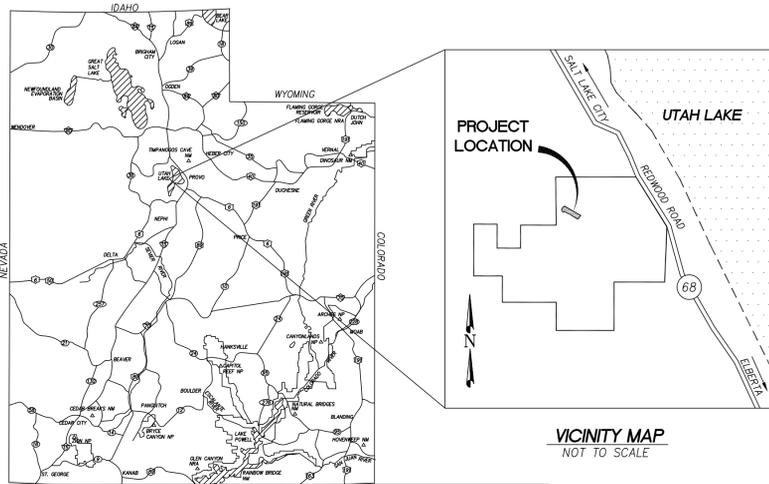
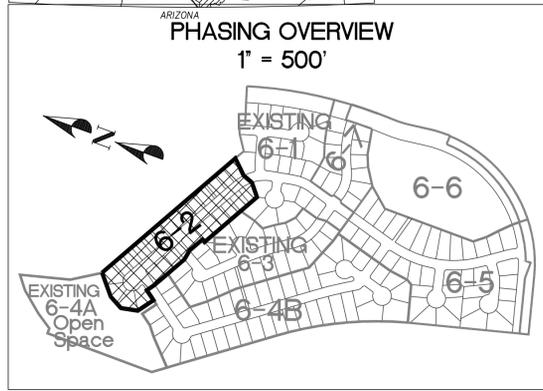


# THE VILLAGE OF FOX HOLLOW NEIGHBORHOOD 6-2

LOCATED IN THE SOUTHWEST QUARTER OF SECTION 12,  
TOWNSHIP 6 SOUTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN.



VICINITY MAP  
NOT TO SCALE



PHASING OVERVIEW  
1" = 500'

### PLAT NOTES

- Plat must be recorded within 24 months of final plat approval by City Council. Final plat approval was granted on the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_\_.
- The installation of improvements shall conform to all city rules, ordinances, requirements, standards, and policies regarding the development of this property.
- Prior to building permits being issued, soil studies may be required on each lot as determined by the city building official.
- Plat may be subject to a master development agreement, development agreement, subdivision agreement, or site plan agreement. See City Recorder for more information.
- Building permits will not be issued until all improvements have been installed and accepted by the city in writing; all improvements currently meet city standards, and bonds are posted by the current owner of the project pursuant to city code.
- All bonds and bond agreements are between the city, developer/owner and financial institution. No other party, including unit or lot owners, shall be deemed a third-party beneficiary or have any rights, including the right to bring any action under any bond or bond agreement.
- The owner of this subdivision and any successors and assigns are responsible for ensuring that impact and connection fees are paid and water rights are secured for each individual lot. No building permits shall be issued for any lot in this subdivision until all impact and connection fees, at the rates in effect when applying for building permit, are paid in full and water rights secured as specified by current city ordinances and fee schedules.
- All open space and trail improvements located herein are to be installed by owner and maintained by Home Owners Association (HOA) unless specifies otherwise on each improvement.
- Any reference herein to owners, developers, or contractors shall apply to successors, agents, and assigns.
- There are no private streets in this development phase.
- Lots area subject to Home Owners Association Bylaws, Articles of Incorporation and CC&R's.
- All pedestrian corridors and medians are to be installed by the developer and maintained by the HOA.

NOTE: Drainage Easement areas are perpetual, non-exclusive, mutual cross drainage easements for purposes of storm water capture and conveyance on, over, upon, and across the areas delineated as Drainage Easements. Each lot encumbered by a drainage easement shall, at its sole cost and expense, maintain and keep all above and below grade infrastructure and appurtenances in a reasonable condition and state of repair. No obstructions or changes in grade shall be located within the easement area that will impede, divert, or cause the runoff to have an adverse effect on adjoining property.

NOTE: BY SIGNING THIS PLAT THE FOLLOWING UTILITY COMPANIES ARE "APPROVING" (per UTAH CODE 10-9A-603(4)(C)(ii)) THE (A) BOUNDARY COURSE, DIMENSIONS, AND INTENDED USE OF THE RIGHT-OF-WAY AND EASEMENTS GRANTS OF RECORD (B) LOCATION OF EXISTING UNDERGROUND AND UTILITY FACILITIES (C) CONDITIONS OR RESTRICTIONS GOVERNING THE LOCATION OF THE FACILITIES WITHIN THE RIGHT-OF-WAY, AND EASEMENT GRANTS OF RECORD, AND UTILITY FACILITIES WITHIN THE SUBDIVISION. "APPROVING" SHALL HAVE THE MEANING IN UTAH CODE SECTION 10-9A-603(4)(C)(ii)

### SURVEYOR'S CERTIFICATE

I, CLIFF PETERSON, do hereby certify that I am a Professional Land Surveyor and that I hold Certificate No. 167172 as prescribed under the laws of the State of Utah, I further certify that a survey has been made of the land shown on this plat and described hereon and have subdivided said tract of land into lots and streets, hereafter to be known as:

THE VILLAGE OF FOX HOLLOW NEIGHBORHOOD 6-2  
and that the same has been correctly surveyed and staked on the ground as shown on this plat.

### BOUNDARY DESCRIPTION

A parcel of land located in the Southwest Quarter of Section 12, Township 6 South, Range 1 West, Salt Lake Base and Meridian, more particularly described as follows:

Beginning at a point 864.15 feet, North 00°17'21" East along the section line and 288.69 feet, South 89°42'39" East from the Southwest Quarter corner of said Section 12, and running thence North 27°56'05" East, 89.28 feet; thence North 49°49'10" East, 150.27 feet; thence South 60°30'32" East, 793.39 feet; thence South 60°28'56" East, 240.88 feet; thence South 43°58'22" West, 112.29 feet; thence South 20°07'56" West, 62.82 feet; thence South 50°32'24" West, 91.28 feet; thence North 60°30'32" West, 406.51 feet; thence North 29°29'28" East, 20.00 feet; thence North 60°30'32" West, 100.00 feet; thence North 80°09'46" West, 59.46 feet; thence North 60°30'32" West, 230.74 feet; thence North 53°55'18" West, 56.00 feet; thence South 36°04'42" West, 70.05 feet; thence North 53°55'18" West, 111.06 feet; thence North 11°26'55" West, 100.96 feet to the point of beginning.

Contains 6.27 acres, more or less.

DATE: \_\_\_\_\_

### OWNER'S DEDICATION

Know all men by these presents that \_\_\_\_\_ the \_\_\_\_\_ undersigned owner(s) of the above described tract of land having caused same to be subdivided into lots and streets to be hereafter known as

### THE VILLAGE OF FOX HOLLOW NEIGHBORHOOD 6-2

do hereby dedicate for the perpetual use of the public and/or City all parcels of land, easements, right-of-way, and public amenities shown on this plat as intended for public and/or City use. The owner(s) voluntarily defend, indemnify, and save harmless the City against any easements or other encumbrance on a dedicated street which will interfere with the City's use, maintenance, and operation of the street. The owner(s) voluntarily defend, indemnify, and hold harmless the City from any damage claimed by persons within or without this subdivision to have been caused by alterations of the ground surface, vegetation, drainage, or surface or sub-surface water flows within this subdivision or by establishment or construction of the roads within this subdivision.  
In witness whereof \_\_\_\_\_ have hereunto set \_\_\_\_\_ this day of \_\_\_\_\_, A.D. 20\_\_\_\_\_

\_\_\_\_\_  
RICHMOND AMERICA HOMES OF UTAH INC

### PREPARED FOR

RICHMOND AMERICA HOMES OF UTAH INC  
4350 S MONACO ST  
DENVER, CO 80237

### ACKNOWLEDGMENT (CORPORATE)

STATE OF UTAH }  
COUNTY OF UTAH } s.s.

ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D. 20\_\_\_\_\_, PERSONALLY APPEARED BEFORE ME \_\_\_\_\_ AND, WHO BEING BY ME DULY SWORN DID SAY EACH FOR HIMSELF, THAT HE, THE SAID \_\_\_\_\_ IS THE PRESIDENT AND HE THE SAID \_\_\_\_\_ IS THE SECRETARY OF \_\_\_\_\_ CORPORATION, AND THAT THE WITHIN AND FOREGOING INSTRUMENT WAS SIGNED IN BEHALF OF SAID CORPORATION BY AUTHORITY OF A RESOLUTION OF ITS BOARD OF DIRECTORS AND SAID \_\_\_\_\_ AND \_\_\_\_\_ EACH DULY ACKNOWLEDGE TO ME THAT SAID CORPORATION EXECUTED THE SAME AND THAT THE SEAL AFFIXED IS THE SEAL OF SAID CORPORATION.

MY COMMISSION EXPIRES: \_\_\_\_\_

NOTARY PUBLIC

### OWNER'S ACKNOWLEDGEMENT

STATE OF UTAH }  
County of Utah } s.s.

On the \_\_\_\_\_ day of \_\_\_\_\_ A.D. 20\_\_\_\_\_, personally appeared before me, the undersigned Notary Public, in and for the County of Utah in said State of Utah, the signer( ) of the above Owner's dedication, \_\_\_\_\_ in number, who duly acknowledged to me that \_\_\_\_\_ signed it freely and voluntarily and for the uses and purposes therein mentioned.  
My commission expires: Notary Public residing at \_\_\_\_\_

MY COMMISSION EXPIRES: \_\_\_\_\_

NOTARY PUBLIC

RESIDING IN \_\_\_\_\_ COUNTY

### BASIS OF BEARINGS

THE PROJECT BASIS OF BEARINGS IS SOUTH 00°17'21" WEST, 2635.18 FEET ALONG THE SECTION LINE BETWEEN THE WEST QUARTER AND SOUTHWEST CORNERS OF SECTION 12, TOWNSHIP 6 SOUTH, RANGE 1 WEST, SALT LAKE BASE & MERIDIAN, AS SHOWN ON "THE VILLAGE OF FOX HOLLOW HOLLOW PLAT '1'", AS RECORDED IN THE OFFICE OF THE UTAH COUNTY RECORDER.

### APPROVAL BY LEGISLATIVE BODY

THE CITY COUNCIL OF CITY OF SARATOGA SPRINGS, COUNTY OF UTAH, APPROVES THIS SUBDIVISION SUBJECT TO THE CONDITIONS AND RESTRICTIONS STATED HEREON AND HEREBY ACCEPTS THE DEDICATION OF ALL STREETS, EASEMENTS, AND OTHER PARCELS OF LAND INTENDED FOR PUBLIC PURPOSES FOR THE PERPETUAL USE OF THE PUBLIC  
THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D. 20\_\_\_\_\_

\_\_\_\_\_  
CITY MAYOR  
\_\_\_\_\_  
CITY RECORDER (SEE SEAL BELOW)

### THE VILLAGE OF FOX HOLLOW NEIGHBORHOOD 6-2 SUBDIVISION PLAT

LOCATED IN THE SOUTHWEST QUARTER OF SECTION 12,  
TOWNSHIP 6 SOUTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN.

<b>QUESTAR GAS COMPANY</b> APPROVED THIS _____ DAY OF _____, A.D. 20_____ QUESTAR GAS COMPANY	<b>ROCKY MOUNTAIN POWER</b> APPROVED THIS _____ DAY OF _____, A.D. 20_____ ROCKY MOUNTAIN POWER
<b>COMCAST CABLE TELEVISION</b> APPROVED THIS _____ DAY OF _____, A.D. 20_____ COMCAST CABLE TELEVISION	<b>QWEST</b> APPROVED THIS _____ DAY OF _____, A.D. 20_____ QWEST

PROJECT ENGINEER:

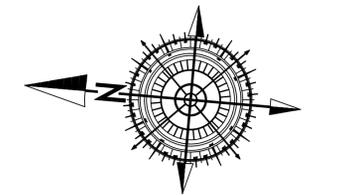
**GATEWAY CONSULTING, Inc.**  
P.O. BOX 951005 SOUTH JORDAN, UT 84095  
PH: (801) 694-5848 FAX: (801) 432-7050  
paul@gatewayconsultingllc.com

CIVIL ENGINEERING • CONSULTING • LAND PLANNING  
CONSTRUCTION MANAGEMENT

SURVEYOR OF RECORD:  <b>CLIFF PETERSON LAND SERVICES</b> - SURVEYING, PLANNING, ENGINEERING - 889 South 1600 East Springville, Utah 84663 (801) 489-3156 - (801) 372-3810 Cliff Peterson P.L.S. #167172	<b>FIRE CHIEF APPROVAL</b> APPROVED BY THE FIRE CHIEF ON THIS _____ DAY OF _____, A.D. 20_____ _____ CITY FIRE CHIEF	<b>PLANNING COMMISSION REVIEW</b> REVIEWED BY THE PLANNING COMMISSION ON THIS _____ DAY OF _____, A.D. 20_____ _____ CHAIRMAN, PLANNING COMMISSION	<b>SARATOGA SPRINGS ENGINEER APPROVAL</b> APPROVED BY THE CITY ENGINEER ON THIS _____ DAY OF _____, A.D. 20_____ _____ CITY ENGINEER	<b>SARATOGA SPRINGS ATTORNEY</b> APPROVED BY SARATOGA SPRINGS ATTORNEY ON THIS _____ DAY OF _____, A.D. 20_____ _____ SARATOGA SPRINGS ATTORNEY	<b>LEHI CITY POST OFFICE</b> APPROVED BY POST OFFICE REPRESENTATIVE ON THIS _____ DAY OF _____, A.D. 20_____ _____ LEHI CITY POST OFFICE
---	---	---	---	--	---

# THE VILLAGE OF FOX HOLLOW NEIGHBORHOOD 6-7

LOCATED IN THE NORTHWEST QUARTER OF SECTION 13,  
TOWNSHIP 6 SOUTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN.



SCALE IN FEET  
1"=50' (24"x36" SIZE ONLY)

### LEGEND

- PHASE BOUNDARY LINE
- - - SECTION LINE
- - - CENTER LINE
- - - P.U.E. LINE
- - - SETBACK LINE
- REBAR AND CAP TO BE SET
- ⊕ NEW FIRE HYDRANT
- ⊕ NEW STREETLIGHT
- ⊕ EXISTING FIRE HYDRANT
- ⊕ EXISTING STREETLIGHT
- DRAINAGE EASEMENT (20' REAR, 10' SIDES) DRAINAGE TO GO OVER SIDEWALK TO STREET.
- 30%-40% SLOPES
- 40%-50% SLOPES
- C156 3165 S 490 W CURVE (SEE CURVE TABLE)
- MONUMENT

STORM WATER IS TO SHEET  
FLOW ACROSS SIDEWALKS  
TO STREET CURB AND  
GUTTER

SEE SHEET 1 FOR  
CURVE AND LINE  
TABLES

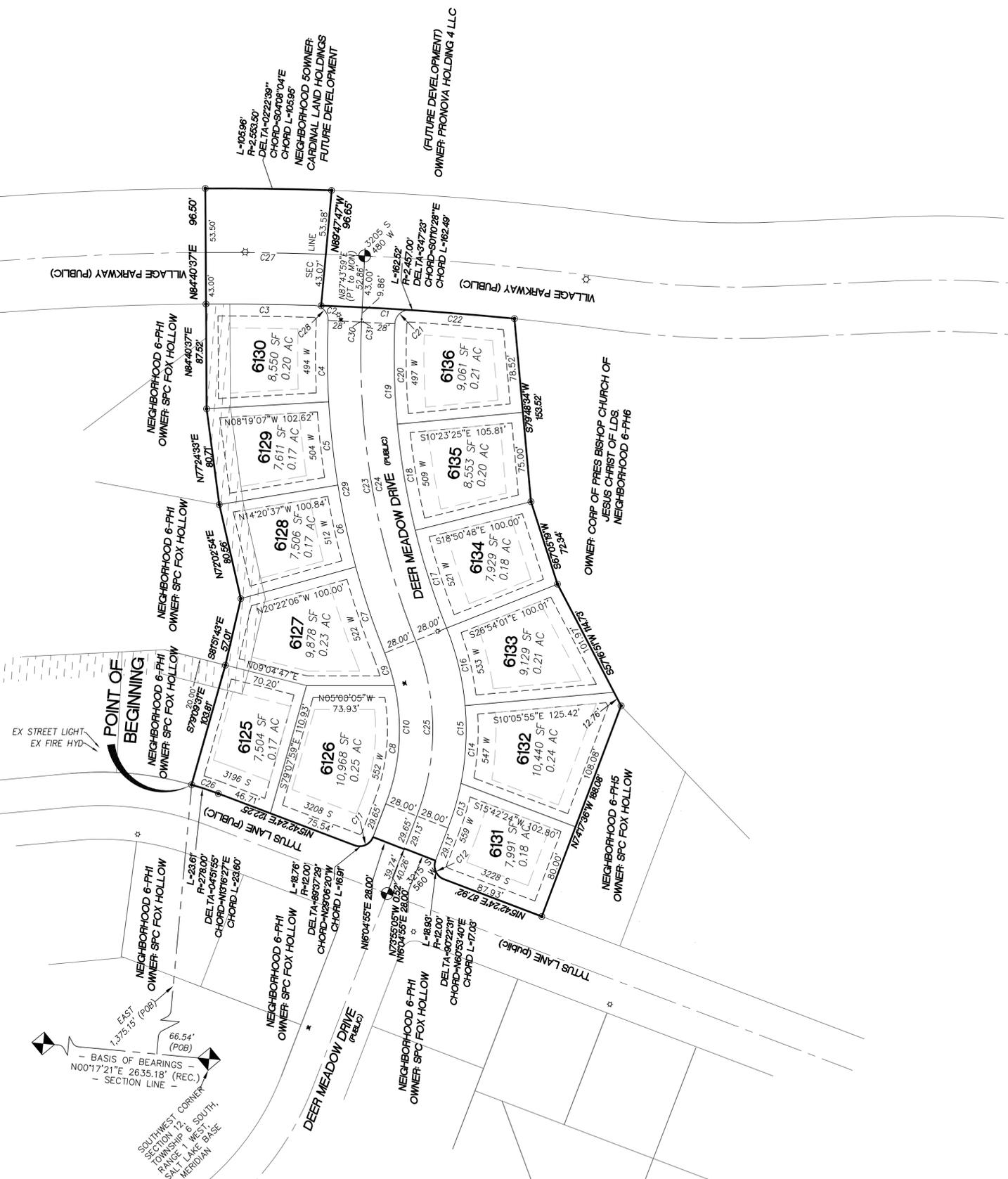
NO SLOPES GREATER THAN  
30% ON THIS PLAT

SURVEYOR OF RECORD:

**CLIFF PETERSON LAND SERVICES**  
- SURVEYING, PLANNING, ENGINEERING -

889 South 1600 East  
Springville, Utah 84663  
(801) 489-3156 - (801) 372-3810

Cliff Peterson P.L.S.  
#167172



EX STREET LIGHT  
EX FIRE HYD

POINT OF  
BEGINNING

EAST  
1,173.15' (POB)  
66.54'  
(POB)  
- BASIS OF BEARINGS -  
N00°17'21"E 2635.18' (REC.)  
- SECTION LINE

SOUTHWEST CORNER  
SECTION 12,  
TOWNSHIP 6 SOUTH,  
RANGE 1 WEST, SALT LAKE  
& MERIDIAN

SHEET NO  
2  
2

PROJECT ENGINEER:



**GATEWAY CONSULTING, inc.**

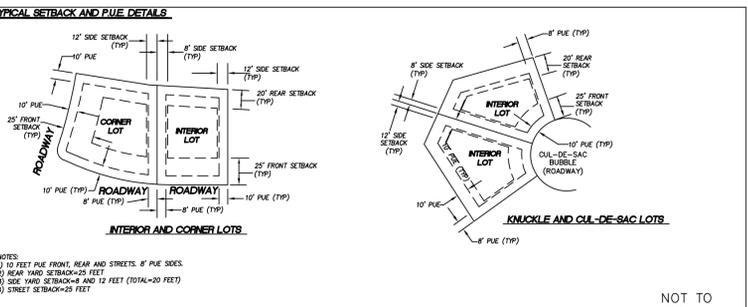
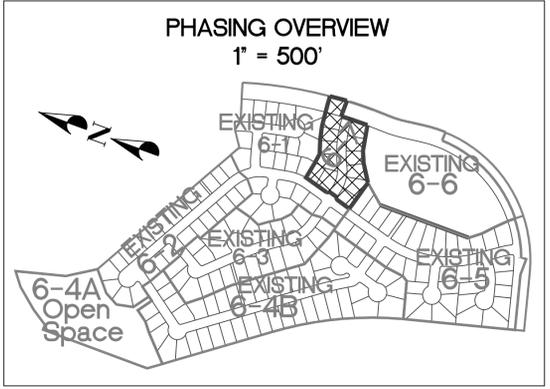
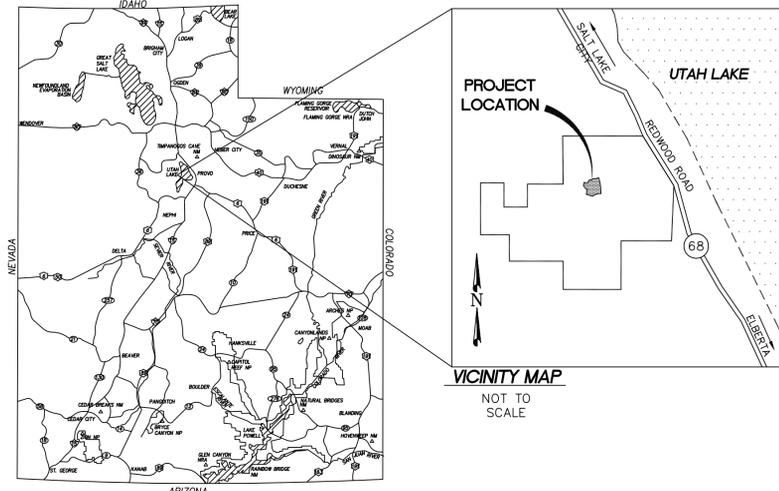
P.O. BOX 951005 SOUTH JORDAN, UT 84095  
PH: (801) 694-5848 FAX: (801) 432-7050  
paul@gatewayconsultingllc.com

CIVIL ENGINEERING • CONSULTING • LAND PLANNING  
CONSTRUCTION MANAGEMENT

# THE VILLAGE OF FOX HOLLOW NEIGHBORHOOD 6-7

LOCATED IN THE NORTHWEST QUARTER OF SECTION 13, AND  
THE SOUTHWEST OF SECTION 12, OF  
TOWNSHIP 6 SOUTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN.

## PRELIMINARY PLAT



<b>QUESTAR GAS COMPANY</b> APPROVED THIS _____ DAY OF _____, A.D. 20____	<b>ROCKY MOUNTAIN POWER</b> APPROVED THIS _____ DAY OF _____, A.D. 20____
<b>QUESTAR GAS COMPANY</b> <b>COMCAST CABLE TELEVISION</b> APPROVED THIS _____ DAY OF _____, A.D. 20____	<b>ROCKY MOUNTAIN POWER</b> <b>QWEST</b> APPROVED THIS _____ DAY OF _____, A.D. 20____
<b>COMCAST CABLE TELEVISION</b> APPROVED THIS _____ DAY OF _____, A.D. 20____	<b>QWEST</b> APPROVED THIS _____ DAY OF _____, A.D. 20____

PROJECT ENGINEER:

**GATEWAY CONSULTING, Inc.**  
 P.O. BOX 951005 SOUTH JORDAN, UT 84095  
 PH: (801) 694-5848 FAX: (801) 432-7050  
 paul@gatewayconsultingllc.com

CIVIL ENGINEERING • CONSULTING • LAND PLANNING  
CONSTRUCTION MANAGEMENT

- PLAT NOTES**
- 1) Plat must be recorded within 24 months of final plat approval by City Council. Final plat approval was granted on the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.
  - 2) The installation of improvements shall conform to all city rules, ordinances, requirements, standards, and policies regarding the development of this property.
  - 3) Prior to building permits being issued, soil studies may be required on each lot as determined by the city building official.
  - 4) Plat may be subject to a master development agreement, development agreement, subdivision agreement, or site plan agreement. See City Recorder for more information.
  - 5) Building permits will not be issued until all improvements have been installed and accepted by the city in writing; all improvements currently meet city standards, and bonds are posted by the current owner of the project pursuant to city code.
  - 6) All bonds and bond agreements are between the city, developer/owner and financial institution. No other party, including unit or lot owners, shall be deemed a third-party beneficiary or have any rights, including the right to bring any action under any bond or bond agreement.
  - 7) The owner of this subdivision and any successors or assigns are responsible for ensuring that impact and connection fees are paid and water rights are secured for each individual lot. No building permits shall be issued for any lot in this subdivision until all impact and connection fees, at the rates in effect when applying for building permit, are paid in full and water rights secured as specified by current city ordinances and fee schedules.
  - 8) All open space and trail improvements located herein are to be installed by owner and maintained by Home Owners Association (HOA) unless specified otherwise on each improvement.
  - 9) Any reference herein to owners, developers, or contractors shall apply to successors, agents, and assigns.
  - 10) There are no private streets in this development phase.
  - 11) Lots area subject to Home Owners Association Bylaws, Articles of Incorporation and CC&R's.
  - 12) All pedestrian corridors and medians are to be installed by the developer and maintained by the HOA.

NOTE: Drainage Easement areas are perpetual, non-exclusive, mutual cross drainage easements for purposes of storm water capture and conveyance on, over, upon, and across the areas delineated as Drainage Easements. Each lot encumbered by a drainage easement shall, at its sole cost and expense, maintain and keep all above and below grade infrastructure and appurtenances in a reasonable condition and state of repair. No obstructions or changes in grade shall be located within the easement area that will impede, divert, or cause the runoff to have an adverse effect on adjoining property.

NOTE: BY SIGNING THIS PLAT THE FOLLOWING UTILITY COMPANIES ARE "APPROVING" (per UTAH CODE 10-9A-603(4)(C)(ii)) THE (A) BOUNDARY COURSE, DIMENSIONS, AND INTENDED USE OF THE RIGHT-OF-WAY AND EASEMENTS GRANTS OF RECORD (B) LOCATION OF EXISTING UNDERGROUND AND UTILITY FACILITIES (C) CONDITIONS OR RESTRICTIONS GOVERNING THE LOCATION OF THE FACILITIES WITHIN THE RIGHT-OF-WAY, AND EASEMENT GRANTS OF RECORD, AND UTILITY FACILITIES WITHIN THE SUBDIVISION. "APPROVING" SHALL HAVE THE MEANING IN UTAH CODE SECTION 10-9A-603(4)(C)(ii)

**BASIS OF BEARINGS**

THE PROJECT BASIS OF BEARINGS IS SOUTH 00°17'21" WEST, 2635.18 FEET ALONG THE SECTION LINE BETWEEN THE WEST QUARTER AND SOUTHWEST CORNERS OF SECTION 12, TOWNSHIP 6 SOUTH, RANGE 1 WEST, SALT LAKE BASE & MERIDIAN, AS SHOWN ON "THE VILLAGE OF FOX HOLLOW HOLLOW PLAT 1", AS RECORDED IN THE OFFICE OF THE UTAH COUNTY RECORDER.

PREPARED FOR  
 SCP FOX HOLLOW LLC  
 1148 W LEGACY CROSSING BLVD  
 Centerville, UT 84104

CURVE	LENGTH	RADIUS	DELTA	TANGENT	CHD BEARING	CHORD
C1	40.20'	2457.00'	0°56'15"	20.10'	N01°47'53"W	40.20'
C2	34.42'	2457.00'	00°48'09"	17.21'	N02°10'05"W	34.42'
C3	90.87'	2457.00'	2°07'08"	45.44'	N04°15'49"W	90.88'
C4	67.92'	666.00'	5°50'36"	33.99'	S84°36'11"W	67.89'
C5	70.03'	666.00'	6°01'29"	35.05'	S78°40'08"W	70.00'
C6	75.93'	666.00'	6°31'55"	38.00'	S66°21'56"W	75.89'
C7	100.55'	172.00'	33°29'37"	51.76'	N89°20'06"E	99.12'
C8	28.48'	172.00'	0°29'19"	14.27'	N67°50'38"E	28.45'
C9	129.03'	172.00'	42°58'56"	67.72'	N84°35'22"E	126.03'
C10	18.77'	12.00'	89°37'29"	11.92'	S29°06'20"E	16.91'
C11	18.93'	12.00'	90°22'31"	12.08'	S60°53'40"W	17.03'
C12	38.96'	228.00'	9°47'25"	19.53'	S78°48'48"E	38.91'
C13	65.22'	228.00'	16°23'25"	32.84'	N88°05'47"E	65.00'
C14	171.04'	228.00'	42°58'56"	89.77'	N84°35'27"E	167.06'
C15	66.86'	228.00'	16°48'06"	33.67'	N71°30'02"E	66.62'
C16	85.74'	610.00'	8°03'13"	42.94'	S67°07'35"W	85.67'
C17	90.03'	610.00'	8°27'23"	45.10'	S75°22'53"W	89.95'
C18	259.74'	610.00'	24°23'49"	131.87'	S75°17'53"W	257.78'
C19	83.97'	610.00'	7°53'13"	42.05'	S83°33'11"W	83.90'
C20	19.10'	12.00'	91°10'27"	12.25'	N46°54'59"W	17.14'
C21	87.90'	2457.00'	2°02'59"	43.95'	N00°18'16"W	87.89'
C22	271.87'	638.00'	24°24'56"	138.03'	S75°19'27"W	269.82'
C23	271.66'	638.00'	24°23'49"	137.92'	S75°17'53"W	269.62'
C24	150.04'	200.00'	42°58'56"	78.75'	N84°35'27"E	146.54'
C25	23.61'	278.00'	4°51'55"	11.81'	N13°16'27"E	23.60'
C26	100.80'	2,500.00'	2°18'36"	50.40'	N04°10'05"W	100.79'
C27	19.00'	12.00'	90°43'43"	12.15'	N42°09'37"E	17.08'
C28	283.91'	666.00'	24°25'29"	144.15'	S75°16'44"W	281.77'
C29	2.42'	638.00'	01°34'04"	2.42'	N87°37'27"E	2.42'
C30	2.63'	638.00'	01°14'12"	1.32'	N87°36'54"E	2.63'

**ACKNOWLEDGMENT (CORPORATE)**

STATE OF UTAH }  
 COUNTY OF UTAH } S.S.

ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 20\_\_\_\_, \_\_\_\_\_ AND, WHO BEING BY ME DULY SWORN DID SAY EACH FOR HIMSELF, THAT HE, THE SAID \_\_\_\_\_ IS THE SECRETARY OF \_\_\_\_\_ CORPORATION, AND THAT THE WITHIN AND FOREGOING INSTRUMENT WAS SIGNED IN BEHALF OF SAID CORPORATION BY AUTHORITY OF A RESOLUTION OF ITS BOARD OF DIRECTORS AND SAID \_\_\_\_\_ AND \_\_\_\_\_ EACH DULY ACKNOWLEDGE TO ME THAT SAID CORPORATION EXECUTED THE SAME AND THAT THE SEAL AFFIXED IS THE SEAL OF SAID CORPORATION.

MY COMMISSION EXPIRES: \_\_\_\_\_ NOTARY PUBLIC

**ACKNOWLEDGMENT (CORPORATE)**

STATE OF UTAH }  
 COUNTY OF UTAH } S.S.

ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 20\_\_\_\_, \_\_\_\_\_ AND, WHO BEING BY ME DULY SWORN DID SAY EACH FOR HIMSELF, THAT HE, THE SAID \_\_\_\_\_ IS THE SECRETARY OF \_\_\_\_\_ CORPORATION, AND THAT THE WITHIN AND FOREGOING INSTRUMENT WAS SIGNED IN BEHALF OF SAID CORPORATION BY AUTHORITY OF A RESOLUTION OF ITS BOARD OF DIRECTORS AND SAID \_\_\_\_\_ AND \_\_\_\_\_ EACH DULY ACKNOWLEDGE TO ME THAT SAID CORPORATION EXECUTED THE SAME AND THAT THE SEAL AFFIXED IS THE SEAL OF SAID CORPORATION.

MY COMMISSION EXPIRES: \_\_\_\_\_ NOTARY PUBLIC

**APPROVAL BY LEGISLATIVE BODY**

THE CITY COUNCIL OF CITY OF SARATOGA SPRINGS, COUNTY OF UTAH, APPROVES THIS SUBDIVISION SUBJECT TO THE CONDITIONS AND RESTRICTIONS STATED HEREON AND HEREBY ACCEPTS THE DEDICATION OF ALL STREETS, EASEMENTS, AND OTHER PARCELS OF LAND INTENDED FOR PUBLIC PURPOSES FOR THE PERPETUAL USE OF THE PUBLIC.

THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 20\_\_\_\_

\_\_\_\_\_  
 CITY MAYOR

\_\_\_\_\_  
 CITY RECORDER (SEE SEAL BELOW)

**SURVEYOR'S CERTIFICATE**

I, CLIFF PETERSON do hereby certify that I am a registered Land Surveyor and that I hold a license, Certificate No. 167172, in accordance with the Professional Engineers and Land Surveyors Licensing Act found in Title 58, Chapter 22 of the Utah Code. I further certify that by authority of the owners, I have made a survey of the tract of land shown on this plat and described below, have subdivided said tract of land into lots, streets, and easements, have completed a survey of the property described on this plat in accordance with Utah Code Section 17-23-17, have verified all measurements, and have placed monuments as represented on the plat. I further certify that every existing right-of-way and easement grant of record for underground facilities, as defined in Utah Code Section 54-8a-2, and for other utility facilities, is accurately described on this plat, and that this plat is true and correct. I also certify that I have filed, or will file within 90 days of the recording of this plat, a map of the survey I have completed with the Utah County Surveyor.

**BOUNDARY DESCRIPTION**

A parcel of land located in the Southwest Quarter of Section 12 and the Northwest Quarter of Section 13, Township 6 South, Range 1 West, Salt Lake Base and Meridian, more particularly described as follows:

Beginning at a point 66.54 feet, N 00°17'21" E along the section line and East 1,375.15 feet from the Southwest Quarter corner of said Section 12, and running thence S 79°09'31" E 103.81 feet; thence S 81°51'43" E 57.01 feet; thence N 72°02'54" E 80.56, thence N 77°24'33" E 80.71 feet; thence N 84°40'37" E 87.52, thence N 84°40'37" E 96.50 feet to a 2553.50-foot radius curve to the right; thence along said curve 105.96 feet through a delta of 02°22'39" (chord bears S 04°08'04" E 105.95 feet); thence N 89°47'47" W 96.65 feet; to a 2,457.00-foot radius curve to the right; thence along said curve 162.52 feet through a delta of 03°47'23" (chord bears S 01°10'28" E 162.49 feet); thence S 79°48'34" W 153.52 feet; thence S 67°05'09" W 72.34 feet; thence S 5°16'51" W 114.73 feet; thence N 74°17'36" W 188.08 feet; thence N 15°42'24" E 87.92 feet to a 12.00-foot radius curve to the right; thence along said curve 18.93 feet through a delta of 90°22'31" (chord bears N 60°53'40" E 17.03 feet); thence N 16°04'55" E 28.00 feet, thence N 73°55'05" W 0.52 feet, thence N 16°04'55" E 28.00 feet to a 12.00-foot radius curve to the right; thence along said curve 18.76 feet through a delta of 89°37'29" (chord bears N 29°06'20" W 16.91 feet); thence N 15°42'24" E 122.25 to a 278.00-foot radius curve to the left; thence along said curve 23.61 feet through a delta of 04°51'55" (chord bears N 13°16'27" E 23.60 feet) the point of beginning.

Contains 3.23 acres, more or less.

SURVEYOR NAME \_\_\_\_\_ LICENSE No. \_\_\_\_\_ DATE: \_\_\_\_\_

**OWNER'S DEDICATION**

Know all men by these presents that \_\_\_\_\_ the undersigned owner(s) of the above described tract of land having caused same to be subdivided into lots and streets to be hereafter known as **THE VILLAGE OF FOX HOLLOW NEIGHBORHOOD 6-7**

do hereby dedicate for the perpetual use of the public and/or City all parcels of land, easements, right-of-way, and public amenities shown on this plat as intended for public and/or City use. The owner(s) voluntarily defend, indemnify, and save harmless the City against any easements or other encumbrance on a dedicated street which will interfere with the City's use, maintenance, and operation of the street. The owner(s) voluntarily defend, indemnify, and hold harmless the City from any damage claimed by persons within or without this subdivision to have been caused by alterations of the ground surface, vegetation, drainage, or surface or sub-surface water flows within this subdivision or by establishment or construction of the roads within this subdivision.

In witness whereof \_\_\_\_\_ have hereunto set \_\_\_\_\_ this day of \_\_\_\_\_, A.D. 20\_\_\_\_

\_\_\_\_\_  
 SCP FOX HOLLOW LLC

\_\_\_\_\_  
 CARDINAL LAND HOLDINGS IV LLC

**OWNER'S ACKNOWLEDGEMENT**

STATE OF UTAH }  
 County of Utah }

On the \_\_\_\_\_ day of \_\_\_\_\_, A.D. 20\_\_\_\_, \_\_\_\_\_ personally appeared before me, the undersigned Notary Public, in and for the County of Utah in said State of Utah, the signer( ) of the above Owner's dedication, \_\_\_\_\_ in number, who duly acknowledged to me that \_\_\_\_\_ signed it freely and voluntarily and for the uses and purposes therein mentioned.

My commission expires: Notary Public residing at \_\_\_\_\_

MY COMMISSION EXPIRES: \_\_\_\_\_ NOTARY PUBLIC  
 RESIDING IN \_\_\_\_\_ COUNTY

**APPROVAL BY LEGISLATIVE BODY**

THE CITY COUNCIL OF CITY OF SARATOGA SPRINGS, COUNTY OF UTAH, APPROVES THIS SUBDIVISION SUBJECT TO THE CONDITIONS AND RESTRICTIONS STATED HEREON AND HEREBY ACCEPTS THE DEDICATION OF ALL STREETS, EASEMENTS, AND OTHER PARCELS OF LAND INTENDED FOR PUBLIC PURPOSES FOR THE PERPETUAL USE OF THE PUBLIC.

THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 20\_\_\_\_

\_\_\_\_\_  
 CITY MAYOR

\_\_\_\_\_  
 CITY RECORDER (SEE SEAL BELOW)

**THE VILLAGE OF FOX HOLLOW NEIGHBORHOOD 6-7 SUBDIVISION PLAT**

LOCATED IN THE SOUTHWEST QUARTER OF SECTION 12 AND THE NORTHWEST QUARTER OF SECTION 13, TOWNSHIP 6 SOUTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN, SARATOGA SPRINGS CITY, UTAH COUNTY, UTAH

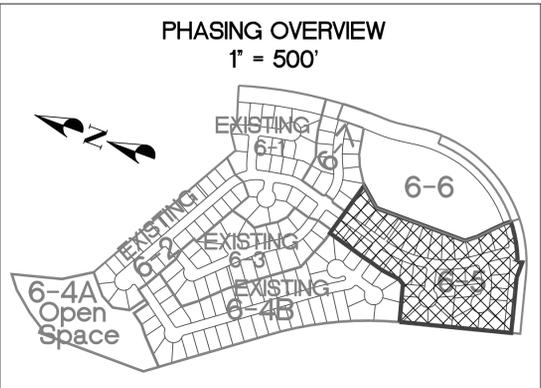
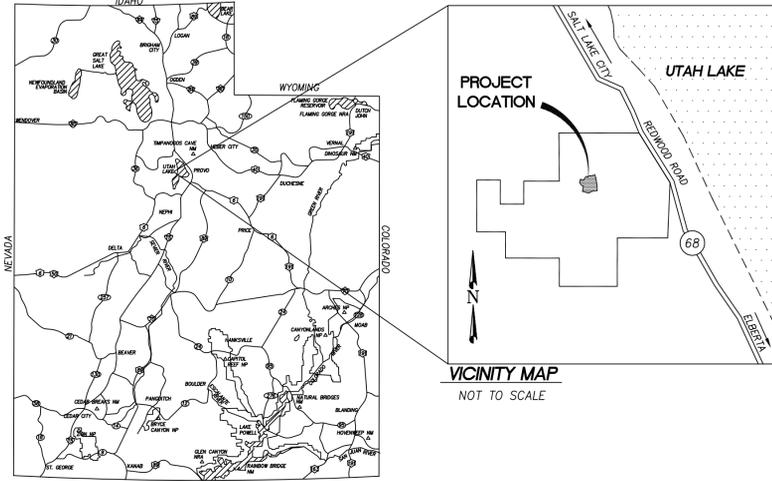
SURVEYOR OF RECORD: <b>CLIFF PETERSON LAND SERVICES</b> - SURVEYING, PLANNING, ENGINEERING - 889 South 1600 East Springville, Utah 84663 (801) 489-3156 - (801) 372-3810 Cliff Peterson P.L.S. #167172	<b>FIRE CHIEF APPROVAL</b> APPROVED BY THE FIRE CHIEF ON THIS _____ DAY OF _____, A.D. 20____ _____ CITY FIRE CHIEF	<b>PLANNING COMMISSION REVIEW</b> REVIEWED BY THE PLANNING COMMISSION ON THIS _____ DAY OF _____, A.D. 20____ _____ CHAIRMAN, PLANNING COMMISSION	<b>SARATOGA SPRINGS ENGINEER APPROVAL</b> APPROVED BY THE CITY ENGINEER ON THIS _____ DAY OF _____, A.D. 20____ _____ CITY ENGINEER	<b>SARATOGA SPRINGS ATTORNEY</b> APPROVED BY SARATOGA SPRINGS ATTORNEY ON THIS _____ DAY OF _____, A.D. 20____ _____ SARATOGA SPRINGS ATTORNEY	<b>LEHI CITY POST OFFICE</b> APPROVED BY POST OFFICE REPRESENTATIVE ON THIS _____ DAY OF _____, A.D. 20____ _____ LEHI CITY POST OFFICE	SURVEYOR'S SEAL NOTARY PUBLIC SEAL CITY ENGINEER'S SEAL CLERK-RECORDER SEAL
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# THE VILLAGE OF FOX HOLLOW NEIGHBORHOOD 6-5

LOCATED IN THE NORTHWEST QUARTER OF SECTION 13,  
TOWNSHIP 6 SOUTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN.

# FINAL PLAT



**PLAT NOTES**

- Plat must be recorded within 24 months of final plat approval by City Council. Final plat approval was granted on the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_\_.
- The installation of improvements shall conform to all city rules, ordinances, requirements, standards, and policies regarding the development of this property.
- Prior to building permits being issued, soil studies may be required on each lot as determined by the city building official.
- Plat may be subject to a master development agreement, development agreement, subdivision agreement, or site plan agreement. See City Recorder for more information.
- Building permits will not be issued until all improvements have been installed and accepted by the city in writing; all improvements currently meet city standards, and bonds are posted by the current owner of the project pursuant to city code.
- All bonds and bond agreements are between the city, developer/owner and financial institution. No other party, including unit or lot owners, shall be deemed a third-party beneficiary or have any rights, including the right to bring any action under any bond or bond agreement.
- The owner of this subdivision and any successors and assigns are responsible for ensuring that impact and connection fees are paid and water rights are secured for each individual lot. No building permits shall be issued for any lot in this subdivision until all impact and connection fees, at the rates in effect when applying for building permit, are paid in full and water rights secured as specified by current city ordinances and fee schedules.
- All open space and trail improvements located herein are to be installed by owner and maintained by Home Owners Association (HOA) unless specifies otherwise on each improvement.
- Any reference herein to owners, developers, or contractors shall apply to successors, agents, and assigns.
- There are no private streets in this development phase.
- Lots area subject to Home Owners Association Bylaws, Articles of Incorporation and CC&R's.
- All pedestrian corridors and medians are to be installed by the developer and maintained by the HOA.

NOTE: Drainage Easement areas are perpetual, non-exclusive, mutual cross drainage easements for purposes of storm water capture and conveyance on, over, upon, and across the areas delineated as Drainage Easements. Each lot encumbered by a drainage easement shall, at its sole cost and expense, maintain and keep all above and below grade infrastructure and appurtenances in a reasonable condition and state of repair. No obstructions or changes in grade shall be located within the easement area that will impede, divert, or cause the runoff to have an adverse effect on adjoining property.

NOTE: BY SIGNING THIS PLAT THE FOLLOWING UTILITY COMPANIES ARE "APPROVING" (per UTAH CODE 10-9A-603(4)(C)(i)) THE (A) BOUNDARY COURSE, DIMENSIONS, AND INTENDED USE OF THE RIGHT-OF-WAY AND EASEMENTS GRANTS OF RECORD (B) LOCATION OF EXISTING UNDERGROUND AND UTILITY FACILITIES (C) CONDITIONS OR RESTRICTIONS GOVERNING THE LOCATION OF THE FACILITIES WITHIN THE RIGHT-OF-WAY, AND EASEMENT GRANTS OF RECORD, AND UTILITY FACILITIES WITHIN THE SUBDIVISION. "APPROVING" SHALL HAVE THE MEANING IN UTAH CODE SECTION 10-9A-603(4)(C)(i)

CENTERLINE CURVE TABLE						
CURVE	LENGTH	RADIUS	DELTA	TANGENT	CHD BEARING	CHORD
C1	318.26'	638.00'	28°34'53"	162.51'	S01°24'58"W	314.97'
C2	18.39'	638.00'	1°39'06"	9.20'	S14°52'51"W	18.39'
C3	262.21'	638.00'	23°32'51"	132.98'	S02°16'53"W	260.36'
C4	37.66'	638.00'	3°22'56"	18.84'	S11°11'01"E	37.66'
C5	243.67'	638.00'	21°52'57"	123.34'	S23°48'57"E	242.19'
C6	37.66'	638.00'	3°22'56"	18.84'	S14°33'57"E	37.66'
C7	208.00'	638.00'	18°30'01"	103.91'	S25°30'26"E	205.11'
C8	88.60'	250.00'	20°18'20"	44.77'	N65°23'44"E	88.14'
C9	44.32'	250.00'	10°09'29"	22.22'	N29°40'42"W	44.26'
C10	139.50'	750.00'	10°39'26"	69.95'	N58°46'22"E	139.30'
C11	43.19'	750.00'	3°17'58"	21.60'	N63°45'04"E	43.18'
C12	84.28'	750.00'	6°26'20"	42.19'	N72°19'44"E	84.24'
C13	43.19'	750.00'	3°17'58"	21.60'	N67°03'02"E	43.18'
C14	89.64'	750.00'	6°50'53"	44.87'	N72°02'22"E	89.59'

BASIS OF BEARINGS						
CURVE	LENGTH	RADIUS	DELTA	TANGENT	CHD BEARING	CHORD
C1	318.26'	638.00'	28°34'53"	162.51'	S01°24'58"W	314.97'
C2	18.39'	638.00'	1°39'06"	9.20'	S14°52'51"W	18.39'
C3	262.21'	638.00'	23°32'51"	132.98'	S02°16'53"W	260.36'
C4	37.66'	638.00'	3°22'56"	18.84'	S11°11'01"E	37.66'
C5	243.67'	638.00'	21°52'57"	123.34'	S23°48'57"E	242.19'
C6	37.66'	638.00'	3°22'56"	18.84'	S14°33'57"E	37.66'
C7	208.00'	638.00'	18°30'01"	103.91'	S25°30'26"E	205.11'
C8	88.60'	250.00'	20°18'20"	44.77'	N65°23'44"E	88.14'
C9	44.32'	250.00'	10°09'29"	22.22'	N29°40'42"W	44.26'
C10	139.50'	750.00'	10°39'26"	69.95'	N58°46'22"E	139.30'
C11	43.19'	750.00'	3°17'58"	21.60'	N63°45'04"E	43.18'
C12	84.28'	750.00'	6°26'20"	42.19'	N72°19'44"E	84.24'
C13	43.19'	750.00'	3°17'58"	21.60'	N67°03'02"E	43.18'
C14	89.64'	750.00'	6°50'53"	44.87'	N72°02'22"E	89.59'

**PREPARED FOR**  
SCP FOX HOLLOW LLC  
1148 W LEGACY CROSSING BLVD  
Centerville, Ut 84104

LOT LINE CURVE TABLE						
CURVE	LENGTH	RADIUS	DELTA	TANGENT	CHD BEARING	CHORD
C100	10.95'	610.00'	1°01'42"	5.47'	N15°11'33"E	10.95'
C101	18.85'	12.00'	90°00'00"	12.00'	N60°42'24"E	16.97'
C102	18.50'	12.00'	88°20'54"	11.66'	N30°07'09"W	16.72'
C103	273.71'	666.00'	2°33'21"	138.82'	S02°16'53"W	271.79'
C104	68.60'	666.00'	5°54'05"	34.33'	S11°06'15"W	68.57'
C105	64.24'	666.00'	5°31'36"	32.14'	S05°23'25"W	64.22'
C106	71.71'	666.00'	6°10'09"	35.89'	S00°27'28"E	71.68'
C107	69.16'	666.00'	5°57'01"	34.61'	S06°31'03"E	69.13'
C108	18.14'	12.00'	86°37'04"	11.31'	N33°48'59"E	16.46'
C109	18.14'	12.00'	86°37'04"	11.31'	N59°33'27"W	16.46'
C110	215.05'	666.00'	18°30'01"	108.47'	S25°30'26"E	214.11'
C111	89.49'	666.00'	7°41'55"	44.81'	S20°06'22"E	89.42'
C112	70.03'	666.00'	6°01'29"	35.05'	S26°58'04"E	70.00'
C113	55.53'	666.00'	4°46'37"	27.78'	S32°22'08"E	55.51'
C114	526.32'	610.00'	49°26'08"	280.80'	S10°02'22"E	510.14'
C115	96.21'	610.00'	9°02'13"	48.21'	S10°09'36"W	96.11'
C116	83.76'	610.00'	7°52'01"	41.94'	S01°42'28"W	83.69'
C117	81.81'	610.00'	7°41'11"	40.88'	S06°04'07"E	81.77'
C118	81.88'	610.00'	7°41'25"	41.00'	S13°45'25"E	81.81'
C119	81.91'	610.00'	7°41'36"	41.01'	S21°26'55"E	81.84'
C120	82.22'	610.00'	7°43'23"	41.17'	S29°09'24"E	82.16'
C121	18.51'	610.00'	1°44'20"	9.26'	S33°53'16"E	18.51'
C122	18.85'	12.00'	90°00'00"	12.00'	M10°43'44"E	16.97'
C123	18.50'	12.00'	88°20'54"	11.66'	N30°07'09"W	16.72'
C124	98.52'	278.00'	20°18'20"	49.28'	N65°23'44"E	98.01'
C125	31.51'	278.00'	6°29'36"	15.77'	N58°29'22"E	31.49'
C126	67.02'	278.00'	13°48'44"	33.67'	N68°38'32"E	66.85'
C127	78.68'	222.00'	20°18'20"	39.76'	N65°23'44"E	78.27'
C128	63.52'	222.00'	16°23'33"	31.98'	N63°26'21"E	63.30'
C129	16.16'	222.00'	3°54'47"	7.58'	N73°35'31"E	15.16'
C130	16.51'	12.00'	78°44'43"	9.86'	S05°02'44"E	15.24'
C131	248.44'	55.00'	258°48'43"	66.94'	S24°57'16"W	84.98'
C132	31.49'	55.00'	32°48'04"	16.19'	N42°02'25"W	31.06'
C133	76.08'	55.00'	79°15'16"	45.54'	S81°55'55"W	70.16'
C134	54.48'	55.00'	56°45'23"	29.71'	S13°55'36"W	52.28'
C135	52.10'	55.00'	54°16'28"	28.19'	S41°35'20"E	50.17'
C136	38.29'	55.00'	35°43'32"	17.73'	S86°35'20"E	33.74'
C137	39.36'	222.00'	10°09'29"	19.73'	N29°40'42"W	39.31'
C138	49.29'	278.00'	10°09'29"	24.71'	N29°40'42"W	49.22'
C139	19.54'	12.00'	93°17'58"	12.71'	S71°14'56"E	17.45'
C140	19.54'	12.00'	93°17'58"	12.71'	N22°03'02"E	17.45'
C141	131.50'	707.00'	10°39'26"	65.94'	N56°46'22"E	131.32'
C142	84.50'	707.00'	6°50'53"	42.30'	N72°02'22"E	84.45'
C143	83.23'	707.00'	6°44'41"	41.66'	N72°04'21"E	83.18'
C144	1.28'	707.00'	0°06'11"	0.64'	N75°29'48"E	1.28'
C145	1.92'	2090.00'	0°03'09"	0.96'	N14°28'41"W	1.92'
C146	13.31'	2090.00'	0°21'53"	6.65'	N14°41'12"W	13.31'
C147	11.17'	12.00'	53°20'37"	6.03'	S76°12'10"E	10.77'
C148	11.17'	12.00'	53°20'37"	6.03'	S50°27'13"W	10.77'
C149	275.20'	55.00'	286°41'14"	40.93'	S12°52'29"E	65.67'
C150	53.41'	55.00'	55°38'23"	29.02'	N72°01'03"W	51.34'
C151	45.37'	55.00'	47°15'32"	24.06'	S51°15'59"W	44.09'
C152	45.37'	55.00'	47°15'32"	24.06'	S03°56'28"W	44.09'
C153	45.37'	55.00'	47°15'32"	24.06'	S43°19'04"E	44.09'
C154	45.37'	55.00'	47°15'32"	24.06'	N89°25'25"E	44.09'
C155	40.33'	55.00'	42°00'45"	21.12'	N44°47'17"E	39.43'

**ACKNOWLEDGMENT (CORPORATE)**

STATE OF UTAH }  
COUNTY OF UTAH } s.s.

ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 20\_\_\_\_\_, PERSONALLY APPEARED BEFORE ME \_\_\_\_\_ AND, WHO BEING BY ME DULY SWORN DID SAY EACH FOR HIMSELF, THAT HE, THE SAID \_\_\_\_\_ IS THE PRESIDENT AND HE THE SAID \_\_\_\_\_ IS THE SECRETARY OF \_\_\_\_\_ CORPORATION, AND THAT THE WITHIN AND FOREGOING INSTRUMENT WAS SIGNED IN BEHALF OF SAID CORPORATION BY AUTHORITY OF A RESOLUTION OF ITS BOARD OF DIRECTORS AND SAID \_\_\_\_\_ AND \_\_\_\_\_ EACH DULY ACKNOWLEDGE TO ME THAT SAID CORPORATION EXECUTED THE SAME AND THAT THE SEAL AFFIXED IS THE SEAL OF SAID CORPORATION.

MY COMMISSION EXPIRES: \_\_\_\_\_ NOTARY PUBLIC

**ACKNOWLEDGMENT (CORPORATE)**

STATE OF UTAH }  
COUNTY OF UTAH } s.s.

ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 20\_\_\_\_\_, PERSONALLY APPEARED BEFORE ME \_\_\_\_\_ AND, WHO BEING BY ME DULY SWORN DID SAY EACH FOR HIMSELF, THAT HE, THE SAID \_\_\_\_\_ IS THE PRESIDENT AND HE THE SAID \_\_\_\_\_ IS THE SECRETARY OF \_\_\_\_\_ CORPORATION, AND THAT THE WITHIN AND FOREGOING INSTRUMENT WAS SIGNED IN BEHALF OF SAID CORPORATION BY AUTHORITY OF A RESOLUTION OF ITS BOARD OF DIRECTORS AND SAID \_\_\_\_\_ AND \_\_\_\_\_ EACH DULY ACKNOWLEDGE TO ME THAT SAID CORPORATION EXECUTED THE SAME AND THAT THE SEAL AFFIXED IS THE SEAL OF SAID CORPORATION.

MY COMMISSION EXPIRES: \_\_\_\_\_ NOTARY PUBLIC

**ACKNOWLEDGMENT (CORPORATE)**

STATE OF UTAH }  
COUNTY OF UTAH } s.s.

ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 20\_\_\_\_\_, PERSONALLY APPEARED BEFORE ME \_\_\_\_\_ AND, WHO BEING BY ME DULY SWORN DID SAY EACH FOR HIMSELF, THAT HE, THE SAID \_\_\_\_\_ IS THE PRESIDENT AND HE THE SAID \_\_\_\_\_ IS THE SECRETARY OF \_\_\_\_\_ CORPORATION, AND THAT THE WITHIN AND FOREGOING INSTRUMENT WAS SIGNED IN BEHALF OF SAID CORPORATION BY AUTHORITY OF A RESOLUTION OF ITS BOARD OF DIRECTORS AND SAID \_\_\_\_\_ AND \_\_\_\_\_ EACH DULY ACKNOWLEDGE TO ME THAT SAID CORPORATION EXECUTED THE SAME AND THAT THE SEAL AFFIXED IS THE SEAL OF SAID CORPORATION.

MY COMMISSION EXPIRES: \_\_\_\_\_ NOTARY PUBLIC

**SURVEYOR'S CERTIFICATE**

I, CLIFF PETERSON, do hereby certify that I am a registered Land Surveyor and that I hold a license, Certificate No. 162172, in accordance with the Professional Engineers and Land Surveyors Licensing Act found in Title 58, Chapter 22 of the Utah Code. I further certify that by authority of the owners, I have made a survey of the tract of land shown on this plat and described below, have subdivided said tract of land into lots, streets, and easements, have completed a survey of the property described on this plat in accordance with Utah Code Section 17-2-317, have verified all measurements, and have placed monuments as represented on the plat. I further certify that every existing right-of-way and easement grant of record for underground facilities, as defined in Utah Code Section 54-8a-2, and for other utility facilities, is accurately described on this plat, and that this plat is true and correct. It also certifies that I have filed, or will file within 90 days of the recordation of this plat, a map of the survey I have completed with the Utah County Surveyor.

**BOUNDARY DESCRIPTION**

A parcel of land located in the Northwest Quarter of Section 13, Township 6 South, Range 1 West, Salt Lake Base and Meridian, more particularly described as follows:

Beginning at a point 753.85 feet, S 00°11'07" W along the section line and 793.92 feet, S 89°48'53" E from the Northwest Quarter corner of said Section 13, and running thence N 75°07'51" E, 224.10 feet; thence N 31°06'31" E, 36.46 feet; thence N 07°32'26" E, 111.97 feet; thence N 15°42'24" E, 60.00 feet; thence N 13°20'58" E, 56.05 feet; thence N 15°42'24" E, 241.62 feet; thence S 73°53'05" E, 156.00 feet; thence S 74°17'36" E, 188.08 feet; thence S 40°53'07" W, 151.00 feet; thence S 00°13'43" W, 554.54 feet; thence S 38°14'05" E, 81.93 feet; thence S 46°43'14" E, 80.00 feet; thence S 44°39'53" E, 89.61 feet; thence S 38°33'21" E, 43.00 feet to a 750.00-foot radius curve to the right; thence along arc of said curve 231.24' through a delta of 17°39'55" (chord bears S 60°16'37" W 230.32 feet) to the 1/4 1/4 section line, thence along said section line S 00°13'35" W 31.11 feet to the center corner of the NW 1/4 of the NW 1/4, thence along said section line N 89°45'00" W 99.94 feet; thence S 73°32'54" W 523.64 feet; thence N 14°27'06" W, 646.90 feet to the point of curvature with a 2090.00-foot radius curve to the left; thence along arc of said curve 15.23 feet through a delta of 00°25'03" (chord bears N 14°39'37" W, 15.23 feet) to the point of beginning.

Contains 11.70 acres, more or less.

SURVEYOR NAME	LICENSE No.	DATE:
_____	_____	_____

**OWNER'S DEDICATION**

Know all men by these presents that \_\_\_\_\_ the \_\_\_\_\_ undersigned owner(s) of the above described tract of land having caused same to be subdivided into lots and streets to be hereafter known as **THE VILLAGE OF FOX HOLLOW NEIGHBORHOOD 6-5**

do hereby dedicate for the perpetual use of the public and/or City all parcels of land, easements, right-of-way, and public amenities shown on this plat as intended for public and/or City use. The owner(s) voluntarily defend, indemnify, and save harmless the City against any easements or other encumbrance on a dedicated street which will interfere with the City's use, maintenance, and operation of the street. The owner(s) voluntarily defend, indemnify, and hold harmless the City from any damage claimed by persons within or without this subdivision to have been caused by alterations of the ground surface, vegetation, drainage, or surface or sub-surface water flows within this subdivision or by establishment or construction of the roads within this subdivision.

In witness whereof \_\_\_\_\_ have hereunto set \_\_\_\_\_ this day of \_\_\_\_\_, A.D. 20\_\_\_\_\_.  
\_\_\_\_\_ SCP FOX HOLLOW LLC  
\_\_\_\_\_ CARDINAL LAND HOLDINGS IV LLC

**OWNER'S ACKNOWLEDGEMENT**

STATE OF UTAH } s.s.  
County of Utah }

On the \_\_\_\_\_ day of \_\_\_\_\_, A.D. 20\_\_\_\_\_, personally appeared before me, the undersigned Notary Public, in and for the County of Utah in said State of Utah, the signer(s) of the above Owner's dedication, \_\_\_\_\_ in number, who duly acknowledged to me that \_\_\_\_\_ signed it freely and voluntarily and for the uses and purposes therein mentioned.

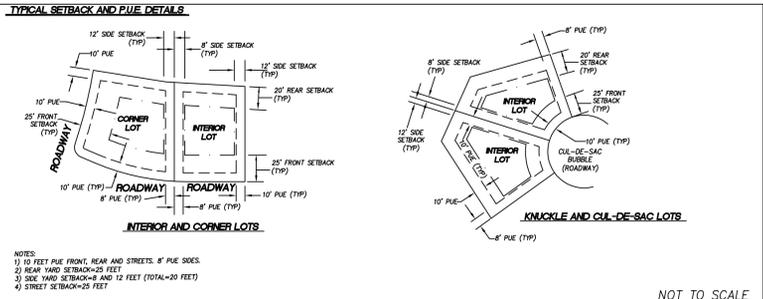
My commission expires: Notary Public residing at \_\_\_\_\_ NOTARY PUBLIC  
RESIDING IN \_\_\_\_\_ COUNTY

**APPROVAL BY LEGISLATIVE BODY**

THE CITY COUNCIL OF CITY OF SARATOGA SPRINGS, COUNTY OF UTAH, APPROVES THIS SUBDIVISION SUBJECT TO THE CONDITIONS AND RESTRICTIONS STATED HEREON AND HEREBY ACCEPTS THE DEDICATION OF ALL STREETS, EASEMENTS, AND OTHER PARCELS OF LAND INTENDED FOR PUBLIC PURPOSES FOR THE PERPETUAL USE OF THE PUBLIC THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 20\_\_\_\_\_.  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
CITY MAYOR \_\_\_\_\_ CITY RECORDER (SEE SEAL BELOW)

**THE VILLAGE OF FOX HOLLOW  
NEIGHBORHOOD 6-5  
SUBDIVISION PLAT**

LOCATED IN THE NORTHWEST QUARTER OF SECTION 12  
AND THE NORTHWEST QUARTER OF SECTION 13,  
TOWNSHIP 6 SOUTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN.  
SARATOGA SPRINGS CITY, UTAH COUNTY, UTAH



<b>QUESTAR GAS COMPANY</b> APPROVED THIS _____ DAY OF _____, A.D. 20_____	<b>ROCKY MOUNTAIN POWER</b> APPROVED THIS _____ DAY OF _____, A.D. 20_____
<b>QUESTAR GAS COMPANY</b>	<b>ROCKY MOUNTAIN POWER</b>
<b>COMCAST CABLE TELEVISION</b> APPROVED THIS _____ DAY OF _____, A.D. 20_____	<b>QWEST</b> APPROVED THIS _____ DAY OF _____, A.D. 20_____
<b>COMCAST CABLE TELEVISION</b>	<b>QWEST</b>

PROJECT ENGINEER: **GATEWAY CONSULTING, inc.**  
P.O. BOX 951005 SOUTH JORDAN, UT 84095  
PH: (801) 694-5848 FAX: (801) 432-7050  
paul@gatewayconsultingllc.com

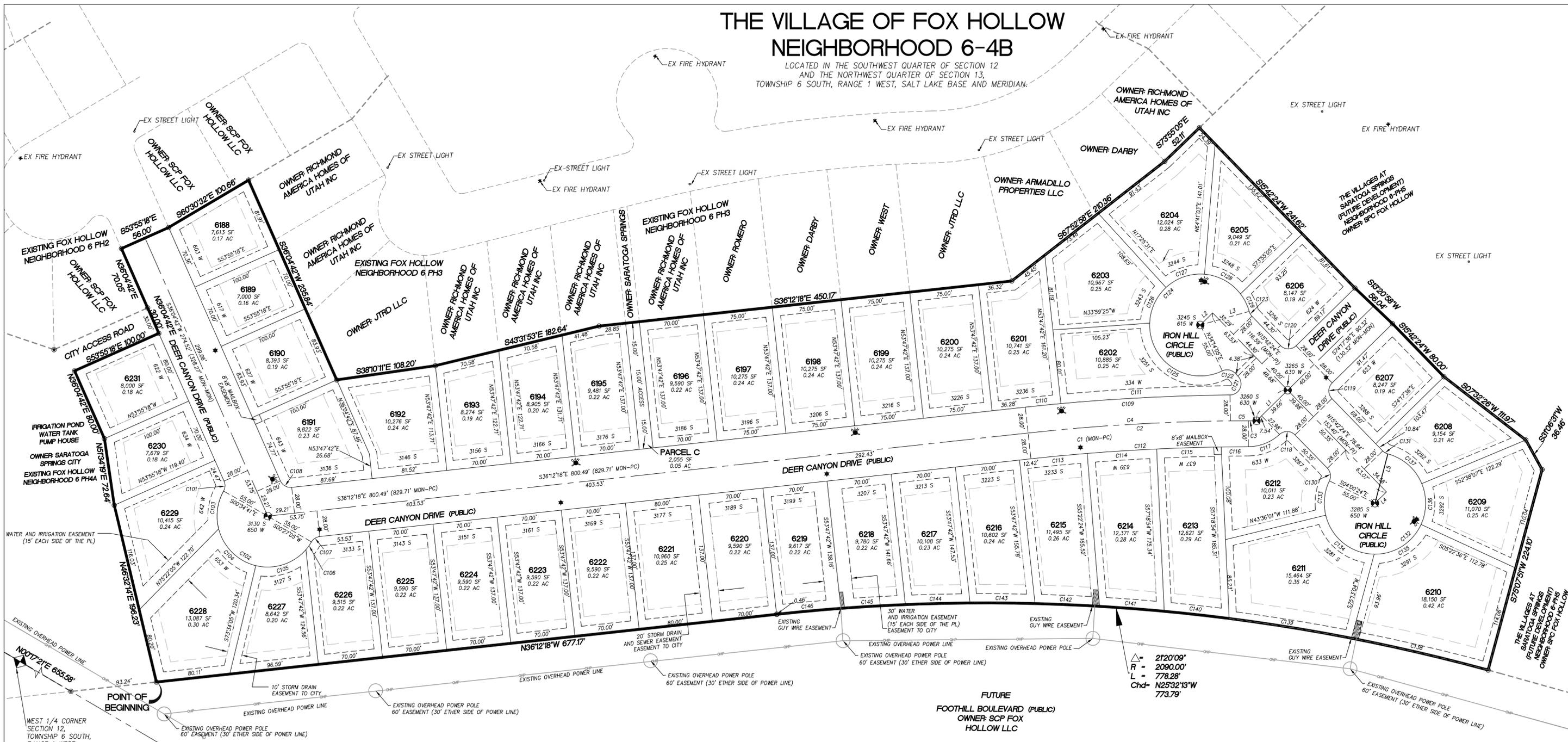
**CIVIL ENGINEERING • CONSULTING • LAND PLANNING  
CONSTRUCTION MANAGEMENT**

**SURVEYOR OF RECORD:**  
**CLIFF PETERSON LAND SERVICES**  
- SURVEYING, PLANNING, ENGINEERING -  
889 South 1600 East  
Springville, Utah 84663  
(801) 489-3156 - (801) 372-3810  
Cliff Peterson P.L.S.  
#167172

<b>FIRE CHIEF APPROVAL</b> APPROVED BY THE FIRE CHIEF ON THIS _____ DAY OF _____, A.D. 20_____ _____ CITY FIRE CHIEF	<b>PLANNING COMMISSION REVIEW</b> REVIEWED BY THE PLANNING COMMISSION ON THIS _____ DAY OF _____, A.D. 20_____ _____ CHAIRMAN, PLANNING COMMISSION	<b>SARATOGA SPRINGS ENGINEER APPROVAL</b> APPROVED BY THE CITY ENGINEER ON THIS _____ DAY OF _____, A.D. 20_____ _____ CITY ENGINEER	<b>SARATOGA SPRINGS ATTORNEY</b> APPROVED BY SARATOGA SPRINGS ATTORNEY ON THIS _____ DAY OF _____, A.D. 20_____ _____ SARATOGA SPRINGS ATTORNEY	<b>LEHI CITY POST OFFICE</b> APPROVED BY POST OFFICE REPRESENTATIVE ON THIS _____ DAY OF _____, A.D. 20_____ _____ LEHI CITY POST OFFICE	<b>SURVEYOR'S SEAL</b>	<b>NOTARY PUBLIC SEAL</b>	<b>CITY ENGINEER'S SEAL</b>
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# THE VILLAGE OF FOX HOLLOW NEIGHBORHOOD 6-4B

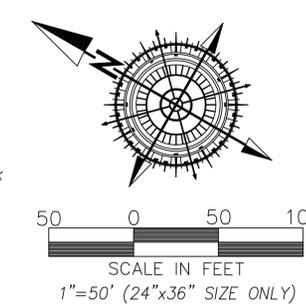
LOCATED IN THE SOUTHWEST QUARTER OF SECTION 12 AND THE NORTHWEST QUARTER OF SECTION 13, TOWNSHIP 6 SOUTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN.



WEST 1/4 CORNER SECTION 12, TOWNSHIP 6 SOUTH, RANGE 1 WEST, SALT LAKE BASE & MERIDIAN  
 BASIS OF BEARINGS - 563.44' (POB)  
 - 10017'21"E 2635.05' (REC.)  
 - SECTION LINE

SOUTHWEST CORNER OF SECTION 12, TOWNSHIP 6 SOUTH, RANGE 1 WEST, SALT LAKE BASE & MERIDIAN

- LEGEND**
- PHASE BOUNDARY LINE
  - - - SECTION LINE
  - CENTER LINE
  - - - P.U.E. LINE
  - EX FIRE HYDRANT
  - SETBACK LINE
  - REBAR AND CAP TO BE SET
  - NEW FIRE HYDRANT
  - NEW STREETLIGHT
  - EXISTING FIRE HYDRANT
  - EXISTING STREETLIGHT
  - DRAINAGE EASEMENT (20' REAR, 10' SIDES) DRAINAGE TO GO OVER SIDEWALK TO STREET.
  - 30%-40% SLOPES
  - 40%-50% SLOPES
  - C156
  - 3165 S
  - 490 W
  - CURVE (SEE CURVE TABLE)
  - MONUMENT



SEE SHEET 1 FOR LINE AND CURVE TABLES  
 SEE SHEET 2 FOR OVERALL MAP

2120'09"  
 R = 2090.00'  
 L = 778.28'  
 Chd = N25°32'13"W 773.79'

SURVEYOR OF RECORDED:

**CLIFF PETERSON LAND SERVICES**  
 - SURVEYING, PLANNING, ENGINEERING -

889 South 1600 East  
 Springville, Utah 84663  
 (801) 489-3156 - (801) 372-3810

Cliff Peterson P.L.S.  
 #167172

SHEET NO. 2/2

PROJECT ENGINEER:

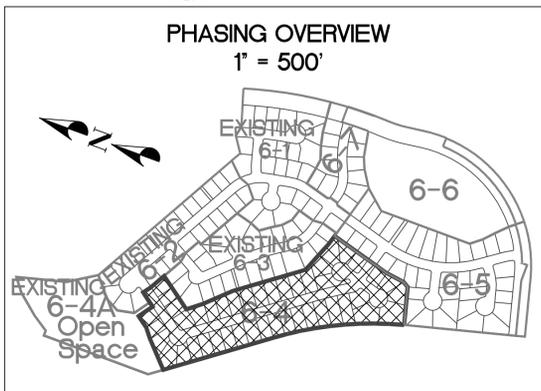
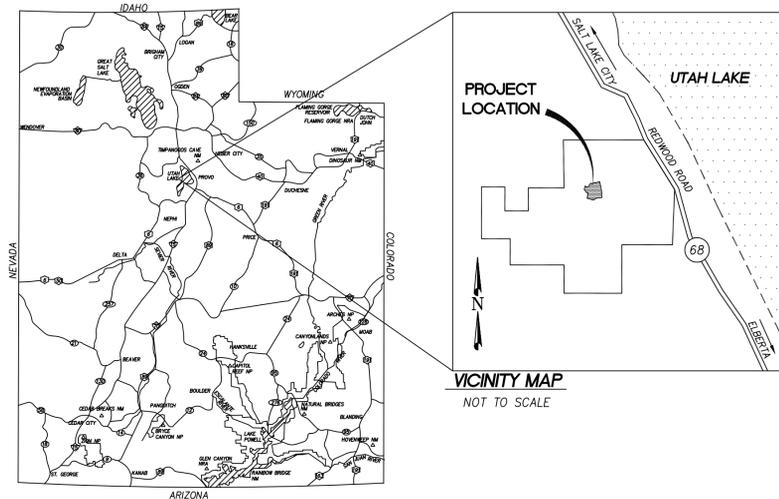
**GATEWAY CONSULTING, L.L.C.**  
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 PH: (801) 694-5848 FAX: (801) 432-7050  
 paul@gatewayconsultingllc.com

CIVIL ENGINEERING • CONSULTING • LAND PLANNING  
 CONSTRUCTION MANAGEMENT

# THE VILLAGE OF FOX HOLLOW NEIGHBORHOOD 6-4B

LOCATED IN THE NORTHWEST QUARTER OF SECTION 13,  
TOWNSHIP 6 SOUTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN.

## FINAL PLAT



LOT LINE CURVE TABLE						
CURVE	LENGTH	RADIUS	DELTA	TANGENT	CHD BEARING	CHORD
C101	11.17'	12.00'	53°20'37"	6.03'	N62°45'01"E	10.77'
C102	171.80'	55.00'	178°58'14"	6121.91'	S00°03'48"E	110.00'
C103	42.19'	55.00'	43°56'28"	22.19'	S67°26'57"W	41.16'
C104	59.42'	55.00'	61°54'33"	32.99'	S14°31'18"W	56.58'
C105	59.44'	55.00'	62°28'12"	33.33'	S47°30'25"W	57.02'
C106	10.25'	55.00'	10°40'44"	5.14'	S84°12'33"E	10.23'
C107	11.17'	12.00'	53°20'37"	6.03'	N62°52'36"W	10.77'
C108	15.14'	12.00'	72°17'00"	8.76'	S00°03'48"E	14.15'
C109	222.61'	2283.00'	5°35'12"	111.39'	N33°24'42"W	222.52'
C110	38.72'	2283.00'	0°58'18"	19.36'	N35°43'09"W	38.72'
C111	183.89'	2283.00'	4°36'54"	91.99'	N32°53'33"W	183.84'
C112	236.41'	2227.00'	6°04'56"	118.31'	N33°09'50"W	236.30'
C113	61.34'	2227.00'	1°34'41"	30.67'	N35°24'57"W	61.34'
C114	75.47'	2227.00'	1°56'30"	37.74'	N33°39'21"W	75.47'
C115	70.01'	2227.00'	1°48'04"	35.01'	N31°47'04"W	70.01'
C116	29.58'	2227.00'	0°45'40"	14.79'	N30°30'11"W	29.58'
C117	37.14'	50.00'	42°33'33"	19.47'	S51°24'02"E	36.29'
C118	18.51'	12.00'	88°23'11"	11.67'	N28°29'12"W	16.73'
C119	18.85'	12.00'	90°00'00"	12.00'	S60°42'24"W	16.97'
C120	18.85'	12.00'	90°00'00"	12.00'	S29°17'36"E	16.97'
C121	28.00'	12.00'	133°40'30"	28.05'	N82°32'39"E	22.07'
C122	14.97'	12.00'	71°28'19"	8.63'	N20°01'45"W	14.02'
C123	6.03'	12.00'	28°48'16"	3.08'	S30°06'32"W	5.97'
C124	269.05'	55.00'	280°16'37"	45.92'	S84°22'22"W	70.50'
C125	118.12'	55.00'	117°50'43"	91.26'	S03°09'25"W	94.91'
C126	43.52'	55.00'	45°20'30"	22.97'	S84°45'02"W	42.39'
C127	45.37'	55.00'	47°16'12"	24.06'	N48°56'37"W	44.09'
C128	45.76'	55.00'	47°40'12"	24.30'	N01°28'25"W	44.45'
C129	21.27'	55.00'	22°08'50"	10.77'	N33°26'11"E	21.14'
C130	14.72'	12.00'	70°17'12"	8.45'	N50°51'00"E	13.81'
C131	6.50'	12.00'	31°03'00"	3.33'	S00°10'44"W	6.42'
C132	270.07'	55.00'	281°20'12"	45.07'	S54°40'30"E	69.72'
C133	39.01'	55.00'	39°35'11"	19.80'	S66°11'40"W	37.25'
C134	72.44'	55.00'	75°27'32"	42.56'	S08°39'58"W	67.31'
C135	63.65'	55.00'	66°18'12"	35.93'	S62°12'54"E	60.15'
C136	45.37'	55.00'	47°16'03"	24.06'	N60°59'58"E	44.09'
C137	50.60'	55.00'	52°42'33"	27.25'	N11°00'40"E	48.83'
C138	152.28'	2090.00'	4°10'28"	76.17'	N16°57'23"W	152.24'
C139	134.36'	2090.00'	3°41'00"	67.20'	N20°53'07"W	134.34'
C140	70.87'	2090.00'	1°56'35"	35.44'	N23°41'54"W	70.87'
C141	70.39'	2090.00'	1°55'46"	35.20'	N25°38'05"W	70.39'
C142	70.00'	2090.00'	1°55'09"	35.00'	N27°33'33"W	70.00'
C143	70.49'	2090.00'	1°55'57"	35.25'	N29°29'05"W	70.48'
C144	70.25'	2090.00'	1°55'33"	35.13'	N31°24'50"W	70.25'
C145	70.09'	2090.00'	1°55'17"	35.05'	N33°20'16"W	70.09'
C146	69.55'	2090.00'	1°54'24"	34.78'	N35°15'06"W	69.55'
CURVE	LENGTH	RADIUS	DELTA	TANGENT	CHD BEARING	CHORD

CENTERLINE CURVE TABLE						
CURVE	LENGTH	RADIUS	DELTA	TANGENT	CHD BEARING	CHORD
C1	248.29'	2255.00'	8°18'31"	124.27'	N33°03'02"W	248.16'
C2	238.37'	2255.00'	8°04'55"	119.80'	N33°09'50"W	238.25'
C3	8.91'	2255.00'	0°13'35"	4.45'	N30°00'34"W	8.91'
C4	219.88'	2255.00'	5°35'12"	110.02'	N33°24'42"W	219.79'
C5	28.41'	2255.00'	0°43'19"	14.21'	N30°15'26"W	28.41'
CURVE	LENGTH	RADIUS	DELTA	TANGENT	CHD BEARING	CHORD

LINE TABLE		
LINE	BEARING	DIST
L1	S74°17'36"E	47.20'
L2	S74°17'36"E	18.71'
L3	N45°29'20"W	55.00'
L4	S74°17'36"E	17.40'
L5	S74°39'24"W	55.00'

PREPARED FOR  
SCP FOX HOLLOW LLC  
1148 W LEGACY CROSSING BLVD  
Centerville, UT 84104

- PLAT NOTES
- Plat must be recorded within 24 months of final plat approval by City Council. Final plat approval was granted on the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.
  - The installation of improvements shall conform to all city rules, ordinances, requirements, standards, and policies regarding the development of this property.
  - Prior to building permits being issued, soil studies may be required on each lot as determined by the city building official.
  - Plat may be subject to a master development agreement, development agreement, subdivision agreement, or site plan agreement. See City Recorder for more information.
  - Building permits will not be issued until all improvements have been installed and accepted by the city in writing; all improvements currently meet city standards, and bonds are posted by the current owner of the project pursuant to city code.
  - All bonds and bond agreements are between the city, developer/owner and financial institution. No other party, including unit or lot owners, shall be deemed a third-party beneficiary or have any rights, including the right to bring any action under any bond or bond agreement.
  - The owner of this subdivision and any successors and assigns are responsible for ensuring that impact and connection fees are paid and water rights are secured for each individual lot. No building permits shall be issued for any lot in this subdivision until all impact and connection fees, at the rates in effect when applying for building permit, are paid in full and water rights secured as specified by current city ordinances and fee schedules.
  - All open space and trail improvements located herein are to be installed by owner and maintained by Home Owners Association (HOA) unless specifies otherwise on each improvement.
  - Any reference herein to owners, developers, or contractors shall apply to successors, agents, and assigns.
  - There are no private streets in this development phase.
  - Lots area subject to Home Owners Association Bylaws, Articles of Incorporation and CC&R's.
  - All pedestrian corridors and medians are to be installed by the developer and maintained by the HOA.

NOTE: Drainage Easement areas are perpetual, non-exclusive, mutual cross drainage easements for purposes of storm water capture and conveyance on, over, upon, and across the areas delineated as Drainage Easements. Each lot encumbered by a drainage easement shall, at its sole cost and expense, maintain and keep all above and below grade infrastructure and appurtenances in a reasonable condition and state of repair. No obstructions or changes in grade shall be located within the easement area that will impede, divert, or cause the runoff to have an adverse effect on adjoining property.

NOTE: BY SIGNING THIS PLAT THE FOLLOWING UTILITY COMPANIES ARE "APPROVING" (per UTAH CODE 10-9A-603(4)(C)(ii)) THE (A) BOUNDARY COURSE, DIMENSIONS, AND INTENDED USE OF THE RIGHT-OF-WAY AND EASEMENTS GRANTS OF RECORD (B) LOCATION OF EXISTING UNDERGROUND AND UTILITY FACILITIES (C) CONDITIONS OR RESTRICTIONS GOVERNING THE LOCATION OF THE FACILITIES WITHIN THE RIGHT-OF-WAY, AND EASEMENT GRANTS OF RECORD, AND UTILITY FACILITIES WITHIN THE SUBDIVISION. "APPROVING" SHALL HAVE THE MEANING IN UTAH CODE SECTION 10-9A-603(4)(C)(ii)

**SURVEYOR'S CERTIFICATE**  
I, CLIFF PETERSON, do hereby certify that I am a registered Land Surveyor and that I hold a license, Certificate No. 16712, in accordance with the Professional Engineers and Land Surveyors Licensing Act found in Title 58, Chapter 22 of the Utah Code. I further certify that by authority of the owners, I have made a survey of the tract of land shown on this plat and described below, have subdivided said tract of land into lots, streets, and easements, have completed a survey of the property described on this plat in accordance with Utah Code Section 17-23-17, have verified all measurements, and have placed monuments as represented on the plat. I further certify that every existing right-of-way and easement grant of record for underground facilities, as defined in Utah Code Section 54-8a-2, and for other utility facilities, is accurately described on this plat, and that this plat is true and correct. I also certify that I have filed, or will file within 90 days of the recordation of this plat, a map of the survey I have completed with the Utah County Surveyor.

**BOUNDARY DESCRIPTION**  
A parcel of land located in the Southwest Quarter of Section 12 and the Northwest Quarter of Section 13, Township 6 South, Range 1 West, Salt Lake Base and Meridian, more particularly described as follows:

Beginning at a point on westerly section line of said Section 12, said point being 563.44 feet, North 00°17'21" East along the section line from the Southwest corner of said Section 12 and South 36°12'23" East 93.24 feet to the point of beginning, running thence North 46°32'14" East, 196.23 feet; thence North 51°34'19" East, 72.64 feet; thence North 36°04'42" East, 80.00 feet; thence South 53°55'18" East, 100.00 feet; thence North 36°04'42" East, 30.00 feet; thence North 36°04'42" East, 70.05 feet; thence South 53°55'18" East, 56.00 feet; thence South 60°30'32" East, 100.66 feet; thence South 36°04'42" West, 235.84 feet; thence South 38°10'11" East, 108.20 feet; thence South 43°31'53" East, 182.64 feet; thence South 36°12'18" East, 450.17 feet; thence South 67°52'58" East, 210.36 feet; thence South 73°55'05" East, 52.11 feet; thence South 15°42'24" West, 241.62 feet; thence South 13°20'58" West, 56.04 feet; thence South 15°42'24" West, 80.00 feet; thence South 07°32'26" West, 111.97 feet; thence South 31°06'31" West, 36.46 feet; thence South 75°07'51" West, 224.10 feet to a 2090.00-foot radius curve to the left (center bears South 75°07'51" West); thence along said line the following two (2) courses: (1) northwesterly 778.28 feet along the arc of said curve through a central angle of 21°20'09" (chord bears North 25°32'13" West, 773.79 feet); (2) North 36°12'18" West, 677.17 feet to the point of beginning.

Contains 12.76 acres, more or less.

SURVEYOR NAME \_\_\_\_\_ LICENSE No. \_\_\_\_\_ DATE: \_\_\_\_\_

**OWNER'S DEDICATION**  
Know all men by these presents that \_\_\_\_\_ the \_\_\_\_\_ undersigned owner(s) of the above described tract of land having caused same to be subdivided into lots and streets to be hereafter known as

**THE VILLAGE OF FOX HOLLOW  
NEIGHBORHOOD 6-4B**

do hereby dedicate for the perpetual use of the public and/or City all parcels of land, easements, right-of-way, and public amenities shown on this plat as intended for public and/or City use. The owner(s) voluntarily defend, indemnify, and save harmless the City against any easements or other encumbrance on a dedicated street which will interfere with the City's use, maintenance, and operation of the street. The owner(s) voluntarily defend, indemnify, and hold harmless the City from any damage claimed by persons within or without this subdivision to have been caused by alterations of the ground surface, vegetation, drainage, or surface or sub-surface water flows within this subdivision or by establishment or construction of the roads within this subdivision.  
In witness whereof \_\_\_\_\_ have hereunto set \_\_\_\_\_ this day of \_\_\_\_\_, A.D. 20\_\_\_\_

SCP FOX HOLLOW LLC

**ACKNOWLEDGMENT (CORPORATE)**

STATE OF UTAH } S.S.  
COUNTY OF UTAH }

ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 20\_\_\_\_, PERSONALLY APPEARED BEFORE ME, THE SAID \_\_\_\_\_ AND, WHO BEING BY ME DULY SWORN DID SAY EACH FOR HIMSELF, THAT HE, THE SAID \_\_\_\_\_ IS THE PRESIDENT AND HE THE SAID \_\_\_\_\_ IS THE SECRETARY OF \_\_\_\_\_ CORPORATION, AND THAT THE WITHIN AND FOREGOING INSTRUMENT WAS SIGNED IN BEHALF OF SAID CORPORATION BY AUTHORITY OF A RESOLUTION OF ITS BOARD OF DIRECTORS AND SAID \_\_\_\_\_ AND EACH DULY ACKNOWLEDGE TO ME THAT SAID CORPORATION EXECUTED THE SAME AND THAT THE SEAL AFFIXED IS THE SEAL OF SAID CORPORATION.

MY COMMISSION EXPIRES: \_\_\_\_\_ NOTARY PUBLIC

**BASIS OF BEARINGS**

THE PROJECT BASIS OF BEARINGS IS SOUTH 00°17'21" WEST, 2635.18 FEET ALONG THE SECTION LINE BETWEEN THE WEST QUARTER AND SOUTHWEST CORNERS OF SECTION 12, TOWNSHIP 6 SOUTH, RANGE 1 WEST, SALT LAKE BASE & MERIDIAN, AS SHOWN ON "THE VILLAGE OF FOX HOLLOW HOLLOW PLAT 11", AS RECORDED IN THE OFFICE OF THE UTAH COUNTY RECORDER.

**OWNER'S ACKNOWLEDGEMENT**

STATE OF UTAH } S.S.  
County of Utah }

On the \_\_\_\_\_ day of \_\_\_\_\_, A.D. 20\_\_\_\_, personally appeared before me, the undersigned Notary Public, in and for the County of Utah in said State of Utah, the signer( ) of the above Owner's dedication, \_\_\_\_\_ in number, who duly acknowledged to me that \_\_\_\_\_ signed it freely and voluntarily and for the uses and purposes therein mentioned.  
My commission expires: Notary Public residing at \_\_\_\_\_

MY COMMISSION EXPIRES: \_\_\_\_\_ NOTARY PUBLIC  
RESIDING IN \_\_\_\_\_ COUNTY

**APPROVAL BY LEGISLATIVE BODY**

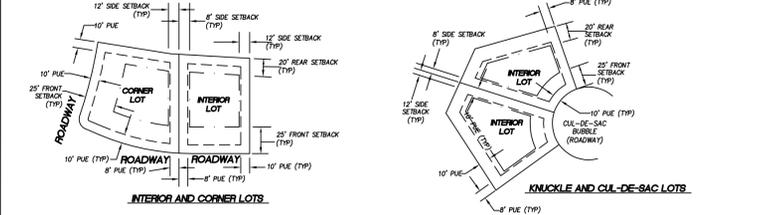
THE CITY COUNCIL OF CITY OF SARATOGA SPRINGS, COUNTY OF UTAH, APPROVES THIS SUBDIVISION SUBJECT TO THE CONDITIONS AND RESTRICTIONS STATED HEREON AND HEREBY ACCEPTS THE DEDICATION OF ALL STREETS, EASEMENTS, AND OTHER PARCELS OF LAND INTENDED FOR PUBLIC PURPOSES FOR THE PERPETUAL USE OF THE PUBLIC  
THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 20\_\_\_\_

ATTEST \_\_\_\_\_  
CITY MAYOR \_\_\_\_\_ CITY RECORDER (SEE SEAL BELOW)

**THE VILLAGE OF FOX HOLLOW  
NEIGHBORHOOD 6-4B  
SUBDIVISION PLAT**

LOCATED IN THE SOUTHWEST QUARTER OF SECTION 12  
AND THE NORTHWEST QUARTER OF SECTION 13,  
TOWNSHIP 6 SOUTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN.  
SARATOGA SPRINGS CITY, UTAH COUNTY, UTAH

**TYPICAL SETBACK AND PUE DETAILS**



NOT TO SCALE

<b>QUESTAR GAS COMPANY</b> APPROVED THIS _____ DAY OF _____, A.D. 20____	<b>ROCKY MOUNTAIN POWER</b> APPROVED THIS _____ DAY OF _____, A.D. 20____
<b>QUESTAR GAS COMPANY</b>	<b>ROCKY MOUNTAIN POWER</b>
<b>COMCAST CABLE TELEVISION</b> APPROVED THIS _____ DAY OF _____, A.D. 20____	<b>QWEST</b> APPROVED THIS _____ DAY OF _____, A.D. 20____
<b>COMCAST CABLE TELEVISION</b>	<b>QWEST</b>

PROJECT ENGINEER: **GATEWAY CONSULTING, inc.**  
P.O. BOX 951005 SOUTH JORDAN, UT 84095  
PH: (801) 694-5848 FAX: (801) 432-7050  
paul@gatewayconsultingllc.com  
CIVIL ENGINEERING • CONSULTING • LAND PLANNING  
CONSTRUCTION MANAGEMENT

SURVEYOR OF RECORD: **CLIFF PETERSON LAND SERVICES**  
-SURVEYING, PLANNING, ENGINEERING-  
889 South 1600 East  
Springville, Utah 84663  
(801) 489-3156 - (801) 372-3810  
Cliff Peterson P.L.S.  
#167172

**FIRE CHIEF APPROVAL**  
APPROVED BY THE FIRE CHIEF ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 20\_\_\_\_  
CITY FIRE CHIEF

**PLANNING COMMISSION REVIEW**  
REVIEWED BY THE PLANNING COMMISSION ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 20\_\_\_\_  
CHAIRMAN, PLANNING COMMISSION

**SARATOGA SPRINGS ENGINEER APPROVAL**  
APPROVED BY THE CITY ENGINEER ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 20\_\_\_\_  
CITY ENGINEER

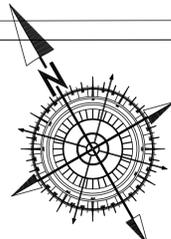
**SARATOGA SPRINGS ATTORNEY**  
APPROVED BY SARATOGA SPRINGS ATTORNEY ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 20\_\_\_\_  
SARATOGA SPRINGS ATTORNEY

**LEHI CITY POST OFFICE**  
APPROVED BY POST OFFICE REPRESENTATIVE ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 20\_\_\_\_  
LEHI CITY POST OFFICE

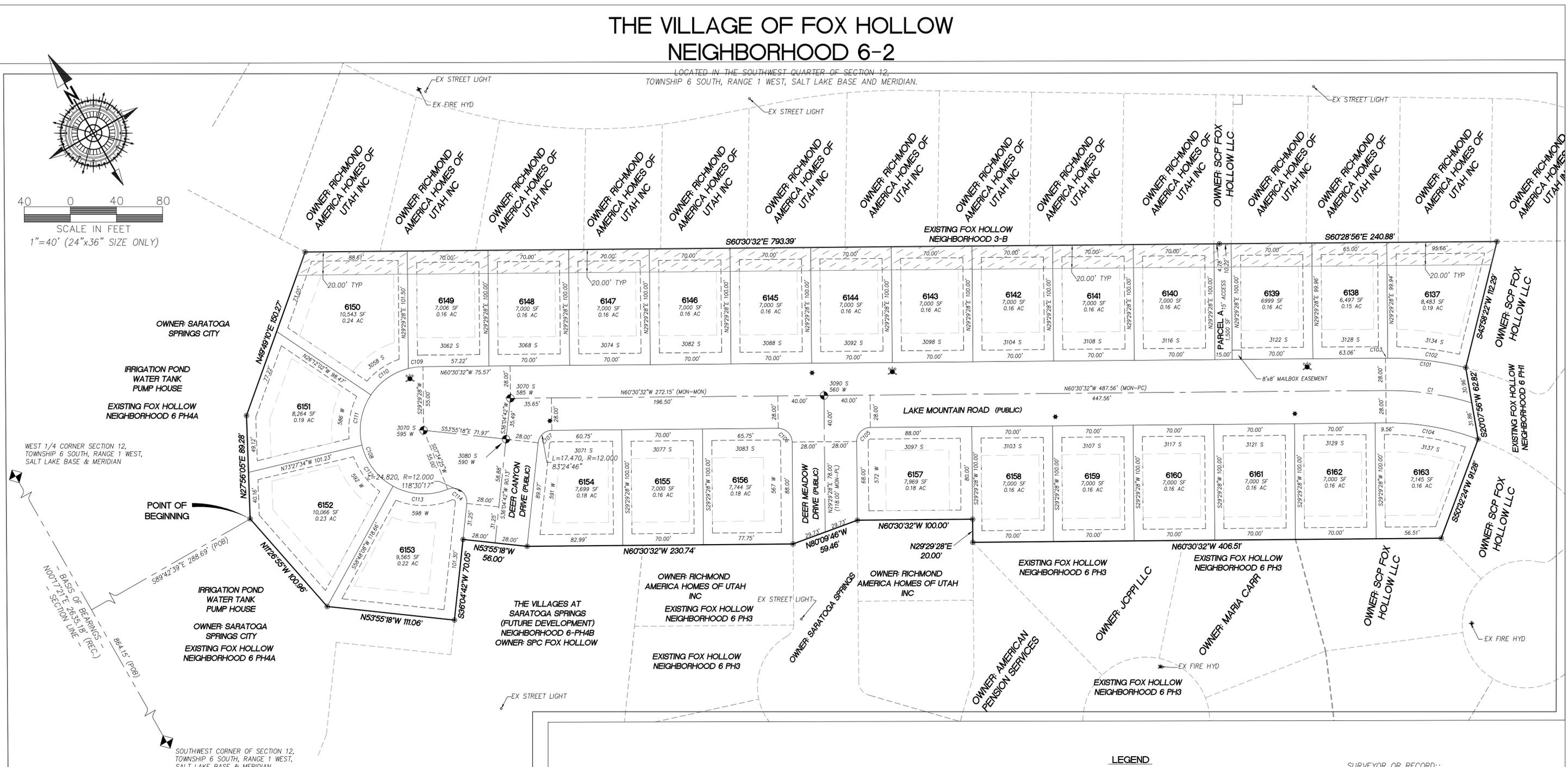
SURVEYOR'S SEAL \_\_\_\_\_ NOTARY PUBLIC SEAL \_\_\_\_\_ CITY ENGINEER'S SEAL \_\_\_\_\_ CLERK-RECORDER SEAL \_\_\_\_\_

# THE VILLAGE OF FOX HOLLOW NEIGHBORHOOD 6-2

LOCATED IN THE SOUTHWEST QUARTER OF SECTION 12,  
TOWNSHIP 6 SOUTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN.



40 0 40 80  
SCALE IN FEET  
1"=40' (24"x36" SIZE ONLY)



WEST 1/4 CORNER SECTION 12,  
TOWNSHIP 6 SOUTH, RANGE 1 WEST,  
SALT LAKE BASE & MERIDIAN

POINT OF BEGINNING

IRRIGATION POND  
WATER TANK  
PUMP HOUSE  
OWNER: SARATOGA  
SPRINGS CITY  
EXISTING FOX HOLLOW  
NEIGHBORHOOD 6 PH4A

SOUTHWEST CORNER OF SECTION 12,  
TOWNSHIP 6 SOUTH, RANGE 1 WEST,  
SALT LAKE BASE & MERIDIAN

- LEGEND**
- SECTION LINE
  - - - CENTER LINE
  - - - P.U.E. LINE
  - - - SETBACK LINE
  - - - DRAINAGE EASEMENT (20' REAR, 10' SIDES)
  - - - DRAINAGE TO GO OVER SIDEWALK TO STREET
  - REBAR AND CAP TO BE SET
  - ⊙ NEW FIRE HYDRANT
  - ⊙ EXISTING FIRE HYDRANT (PRESENTLY OFFLINE)
  - ⊙ NEW STREETLIGHT
  - ⊙ EXISTING FIRE HYDRANT
  - ⊙ EXISTING STREETLIGHT
  - C156 CURVE (SEE CURVE TABLE)
  - L6 LINE (SEE LINE TABLE)
  - ⊙ MONUMENT

SEE SHEET 1 FOR  
CURVE AND LINE  
TABLES

NO EXISTING STREETLIGHTS  
OR FIRE HYDRANTS WITHIN  
500' OF PLAT ROADWAYS

NO SLOPES GREATER THAN  
30% ON THIS PLAT

- LEGEND**
- PHASE BOUNDARY LINE
  - - - SECTION LINE
  - - - CENTER LINE
  - - - P.U.E. LINE
  - - - SETBACK LINE
  - REBAR AND CAP TO BE SET
  - ⊙ NEW FIRE HYDRANT
  - ⊙ NEW STREETLIGHT
  - ⊙ EXISTING FIRE HYDRANT
  - ⊙ EXISTING STREETLIGHT
  - - - DRAINAGE EASEMENT (20' REAR, 10' SIDES) DRAINAGE TO GO OVER SIDEWALK TO STREET.
  - ▨ 30%-40% SLOPES
  - ▩ 40%-50% SLOPES
  - C156 CURVE (SEE CURVE TABLE)
  - ⊙ MONUMENT

SURVEYOR OR RECORD:

**CLIFF PETERSON LAND SERVICES**  
- SURVEYING, PLANNING, ENGINEERING -

889 South 1600 East  
Springville, Utah 84663  
(801) 489-3156 - (801) 372-3810

Cliff Peterson P.L.S.  
#167172

PROJECT ENGINEER

**GATEWAY CONSULTING, inc.**  
P.O. BOX 951005 SOUTH JORDAN, UT 84095  
PH: (801) 694-5848 FAX: (801) 432-7050  
paul@gatewayconsultingllc.com

CIVIL ENGINEERING • CONSULTING • LAND PLANNING  
CONSTRUCTION MANAGEMENT