

## GENERAL

- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE "APWA 2012 STANDARD PLANS AND SPECIFICATIONS", AND THE CURRENT "STANDARD TECHNICAL SPECIFICATIONS AND DRAWINGS FOR THE CITY OF SARATOGA SPRINGS".
- A PRE CONSTRUCTION CONFERENCE WITH CITY ENGINEER, CITY PUBLIC WORKS DEPT. AND CONTRACTOR MUST BE HELD A MINIMUM OF 48 HOURS PRIOR TO START OF WORK.
- THE CONTRACTOR SHALL MAINTAIN ALL EXISTING DRAINAGE FACILITIES WITHIN THE CONSTRUCTION AREA UNTIL THE DRAINAGE IMPROVEMENTS ARE IN PLACE AND FUNCTIONING.
- ALL CONTRACTORS WORKING WITHIN THE PROJECT BOUNDARIES ARE RESPONSIBLE FOR COMPLIANCE WITH ALL APPLICABLE SAFETY LAWS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL BARRICADES, SAFETY DEVICES AND CONTROL OF TRAFFIC WITHIN AND AROUND THE CONSTRUCTION AREA.
- WHEN DISCREPANCIES OCCUR BETWEEN PLANS AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY NORTHERN ENGINEERING, INC. UNTIMELY NOTIFICATION SHALL NEGATE ANY CONTRACTORS CLAIM FOR ADDITIONAL COMPENSATION.
- ALL MATERIALS FURNISHED ON OR FOR THE PROJECT MUST MEET THE MINIMUM REQUIREMENTS OF THE APPROVING AGENCIES OR AS SET FORTH HEREIN, IF DISCREPANCIES EXIST THE MORE RESTRICTIVE SHALL BE APPLICABLE.
- CONTRACTORS MUST FURNISH PROOF THAT ALL MATERIALS INSTALLED ON THIS PROJECT MEET THE REQUIREMENTS OF THE SPECIFICATIONS IDENTIFIED HEREIN AND/OR SARATOGA STANDARDS.
- THE LOCATION OF EXISTING UNDERGROUND OR OVERHEAD UTILITIES ARE APPROXIMATELY SHOWN. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION & ELEVATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND OR OVERHEAD UTILITIES. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CALL BLUE STAKES PRIOR TO ANY CONSTRUCTIONS.
- ALL CONTRACTORS WORKING WITHIN THE PUBLIC ROAD RIGHT-OF-WAY ARE REQUIRED TO SECURE A RIGHT-OF-WAY DIG PERMIT FROM THE CITY OF SARATOGA SPRINGS AT LEAST 24 HOURS PRIOR TO ANY CONSTRUCTION.
- ALL COSTS FOR TESTING AND/OR RETESTING OF PREVIOUSLY FAILED WORK SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL COSTS INCURRED IN CORRECTING DEFICIENT WORK SHALL BE AT THE CONTRACTORS EXPENSE. FAILURE TO CORRECT SUCH WORK WILL BE CAUSE FOR A STOP WORK ORDER AND POSSIBLE TERMINATION.
- THE CONTRACTOR SHALL REMOVE ALL OBSTRUCTIONS, BOTH ABOVE, AND BELOW GROUND, AS REQUIRED FOR THE CONSTRUCTION OF THE PROPOSED IMPROVEMENTS. THIS SHALL INCLUDE CLEARING AND GRUBBING WHICH CONSIST OF CLEARING THE GROUND SURFACE OF ALL TREES, STUMPS, BRUSH, UNDERGROWTH, HEDGES, HEAVY GROWTH OF GRASS OR WEEDS, FENCES, STRUCTURES, DEBRIS/RUBBISH, AND SUCH MATERIAL WHICH, IN THE OPINION OF THE ENGINEER, IS UNSUITABLE FOR THE FOUNDATION OF STRUCTURES OR PAVEMENTS. ALL MATERIAL NOT SUITABLE FOR USE ON SITE SHALL BE LEGALLY DISPOSED OF OFF-SITE.
- ALL WORK OF PUBLIC FACILITIES SHALL BE INSPECTED BY THE CITY OF SARATOGA SPRINGS.

## WATER

- THE WATER SYSTEM SHALL BE CONSTRUCTED CONFORMING TO THE STANDARDS SET FORTH IN THE "STATE OF UTAH RULES FOR PUBLIC DRINKING WATER SYSTEMS".
- WATER DISTRIBUTION MAINS SHALL BE CONSTRUCTED WITH AWWA C900 PIPE. THE PIPE SHALL BE INSTALLED IN WORKMANLIKE MANNER BY PERSONS PROPERLY QUALIFIED TO PERFORM SAID WORK AND SHALL BE IN CONFORMANCE WITH THE MANUFACTURER'S RECOMMENDATIONS AS APPROVED BY THE CITY ENGINEER.
- ALL WATER MAINS SHALL HAVE A MINIMUM COVER OF 4 FEET. AFTER INSTALLATION OF THE WATER MAINS, THE TRENCHES SHALL BE COMPACTED TO 95% OF THE MAXIMUM DENSITY (MODIFIED PROCTOR). TO PREVENT FURTHER SETTLEMENT. ALL MAINS SHALL BE LEAK-TESTED, FLUSHED AND SANITIZED BEFORE CONNECTION TO THE MUNICIPAL SYSTEM.
- HORIZONTAL AND VERTICAL SEPARATION OF CULINARY WATER AND SEWER SHALL BE IN COMPLIANCE WITH THE CITY SARATOGA SPRINGS STANDARDS AND THOSE SET FORTH IN THE STATE CODES.
- ALL GATE VALVES SHALL HAVE A 200 P.S.I. WORKING PRESSURE RATING AND SHALL BE FLANGED OR M.J. CONNECTED. ALL VALVES SHALL BE RESTRIANED IN CONFORMANCE WITH THE CITY OF SARATOGA SPRINGS SPECIFICATIONS AND CONSTRUCTION STANDARDS.
- ALL TEES, PLUGS, CAPS, AND BENDS (AND AT OTHER LOCATIONS WHERE UNBALANCED FORCES EXIST) SHALL BE RESTRAINED/ANCHORED BY SUITABLE THRUST BLOCKING AS REQUIRED BY THE CITY OF SARATOGA SPRINGS SPECIFICATIONS AND CONSTRUCTION STANDARDS.
- THE DISTRIBUTION SYSTEM SHALL BE PRESSURE TESTED IN ACCORDANCE WITH SARATOGA SPRINGS STANDARDS.
- THE CONTRACTOR SHALL AND REQUEST AN INSPECTION BY THE CITY OF SARATOGA SPRINGS PUBLIC WORKS DEPARTMENT TWENTY-FOUR (24) HOURS IN ADVANCE OF THE BACKFILLING OF WATER LINES.
- THE CONTRACTOR SHALL FIELD VERIFY ALL VALVE BOX LID ELEVATIONS TO ASSURE THAT SAID LID ELEVATIONS MATCH FINAL STREET GRADES, ALL METER LID ELEVATIONS SHALL MATCH THE EXTENSION OF THE SIDEWALK GRADE.
- UPON COMPLETION OF WORK, THE CONTRACTOR SHALL SUBMIT A SET OF AS-BUILT DRAWINGS TO THE ENGINEER.
- RESIDENTIAL WATER SERVICE CONNECTIONS SHALL BE 1" CTS POLYETHYLENE / COPPER WATER PIPE W/ 3/4" METER SETTER & BOX. METER WILL BE FURNISHED AND INSTALLED BY THE CITY OR BUILDING CONTRACTOR.
- THE SECONDARY WATERLINE SHALL BE CONSTRUCTED TO CONFORM WITH THE STANDARDS SET FORTH IN SARATOGA SPRINGS SPECIFICATION SECTION 02680. ALL SECONDARY PIPE SHALL BE PURPLE PIPE. CONTRACTOR TO INSTALL 4" SECONDARY DRAIN AS PER DETAIL SW-7 CONNECT TO PROPOSED STORM DRAIN.

## CITY STANDARD NOTES

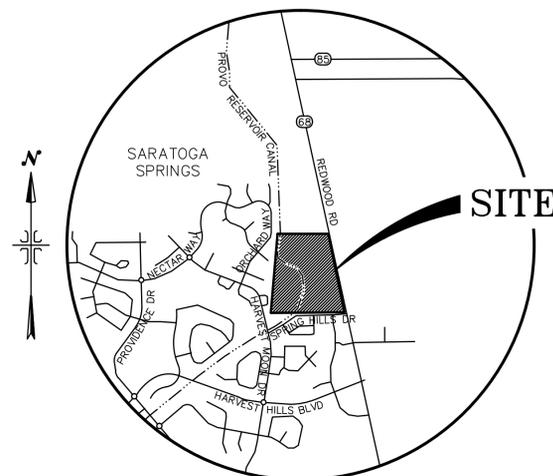
- CONTRACTOR SHALL FIELD VERIFY LOCATIONS AND INVERT ELEVATIONS OF EXISTING MANHOLES AND OTHER UTILITIES BEFORE STAKING OR CONSTRUCTING ANY NEW SEWER LINES.
- CONTRACTOR SHALL FIELD VERIFY LOCATIONS AND INVERT ELEVATIONS OF EXISTING STORM DRAIN STRUCTURES AND OTHER UTILITIES BEFORE STAKING OR CONSTRUCTING ANY NEW STORM DRAIN LINES.
- ALL CONSTRUCTION SHALL COMPLY TO THE STANDARD TECHNICAL SPECIFICATIONS AND DRAWINGS FOR THE CITY OF SARATOGA SPRINGS, UTAH.
- EXISTING UTILITIES HAVE BEEN NOTED TO THE BEST OF THE ENGINEERS KNOWLEDGE, IT IS THE OWNERS AND CONTRACTORS RESPONSIBILITY TO LOCATE UTILITIES IN THE FIELD AND NOTIFY ENGINEER AND CITY IF DISCREPANCIES EXIST.
- POST-APPROVAL ALTERATIONS TO LIGHTING PLANS OR INTENDED SUBSTITUTIONS FOR APPROVED LIGHTING EQUIPMENT SHALL BE SUBMITTED TO THE CITY FOR REVIEW AND APPROVAL.
- THE CITY RESERVES THE RIGHT TO CONDUCT POST-INSTALLATION INSPECTIONS TO VERIFY COMPLIANCE WITH THE CITY'S REQUIREMENTS AND APPROVED LIGHTING PLAN COMMITMENTS, AND IF DEEMED APPROPRIATE BY THE CITY, TO REQUIRE REMEDIAL ACTION AT NO EXPENSE TO THE CITY.
- ALL EXTERIOR LIGHTING SHALL MEET IESNA FULL-CUTOFF CRITERIA UNLESS OTHERWISE APPROVED BY THE CITY.

# HARVEST HEIGHTS AT SARATOGA IN SARATOGA SPRINGS, UTAH

## -INDEX OF PLAN SHEETS-

SHEET	DESCRIPTION
1	COVER SHEET - CONSTRUCTION NOTES
2	PRELIMINARY PLAT SHEET 1 OF 2
3	PRELIMINARY PLAT SHEET 2 OF 2
DM-01	EXISTING/DEMOLITION PLAN
SP-01	OVERALL SITE PLAN
GR-01	OVERALL GRADING & DRAINAGE PLAN
UT-01	OVERALL UTILITY PLAN
EC-01	EROSION CONTROL PLAN
LS-01	LANDSCAPING & IRRIGATION PLAN
LG-01	LIGHTING PLAN
GE-01	GEOLOCATED KMZ PLAN
DT-01	DETAILS

DATA TABLE	
TOTAL PROJECT AREA:	27.65 AC. (1,204,531 SQ.FT.), 100%
TOTAL IMPERVIOUS AREA:	234,555 SQ.FT., 19%
TOTAL LOT AREA:	26.09 AC. (1,136,339 SQ.FT.), 94%
TOTAL LANDSCAPE/OPEN AREA:	111,661 SQ.FT., 9%
TOTAL ROW AREA:	234,555 SQ.FT., 19%
TOTAL NUMBER OF LOTS:	64



## VICINITY MAP

-NTS-

### OWNER/DEVELOPER

RICHARD BENION  
9537 SOUTH 700 EAST  
SANDY, UT 84070  
801-990-4910

ROCKY MOUNTAIN POWER  
(888) 221-7070

QUESTAR GAS COMPANY  
(800) 323-5517

SARATOGA SPRINGS CITY  
(801) 766-9793

## SEWER

- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST DESIGN STANDARD, TECHNICAL SPECIFICATIONS AND CONSTRUCTION DRAWINGS APPROVED BY THE CITY OF SARATOGA SPRINGS.
- SEWER PIPE SHALL BE BELL AND SPIGOT, POLYVINYL CHLORIDE (PVC), SDR 35, ASTM D-3034.
- SEWER INSPECTIONS WILL BE BY THE CITY OF SARATOGA SPRINGS. THESE INSPECTIONS SHALL NOT RELIEVE THE CONTRACTOR FROM THE RESPONSIBILITY OF PERFORMING THE WORK IN AN ACCEPTABLE MANNER. THE CONTRACTOR SHALL NOTIFY THE CITY 48 HOURS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL REIMBURSE THE CITY OF SARATOGA SPRINGS AT RATES ESTABLISHED BY THE CITY FOR INSPECTION IN EXCESS OF THE NORMAL WORK WEEK, INCLUDING LEGAL HOLIDAYS, AND AT OVERTIME INSPECTION RATES.
- STUBOUTS FOR SERVICE LINES SHALL BE MARKED IN ACCORDANCE WITH THE CITY STANDARDS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER WHEN THIS IS ACCOMPLISHED SO THAT DESTRUCTION OF SAME IS NOT BACK CHARGED TO THE SEWER CONTRACTOR.
- PRIOR TO FINAL ACCEPTANCE, AFTER ALL UTILITIES ARE IN AND PRIOR TO PAVING, AN AIR TEST SHALL BE CONDUCTED. THE CONTRACTOR SHALL CONTACT THE CITY OF SARATOGA SPRINGS A MINIMUM OF 24 HOURS PRIOR TO TESTING.
- ALL MANHOLES SHALL BE CONSTRUCTED TO BE WATER TIGHT AND WITH THE TOP OF CONE LOCATED WITHIN ONE (1) FOOT OF THE FINISHED GRADE. THE SEWER CONTRACTOR SHALL SUPPLY ALL LID ASSEMBLIES AND THE REQUIRED NUMBER OF RISER AND GRADE RINGS. THE SEWER CONTRACTOR SHALL FIELD VERIFY THE ELEVATION OF THE TOP OF THE MANHOLE CONE TO ASSURE THAT RING ELEVATIONS MATCH FINAL STREET GRADES. MANHOLES SHALL HAVE A 12 INCH MAXIMUM IN GRADE RINGS.
- THE CONTRACTOR SHALL NOTIFY THE DEVELOPER'S ENGINEER AND CITY OF SARATOGA SPRINGS A MINIMUM OF 48 HOURS PRIOR TO COMMENCING CONSTRUCTION OF SANITARY SEWER. SARATOGA SPRINGS CITY SHALL HAVE THE RIGHT TO INSPECT AND REJECT ALL CONSTRUCTION ASSOCIATED WITH SAID SANITARY SEWER CONSTRUCTION.
- SERVICE STUBOUTS SHALL BE 4" IN DIA. AND WILL BE TO THE POINTS SHOWN ON THE DRAWINGS (5' FROM BLDG.) OR AS MARKED BY THE ENGINEER IN THE FIELD. SERVICE LINES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF SARATOGA SPRINGS STANDARDS. THOSE SEWER SERVICE STUBOUTS BEGINNING AT A MANHOLE IF ANY WILL HAVE THE TOP OF THE FOUR (4) INCH PIPE MATCH THE TOP OF THE EIGHT INCH PIPE. THE SEWER SERVICE MARKER SHALL BE IN PLACE FOR THE FINAL INSPECTION.
- THE HORIZONTAL SEPARATION OF THE WATER AND SEWER MAINS SHALL BE A MINIMUM OF TEN (10) FEET.
- GROUNDWATER LEVELS SHALL BE MAINTAINED BELOW THE BOTTOM OF THE TRENCH DURING THE PIPE LAYING AND PIPE JOINING OPERATIONS. BEDDING MATERIAL SHALL CONFORM TO THE CITY OF SARATOGA SPRINGS REQUIREMENTS.
- THE TRENCH BACKFILL ABOVE THE PIPE ZONE SHALL BE INSPECTED BY THE CITY OF SARATOGA SPRINGS. COMPACTION TESTS FOR SAID BACKFILL SHALL BE CONDUCTED AND THE RESULTS SUBMITTED TO THE CITY FOR FINAL ACCEPTANCE. THE CONTRACTOR IS RESPONSIBLE FOR ALL COMPACTION COSTS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPACTION TESTING IN ACCORDANCE WITH APWA AND CITY STANDARDS.
- ALL SEWER TRENCHES SHALL BE BEDDED AND BACKFILLED IN ACCORDANCE WITH CITY STANDARDS.
- THE CONTRACTOR SHALL LEAVE THE EXCAVATION FOR THE UPSTREAM END OF ALL SERVICE LINES OPEN FOR FIELD VERIFICATION OF THE INVERT ELEVATION BY THE INSPECTOR. THE CONTRACTOR SHALL NOT BACKFILL THE ENDS OF SERVICE LINES UNTIL HE HAS OBTAINED APPROVAL FROM THE CITY INSPECTOR.
- THE CONTRACTOR SHALL PROVIDE THE CITY INSPECTOR WITH "CUT SHEETS" FOR THE STAKING PROVIDED FOR CONSTRUCTION OF THE SANITARY SEWER. THESE "CUT SHEETS" SHALL BE PROVIDED TO THE CITY PRIOR TO START OF CONSTRUCTION. ADDITIONALLY, A BENCH MARK SHALL BE PROVIDED TO THE CITY BY THE OWNER TO VERIFY CONSTRUCTION.
- THE CONTRACTOR SHALL CONSTRUCT THE SANITARY SEWER IN ACCORDANCE WITH THE STAMPED PLANS APPROVED BY THE SARATOGA SPRINGS SEWER DISTRICT. THESE PLANS WILL BE PROVIDED TO THE CONTRACTOR BY THE PROJECT INSPECTOR PRIOR TO CONSTRUCTION. WORK SHALL NOT BE DONE WITHOUT THE CURRENT SET OF APPROVED PLANS.

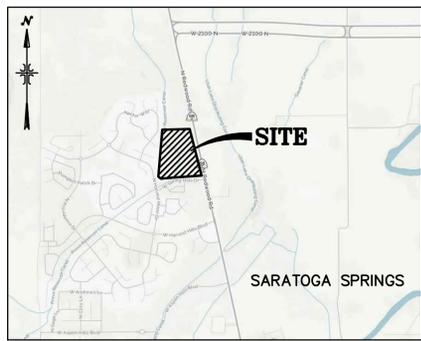
## ROADWAY/PARKING/STORM DRAIN

- INSPECTION OF WORK WITHIN THE PUBLIC RIGHT-OF-WAY AND PUBLIC FACILITIES OUTSIDE THE THE PUBLIC RIGHT-OF-WAY SHALL BE BY THE CITY OF SARATOGA SPRINGS.
- EXISTING A.C. PAVEMENT SHALL BE CUT WITH NEAT, STRAIGHT LINES PARALLEL TO OR PERPENDICULAR TO THE STREET AND AT LEAST 1 FOOT FROM THE EXISTING EDGE OF PAVEMENT. ALL EXPOSED EDGES SHALL BE TACK COATED WITH EMULSION PRIOR TO PAVING.
- ALL TOPS OF VALVE BOXES AND SEWER MANHOLES SHALL BE SET FLUSH WITH THE SLOPE OF THE FINISHED STREET GRADES. THE ROADWAY CONTRACTOR SHALL INSTALL AND ADJUST ALL SPACERS, GRADE RINGS, MANHOLE RINGS AND LIDS. CONCRETE COLLARS SHALL BE INSTALLED IN ACCORDANCE WITH SARATOGA SPRINGS CITY STANDARDS & SPECIFICATIONS. CONTRACTOR SHALL NOTIFY SARATOGA SPRINGS CITY AND THE ENGINEER 24 HOURS PRIOR TO POURING CONCRETE COLLARS.
- ALL WATER VALVES SHALL BE PLACED SO AS NOT TO CONFLICT WITH ANY CONCRETE CURB, GUTTER, VALLEY GUTTER, OR SIDEWALK IMPROVEMENT.
- ALL WATER METERS AND FIRE HYDRANTS ARE TO BE LOCATED OUTSIDE OF THE ROADWAY. PROVIDE AT LEAST ONE (1) FOOT (MINIMUM) SEPARATION BETWEEN ANY BACK OF SIDEWALK (OR CURB IF NO SIDEWALK) AND THE LEADING EDGE OF ANY FIRE HYDRANT.
- ALL EARTHWORK MATERIALS PLACED AS FILL OR BACKFILL SHALL BE PLACED AND COMPACTED IN ACCORDANCE WITH THE CITY OF SARATOGA SPRINGS STANDARD SPECIFICATION FOR CONSTRUCTION.
- OVER EXCAVATION AND ADDITIONAL GRANULAR BACKFILL MAY BE REQUIRED IN HIGH GROUNDWATER AREAS AS DETERMINED BY THE CITY OF SARATOGA SPRINGS.
- IN AN EFFORT TO ELIMINATE COLLAPSIBLE SOILS WITHIN DEDICATED ROADWAYS, A GEOTECHNICAL ENGINEER MAY BE NEEDED TO VERIFY SUB-BASE CONDITIONS PRIOR TO THE PLACEMENT OF GRANULAR FILL.
- UTILITY CONDUITS SHALL BE INSTALLED AT EVERY INTERSECTION PER THE CITY OF SARATOGA SPRINGS CONSTRUCTION STANDARDS.

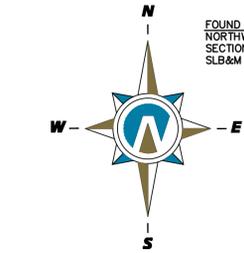


**Northern  
ENGINEERING INC**  
ENGINEERING-LAND PLANNING  
CONSTRUCTION MANAGEMENT

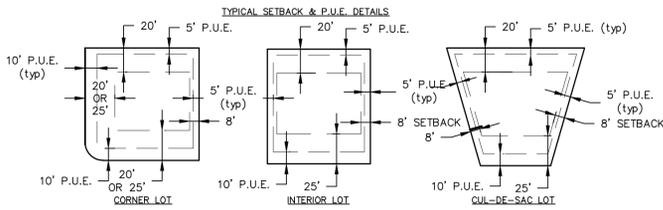
1040 E. 800 N.  
OREM, UTAH 84097  
(801) 802-8992



-VICINITY MAP-  
NTS



(24"x36")  
SCALE 1" = 100'  
(11"x17")  
SCALE 1" = 200'



**PLAT NOTES**

- 1) PLAT MUST BE RECORDED WITHIN 24 MONTHS OF FINAL PLAT APPROVAL BY LAND USE AUTHORITY. FINAL PLAT APPROVAL WAS GRANTED ON THE \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.
- 2) THE INSTALLATION OF IMPROVEMENTS SHALL CONFORM TO ALL CITY RULES, ORDINANCES, REQUIREMENTS, STANDARDS, AND POLICIES REGARDING THE DEVELOPMENT OF THIS PROPERTY.
- 3) PRIOR TO BUILDING PERMITS BEING ISSUED, SOIL TESTING STUDIES MAY BE REQUIRED ON EACH LOT AS DETERMINED BY THE CITY BUILDING OFFICIAL.
- 4) PLAT MAY BE SUBJECT TO A MASTER DEVELOPMENT AGREEMENT, DEVELOPMENT AGREEMENT, SUBDIVISION AGREEMENT, OR SITE PLAN AGREEMENT. SEE CITY RECORDER FOR MORE INFORMATION.
- 5) BUILDING PERMITS WILL NOT BE ISSUED UNTIL ALL IMPROVEMENTS HAVE BEEN INSTALLED AND ACCEPTED BY THE CITY IN WRITING; ALL IMPROVEMENTS CURRENTLY MEET CITY STANDARDS; AND BONDS ARE POSTED BY THE CURRENT OWNER OF THE PROJECT PURSUANT TO CITY CODE.
- 6) ALL BONDS AND BOND AGREEMENT ARE BETWEEN THE CITY, DEVELOPER/OWNER AND FINANCIAL INSTITUTION. NO OTHER PARTY, INCLUDING UNIT OR LOT OWNERS, SHALL BE DEEMED A THIRD-PARTY BENEFICIARY OR HAVE ANY RIGHTS INCLUDING THE RIGHT TO BRING ANY ACTION UNDER ANY BOND OR BOND AGREEMENT.
- 7) THE OWNER OF THIS SUBDIVISION AND ANY SUCCESSORS AND ASSIGNS ARE RESPONSIBLE FOR ENSURING THAT IMPACT AND CONNECTION FEES ARE PAID AND WATER RIGHTS ARE SECURED FOR EACH INDIVIDUAL LOT. NO BUILDING PERMITS SHALL BE ISSUED FOR ANY LOT IN THIS SUBDIVISION UNTIL ALL IMPACT AND CONNECTION FEES, AT THE RATES IN EFFECT WHEN APPLYING FOR BUILDING PERMIT ARE PAID FULL AND WATER RIGHTS SECURED AS SPECIFIED BY CURRENT CITY ORDINANCES AND FEE SCHEDULES.
- 8) ALL OPEN SPACE AND TRAILS IMPROVEMENTS LOCATED HEREIN ARE TO BE INSTALLED BY OWNER AND MAINTAINED BY A HOMEOWNERS ASSOCIATION UNLESS SPECIFIED OTHERWISE ON EACH IMPROVEMENT.
- 9) ANY REFERENCE HEREIN TO OWNERS, DEVELOPERS, OR CONTRACTOR SHALL APPLY TO SUCCESSORS, AGENTS, AND ASSIGNS.
- 10) IF SUBDIVISION HAS PRIVATE STREETS, PLAT MUST DESIGNATE STREET AS "PRIVATE" AND INCLUDE STATEMENT "NO CITY MAINTENANCE IS PROVIDED ON PRIVATE STREETS"
- 11) IF CONDO OR HOA ASSOCIATION IS INVOLVED PLAT MUST INCLUDE STATEMENT "LOTS/UNITS ARE SUBJECT TO ASSOCIATION BYLAWS, ARTICLES OF INCORPORATION AND CC&R'S"
- 12) THE INSTALLATION OF IMPROVEMENTS SHALL CONFORM TO THE CITY OF SARATOGA SPRINGS ORDINANCES, REQUIREMENTS, CONSTRUCTION STANDARDS, POLICIES AND ANY OTHER RULES PERTAINING TO THE DEVELOPMENT OF THIS PROPERTY.

BY SIGNING THIS PLAT, THE FOLLOWING UTILITY COMPANIES ARE APPROVING THE : (A) BOUNDARY, COURSE, DIMENSIONS, AND INTENDED USE OF THE RIGHT-OF-WAY AND EASEMENT GRANTS OF RECORD; (B) LOCATION OF EXISTING UNDERGROUND AND UTILITY FACILITIES; (C) CONDITIONS OR RESTRICTIONS GOVERNING THE LOCATION OF THE FACILITIES WITHIN THE RIGHT-OF-WAY, AND EASEMENT GRANTS OF RECORD, AND UTILITY FACILITIES WITHIN THE SUBDIVISION,"APPROVING" SHALL HAVE THE MEANING IN UTAH CODE SECTION 10-9A-603(4)(c)(ii).

**ROCKY MOUNTAIN POWER**

THE FOLLOWING NOTES ARE NOT ENDORSED OR ADOPTED BY SARATOGA SPRINGS AND DO NOT SUPERSEDE CONFLICTING PLAT NOTES OR SARATOGA SPRINGS POLICIES:

1. PURSUANT TO UTAH CODE ANN. 54-3-27 THIS PLAT CONVEYS TO THE OWNER(S) OR OPERATORS OF UTILITY FACILITIES A PUBLIC UTILITY EASEMENT ALONG WITH ALL THE RIGHTS AND DUTIES DESCRIBED THEREIN.
2. PURSUANT TO UTAH CODE ANN. 17-27a-603(4)(c)(ii) ROCKY MOUNTAIN POWER ACCEPTS DELIVERY OF THE PUE AS DESCRIBED IN THIS PLAT AND APPROVES THIS PLAT SOLELY FOR THE PURPOSE OF CONFIRMING THAT THE PLAT CONTAINS PUBLIC UTILITY EASEMENTS AND APPROXIMATES THE LOCATION OF THE PUBLIC UTILITY EASEMENTS, BUT DOES NOT WARRANT THEIR PRECISE LOCATION. ROCKY MOUNTAIN POWER MAY REQUIRE OTHER EASEMENTS IN ORDER TO SERVE THIS DEVELOPMENT. THIS APPROVAL DOES NOT AFFECT ANY RIGHT THAT ROCKY MOUNTAIN POWER HAS UNDER:
  - a. A RECORDED EASEMENT OR RIGHT-OF-WAY
  - b. THE LAW APPLICABLE TO PRESCRIPTIVE RIGHTS
  - c. TITLE 54, CHAPTER 8a, DAMAGE TO UNDERGROUND UTILITY FACILITIES OR
  - d. ANY OTHER PROVISION OF LAW

APPROVED THIS \_\_\_\_ DAY OF \_\_\_\_\_ A.D. 20\_\_\_\_

ROCKY MOUNTAIN POWER

**QUESTAR GAS COMPANY**

THE FOLLOWING NOTES ARE NOT ENDORSED OR ADOPTED BY SARATOGA SPRINGS AND DO NOT SUPERSEDE CONFLICTING PLAT NOTES OR SARATOGA SPRINGS POLICIES:

QUESTAR APPROVES THIS PLAT SOLELY FOR THE PURPOSE OF CONFIRMING THAT THE PLAT CONTAINS PUBLIC UTILITY EASEMENTS. QUESTAR MAY REQUIRE OTHER EASEMENTS IN ORDER TO SERVE THIS DEVELOPMENT. THIS APPROVAL DOES NOT CONSTITUTE ABROGATION OR WAIVER OF ANY OTHER EXISTING RIGHTS, OBLIGATIONS OR LIABILITIES PROVIDED BY LAW OR CONTRACT. THIS APPROVAL DOES NOT CONSTITUTE ACCEPTANCE, APPROVAL OR ACKNOWLEDGEMENT OF ANY TERMS CONTAINED IN THE PLAT, INCLUDING THOSE SET FORTH IN THE OWNER'S DEDICATION AND THE NOTES AND DOES NOT CONSTITUTE A GUARANTEE OF PARTICULAR TERMS OF NATURAL GAS SERVICE. FOR FURTHER INFORMATION PLEASE CONTACT QUESTAR'S RIGHT-OF-WAY DEPARTMENT AT 800-366-6532.

APPROVED THIS \_\_\_\_ DAY OF \_\_\_\_\_ A.D. 20\_\_\_\_

QUESTAR GAS COMPANY

TITLE



**Northern ENGINEERING INC**  
ENGINEERING-LAND PLANNING  
CONSTRUCTION MANAGEMENT  
1040 E. 800 N., OREM, UT 84097  
(801) 802-8992

OWNER/DEVELOPER  
RICHARD BENION  
9537 SOUTH 700 EAST  
SANDY, UT 84070  
801-990-4910

**CENTURY LINK**

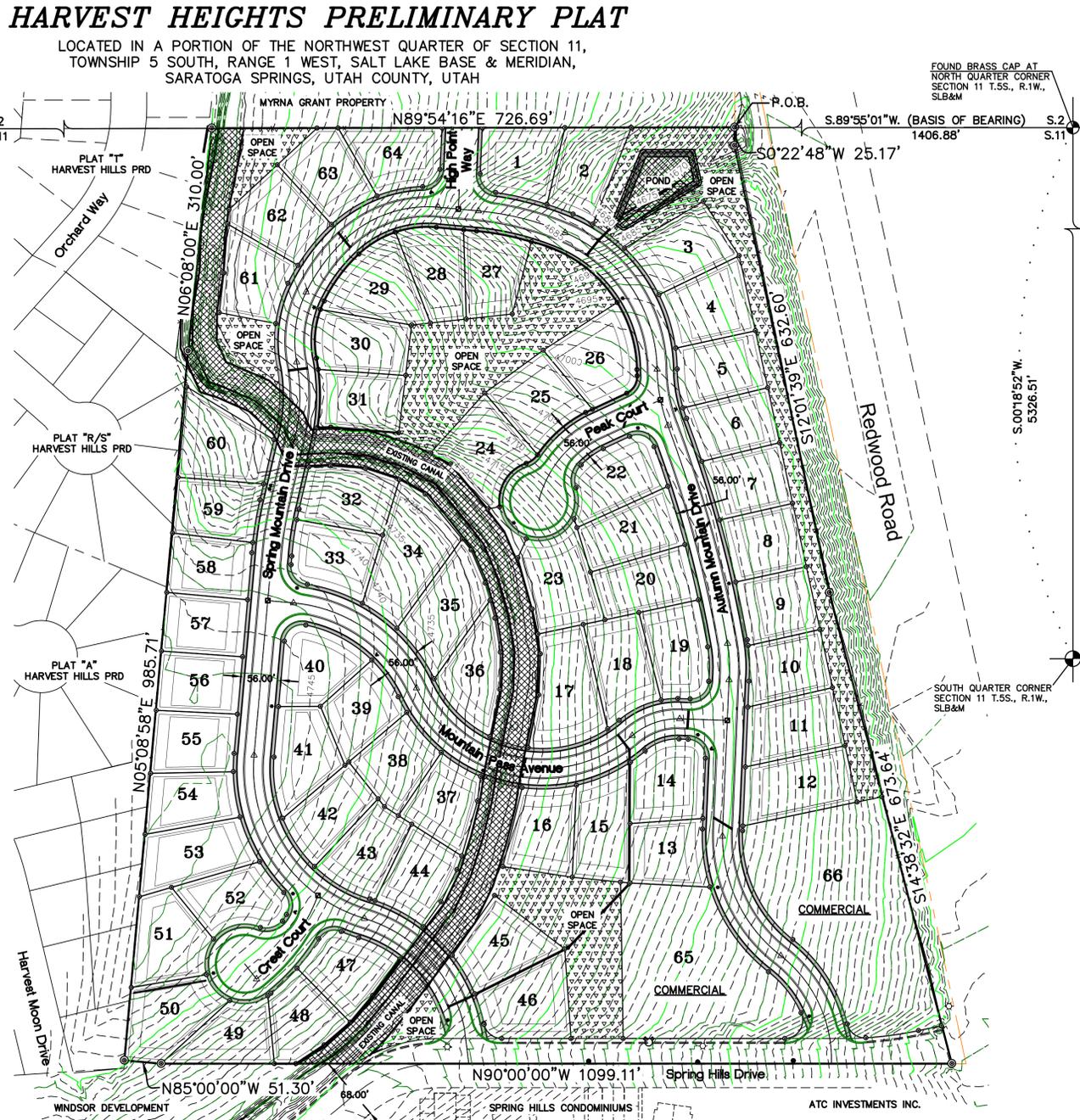
APPROVED THIS \_\_\_\_ DAY OF 20\_\_\_\_ A.D.

CENTURY LINK

**COMCAST CABLE TELEVISION**

APPROVED THIS \_\_\_\_ DAY OF 20\_\_\_\_ A.D.

COMCAST CABLE TELEVISION



**LEGEND**

- ⊙ FOUND BRASS CAP
- ⊕ SET 5/8" IRON PIN
- △ CALCULATED POINT, NOT SET
- ⊛ EXISTING FIRE HYDRANT
- ⊙ EXISTING STREET LIGHT
- PROPERTY BOUNDARY
- CENTERLINE
- EASEMENT
- EXISTING DEED LINE
- EXISTING EDGE OF PAVEMENT

**PLANNING DIRECTOR APPROVAL**

APPROVED BY THE PLANNING DIRECTOR ON THIS \_\_\_\_ DAY OF 20\_\_\_\_ A.D.

PLANNING DIRECTOR

**SARATOGA SPRINGS ENGINEER APPROVAL**

APPROVED BY THE CITY ENGINEER ON THIS \_\_\_\_ DAY OF 20\_\_\_\_ A.D.

CITY ENGINEER

**LAND USE AUTHORITY**

APPROVED BY THE LAND USE AUTHORITY ON THIS \_\_\_\_ DAY OF 20\_\_\_\_ A.D.

LAND USE AUTHORITY

**FIRE CHIEF APPROVAL**

APPROVED BY THE FIRE CHIEF ON THIS \_\_\_\_ DAY OF 20\_\_\_\_ A.D.

CITY FIRE CHIEF

**SARATOGA SPRINGS ATTORNEY**

APPROVED BY SARATOGA SPRINGS ATTORNEY ON THIS \_\_\_\_ DAY OF 20\_\_\_\_ A.D.

SARATOGA SPRINGS ATTORNEY

**LEHI CITY POST OFFICE**

APPROVED BY POST OFFICE REPRESENTATIVE ON THIS \_\_\_\_ DAY OF 20\_\_\_\_ A.D.

LEHI CITY POST OFFICE REPRESENTATIVE

**SURVEYOR'S CERTIFICATE**

I, KENNETH E. BARNEY, DO HEREBY CERTIFY THAT I AM A REGISTERED LAND SURVEYOR AND THAT I HOLD A LICENSE, CERTIFICATE NO. 172762, IN ACCORDANCE WITH THE PROFESSIONAL ENGINEERS AND LAND SURVEYORS LICENSING ACT FOUND IN TITLE 58, CHAPTER 22, OF THE UTAH CODE. I FURTHER CERTIFY THAT BY AUTHORITY OF THE OWNERS, I HAVE MADE A SURVEY OF THE TRACT OF LAND SHOWN ON THIS PLAT AND DESCRIBED BELOW, HAVE SUBDIVIDED SAID TRACT OF LAND INTO LOTS, STREETS, AND EASEMENTS, HAVE COMPLETED A SURVEY OF THE PROPERTY DESCRIBED ON THIS PLAT IN ACCORDANCE WITH UTAH CODE SECTION 17-23-17, HAVE VERIFIED ALL MEASUREMENTS, AND HAVE PLACED MONUMENTS AS REPRESENTED ON THE PLAT. I FURTHER CERTIFY THAT EVERY EXISTING RIGHT-OF-WAY AND EASEMENT GRANT OF RECORD FOR UNDERGROUND FACILITIES, AS DEFINED IN UTAH CODE SECTION 54-8a-2, AND FOR OTHER UTILITY FACILITIES, IS ACCURATELY DESCRIBED ON THIS PLAT, AND THAT THIS PLAT IS TRUE AND CORRECT. I ALSO CERTIFY THAT I HAVE FILED, OR WILL FILE WITHIN 90 DAYS OF THE RECORDATION OF THIS PLAT, A MAP OF THE SURVEY I HAVE COMPLETED WITH THE UTAH COUNTY SURVEYOR.

**BOUNDARY DESCRIPTION**

A PARCEL OF LAND LOCATED IN THE NORTHWEST QUARTER OF SECTION 11, TOWNSHIP 5 SOUTH, RANGE 1 WEST, SLB&M, SARATOGA SPRINGS, UTAH MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT A BRASS CAP MARKING THE NORTH QUARTER CORNER OF SAID SECTION 11; THENCE S.89°55'01"W. A DISTANCE OF 1406.88 FEET ALONG THE SECTION LINE TO THE REAL POINT OF BEGINNING:

THENCE ALONG THE WESTERLY BOUNDARY LINE OF REDWOOD ROAD AS FOLLOWS: S.00°22'48"W. 25.17 FEET; THENCE S.12°01'39"E. 632.60 FEET; THENCE S.14°38'32"E. 673.64 FEET; THENCE WEST 1099.11 FEET; THENCE N.85°00'00"W. 51.30 FEET; THENCE N.05°08'58"E. ALONG THE EASTERLY BOUNDARY OF PLAT "A" AND A PORTION OF PLAT "R/S", HARVEST HILLS PLANNED RESIDENTIAL DEVELOPMENT 985.71 FEET; THENCE N.06°08'00"E. ALONG PLAT "R/S" AND A PORTION OF PLAT "T", HARVEST HILLS PLANNED RESIDENTIAL DEVELOPMENT 310.00 FEET; THENCE N.89°54'16"E. 726.69 FEET MORE OR LESS TO THE POINT OF BEGINNING. AREA = 1,204,531 SQ.FT. OR 27.65 ACRES 64 LOTS

DATE \_\_\_\_\_ SURVEYOR'S NAME \_\_\_\_\_ LICENSE NO. \_\_\_\_\_

**OWNER'S DEDICATION**

KNOW ALL MEN BY THESE PRESENTS THAT \_\_\_\_\_, THE \_\_\_\_\_ UNDERSIGNED OWNER(S) OF THE ABOVE DESCRIBED TRACT OF LAND HAVING CAUSED SAME TO BE SUBDIVIDED INTO LOTS AND STREETS TO BE HEREAFTER KNOWN AS

**HARVEST HEIGHTS**

DO HEREBY DEDICATE FOR THE PERPETUAL USE OF THE PUBLIC AND/OR CITY ALL PARCELS OF LAND, EASEMENTS, RIGHT-OF-WAY, AND PUBLIC AMENITIES SHOWN ON THIS PLAT AS INTENDED FOR PUBLIC AND/OR CITY USE. THE OWNER(S) VOLUNTARILY DEFEND, INDEMNIFY, AND SAVE HARMLESS THE CITY AGAINST ANY EASEMENTS OR OTHER ENCUMBRANCE ON A DEDICATED STREET WHICH WILL INTERFERE WITH THE CITY'S USE, MAINTENANCE, AND OPERATION OF THE STREET. THE OWNER(S) VOLUNTARILY DEFEND, INDEMNIFY, AND HOLD HARMLESS THE CITY FROM ANY DAMAGE CLAIMED BY PERSONS WITHIN OR WITHOUT THIS SUBDIVISION TO THE EXTENT TO HAVE BEEN CAUSED BY THE OWNER'S ALTERATIONS OF THE GROUND SURFACE, VEGETATION, DRAINAGE, SURFACE OR SUB-SURFACE WATER FLOWS WITHIN THIS SUBDIVISION OR BY OWNER'S ESTABLISHMENT OR CONSTRUCTION OF THE ROADS WITHIN THIS SUBDIVISION. IN WITNESS WHEREOF \_\_\_\_\_ HAVE HEREUNTO SET \_\_\_\_ THIS \_\_\_\_ DAY OF \_\_\_\_\_ A.D. 20\_\_\_\_

**OWNER'S ACKNOWLEDGMENT**

STATE OF UTAH }  
COUNTY OF UTAH } S.S.  
ON THE \_\_\_\_ DAY OF \_\_\_\_\_, A.D. 20\_\_\_\_, PERSONALLY APPEARED BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC, IN AND FOR THE COUNTY OF UTAH IN THE SAID STATE OF UTAH, THE SIGNER ( ) OF THE ABOVE OWNER'S DEDICATION, \_\_\_\_\_ IN NUMBER, WHO DULY ACKNOWLEDGED TO ME THAT \_\_\_\_\_ SIGNED IT FREELY AND VOLUNTARILY AND FOR THE USES AND PURPOSES THEREIN MENTIONED.

MY COMMISSION EXPIRES: \_\_\_\_\_ NOTARY PUBLIC RESIDING AT \_\_\_\_\_

**APPROVAL BY LEGISLATIVE BODY**

THE CITY COUNCIL OF THE CITY OF SARATOGA SPRINGS, COUNTY OF UTAH, APPROVES THIS SUBDIVISION SUBJECT TO THE CONDITIONS AND RESTRICTIONS STATED HEREON, AND HEREBY ACCEPTS THE DEDICATION OF ALL STREETS, EASEMENTS, AND OTHER PARCELS OF LAND INTENDED FOR THE PUBLIC PURPOSE OF THE PERPETUAL USE OF THE PUBLIC. THIS \_\_\_\_ DAY OF \_\_\_\_\_ A.D. 20\_\_\_\_.

CITY MAYOR \_\_\_\_\_ ATTEST \_\_\_\_\_ CITY RECORDER (SEE SEAL BELOW)

**HARVEST HEIGHTS PRELIMINARY PLAT 1 OF 2**

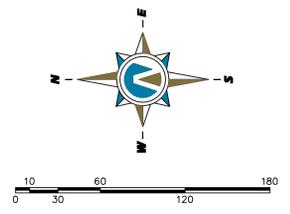
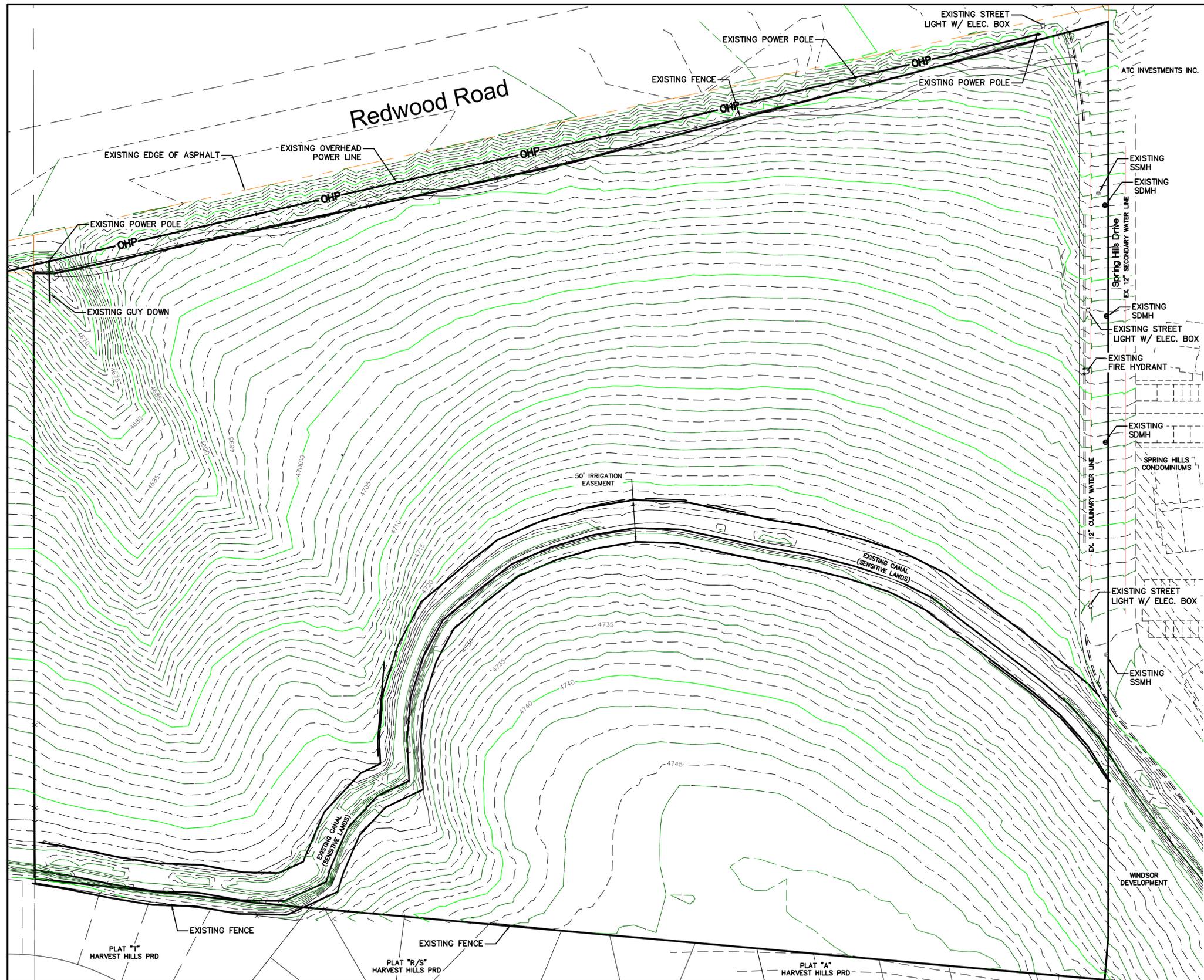
LOCATED IN A PORTION OF THE NORTHWEST QUARTER OF SECTION 11, TOWNSHIP 5 SOUTH, RANGE 1 WEST, SALT LAKE BASE & MERIDIAN,

SARATOGA SPRINGS \_\_\_\_\_ UTAH COUNTY, UTAH

SCALE: 1" = 100 FEET

SURVEYOR'S SEAL 	NOTARY PUBLIC SEAL	CIVIL ENGINEER SEAL	CLERK-RECORDER SEAL
---------------------	--------------------	---------------------	---------------------





(24"x36")  
 SCALE 1" = 60'  
 (11"x17")  
 SCALE 1" = 120'

**LEGEND**

- EXISTING FIRE HYDRANT
- EXISTING STREET LIGHT
- EXISTING POWER POLE
- PROPERTY BOUNDARY
- EXISTING DEED LINE
- EDGE OF PAVEMENT
- EXISTING OVER HEAD POWER
- EXISTING FENCE LINE
- EXISTING SANITARY SEWER W/MANHOLE

THESE DRAWINGS, OR ANY PORTION THEREOF, SHALL NOT BE USED ON ANY PROJECT OR EXTENSIONS OF THIS PROJECT EXCEPT BY AGREEMENT IN WRITING WITH NORTHERN ENGINEERING, INC.

5			DESIGNED BY:		DATE:
4			DRAWN BY:		DATE:
3			CHECKED BY:		DATE:
2			APPROVED:		DATE:
1			COGO FILE:		DATE:
NO.	REVISIONS	BY	DATE	REV. COGO FILE:	DATE:

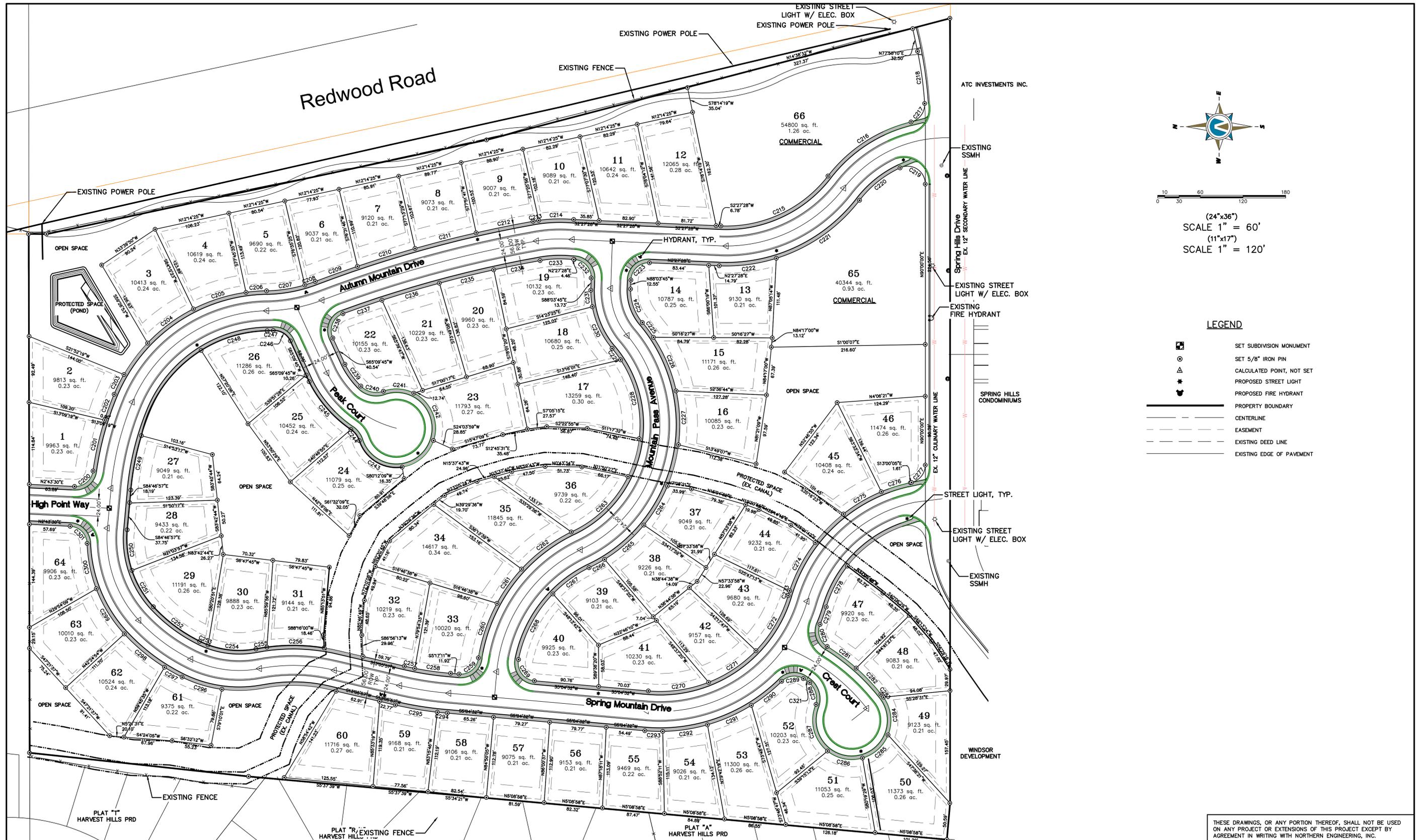
**Northern ENGINEERING INC**  
 ENGINEERING—LAND PLANNING  
 CONSTRUCTION MANAGEMENT

1040 E. 800 N.  
 OREM, UTAH 84097  
 (801) 802-8992

# HARVEST HEIGHTS

EXISTING/DEMOLITION PLAN	JOB NO. 3-15-067
SARATOGA SPRINGS, UTAH	SHEET NO. <b>DM-01</b>

K:\3-15-067-00 HARVEST HEIGHTS\CAD\Final\EXISTING DEMOLITION.dwg 2/11/2016 10:25 AM



(24"x36")  
SCALE 1" = 60'  
(11"x17")  
SCALE 1" = 120'

**LEGEND**

- SET SUBDIVISION MONUMENT
- SET 5/8" IRON PIN
- CALCULATED POINT, NOT SET
- PROPOSED STREET LIGHT
- PROPOSED FIRE HYDRANT
- PROPERTY BOUNDARY
- CENTERLINE
- EASEMENT
- EXISTING DEED LINE
- EXISTING EDGE OF PAVEMENT

THESE DRAWINGS, OR ANY PORTION THEREOF, SHALL NOT BE USED ON ANY PROJECT OR EXTENSIONS OF THIS PROJECT EXCEPT BY AGREEMENT IN WRITING WITH NORTHERN ENGINEERING, INC.

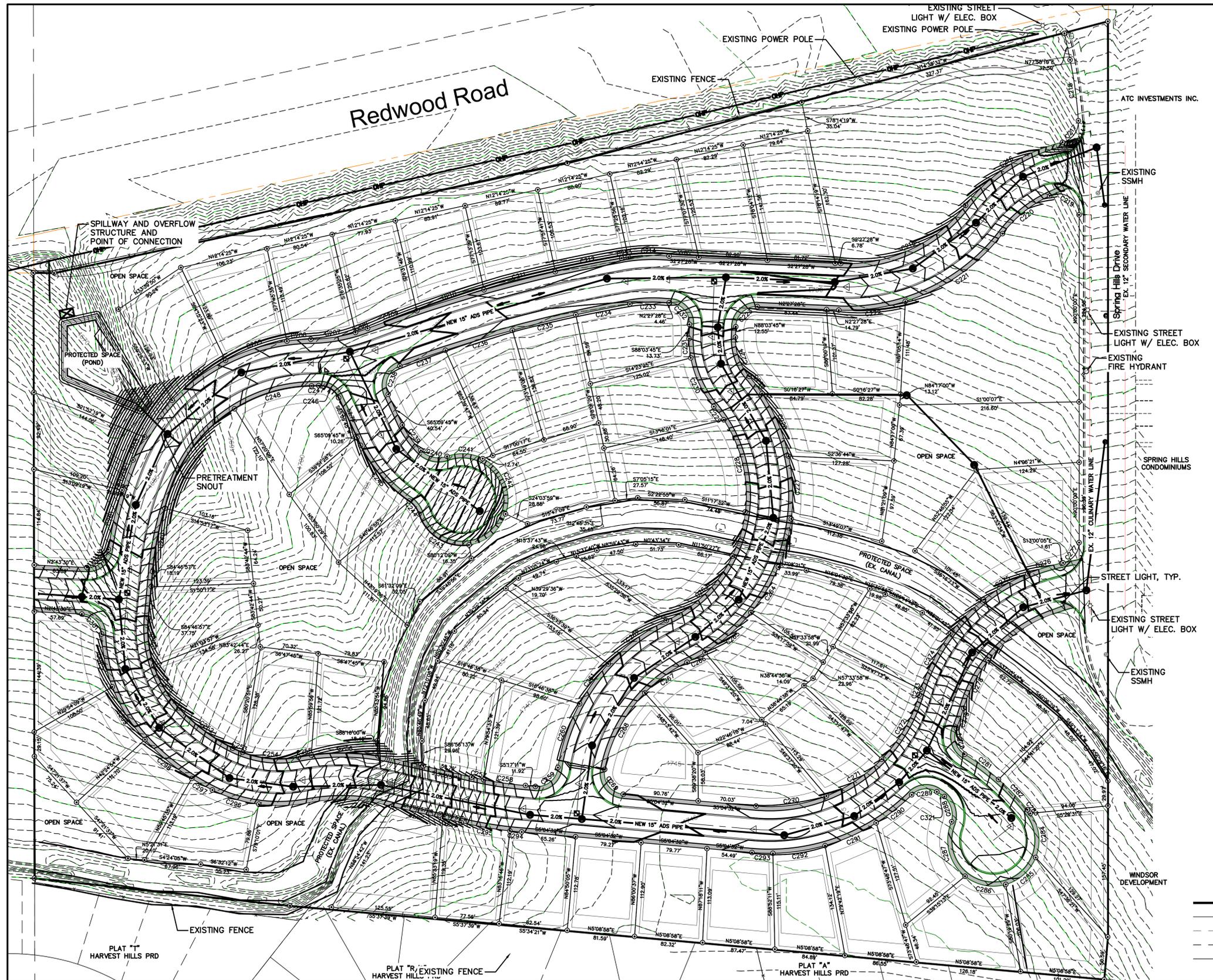
NO.	REVISIONS	BY	DATE	REV. COGO FILE	DATE
5					
4					
3					
2					
1					

**Northern ENGINEERING INC**  
ENGINEERING—LAND PLANNING  
CONSTRUCTION MANAGEMENT

1040 E. 800 N.  
OREM, UTAH 84097  
(801) 802-8992

# HARVEST HEIGHTS

OVERALL SITE PLAN	JOB NO. 3-15-067
SARATOGA SPRINGS, UTAH	SHEET NO. SP-01



CURVE TABLE					CURVE TABLE						
CURVE	LENGTH	RADIUS	CHORD DIST.	CHORD BRG.	DELTA	CURVE	LENGTH	RADIUS	CHORD DIST.	CHORD BRG.	DELTA
C204	80.55'	237.00'	80.16'	S36°33'11"E	19°28'23"	C266	24.71'	221.00'	24.69'	N28°12'48"W	6°24'18"
C205	77.97'	237.00'	77.62'	S17°23'31"E	18°50'56"	C267	63.00'	183.00'	62.69'	N35°52'37"W	19°43'27"
C206	29.05'	237.00'	29.04'	S4°27'20"E	7°01'27"	C268	105.21'	183.00'	103.76'	N62°12'31"W	32°56'22"
C207	54.50'	203.00'	54.34'	S8°41'06"E	15°23'01"	C269	42.00'	25.00'	37.23'	S53°11'55"W	98°14'46"
C208	15.32'	203.00'	15.32'	S16°32'21"E	4°19'28"	C270	86.44'	188.00'	85.69'	S8°09'05"E	26°20'43"
C209	63.16'	170.00'	63.15'	S19°39'18"E	2°06'58"	C271	80.52'	188.00'	79.90'	S33°35'36"E	24°32'19"
C210	84.82'	170.00'	84.81'	S17°10'33"E	2°50'31"	C272	90.27'	188.00'	89.41'	S59°37'07"E	27°30'42"
C211	88.69'	170.00'	88.68'	S14°16'09"E	2°58'17"	C273	7.04'	228.00'	7.04'	S72°31'43"E	1°46'12"
C212	81.66'	170.00'	81.65'	S11°24'59"E	2°44'10"	C274	76.91'	228.00'	76.55'	S61°58'46"E	19°19'42"
C213	8.03'	216.00'	8.03'	S8°59'54"E	2°07'47"	C275	61.90'	228.00'	61.71'	S30°19'26"E	15°33'17"
C214	49.35'	216.00'	49.24'	S12°31'17"E	1°30'27"	C276	42.91'	228.00'	42.85'	S17°09'18"E	10°47'00"
C215	172.38'	181.00'	165.94'	S24°53'38"E	54°34'07"	C277	33.60'	25.00'	31.13'	S51°30'02"E	76°59'55"
C216	141.96'	210.00'	139.27'	S32°55'53"E	38°43'50"	C278	64.75'	172.00'	64.37'	N62°34'38"W	21°34'14"
C217	34.90'	25.00'	32.13'	S53°33'13"E	7°56'30"	C279	25.92'	244.00'	25.91'	N70°22'22"W	6°05'15"
C218	73.79'	498.00'	73.72'	N82°12'51"E	8°29'22"	C280	35.33'	25.00'	32.47'	N70°10'50"W	80°58'53"
C219	50.11'	25.00'	42.14'	N32°34'22"E	11°45'16"	C281	50.91'	298.00'	50.85'	S36°35'02"W	9°47'17"
C220	73.41'	154.00'	72.72'	N38°30'41"W	27°18'51"	C282	50.42'	298.00'	50.36'	N46°19'28"E	9°41'36"
C221	144.91'	237.00'	142.66'	N34°46'25"W	35°01'55"	C283	5.54'	55.00'	5.54'	N51°04'52"E	5°46'12"
C222	81.31'	237.00'	80.91'	N7°25'45"W	19°39'24"	C284	55.76'	55.00'	53.41'	N83°00'44"E	58°05'33"
C223	39.50'	25.00'	35.52'	N42°48'08"W	90°31'13"	C285	50.01'	55.00'	48.30'	S41°53'39"E	52°05'40"
C224	51.00'	70.00'	49.88'	S70°33'21"W	41°44'36"	C286	52.07'	55.00'	50.15'	S11°16'31"W	54°14'40"
C225	25.78'	221.00'	25.77'	S53°00'06"W	6°41'02"	C287	69.10'	55.00'	64.64'	N74°23'24"E	71°59'05"
C226	82.07'	221.00'	81.60'	S66°59'00"W	21°16'42"	C288	41.83'	30.50'	38.63'	N71°05'28"E	78°34'56"
C227	75.89'	221.00'	75.52'	S87°27'37"W	19°40'32"	C289	32.77'	25.00'	30.48'	N70°10'09"W	75°06'41"
C228	115.87'	165.00'	113.51'	N76°42'04"E	40°40'05"	C290	54.62'	244.00'	54.50'	N38°09'50"W	12°49'31"
C229	19.88'	165.00'	19.87'	N53°07'50"E	6°54'12"	C291	67.66'	244.00'	67.44'	S23°48'26"E	15°53'16"
C230	65.50'	126.00'	64.76'	N64°32'39"E	29°48'58"	C292	63.71'	244.00'	63.53'	S8°23'00"E	14°57'35"
C231	26.66'	126.00'	26.61'	N85°29'47"E	12°07'19"	C293	25.28'	244.00'	25.27'	S2°03'52"W	5°56'10"
C232	39.04'	25.00'	35.19'	N47°11'52"E	89°28'47"	C294	14.20'	498.00'	14.20'	N5°23'55"E	1°38'02"
C233	43.62'	160.00'	43.49'	N21°2'58"W	15°37'16"	C295	59.80'	498.00'	59.76'	N9°39'20"E	6°52'49"
C234	66.47'	165.396'	66.46'	N11°11'39"W	218°09"	C296	58.61'	182.00'	58.36'	N16°58'15"E	18°27'05"
C235	78.71'	165.396'	78.70'	N13°42'31"W	243°35"	C297	28.41'	279.00'	28.40'	N29°06'42"E	5°50'07"
C236	84.23'	165.396'	84.22'	N16°31'51"W	255°04"	C298	73.47'	279.00'	73.26'	S39°34'24"W	15°05'17"
C237	57.98'	165.396'	57.98'	N18°59'38"W	200°31"	C299	74.98'	196.00'	74.52'	S58°03'45"E	21°58'07"
C238	41.38'	25.00'	36.82'	N67°25'04"W	94°50'22"	C300	65.10'	196.00'	64.80'	N78°32'14"E	19°01'50"
C239	37.96'	121.00'	37.81'	S53°53'28"W	17°58'38"	C301	37.15'	25.00'	33.83'	N45°17'56"E	89°08'52"
C240	34.25'	30.50'	32.48'	S12°43'51"W	64°20'37"	C302	124.87'	407.00'	124.38'	N75°59'15"W	17°34'45"
C241	44.18'	55.00'	43.00'	S33°40'7"W	46°01'10"	C303	241.29'	209.00'	228.11'	N34°04'14"W	66°08'54"
C242	78.44'	55.00'	71.96'	S87°26'12"W	81°43'00"	C304	79.75'	231.00'	79.36'	N10°49'49"W	19°46'52"
C243	76.96'	55.00'	70.76'	N31°36'16"E	80°04'15"	C305	313.16'	1682.00'	312.71'	N15°22'36"E	10°40'03"
C244	19.94'	30.50'	19.59'	S52°54'37"E	37°27'33"	C306	50.46'	188.00'	50.31'	N12°20'15"W	15°22'41"
C245	89.98'	177.00'	88.92'	S48°43'40"W	29°05'40"	C307	199.96'	209.00'	192.42'	N24°53'16"W	54°49'03"
C246	28.43'	25.00'	26.92'	S32°34'52"W	65°09'48"	C308	169.63'	182.00'	163.56'	N25°28'38"W	53°24'09"
C247	10.01'	379.32'	10.01'	S1°50'56"E	1°30'45"	C309	215.51'	200.00'	205.24'	S42°32'58"E	61°44'22"
C248	98.00'	181.00'	96.81'	S16°31'00"E	31°01'24"	C310	295.57'	216.00'	273.04'	S34°10'23"E	78°24'09"
C249	77.79'	379.00'	77.65'	S78°54'29"E	11°45'36"	C311	70.02'	470.00'	69.95'	S8°50'06"W	8°32'09"
C250	57.58'	140.00'	57.18'	N83°17'23"E	23°34'00"	C312	105.96'	251.00'	105.17'	S16°51'17"W	24°11'15"
C251	59.40'	140.00'	58.95'	S99°21'08"W	24°18'29"	C313	99.36'	154.00'	97.64'	S7°41'57"W	36°57'56"
C252	81.72'	223.00'	81.26'	S36°40'57"W	20°59'45"	C314	91.71'	251.00'	91.20'	S36°39'06"W	20°56'04"
C253	12.76'	126.00'	12.75'	N23°16'50"E	5°48'08"	C315	140.69'	168.00'	136.62'	S71°05'40"W	47°58'56"
C254	68.53'	126.00'	67.69'	N44°52'52"E	31°09'48"	C316	128.34'	149.00'	124.41'	S38°25'48"W	49°21'03"
C255	15.61'	279.00'	15.60'	N91°03'8"W	31°21'17"	C317	217.13'	211.00'	207.68'	N55°25'27"W	58°57'39"
C256	80.72'	279.00'	80.44'	N0°42'47"E	16°34'33"	C318	356.03'	193.00'	307.05'	N77°38'35"W	105°23'48"
C257	14.91'	442.00'	14.91'	S12°07'45"W	1°55'58"	C319	71.53'	98.00'	69.96'	S70°35'43"W	41°49'20"
C258	51.00'	442.00'	50.97'	S75°12'57"W	6°36'41"	C320	145.54'	270.00'	143.79'	N36°24'38"E	30°53'06"
C259	39.26'	25.00'	35.35'	S39°54'50"E	89°58'54"						
C260	81.19'	239.00'	80.80'	S71°04'51"E	19°27'46"						
C261	58.34'	239.00'	59.16'	S54°41'2"E	14°13'32"						
C262	87.55'	239.00'	87.07'	S36°37'45"E	20°59'22"						
C264	64.14'	221.00'	63.92'	S08°49'20"E	16°37'49"						
C265	73.64'	221.00'	73.30'	N40°57'42"W	19°05'28"						

COUNTY BENCHMARK & ELEVATION  
NORTH QUARTER CORNER SECTION 11  
TOWNSHIP 5 SOUTH, RANGE 1 WEST  
S.L.B.M.  
N. 7316842.91  
E. 1524470.00  
ELEV. -----



- LEGEND**
- SET SUBDIVISION MONUMENT
  - SET 5/8" IRON PIN
  - △ CALCULATED POINT, NOT SET
  - ★ PROPOSED STREET LIGHT
  - ★ PROPOSED FIRE HYDRANT
  - PROPERTY BOUNDARY
  - - - CENTERLINE
  - - - EASEMENT
  - - - EXISTING DEED LINE
  - EXISTING EDGE OF PAVEMENT

THESE DRAWINGS, OR ANY PORTION THEREOF, SHALL NOT BE USED ON ANY PROJECT OR EXTENSIONS OF THIS PROJECT EXCEPT BY AGREEMENT IN WRITING WITH NORTHERN ENGINEERING, INC.

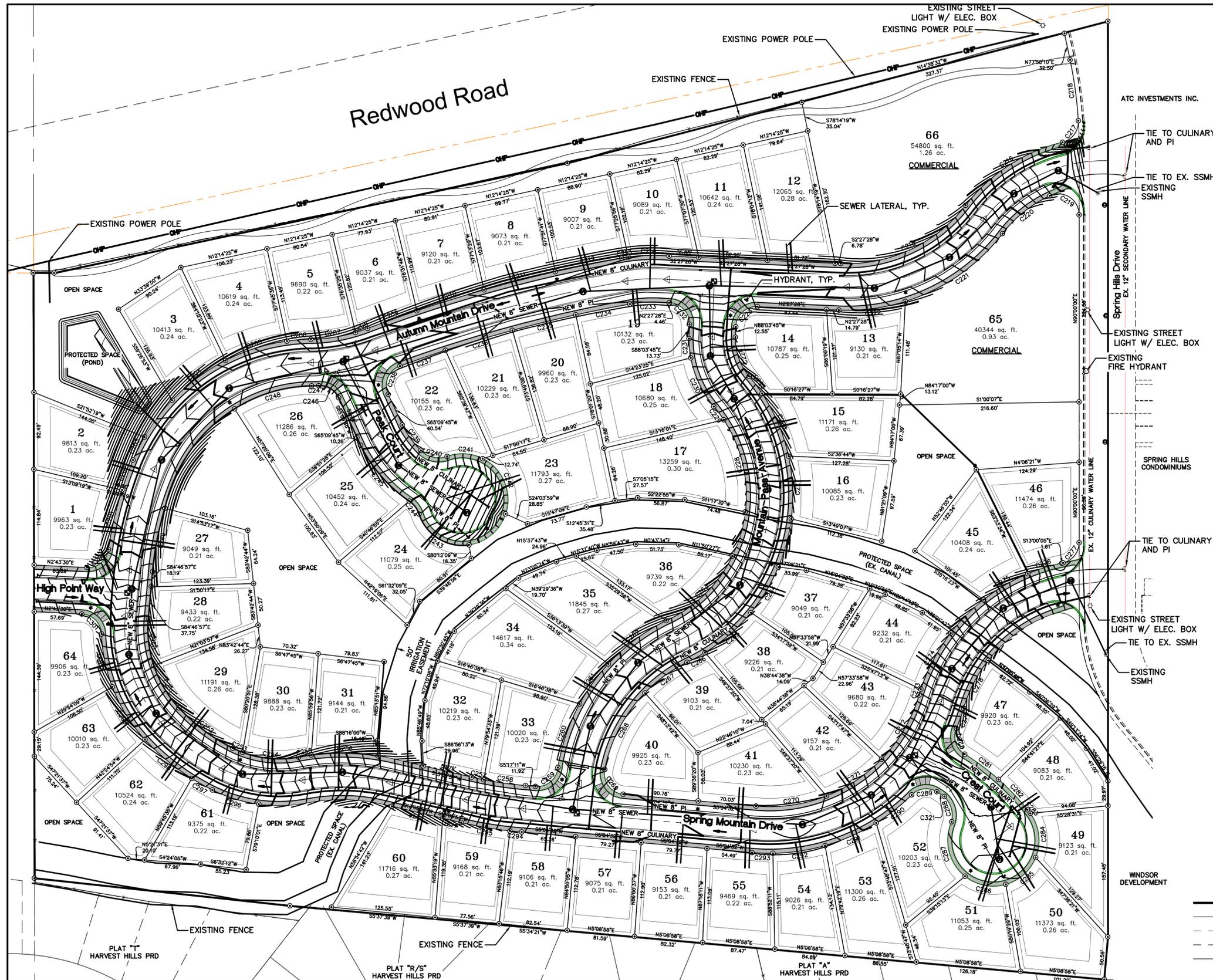
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3	CHECKED BY:	DATE:
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	REV. COGO FILE:	DATE:

**Northern ENGINEERING INC**  
ENGINEERING—LAND PLANNING  
CONSTRUCTION MANAGEMENT

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# HARVEST HEIGHTS

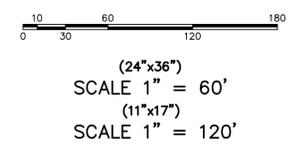
GRADING PLAN	JOB NO. 3-15-067
SARATOGA SPRINGS, UTAH	SHEET NO. GR-01



CURVE TABLE					CURVE TABLE						
CURVE	LENGTH	RADIUS	CHORD DIST.	CHORD BRG.	DELTA	CURVE	LENGTH	RADIUS	CHORD DIST.	CHORD BRG.	DELTA
C204	80.55'	237.00'	80.16'	S36°33'11"E	19°28'23"	C266	24.71'	221.00'	24.69'	N28°12'48"W	6°24'18"
C205	77.97'	237.00'	77.62'	S17°23'31"E	18°50'56"	C267	63.00'	183.00'	62.69'	N35°52'37"W	19°43'27"
C206	29.05'	237.00'	29.04'	S4°27'20"E	7°01'27"	C268	105.21'	183.00'	103.76'	N62°12'31"W	32°56'22"
C207	54.50'	203.00'	54.34'	S8°41'06"E	15°23'01"	C269	42.00'	25.00'	37.23'	S53°11'55"W	98°14'46"
C208	15.32'	203.00'	15.32'	S16°32'21"E	4°19'28"	C270	86.44'	188.00'	85.69'	S8°09'05"E	26°20'43"
C209	63.16'	1710.00'	63.15'	S19°39'18"E	2°06'58"	C271	80.52'	188.00'	79.90'	S33°35'36"E	24°32'19"
C210	84.82'	1710.00'	84.81'	S17°10'33"E	2°50'31"	C272	90.27'	188.00'	89.41'	S59°37'07"E	27°30'42"
C211	88.69'	1710.00'	88.68'	S14°16'09"E	2°58'17"	C273	7.04'	228.00'	7.04'	S72°31'43"E	1°46'12"
C212	81.66'	1710.00'	81.65'	S11°24'59"E	2°44'10"	C274	76.91'	228.00'	76.55'	S61°58'46"E	19°19'42"
C213	8.03'	216.00'	8.03'	S8°59'54"E	2°07'47"	C275	61.90'	228.00'	61.71'	S30°19'26"E	15°33'17"
C214	49.35'	216.00'	49.24'	S12°31'17"E	1°30'27"	C276	42.91'	228.00'	42.85'	S17°09'18"E	10°47'00"
C215	172.38'	181.00'	165.94'	S24°53'38"E	54°34'07"	C277	33.60'	25.00'	31.13'	S51°30'02"E	76°59'55"
C216	141.96'	210.00'	139.27'	S32°55'53"E	38°43'50"	C278	64.75'	172.00'	64.37'	N62°34'38"W	21°34'14"
C217	34.90'	25.00'	32.13'	S53°31'13"E	7°58'30"	C279	25.92'	244.00'	25.91'	N70°22'22"W	6°05'15"
C218	73.79'	498.00'	73.72'	N82°12'51"E	8°29'22"	C280	35.33'	25.00'	32.47'	S72°10'50"W	80°58'53"
C219	50.11'	25.00'	42.14'	N32°34'22"E	11°45'16"	C281	50.91'	298.00'	50.85'	S36°35'02"W	9°47'17"
C220	73.41'	154.00'	72.72'	N38°30'41"W	27°18'51"	C282	50.42'	298.00'	50.36'	N46°19'28"E	9°41'36"
C221	144.91'	237.00'	142.66'	N34°46'25"W	35°01'55"	C283	5.54'	55.00'	5.54'	N51°04'52"E	5°46'12"
C222	81.31'	237.00'	80.91'	N7°25'45"W	19°39'24"	C284	55.76'	55.00'	53.41'	N83°00'44"E	58°05'33"
C223	39.50'	25.00'	35.52'	N42°48'08"W	90°31'13"	C285	50.01'	55.00'	48.30'	S41°53'39"E	52°05'40"
C224	51.00'	70.00'	49.88'	S70°33'21"W	41°44'36"	C286	52.07'	55.00'	50.15'	N176°31'36"W	54°14'40"
C225	25.78'	221.00'	25.77'	S53°00'06"W	6°41'02"	C287	69.10'	55.00'	68.64'	N74°23'24"E	71°59'05"
C226	82.07'	221.00'	81.60'	S66°59'00"W	21°16'42"	C288	41.83'	30.50'	38.83'	N71°05'28"E	78°34'56"
C227	75.89'	221.00'	75.52'	S87°27'37"W	19°40'32"	C289	32.77'	25.00'	30.48'	N70°10'09"W	75°06'41"
C228	115.87'	165.00'	113.51'	N76°42'04"E	40°40'05"	C290	54.62'	244.00'	54.50'	N38°09'50"W	12°49'31"
C229	19.88'	165.00'	19.87'	N53°07'50"E	6°54'12"	C291	67.66'	244.00'	67.44'	S23°48'26"E	15°53'16"
C230	65.50'	126.00'	64.76'	N64°32'39"E	29°48'58"	C292	63.71'	244.00'	63.53'	S82°30'07"E	14°57'35"
C231	26.66'	126.00'	26.61'	N85°29'47"E	12°07'19"	C293	25.28'	244.00'	25.27'	S21°52'27"E	5°56'10"
C232	39.04'	25.00'	35.19'	N47°11'52"E	89°28'47"	C294	14.20'	498.00'	14.20'	N52°33'55"E	1°38'02"
C233	43.62'	160.00'	43.49'	N21°58'58"W	15°37'16"	C295	59.80'	498.00'	59.76'	N9°39'20"E	6°52'49"
C234	66.47'	1653.96'	66.46'	N11°11'39"W	218°09"	C296	58.61'	182.00'	58.36'	N16°58'15"E	18°27'05"
C235	78.71'	1653.96'	78.70'	N13°42'31"W	243°35"	C297	28.41'	279.00'	28.40'	N29°06'42"E	5°50'07"
C236	84.23'	1653.96'	84.22'	N16°31'51"W	255°04"	C298	73.47'	279.00'	73.26'	S39°34'24"W	15°05'17"
C237	57.98'	1653.96'	57.98'	N18°59'38"W	200°31"	C299	74.98'	196.00'	74.52'	N58°03'45"E	21°58'07"
C238	41.38'	25.00'	36.82'	N67°25'04"W	94°50'22"	C300	65.10'	196.00'	64.80'	N78°32'14"E	19°01'50"
C239	37.96'	121.00'	37.81'	S53°53'28"W	17°58'38"	C301	37.15'	25.00'	33.83'	N45°17'56"E	89°08'52"
C240	34.25'	30.50'	32.48'	S12°43'51"W	64°20'37"	C302	124.87'	407.00'	124.38'	N75°59'15"W	17°34'45"
C241	44.18'	55.00'	43.00'	S33°40'7"W	46°01'10"	C303	241.29'	209.00'	228.11'	N34°04'14"W	66°08'54"
C242	78.44'	55.00'	71.96'	S67°26'12"W	81°43'00"	C304	79.75'	231.00'	79.36'	N10°49'49"W	19°46'52"
C243	76.96'	55.00'	70.76'	N31°36'16"E	80°04'15"	C305	313.16'	1682.00'	312.71'	N15°22'36"W	10°40'03"
C244	19.94'	30.50'	19.59'	N52°54'37"E	37°27'33"	C306	50.46'	188.00'	50.31'	N22°01'57"W	15°22'41"
C245	89.98'	177.00'	88.92'	S48°43'40"W	29°05'40"	C307	199.98'	209.00'	192.42'	N24°53'16"W	54°49'03"
C246	28.43'	25.00'	26.92'	S32°34'52"W	65°09'45"	C308	169.63'	182.00'	163.56'	N25°28'38"W	53°24'09"
C247	10.01'	379.32'	10.01'	S15°05'56"E	1°30'45"	C309	215.51'	200.00'	205.24'	S42°32'56"E	61°44'22"
C248	98.00'	181.00'	96.81'	S18°31'00"E	31°01'24"	C310	295.57'	216.00'	273.04'	S34°10'23"E	78°24'09"
C249	77.79'	379.00'	77.65'	S78°54'29"E	11°45'36"	C311	70.02'	470.00'	69.95'	S85°06'06"W	83°32'09"
C250	57.58'	140.00'	57.18'	N83°17'23"E	23°34'00"	C312	105.96'	251.00'	105.17'	S18°18'51"W	24°11'15"
C251	59.40'	140.00'	58.95'	S99°21'08"W	24°18'29"	C313	99.36'	154.00'	97.64'	S74°15'7"W	36°57'56"
C252	81.72'	223.00'	81.26'	S36°40'57"W	20°59'45"	C314	91.71'	251.00'	91.20'	S36°39'06"W	20°56'04"
C253	12.76'	126.00'	12.75'	N23°16'50"E	5°48'08"	C315	140.69'	168.00'	136.62'	S71°05'40"W	47°58'56"
C254	88.53'	126.00'	67.69'	N44°52'52"E	31°09'48"	C316	128.34'	149.00'	126.41'	S38°25'48"W	49°21'03"
C255	15.61'	279.00'	15.60'	N91°03'38"W	31°21'17"	C317	217.13'	211.00'	207.68'	N59°25'27"W	58°57'39"
C256	80.72'	279.00'	80.44'	N0°42'47"E	16°34'33"	C318	355.03'	193.00'	307.05'	N77°38'35"W	105°23'48"
C257	14.91'	442.00'	14.91'	S12°07'45"W	1°55'58"	C319	71.53'	98.00'	69.96'	S70°35'43"W	41°49'20"
C258	51.00'	442.00'	50.97'	S75°12'25"W	6°36'41"	C320	145.54'	270.00'	143.79'	N36°24'38"E	30°53'06"
C259	39.26'	25.00'	35.35'	S39°54'55"E	89°58'54"						
C260	81.19'	239.00'	80.80'	S71°04'51"E	19°27'46"						
C261	58.34'	239.00'	59.16'	S54°41'2"E	14°13'32"						
C262	87.55'	239.00'	87.07'	S36°37'45"E	20°59'22"						
C264	64.14'	221.00'	63.92'	S68°49'20"E	16°37'49"						
C265	73.64'	221.00'	73.30'	N40°57'42"W	19°05'28"						

**LEGEND**

- SET SUBDIVISION MONUMENT
- ⊙ SET 5/8" IRON PIN
- △ CALCULATED POINT, NOT SET
- ⊕ PROPOSED STREET LIGHT
- ⊕ PROPOSED FIRE HYDRANT
- PROPERTY BOUNDARY
- CENTERLINE
- EASEMENT
- - - EXISTING DEED LINE
- EXISTING EDGE OF PAVEMENT



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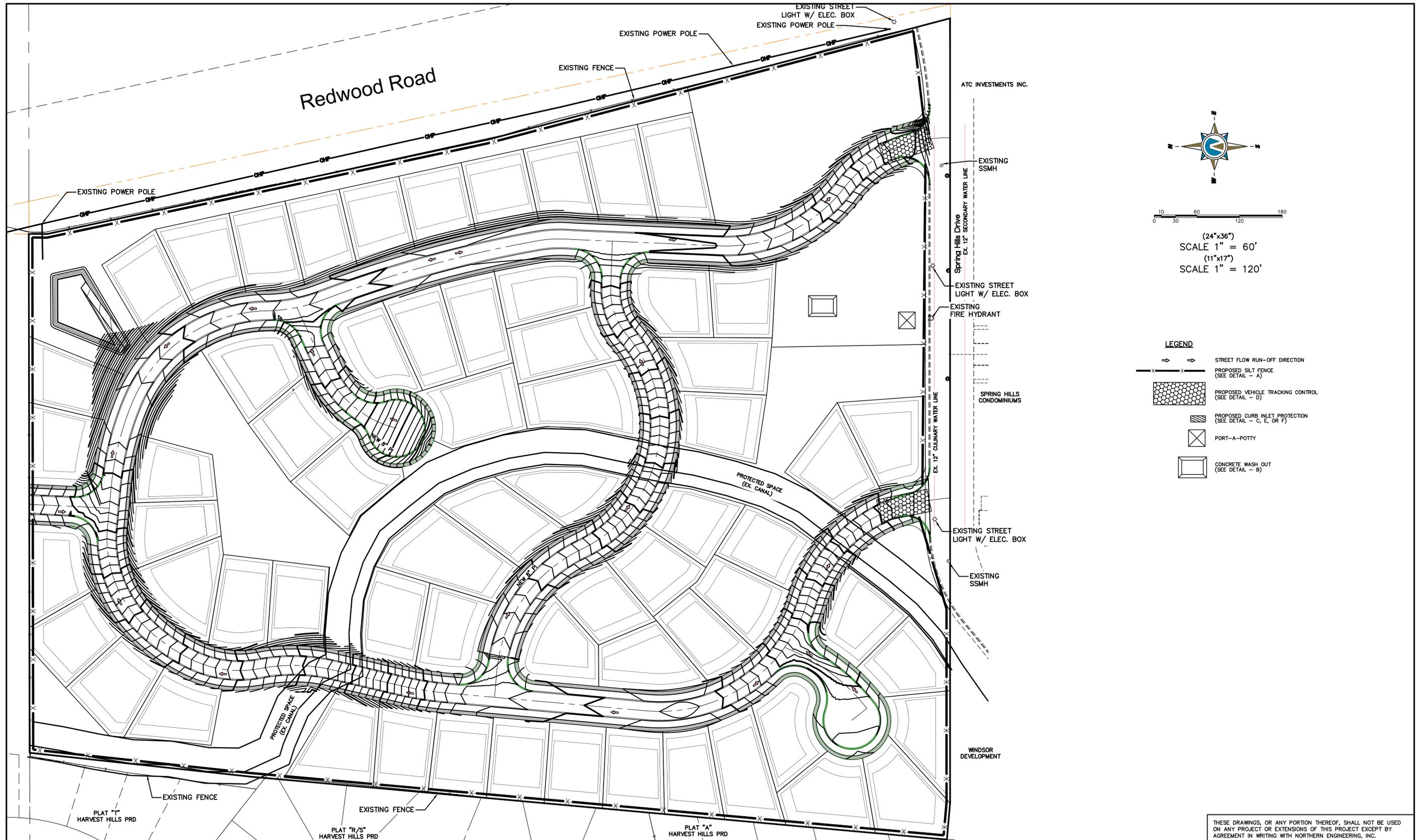
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**Northern ENGINEERING INC**  
ENGINEERING—LAND PLANNING  
CONSTRUCTION MANAGEMENT

1040 E. 800 N.  
OREM, UTAH 84097  
(801) 802-8992

**HARVEST HEIGHTS**

UTILITY PLAN	JOB NO. 3-15-067
SARATOGA SPRINGS, UTAH	SHEET NO. UT-01



(24"x36")  
 SCALE 1" = 60'  
 (11"x17")  
 SCALE 1" = 120'

- LEGEND**
- STREET FLOW RUN-OFF DIRECTION (SEE DETAIL - A)
  - PROPOSED SILT FENCE (SEE DETAIL - A)
  - PROPOSED VEHICLE TRACKING CONTROL (SEE DETAIL - D)
  - PROPOSED CURB INLET PROTECTION (SEE DETAIL - C, E, OR F)
  - PORT-A-POTTY
  - CONCRETE WASH OUT (SEE DETAIL - B)

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**HARVEST HEIGHTS**

EROSION CONTROL PLAN	JOB NO. 3-15-067
SARATOGA SPRINGS, UTAH	SHEET NO. EC-01

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(24"x36")  
 SCALE 1" = 60'  
 (11"x17")  
 SCALE 1" = 120'

**PLANT LEGEND**

QTY	KEY	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
TREES					
103	GT	GLEDITSIA TRIACANTHOS VAR. INERMIS	THORNLESS HONEYLOCUST	2.5" CAL.	B&B DT
3	TS	TILIA TOMENTOSA 'STERLING SILVER'	STERLING SILVER LINDEN	2.5" CAL.	B&B DT
5	CG	PRYUS CALLERYANA 'CHANTICLEER'	CHANTICLEER FLOWERING PEAR	2.5" CAL.	B&B DT
12	CC	CERCIS CANADENSIS 'EASTERN'	EASTERN REDBUD	2.5" CAL.	B&B DT
12	MC	MALUS BECHTEL	KLEHM'S BECHTEL	2.5" CAL.	B&B DT

**LANDSCAPE NOTES:**

- TOP DRESS ALL SHRUB AREAS W/4" LAYER OF BARK MULCH. BARK MULCH SHALL BE APPLIED PRE-EMERGENT AND WEED BARRIER FABRIC HAS BEEN APPLIED. WEED BARRIER FABRIC TO ALLOW MAXIMUM AIR AND WATER PENETRATION.
- PROVIDE A 6' DIAMETER MULCH AREA AROUND EVERGREEN TREES AND A 4' DIAMETER AROUND DECIDUOUS TREES.
- VERIFY LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.
- ALL PLANT MATERIAL SHALL BE HEALTHY STOCK, FREE FROM DISEASE AND DISFIGUREMENT, HAVING FULL NATURAL SHAPES.
- PLANT MATERIAL SHALL BE THE SAME SPECIES AND SIZE AS DESCRIBED IN THE PLANT SCHEDULE.
- ALL TREES AND SHRUBS TO BE PLANTED ACCORDING TO DETAILS.
- ALL LANDSCAPED AREAS TO BE IRRIGATED WITH AN AUTOMATED IRRIGATION SYSTEM THAT MEETS CITY CODES, REFER TO IRRIGATION PLAN. THE CONTRACTOR MUST PROVIDE A DETAILED IRRIGATION PLAN FOR SUBMITTAL AND APPROVAL BY THE CITY, PRIOR TO SYSTEM INSTALLATION.
- PROVIDE 4" THICK TOPSOIL FOR ALL LAWN AREAS AND 12" THICK TOPSOIL FOR SHRUB AREAS.
- ALL LAWN AREAS TO BE SEEDDED WITH 'GRANITE SEED BLUE RIBBON HOUSE BLEND' AND CONSIST OF 80% KENTUCKY BLUE AND 20% PERENNIAL RYE SEED. APPLY AT A RATE OF 5 LBS/ 1000 SQ. FEET.
- DECIDUOUS TREES ALONG STREET SIDEWALK TO BE CLEAR BRANCHED TO A HEIGHT OF EIGHT FEET.
- EVERGREEN TREES TO BE A MIN. OF 5' IN HEIGHT

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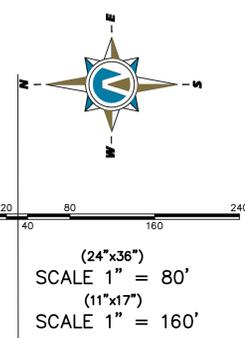
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**HARVEST HEIGHTS**

PRELIMINARY LANDSCAPE PLAN  
 JOB NO. 3-15-067

SARATOGA SPRINGS, UTAH  
 SHEET NO. LS-01

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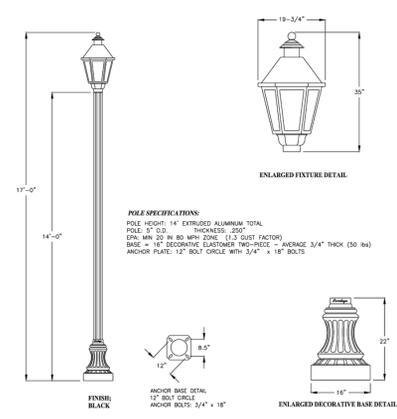


EXISTING STREETLIGHT WITH ELEC. BOX

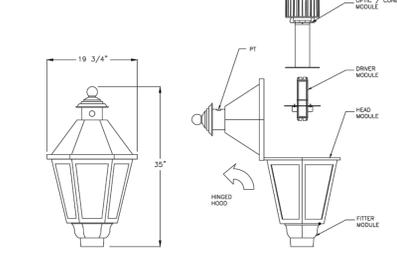
EXISTING STREETLIGHT WITH ELEC. BOX

FUTURE STREETLIGHTS, SHALL CONFORM TO ALL SARATOGA SPRINGS CITY LIGHTING REQUIREMENTS

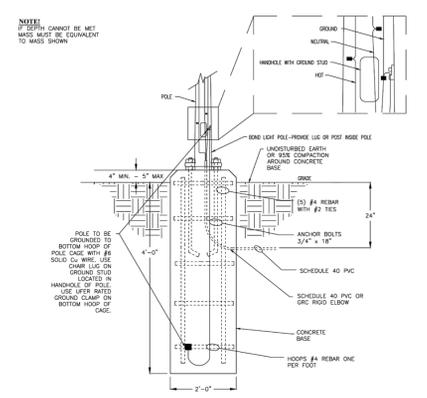
ORDERING GUIDE:  
COMPLETE ASSEMBLY PART: LP-1  
POLE: 14" EXPOSED ALUMINUM TOTAL  
LIGHT FIXTURE: SS-C1274-44LED  
DECORATIVE BASE: 16"RQNDWHD-BK



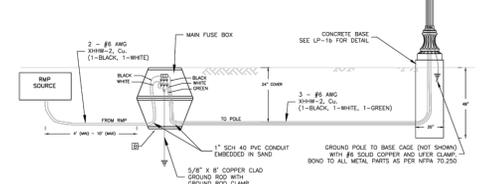
ORDERING GUIDE:  
LIGHT FIXTURES: SS-C1274-44LED  
MODEL: 43007-08



CATALOG NO: C1274-FLAT-3L-44W-4K-120-EX1-DEF-F3M-PT-BL80051  
LUMINAIRE: RECREATIONAL SWAGE  
S3 CLASSIFICATION: FROSTED ACRYLIC LENS  
WARRANTY: 5 YEAR  
LIGHT SOURCE: BURNS (120 - 4000K)  
LINE VOLTAGE: 120 VOLTS  
DRINK NICKERED ON TRAY WITH QUICK RELEASE CONNECTORS  
PANEL WEATHERPROOF LUMINAIRE WITH "Y" GROOVE SILICONE GASKET  
OPTION: THREE LIGHT PROFILES, PRE-INSTALLED IN DECORATIVE CANOPIA  
ALL NON ELECTRICAL HARDWARE SHALL BE STAINLESS STEEL  
COLOR & FINISH: BLACK (RAL8005) TEXTURED POWDER COAT  
PAINT MINIMUM: 5 YEARS



- NOTES:
- STREET LIGHTS POLES SHALL BE LOCATED AT ROADWAY INTERSECTIONS NEAR FIRE HYDRANTS WHERE POSSIBLE AND AT OTHER REQUIRED LOCATIONS PER CITY STANDARDS.
  - POLES ON COLLECTOR STREETS SHALL HAVE FLUTED SHAFTS.
  - POLES IN SUBURBS SHALL HAVE FLUTED SHAFTS.
  - MARK JUNCTION BOX LIES "THIRST LIGHTS"
  - INSTALL 1" PVC SCH 40 CONDUIT WITH 2" COVER AND SAND BEDDING.
  - WIRES FROM RMP SOURCE TO BE SINGLE CONDUCTOR (NOT DUPLEX) #8 AND 3/16"-2 COPPER WIRE IN COLOR NOTED ON DETAIL.
  - FUSE LINE CONDUCTOR IN JUNCTION BOX.
  - CONTRACTOR TO INSTALL JUNCTION BOX WITH FUSE BOX TO BE LOCATED 4' MIN AND 18" MAX FEET FROM RMP SOURCE PROVIDE 1" SCH 40 PVC CONDUIT TO RMP SOURCE PROVIDE CONDUCTORS LONG ENOUGH TO REACH RMP POWER SOURCE PLUS 5' CONTRACTOR SHALL SUPPLY PULL STRING IN CONDUIT.
  - CONNECT GROUND WIRE TO METAL SHELL OF LIGHT POLE.
  - FUSE ASSEMBLY SHALL BE (1) BUSHMAN HER-4L WITH (2) BUSHMAN ZW6040. NO SUBSTITUTIONS.
  - FUSE AT POLE SHALL BE BUSHMAN 1/2" OR EQUAL 5 AMP FUSE FUTURE SERIAL.
  - FUSE AT POLE SHALL BE BUSHMAN 1/2" OR EQUAL 5 AMP FUSE FUTURE SERIAL.
  - SOILD ASSEMBLY SHALL BE BLACKBURN US833L. NO SUBSTITUTIONS.
  - STREET LIGHTS ARE TO BE CENTERED IN PARK STRIPS.
  - STREET LIGHTS ARE TO BE PLACED EVERY 300' ALTERNATING SIDES OF THE STREET AND AT ALL INTERSECTIONS.



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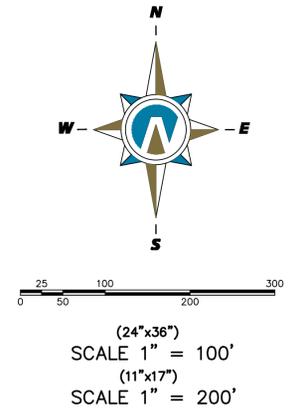
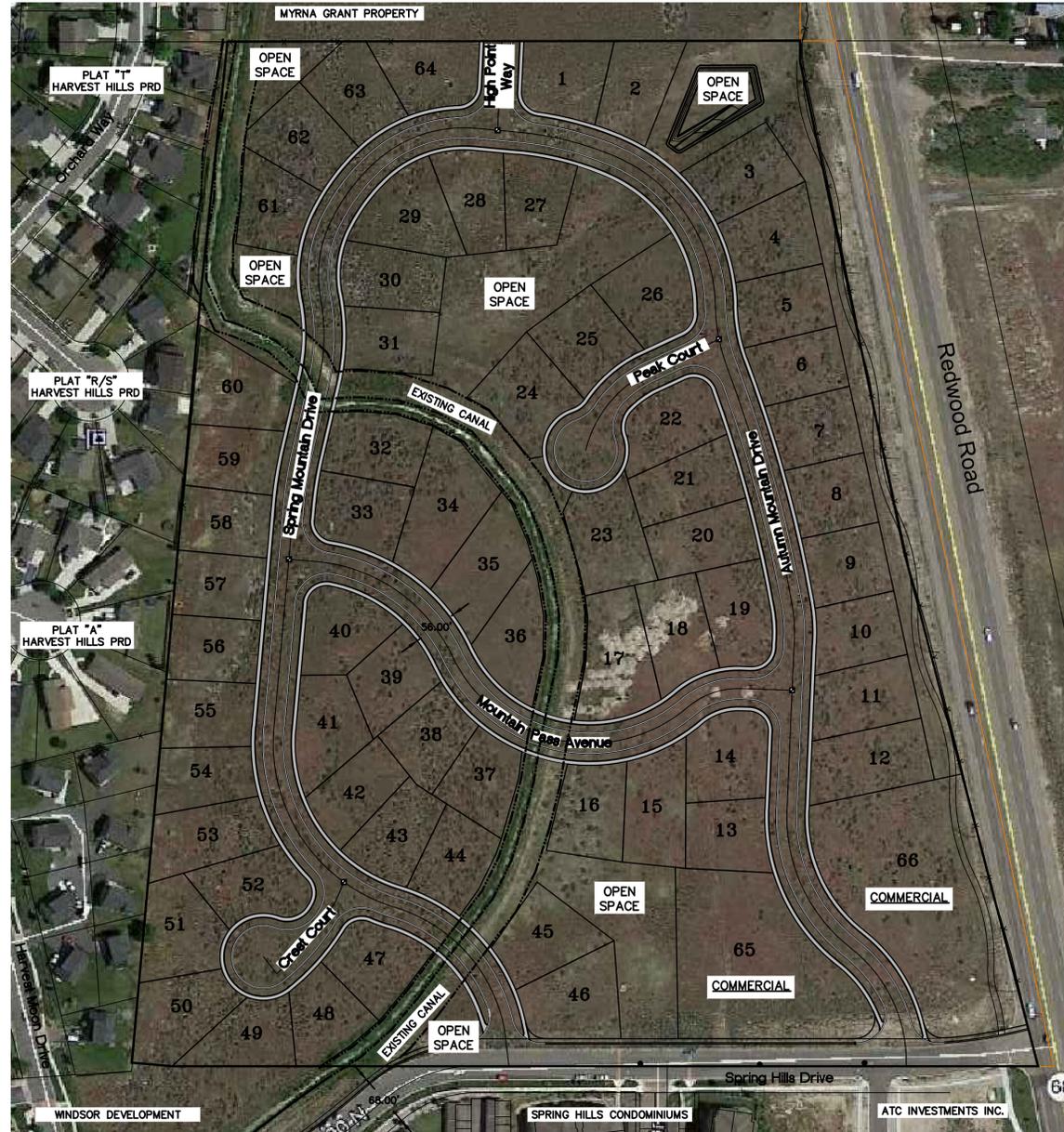
**HARVEST HEIGHTS**

LIGHTING PLAN	JOB NO. 3-15-067
SARATOGA SPRINGS, UTAH	SHEET NO. LG-01

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-VICINITY MAP-NTS



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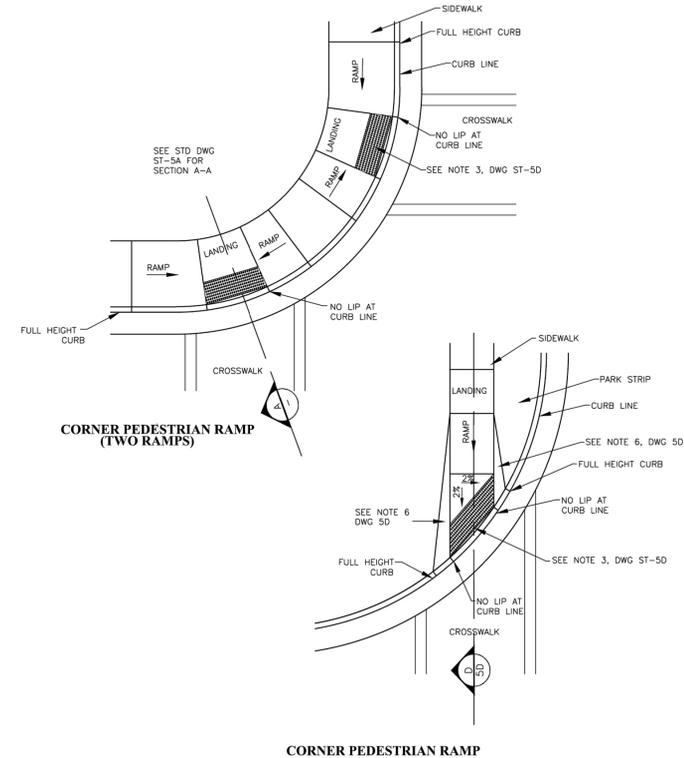
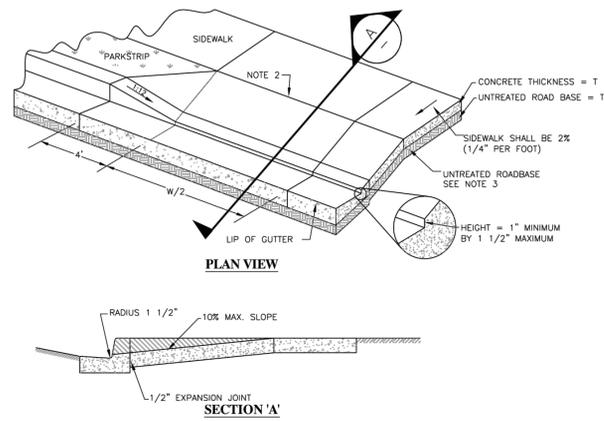
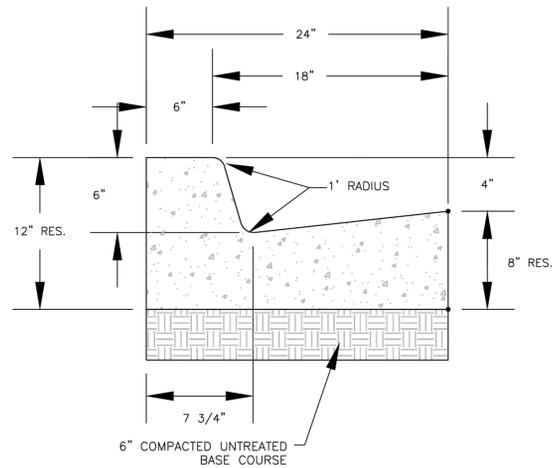
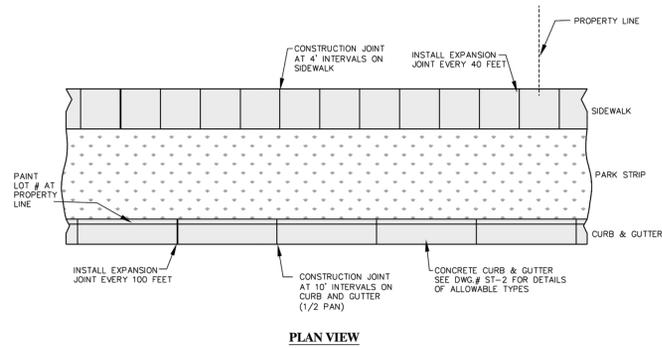
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# HARVEST HEIGHTS

GEOLOCATED KMZ PLAN  
SARATOGA SPRINGS, UTAH

JOB NO.  
3-15-067  
SHEET NO.  
**GE-01**



- NOTES:**
1. A MINIMUM 6" DEPTH OF ROADBASE MATERIAL SHALL BE PLACED TO GRADE AND COMPACTED TO 95% OF MAXIMUM DRY DENSITY UNDER DRIVEWAY, WATERWAY, AND CURB & GUTTER PRIOR TO PLACEMENT OF CONCRETE.
  2. A MINIMUM 6" DEPTH OF ROADBASE MATERIAL SHALL BE PLACED TO GRADE AND COMPACTED TO 95% OF MAXIMUM DRY DENSITY UNDER SIDEWALK AT ALL OTHER LOCATIONS PRIOR TO PLACEMENT OF CONCRETE.
  3. WHERE CONSTRUCTION IS ADJACENT TO STATE HIGHWAY FRONTAGE, STATE HIGHWAY DEPARTMENT REQUIREMENTS SHALL GOVERN.
  4. CONCRETE SHALL BE 3/4" MAXIMUM AGGREGATE, 6.3 BAGS PER YARD OF TYPE 2 CEMENT WITH A MINIMUM COMPRESSIVE STRENGTH OF 4,000 PSI AT 28 DAYS.
  5. EXPANSION JOINTS FOR CURB & GUTTER ARE TO BE SPACED NO MORE THAN 100 FT. AND SIDEWALKS SHALL BE SPACED NO MORE THAN EVERY 40 FT. EXPANSION JOINTS SHALL BE CONSTRUCTED BY PLACING AN APPROVED MATERIAL, (TYPICALLY BITUMINOUS IMPREGATED FIBERBOARD), THE FULL DEPTH OF THE CONCRETE. EXPANSION MATERIAL SHALL BE SET 1/2" BELOW THE FINISH LEVEL OF THE SIDEWALK.
  6. CONSTRUCTION JOINT IS MADE BY SCORING THE CONCRETE WITH 1/2" RADIUS EDGING TOOL OR OTHER METHOD APPROVED BY ENGINEER.
  7. SLOPE SIDEWALK TO ROADWAY AT 2% GRADE.
  8. LOCATE ALL INLET GRATES 2' MINIMUM AWAY FROM THE PEDESTRIAN CROSSWALK, WITH ALL DRAINAGE INTERCEPTED BEFORE IT GETS TO THE CROSSWALK AREA.
  9. THE SIDEWALK SHALL BE A MIN. 5" THICK CONCRETE.
  10. IN ROCKY SUB-GRADES 18" OF BOTTOM OF TRENCH TO BOTTOM OF PIPE, MIN. OF 2' OF OUTSIDE DIAMETER.
  11. INSTALL MAGNETIC DETECTOR TAPE WITH A MIN. OF 14 GAUGE COATED TRACER WIRE FOR ALL PVC OR OTHER PIPE.
  12. PAINT LOT NUMBER AT PROPERTY LINE.
  13. SEWER LATERAL LOCATIONS TO BE MARKED ON TOP OF CURB WITH AN S.
  14. CULINARY WATER LATERAL LOCATIONS TO BE MARKED ON TOP OF CURB WITH A W.
  15. SECONDARY WATER LATERAL LOCATIONS TO BE MARKED ON TOP OF CURB WITH AN I.
  16. WATER VALVE LOCATIONS TO BE MARKED ON TOP OF CURB WITH A V.

**DRIVE APPROACH DIMENSIONS**

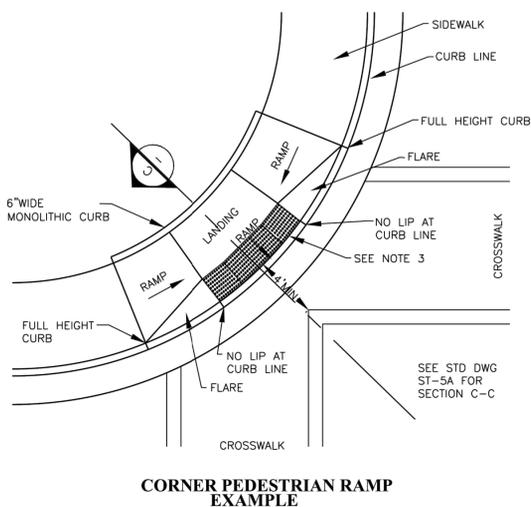
DIMENSION	LEGTH ACCORDING TO ZONE
W	10'-0" MIN. RESIDENTIAL ZONES 20'-0" MAX. RESIDENTIAL ZONES 40'-0" MAX. COMMERCIAL/INDUSTRIAL ZONES
T	0'-6" RESIDENTIAL ZONES 0'-8" INDUSTRIAL/COMMERCIAL ZONES

**SLOPE TABLE**

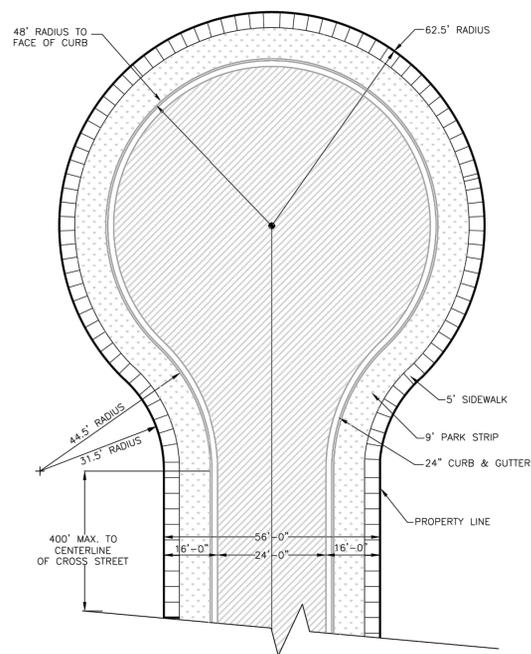
DIMENSION	ZONE
①	2% MAX. RESIDENTIAL ZONE
②	6% MAX. INDUST. AND COMM. ZONE
③	3% MAX. RESIDENTIAL ZONE
④	6% MAX. INDUST. AND COMM. ZONE
⑤	5% MAX. RESIDENTIAL ZONE
⑥	6% MAX. INDUST. AND COMM. ZONE

## RESIDENTIAL 24" HIGH BACK CURB AND GUTTER

FOR USE IN LOCAL & MINOR COLLECTORS



- NOTES:**
1. REFER TO STD DWG ST 5A FOR PEDESTRIAN ACCESS RAMP DETAIL AND SLOPE REQUIREMENTS.
  2. PROVIDE DETECTABLE WARNING SURFACE FOR FULL WIDTH OF RAMP, LANDING, OR CURB CUT. SEE DETAIL A ON STD DWG ST 5A FOR DETECTABLE WARNING SURFACE DIMENSIONS.
  3. LOCATE DETECTABLE WARNING SURFACE SO THAT THE EDGE NEAREST THE STREET IS 6" TO 8" FROM THE CURB LINE.
  4. WHEN DETECTABLE WARNING SURFACE IS CUT, GRIND REMAINING PORTION OF ANY CUT DOMES. SEAL ALL CUT PANEL EDGES TO PREVENT WATER DAMAGE.
  5. LOCATE CURB CUT WITHIN CROSSWALK.



**NOTE:**  
 1- MAXIMUM 4.0% SLOPE IN CUL-DE-SAC IN ANY DIRECTION  
 2- CUL-DE-SAC DESIGN SHALL COMPLY WITH FIGURE D103.1 OF THE INTERNATIONAL FIRE CODE (MOST RECENT EDITION)

THESE DRAWINGS, OR ANY PORTION THEREOF, SHALL NOT BE USED ON ANY PROJECT OR EXTENSIONS OF THIS PROJECT EXCEPT BY AGREEMENT IN WRITING WITH NORTHERN ENGINEERING, INC.

NO.	REVISIONS	DATE	BY	DATE	DESIGNED BY:	DATE:
5					DRAWN BY:	DATE:
4					CHECKED BY:	DATE:
3					APPROVED:	DATE:
2					COGO FILE:	DATE:
1					REV. COGO FILE:	DATE:



**Northern  
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 ENGINEERING—LAND PLANNING  
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**HARVEST HEIGHTS**

DETAILS  
 SARATOGA SPRINGS, UTAH

JOB NO.  
 3-15-067  
 SHEET NO.  
**DT-01**