 feet; thence N89°51'44"E 23.05 feet to the point of beginning.
 Contains: 4.15+- acres

OWNER'S DEDICATION

KNOW ALL MEN BY THESE PRESENTS THAT _____ THE _____ UNDERSIGNED OWNER(S) OF THE ABOVE DESCRIBED TRACT OF LAND HAVING CAUSED SAME TO BE SUBDIVIDED INTO LOTS AND STREETS TO BE HEREAFTER KNOWN AS

JORDAN VIEW LANDING PHASE 1

DO HEREBY DEDICATE FOR PERPETUAL USE OF THE PUBLIC AND/OR CITY ALL PARCELS OF LAND, EASEMENTS, RIGHT-OF-WAY, AND PUBLIC AMENITIES SHOWN ON THIS PLAT AS INTENDED FOR PUBLIC AND/OR CITY USE. THE OWNER(S) VOLUNTARILY DEFEND, INDEMNIFY, AND HARMLESS THE CITY AGAINST ANY EASEMENTS OR OTHER ENCUMBRANCES ON A DEDICATED STREET WHICH WILL INTERFERE WITH THE CITY'S USE, MAINTENANCE AND OPERATION OF THE STREET. THE OWNER(S) VOLUNTARILY DEFEND, INDEMNIFY, AND HOLD HARMLESS THE CITY FROM ANY DAMAGE CLAIMED BY PERSONS WITHIN OR WITHOUT THIS SUBDIVISION TO HAVE BEEN CAUSED BY ALTERATIONS OF THE GROUND SURFACE, VEGETATION, DRAINAGE, OR SURFACE OR SUB-SURFACE WATER FLOWS WITHIN THIS SUBDIVISION OR BY ESTABLISHMENT OR CONSTRUCTION OF THE ROADS WITHIN THIS SUBDIVISION.
 IN WITNESS WHEREOF WE HAVE HERETO SET OUR HANDS THIS ____ DAY OF _____ A.D. 20__

OWNER'S ACKNOWLEDGMENT

ON THE ____ DAY OF _____ A.D. 20__, I, THE UNDERSIGNED NOTARY PUBLIC, IN AND FOR THE COUNTY OF SALT LAKE, IN SAID STATE OF UTAH, WHO AFTER BEING DULY SWORN, ACKNOWLEDGED TO ME THAT HE IS THE _____ OF _____ L.L.C., A UTAH L.L.C. AND THAT HE SIGNED THE OWNERS DEDICATION FREELY AND VOLUNTARILY FOR AND IN BEHALF OF SAID LIMITED LIABILITY COMPANY FOR THE PURPOSES THEREIN MENTIONED.

CORPORATE ACKNOWLEDGMENT

STATE OF UTAH)
 COUNTY OF UTAH)
 ON THIS ____ DAY OF _____ 20__, PERSONALLY APPEARED BEFORE ME _____ (name of document signer) WHOSE IDENTITY IS PERSONALLY KNOWN TO ME (OR PROVEN ON THE BASIS OF SATISFACTORY EVIDENCE) AND WHO BY ME DULY SWORN/AFFIRMED, DID SAY THAT HE/SHE IS THE _____ OF _____ (Name of Corporation) AND THAT SAID DOCUMENT WAS SIGNED BY HIM/HER IN BEHALF OF SAID *CORPORATION BY AUTHORITY OF ITS BYLAWS, OR (RESOLUTION OF ITS BOARD OF DIRECTORS), AND SAID _____ ACKNOWLEDGED TO ME THAT SAID *CORPORATION EXECUTED THE SAME.

APPROVAL BY LEGISLATIVE BODY

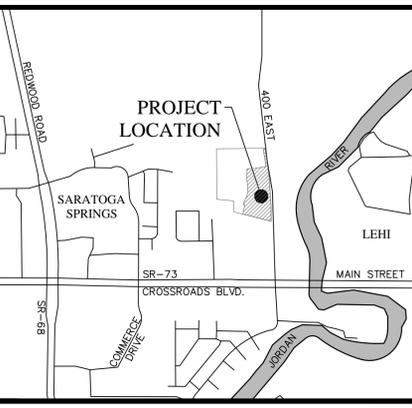
THE CITY COUNCIL OF SARATOGA SPRINGS, COUNTY OF UTAH, APPROVES THIS SUBDIVISION SUBJECT TO THE CONDITIONS AND RESTRICTIONS HEREON, AND HEREBY ACCEPTS THE DEDICATION OF ALL STREETS, EASEMENTS AND OTHER PARCELS OF LAND INTENDED FOR THE PUBLIC PURPOSE OF THE PERPETUAL USE OF THE PUBLIC.
 THIS ____ DAY OF _____ A.D. 20__

 CITY MAYOR (SEE SEAL BELOW) ATTEST
 CITY-RECORDER (SEE SEAL BELOW)

JORDAN VIEW LANDING PHASE 1

LOCATED IN THE SE $\frac{1}{4}$ OF SECTION 11 AND THE NE $\frac{1}{4}$ OF SECTION 14, TOWNSHIP 5 SOUTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN SARATOGA SPRINGS CITY, UTAH COUNTY, UTAH

SURVEYOR'S SEAL NOTARY PUBLIC SEAL CITY-COUNTY ENGINEER SEAL CITY-COUNTY RECORDER SEAL



VICINITY MAP
 N.T.S.

Centerline Curve Table

CURVE	RADIUS	DELTA	LENGTH	CHORD DIRECTION	CHORD LENGTH
C1	375.00	22°02'56"	144.31	S78°58'02"E	143.42
C2	1005.00	10°00'30"	175.55	N04°59'45"W	175.33
C3	250.00	10°04'44"	43.98	N84°57'38"E	43.92
C22	1702.00	8°33'59"	254.47	N05°47'44"W	254.23
C23	250.12	13°20'35"	58.25	N83°19'43"W	58.12
C24	250.12	13°28'40"	58.83	N83°23'45"W	58.70

Curve Table

CURVE	RADIUS	DELTA	LENGTH	CHORD DIRECTION	CHORD LENGTH
C4	395.00	22°02'52"	152.00	S78°58'05"E	151.06
C5	19.00	33°51'21"	11.23	N73°03'50"W	11.06
C6	355.00	19°39'37"	121.81	S77°46'06"E	121.22
C7	19.00	92°23'36"	30.64	N46°12'17"E	27.43
C8	19.00	90°00'00"	29.85	S44°59'30"E	26.87
C9	19.00	36°53'50"	12.24	N71°33'35"E	12.03
C10	985.00	10°00'30"	172.06	N04°59'45"W	171.84
C11	1025.00	10°00'30"	179.04	N04°59'45"W	178.82
C12	1663.50	8°33'59"	248.71	N05°47'44"W	248.48
C13	278.00	9°29'13"	45.30	N85°19'53"E	45.25
C14	19.00	33°07'57"	10.99	N26°33'58"W	10.83
C15	19.00	35°17'52"	11.71	S07°38'56"W	11.52
C16	15.00	90°00'00"	23.56	N55°04'44"W	21.21
C17	278.00	10°04'44"	48.90	N84°57'38"E	48.84
C18	278.00	0°44'31"	3.60	N80°17'32"E	3.60
C20	394.05	1°56'13"	13.32	S71°44'01"E	13.32
C21	985.00	0°40'54"	11.72	N00°19'58"W	11.72

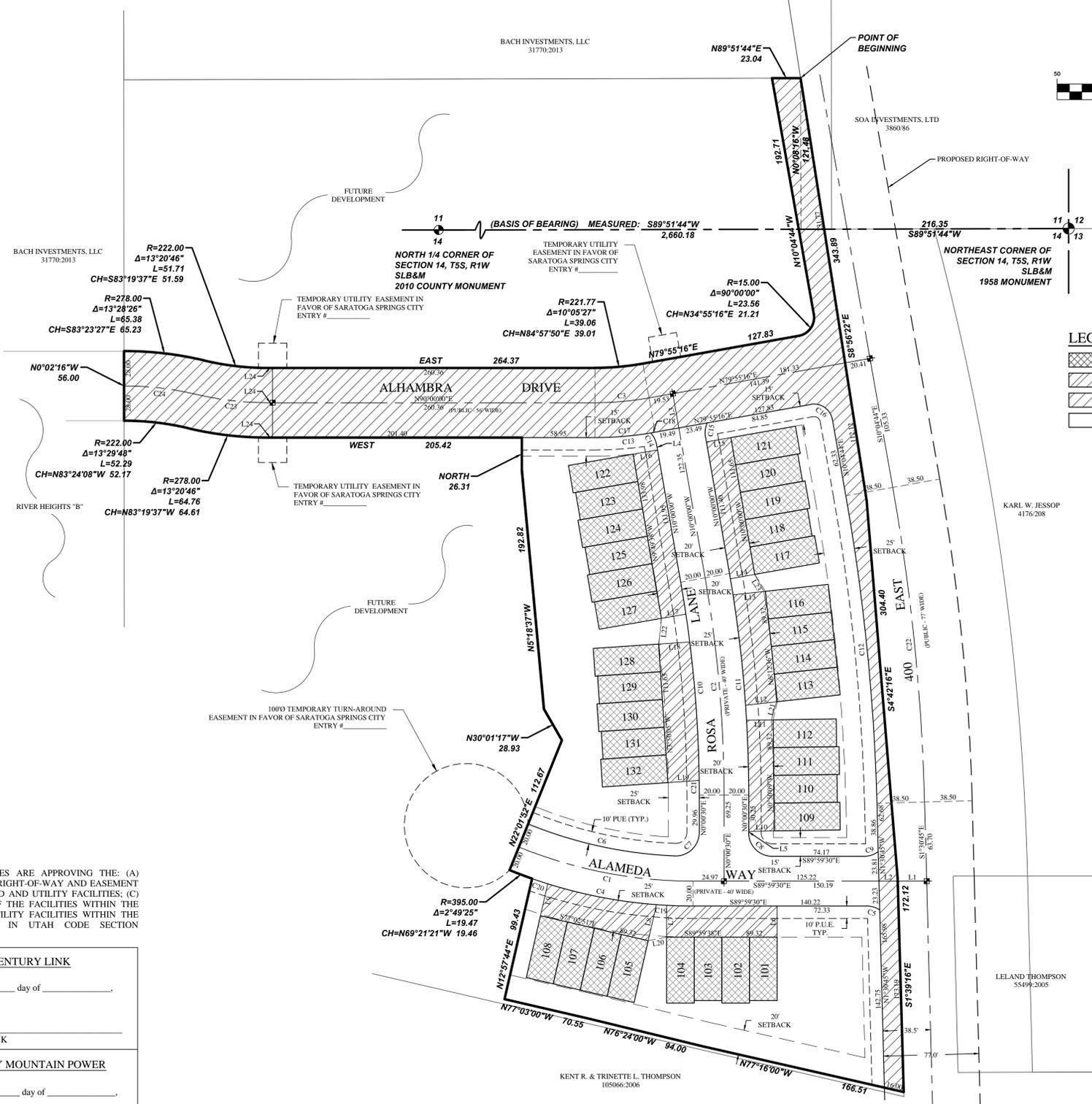
Line Table

LINE	DIRECTION	LENGTH
L1	S89°59'30"E	23.42
L2	S89°59'30"E	15.10
L3	N10°00'00"W	28.00
L4	S10°00'00"E	4.00
L5	S00°00'30"W	1.13
L6	N00°00'22"E	25.00
L7	N00°00'22"E	25.59
L8	N12°57'09"E	29.70
L9	N12°57'09"E	26.35
L10	S89°09'51"W	20.95
L11	S89°09'51"W	21.40
L12	S83°47'24"W	25.80

BY SIGNING THIS PLAT, THE FOLLOWING UTILITY COMPANIES ARE APPROVING THE: (A) BOUNDARY, COURSE, DIMENSIONS, AND INTENDED USE OF THE RIGHT-OF-WAY AND EASEMENT GRANTS OF RECORD; (B) LOCATION OF EXISTING UNDERGROUND AND UTILITY FACILITIES; (C) CONDITIONS OR RESTRICTIONS GOVERNING THE LOCATION OF THE FACILITIES WITHIN THE RIGHT-OF-WAY, AND EASEMENT GRANTS OF RECORD, AND UTILITY FACILITIES WITHIN THE SUBDIVISION. "APPROVING" SHALL HAVE THE MEANING IN UTAH CODE SECTION 10-9A-603(4)(c)(ii).

COMCAST CABLE TELEVISION Approved this ____ day of _____ A.D. 20__	CENTURY LINK Approved this ____ day of _____ A.D. 20__
COMCAST CABLE TELEVISION Approved this ____ day of _____ A.D. 20__	CENTURY LINK Approved this ____ day of _____ A.D. 20__
QUESTAR GAS COMPANY Approved this ____ day of _____ A.D. 20__	ROCKY MOUNTAIN POWER Approved this ____ day of _____ A.D. 20__
QUESTAR GAS COMPANY Approved this ____ day of _____ A.D. 20__	ROCKY MOUNTAIN POWER Approved this ____ day of _____ A.D. 20__

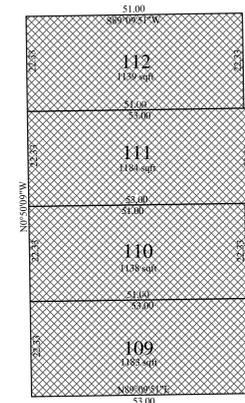
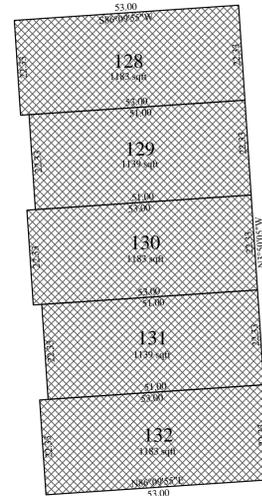
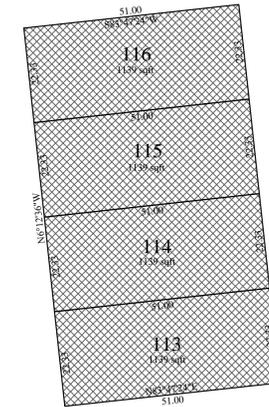
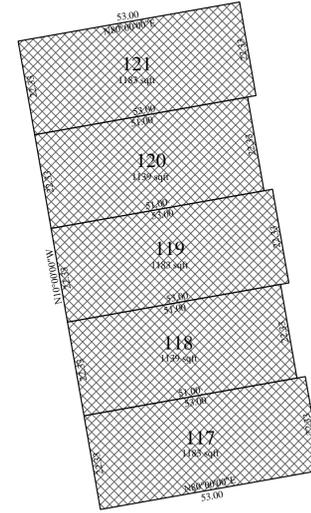
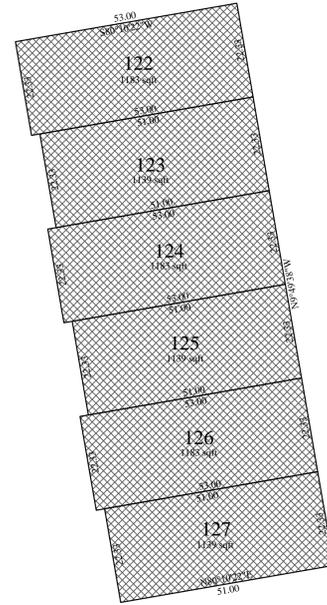
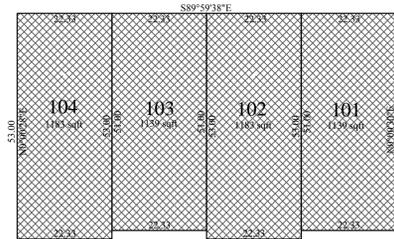
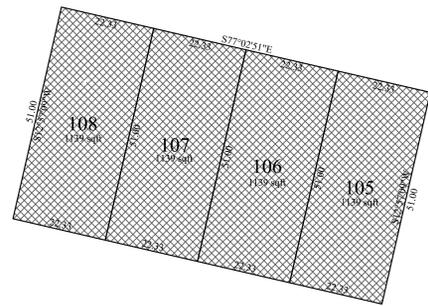
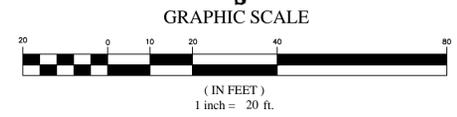
PREPARED BY



FIRE CHIEF APPROVAL Approved by the Fire Chief on this ____ day of _____ A.D. 20__ CITY FIRE CHIEF	PLANNING COMMISSION APPROVAL Approved by the Planning Commission on this ____ day of _____ A.D. 20__ CHAIRMAN, PLANNING COMMISSION	SARATOGA SPRINGS ENGINEER APPROVAL Approved by the City Engineer on this ____ day of _____ A.D. 20__ CITY ENGINEER	SARATOGA SPRINGS ATTORNEY Approved by Saratoga Springs Attorney on this ____ day of _____ A.D. 20__ SARATOGA SPRINGS ATTORNEY	LEHI CITY POST OFFICE Approved by Post Office Representative on this ____ day of _____ A.D. 20__ LEHI CITY POST OFFICE REPRESENTATIVE
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JORDAN VIEW LANDING PHASE 1

LOCATED IN THE SE $\frac{1}{4}$ OF SECTION 11 AND THE NE $\frac{1}{4}$ OF SECTION 14, TOWNSHIP 5 SOUTH, RANGE 1 WEST,
SALT LAKE BASE AND MERIDIAN
SARATOGA SPRINGS CITY, UTAH COUNTY, UTAH



UNIT DIMENSIONS:
ALL UNIT LINES ARE PARALLEL WITH OR PERPENDICULAR
TO REFERENCE BEARING SHOWN ON EACH BUILDING.

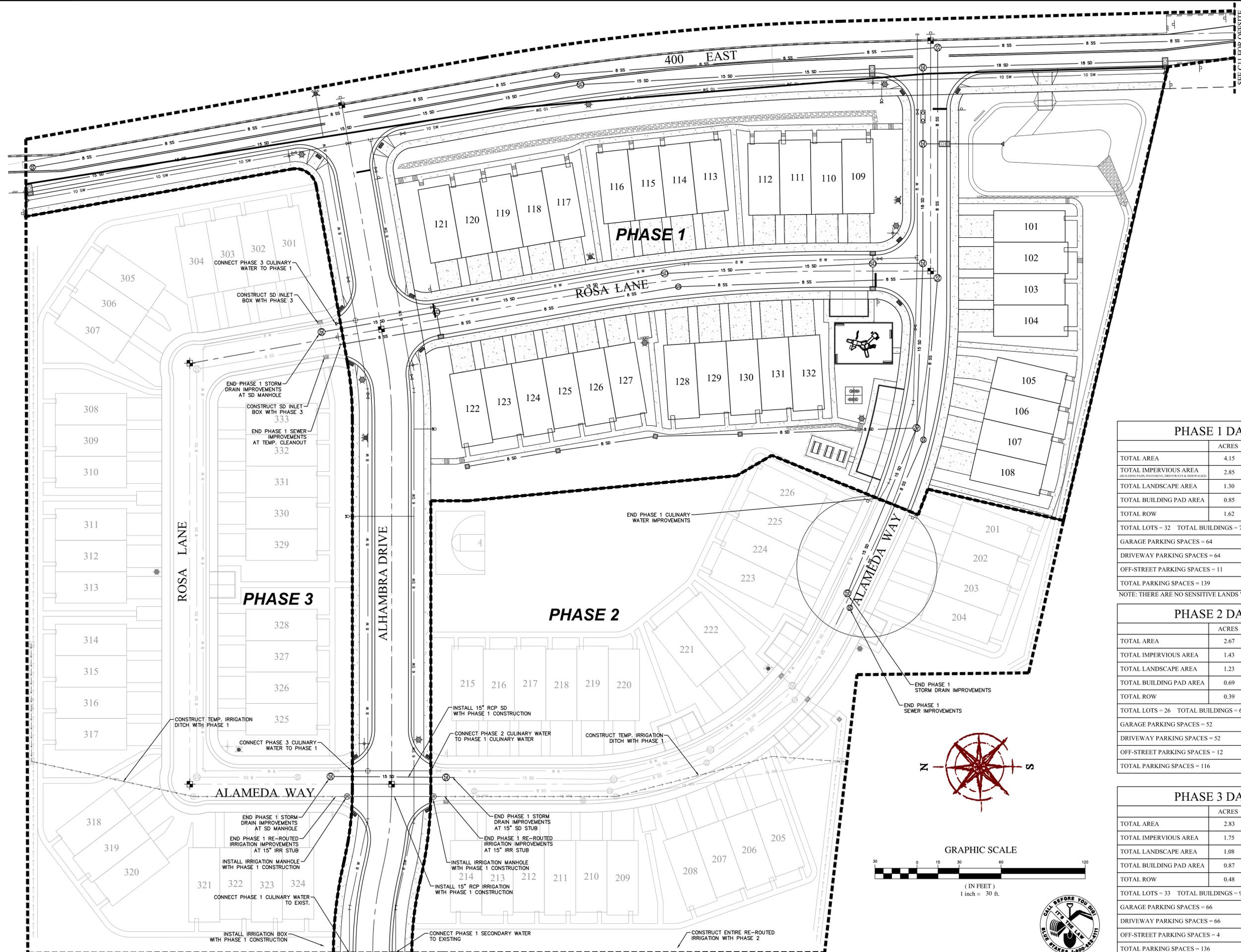
JORDAN VIEW LANDING PHASE 1

LOCATED IN THE SE $\frac{1}{4}$ OF SECTION 11 AND THE NE $\frac{1}{4}$ OF SECTION 14, TOWNSHIP 5 SOUTH, RANGE 1 WEST,
SALT LAKE BASE AND MERIDIAN
SARATOGA SPRINGS CITY, UTAH COUNTY, UTAH

PREPARED BY SHEET 2 OF 2



SURVEYOR'S SEAL	NOTARY PUBLIC SEAL	CITY-COUNTY ENGINEER SEAL	CITY-COUNTY RECORDER SEAL



NOTE:
OFFSITE IMPROVEMENTS TO BE
INCLUDED IN JORDAN VIEW
LANDING PHASES 1 & 4

SEE C11 FOR OFFSITE
IMPROVEMENTS

PHASE 1 DATA TABLE

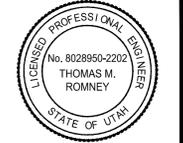
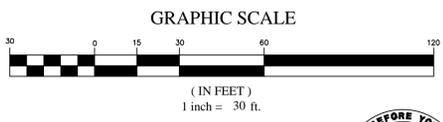
	ACRES	SQUARE FEET	% OF TOTAL
TOTAL AREA	4.15	180,955	100%
TOTAL IMPERVIOUS AREA (BUILDING PADS, PAVEMENT, DRIVEWAYS & SIDEWALKS)	2.85	124,178	69%
TOTAL LANDSCAPE AREA	1.30	56,777	31%
TOTAL BUILDING PAD AREA	0.85	37,093	20%
TOTAL ROW	1.62	70,494	39%
TOTAL LOTS = 32 TOTAL BUILDINGS = 7 NET DENSITY = 7.7 UNITS/ACRE			
GARAGE PARKING SPACES = 64			
DRIVEWAY PARKING SPACES = 64			
OFF-STREET PARKING SPACES = 11			
TOTAL PARKING SPACES = 139			
NOTE: THERE ARE NO SENSITIVE LANDS WITHIN PROJECT BOUNDARY			

PHASE 2 DATA TABLE

	ACRES	SQUARE FEET	% OF TOTAL
TOTAL AREA	2.67	116,181	100%
TOTAL IMPERVIOUS AREA	1.43	62,428	54%
TOTAL LANDSCAPE AREA	1.23	53,753	46%
TOTAL BUILDING PAD AREA	0.69	30,230	26%
TOTAL ROW	0.39	17,123	15%
TOTAL LOTS = 26 TOTAL BUILDINGS = 6 NET DENSITY = 8.44 UNITS/ACRE			
GARAGE PARKING SPACES = 52			
DRIVEWAY PARKING SPACES = 52			
OFF-STREET PARKING SPACES = 12			
TOTAL PARKING SPACES = 116			

PHASE 3 DATA TABLE

	ACRES	SQUARE FEET	% OF TOTAL
TOTAL AREA	2.83	123,230	100%
TOTAL IMPERVIOUS AREA	1.75	76,159	62%
TOTAL LANDSCAPE AREA	1.08	47,071	38%
TOTAL BUILDING PAD AREA	0.87	37,763	31%
TOTAL ROW	0.48	21,107	17%
TOTAL LOTS = 33 TOTAL BUILDINGS = 9 NET DENSITY = 11.7 UNITS/ACRE			
GARAGE PARKING SPACES = 66			
DRIVEWAY PARKING SPACES = 66			
OFF-STREET PARKING SPACES = 4			
TOTAL PARKING SPACES = 136			



JORDAN VIEW LANDING PHASE 1
Saratoga Springs City
Overall Phasing Plan

REVISION BLOCK

#	DATE	DESCRIPTION
1		
2		
3		
4		
5		
6		

OVERALL PHASING PLAN

Scale: 1"=30' Drawn: GM
Date: 05/21/15 Job #: 14-002
Sheet: C1.1

21_2014\14-002_Ivey-Saratoga_Norman_Property\Design_14-002_Ivey\Phase 1\Phase 1_Sheets\C1.1_Overall Phasing Plan.dwg