



Planning Commission Meeting

Thursday, January 26, 2017

Meeting held at the Saratoga Springs City Offices
1307 North Commerce Drive, Suite 200, Saratoga Springs

AGENDA

Commencing at 6:30 P.M.

1. Pledge of Allegiance.
2. Roll Call.
3. Business Item: Oath of Office for New Planning Commission Member: Bryan Chapman
4. Public Input: Time has been set aside for any person to express ideas, concerns, comments, questions or issues that are not listed on the agenda. Comments are limited to three minutes.
5. Public Hearing: Rezone and General Plan Amendment for Maverik, located at the northwest corner of Redwood Rd. and Pony Express Pkwy. Maverik, Inc. (Russell Skuse), applicant. – Presented by Planner 1 Kara Knighton.
6. Approval of Minutes:
 - a. January 12, 2017
7. Reports of Action
8. Commission Comments
9. Director's Report:
 - a. Council Actions
 - b. Applications and Approval
 - c. Upcoming Agendas
 - d. Other
10. Possible Motion to enter into closed session for the purchase, exchange, or lease of property, pending or reasonably imminent litigation, the character, professional competence, the deployment of security personnel, devices or systems or the physical or mental health of an individual.
11. Adjourn.

PLEASE NOTE: The order of items may be subject to change with the order of the planning commission chair. One or more members of the Commission may participate electronically via video or telephonic conferencing in this meeting.

In compliance with the Americans with Disabilities Act, individuals needing special accommodations (including auxiliary communicative aids and services) during this meeting should notify the City Recorder at 766-9793 at least one day prior to the meeting.



CITY OF
SARATOGA SPRINGS

Planning Commission Staff Report

Rezone, General Plan Amendment, and Concept Plan

Maverik

Thursday, January 26, 2017

Public Hearing

Report Date:	Thursday, January 19, 2016
Applicant:	Maverik, Inc. (Russell Skuse)
Owner:	Loyal and Renae Nilsson
Location:	Northwest corner of Redwood Road and Pony Express
Major Street Access:	Redwood Road, Pony Express
Parcel Number(s) & Size:	A portion of 51:231:0027; 6.21 acres Project acreage: 2 acres
Parcel Zoning:	Rural Residential (RR)
Adjacent Zoning:	RR, PC
Current Use of Parcel:	Lake Mountain Tree Movers
Adjacent Uses:	Rural Residential uses
Previous Meetings:	PC WS (12/8/2016), CC WS (1/3/2017)
Previous Approvals:	N/A
Type of Action:	Legislative
Land Use Authority:	City Council
Future Routing:	City Council
Author:	Kara Knighton, Planner I

A. Executive Summary:

The applicant, on behalf of the property owner, is requesting a General Plan Amendment from Business Park and Rezone from Rural Residential (RR) to Regional Commercial (RC) for 2 acres located at the northwest corner of Redwood road and Pony Express. In conjunction with this request, the applicant is also requesting input on a concept plan for a convenience store/fast food combination.

Recommendation:

Staff recommends that the Planning Commission conduct a public hearing on the Maverik Rezone and General Plan Amendment, take public comment, review and discuss the proposal, and choose from the options in Section "H" of this report. Options include forwarding a positive

recommendation with or without modifications, forwarding a negative recommendation, or continuing the application to a later meeting.

B. Background:

The rezone, general plan amendment, and concept plan applications were received by the City on November 10, 2016 for a convenience store/fast food combination located at the northwest corner of Redwood Road and Pony Express.

Development Review Committee

The Development Review Committee (DRC) reviewed the concept plan on December 19, 2016 and had the following comments.

- Please provide a truck route around the site.
- Power lines must be buried.
- The right-in/ right-out onto Pony Express may be too close to the proposed full movement onto Pony Express.

A revised concept plan was received by the City on December 27, 2016 containing the truck turning radius and route around the site. A third concept plan was received by the City on January 10, 2017 showing only the proposed full access movement onto Pony Express.

Planning Commission work session

The Planning Commission held a work session on the proposed Rezone, Concept Plan, and General Plan Amendment on December 8, 2016. Their concerns consisted of, but were not limited to access, parking, and the delivery trucks. The December 27, 2016 concept plan resubmittal addressed several of the Planning Commission's comments including trees along Pony Express Parkway. Minutes from this meeting are attached.

City Council work session

The City Council held a work session on the proposed Rezone, Concept Plan, and General plan Amendment on January 3, 2017. The Council concerns consisted of, but were not limited to conflict points, truck turning radius, and access. The applicants resubmitted a concept plan on January 10, 2017 to address some of the City Council's comments including the removal of the proposed right-in/right-out onto Pony Express and confirming with the dumpster service company that the dump truck will be front loading and not rear loading. Minutes from this meeting are attached.

C. Specific Request:

The applicant is requesting the RC zone for approximately 2.0 acres at the northwest corner of Pony Express Parkway and Redwood Road for a convenience store/ fast food combination.

The concept plan proposal consists of a 5,518 sq. ft. convenience store containing a Bonfire Grill, 35 parking stalls including 2 accessible stalls, and 18,917 sq. ft. of landscaping.

D. Process:**Rezone and General Plan Amendment**

Section 19.17.03 of the City Code outlines the requirements for a Rezone and General Plan Amendment requiring all rezoning applications to be reviewed by the City Council after receiving a formal recommendation from the Planning Commission. The City Council is the Land Use Authority for rezones and may - after holding a public hearing- approve, deny, or continue the rezone decision. Rezones are legislative decisions with significant discretion, and are processed according to the provisions of Chapter 19.13, Development Review Processes.

Concept Plan

Section 19.17.02 states “Petitions for changes to the City’s Zoning Map to all land use zones shall be accompanied by an application for Concept Plan Review or Master Development Agreement approval pursuant to Chapter 19.13 of this Code.”

The applicant has submitted a concept plan for the proposed development. Per Section 19.13 of the City Code, the process for a concept plan includes an informal review of the concept plan by both the Planning Commission and the City Council. The reviews shall be for comment only, no public hearing is required and no recommendation or action made.

E. Community Review:

The Rezone and General Plan Amendment portion of this application has been noticed as a public hearing in the Daily Herald, City website, and Utah Public Notice Website, and mailed notices have been sent to all property owners within 300 feet of the subject property at least 10 days prior to this meeting. As of the date of this report, no public input has been received.

Concept plans do not require a public hearing, as future public hearings will be held on the related site plan and/ or preliminary plat.

F. General Plan:

The site is currently designated at Business Park on the adopted Future Land Use Map. The applicant is requesting to change a portion (~2.0 acres) of the land area from Business Park to the Regional Commercial designation. The Regional Commercial designation is defined in the General Plan in the following manner.

Regional Commercial. “Regional Commercial areas shall be characterized by a variety of retail users including big box retail, configured in developments that provide excellent vehicular access to and from major transportation facilities. Development location in the Regional Commercial areas shall be designed so as to create efficient, functional conglomerations of commercial activities.

As Regional Commercial areas are to be located in close proximity to substantial roadways, careful consideration shall be given to the arrangement of structures and other improvements along those corridors. Consideration shall also be given to the existing or potential availability of mass transit facilities as sites in this designation are designed.

Among the many tenants anticipated in these areas are large designation oriented businesses. Specific areas for pedestrian activity shall be designated and appropriately improved. Plazas and other features shall be provided as gathering places which should be incorporated so as to make each site an inviting place to visit.

Developments in these areas shall contain landscaping and recreational features as per the City's Parks and Trails Element of the General Plan."

Staff conclusion: *If the proposed General Plan Amendment is approved, the requested zone would be consistent with the General Plan. A General Plan Amendment is a legislative decision and the criteria for an amendment is reviewed in Section G of this report. If the General Plan Amendment is not approved, the requested rezone would not be consistent with the General Plan.*

G. Code Criteria:

Rezoning and General Plan Amendments are legislative decisions; therefore, the Council has significant discretion when making a decision on such requests. Because of this legislative discretion, the Code criteria below are guidelines and are not binding.

Rezone and General Plan Amendments

Section 19.17.04 outlines the requirements for both a Rezone and a General Plan Amendment and states:

The Planning Commission and City Council shall consider, but not be bound by, the following criteria when deciding whether to recommend or grant a general plan, ordinance, or zoning map amendment:

1. the proposed change will conform to the Land Use Element and other provision of the General Plan;
Potential Finding: Consistent. The General Plan amendment may be found consistent through encouraging economic development, and if the amendment is made, the rezone would also be consistent with the Regional Commercial category identified in the General Plan.
2. the proposed change will not decrease nor otherwise adversely affect the health, safety, convenience, morals, or general welfare of the public;
Potential Finding: Consistent. Both the GP amendment and Rezone proposal work together to support commercial development. Additional applications (e.g. Site Plan, Conditional Use Permit, and Subdivision) with appropriate conditions and management will work together to mitigate any potential negative impacts.
3. the proposed change will more fully carry out the general purposes and intent of the Title and any other ordinance of the City; and

Potential Finding: Consistent. The applications do not negatively impact development of the site.

4. in balancing the interest of the petitioner with the interest of the public, community interests will be better served by making the proposed change.

Potential Finding: Consistent. This type of development is currently not offered in the southern portion of the City and thus provides a greater service to the residents in the southern portion of the City.

H. Recommendation and Alternatives:

Staff recommends that the Planning Commission conduct a public hearing, take public input, discuss the application, and choose from the following options.

Option 1 – Positive Recommendation

(Staff supports this option)

“I move to **forward a positive recommendation** to the City Council for the Maverik General Plan Amendment of approximately 2.0 acres from Business Park to Regional Commercial and Rezone approximately 2.0 acres of parcel 51:231:0027 from Rural Residential to Regional Commercial as outlined in exhibit 2 with the Findings and Conditions in the Staff Report dated January 26, 2017:”

Findings

1. The General Plan Amendment will not result in a decrease in public health, safety, and welfare as outlined in Section G of this report, which section is hereby incorporated by reference.
2. The Rezone is consistent with Section 19.17.04 of the Code, as articulated in Section G of this report, which section is incorporated by reference herein.

Conditions:

1. All conditions of the City Engineer shall be met, including but not limited to those in the Staff report in Exhibit 1.
2. The Rezone shall not be recorded until a Development Agreement has been signed. The Development Agreement shall require the developer to install and maintain in perpetuity the Redwood Road trail and associated landscaping improvements and bury all power lines on the property and any immediately adjacent parcels.
3. Any other conditions or changes as articulated by the Planning Commission:

_____.

Option 2 - Continuance

The Planning Commission may instead choose to continue the item. “I move to **continue** the Maverik General Plan Amendment and Rezone to another meeting on [February 9, 2017], with direction to the applicant and Staff on information and / or changes needed to render a decision, as follows:

1. _____.
2. _____.

Option 3 – Negative Recommendation

As the decision is legislative with significant discretion, the Planning Commission may instead choose to forward a negative recommendation to the City Council for the application. “I move to **forward a negative recommendation** to the City Council for the Maverik General Plan Amendment of approximately 2.0 acres from Business Park to Regional Commercial and Rezone approximately 2.0 acres of parcel 51:231:0027 from Rural Residential to Regional Commercial as outlined in exhibit 2 with the Findings and Conditions below:

1. The Maverik General Plan Amendment does not benefit the public health, safety, or welfare of the community, as articulated by the Planning Commission:
_____.
2. The Maverik Rezone is not consistent with the General Plan, as the Regional Commercial Zone is not appropriate for the Business Park Land Use Designation, and/or
3. The Maverik General Plan Amendment and Rezone are not consistent with Section 19.17.04 of the Code, as articulated by the Planning Commission:
_____.

I. Exhibits:

1. City Engineer’s Report (page 7)
2. Property to be Rezoned- Location map & Current Zone (page 8)
3. Boundary description (page 9)
4. Concept Plan (page 10)
5. Conceptual Landscape Plan (page 11)
6. Conceptual Elevations (page 12-14)
7. Planning Review Checklist (page 15-22)
8. Planning Commission work session minutes 12/8/2016 (page 23-24)
9. City Council work session minutes 1/3/2017 (page 25-27)

City Council/Planning Commission Staff Report

Author: Gordon Miner, City Engineer

Subject: Maverik – Concept Plan

Date: 1/11/17

Type of Item: Concept Plan Review



Description:

A. Topic: The applicant has submitted a concept plan application. Staff has reviewed the submittal and provides the following recommendations.

B. Background:

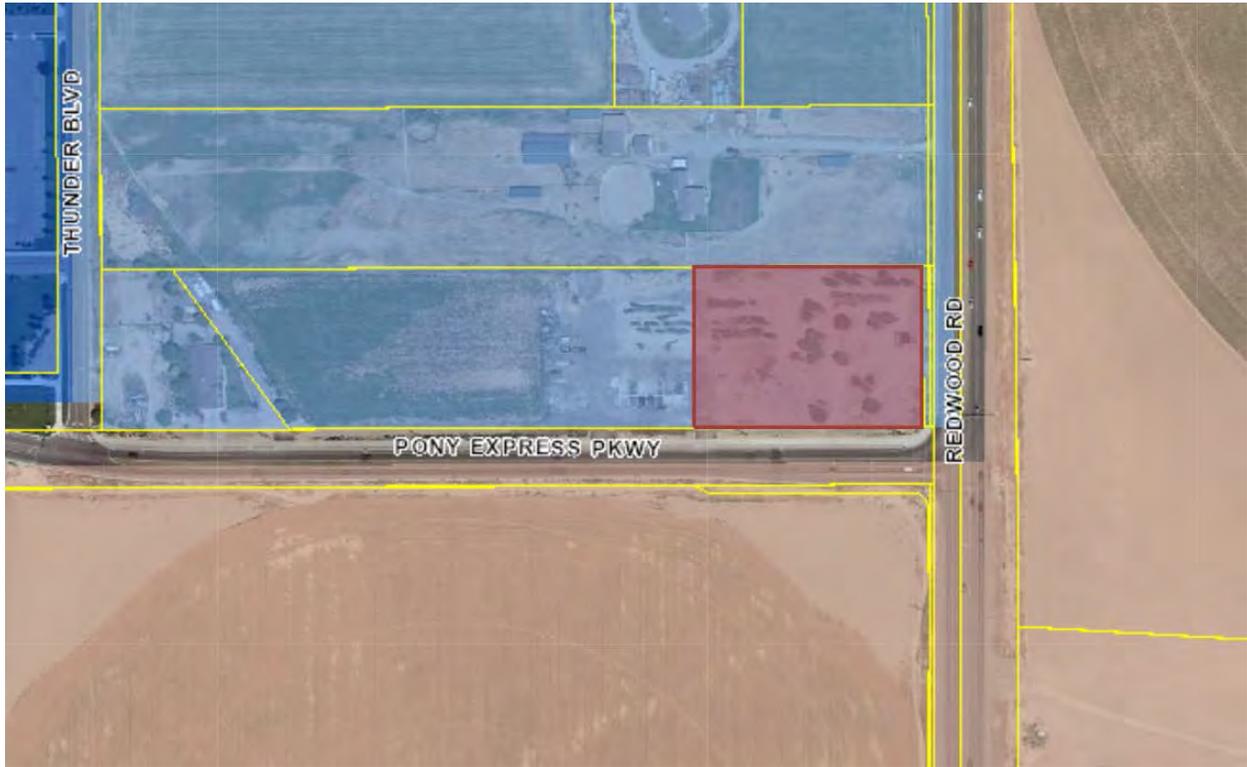
Applicant: Maverik
Request: Concept Plan
Location: 7215 S. Redwood Rd.
Acreage: 6.21 acres - 1 lot

C. Recommendation: Staff recommends the applicant address and incorporate the following items for consideration into the development of their project and construction drawings.

D. Proposed Items for Consideration:

- A. Prepare construction drawings as outlined in the City's standards and specifications and receive approval from the City Engineer on those drawings prior to receiving Final approval from the City Council.
- B. Consider and accommodate existing utilities, drainage systems, detention systems, and water storage systems into the project design. Access to existing facilities shall be maintained throughout the project.
- C. A traffic impact study will be required to determine the necessary improvements to existing and proposed roads to provide an acceptable level of service for the proposed project.
- D. Developer shall prepare and record easements to the City for all public utilities not located in a public right-of-way.
- E. Developer is required to ensure that there are no adverse effects to adjacent property owners and future homeowners due to the grading and construction practices employed during completion of this project.

Land Use



Zone





NOVEMBER 7, 2016

SARATOGA SPRINGS MAVERIK

PART OF THE SOUTHWEST QUARTER OF SECTION 23, TOWNSHIP 5 SOUTH, RANGE 1 WEST, S.L.B.&M., U.S. SURVEY. DESCRIBED AS FOLLOWS:

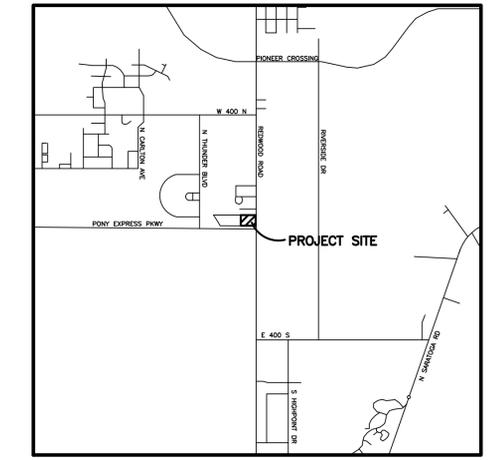
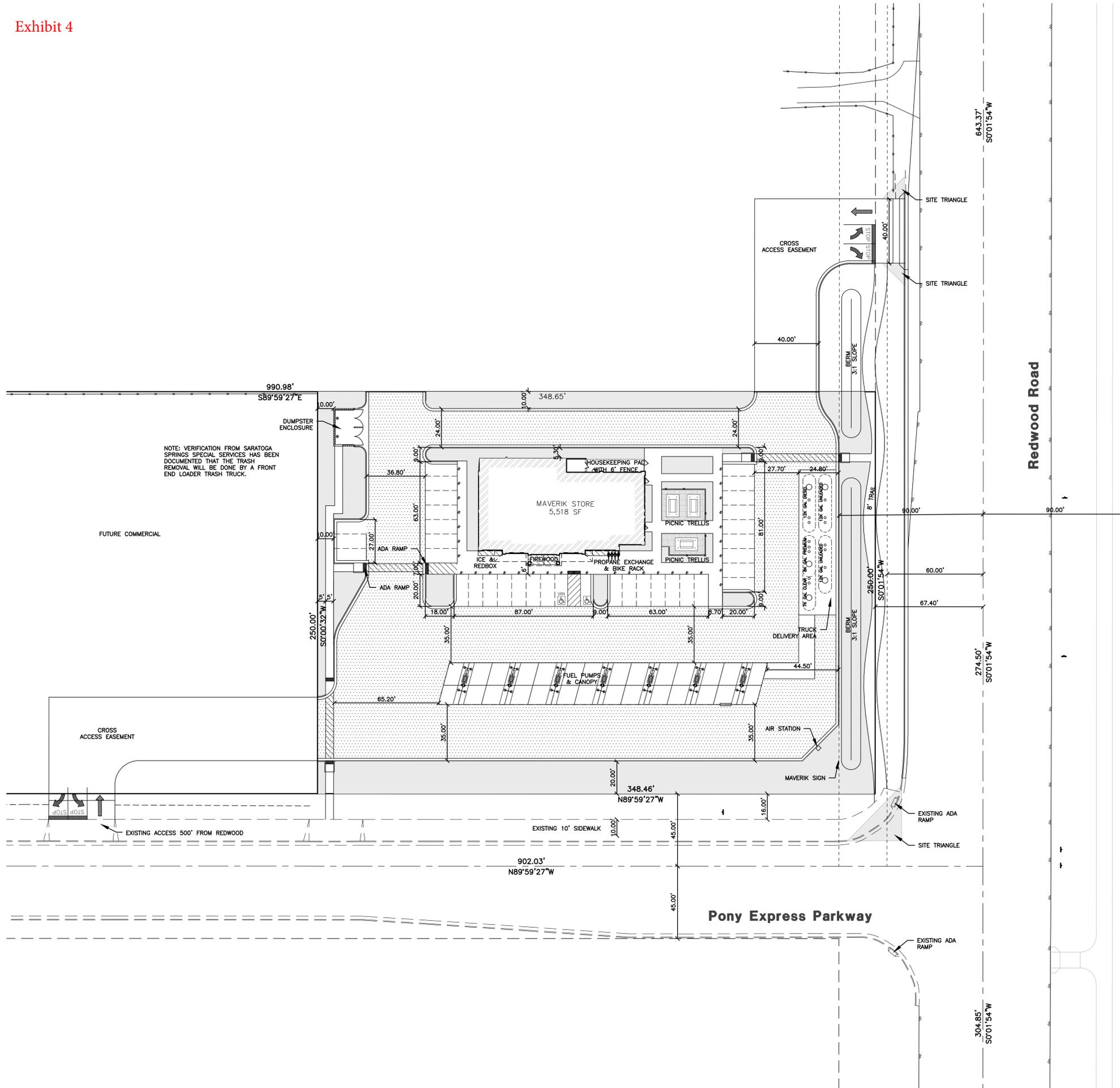
BEGINNING AT A POINT ON THE NORTH RIGHT OF WAY LINE OF PONY EXPRESS PARKWAY, SAID POINT BEING S89°59'27"E 2269.33 FEET FROM THE SOUTHWEST CORNER OF SECTION 23; AND RUNNING THENCE N00°01'54"E 250.00 FEET; THENCE S89°59'27"E 348.48 FEET TO THE WESTERLY RIGHT-OF-WAY LINE OF REDWOOD ROAD; THENCE S00°01'54"W ALONG SAID WEST RIGHT-OF-WAY LINE, 250.00 FEET TO THE NORTH RIGHT-OF-WAY LINE OF PONY EXPRESS PARKWAY; THENCE N89°59'27"W ALONG SAID NORTH RIGHT-OF-WAY LINE OF PONY EXPRESS PARKWAY 348.48 FEET TO THE POINT OF BEGINNING.

CONTAINING 87,120 SQUARE FEET OR 2.000 ACRES MORE OR LESS.

RECEIVED NOV 11 2016

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Civil Engineering • Land Planning • Structural Engineering • Landscape Architecture • Land Surveying • Construction Surveying
5160 South 1500 West 14 • Riverdale Utah 84405 • Tel: 801-621-3100 • Fax: 801-621-2666
ogden@reeve-assoc.com • reeve-assoc.com



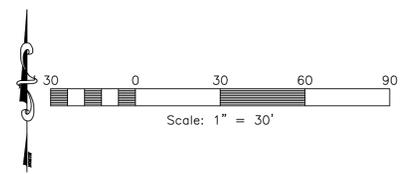
VICINITY MAP
 SCALE: 1" = 2000'

Site Information

APN# 51-231-0027
 PONY EXPRESS PARKWAY & REDWOOD ROAD
 SARATOGA SPRINGS, UTAH COUNTY, UTAH

PROPERTY ZONE.....	RURAL RESIDENTIAL
NUMBER OF BUILDINGS.....	1
PARKING STALLS REQUIRED.....	28 MIN - 35 MAX
PARKING STALLS PROVIDED.....	33 + 2 A.D.A.
	FRONT 16/SIDE 19
BICYCLE STALLS REQUIRED.....	2
BICYCLE STALLS PROVIDED.....	4
TOTAL PARCEL AREA.....	227,026 s.f.
MAVERIK PARCEL AREA.....	87,120 s.f.
BUILDABLE LAND.....	100%
BUILDING AREA.....	5,518 s.f.
HARD SURFACED AREA.....	62,685 s.f.
LANDSCAPE AREA.....	18,917 s.f. 22%
SENSITIVE LANDS.....	0.08%
AREA DEDICATED AS RIGHT-OF-WAY..	

Proposed Asphalt



RA Reeve & Associates, Inc.

5160 SOUTH 1500 WEST
 RIVERDALE, UTAH 84405
 TEL: (801) 621-3100
 FAX: (801) 621-2666
 www.reeve-assoc.com

LAND PLANNERS • CIVIL ENGINEERS
 LAND SURVEYORS • TRAFFIC ENGINEERS
 STRUCTURAL ENGINEERS • LANDSCAPE ARCHITECTS

PROJECT NUMBER: 5799-131
 DRAWN BY: RWH
 ENGINEER: JNR

PROJECT NUMBER

ISSUE DATE:
 OCT. 20, 2016
 REVISIONS:

No.	Date	Description

NOTE:
 Bid documents should not be separated or issued as partial sets to subcontractors. Bidders are responsible for all portions of the documents that pertain to work covered by sub-bids. Bidder assumes full responsibility for error or misinterpretations resulting from partial sets of Bidding Documents by itself or any sub-bidder.

Conflicting information or errors found in the construction documents should be brought to the attention of the architect immediately. In the event of a conflict in the drawings, bidder should not assume the least expensive option will meet the project requirements.



MAVERIK, INC. STORE #???
 PONY EXPRESS PARKWAY &
 REDWOOD ROAD
 SARATOGA SPRINGS, UTAH

SHEET TITLE
Conceptual Site Plan

C1



General Notes

- A) The contractor shall verify the exact location of all existing and proposed utilities, and all site conditions prior to beginning construction. The contractor shall coordinate his work with the project manager and all other contractors working on this site.
- B) The finish grade of all planting area shall be smooth, even and consistent, free of any humps, depressions or other grading irregularities. The finish grade of all landscape areas shall be graded consistently 3/4" below the top of all surrounding walks, curbs, etc.
- C) The contractor shall stake the location of all plants for approval prior to planting. Trees shall be located equidistant from all surrounding plant material. Shrubs and ground covers shall be triangular and equally spaced.
- D) The plant materials list is provided as an indication of the specific requirements of the plants specified, wherever in conflict with the planting plan, the planting plan shall govern.
- E) The contractor shall provide all materials, labor and equipment required for the proper completion of all landscape work as specified and shown on the drawings.
- F) All plant materials shall be approved prior to planting. The Owner/Landscape Architect has the right to reject any and all plant material not conforming to the specifications. The Owner/Landscape Architect decision will be final.
- G) The contractor shall keep the premises, storage areas and paving areas neat and orderly at all times. Remove trash, sweep, clean, hose, etc. daily.
- H) The contractor shall plant all plants per the planting details, stake/guy as shown. Top of root balls shall be planted flush with grade.
- I) The contractor shall not impede drainage in any way. The contractor shall always maintain positive drainage away from the building, walls, etc.
- J) The contractor shall maintain all work until ALL work is complete and accepted by the Owner. In addition, the contractor shall maintain and guarantee all work for a period of THIRTY DAYS from the date of final acceptance by the Owner. Maintenance shall include mowing, weeding, fertilizing, cleaning, insecticides, herbicides, etc.
- K) Maverik Corporation shall be responsible for landscape maintenance beyond construction period.

SPRINKLER NOTE

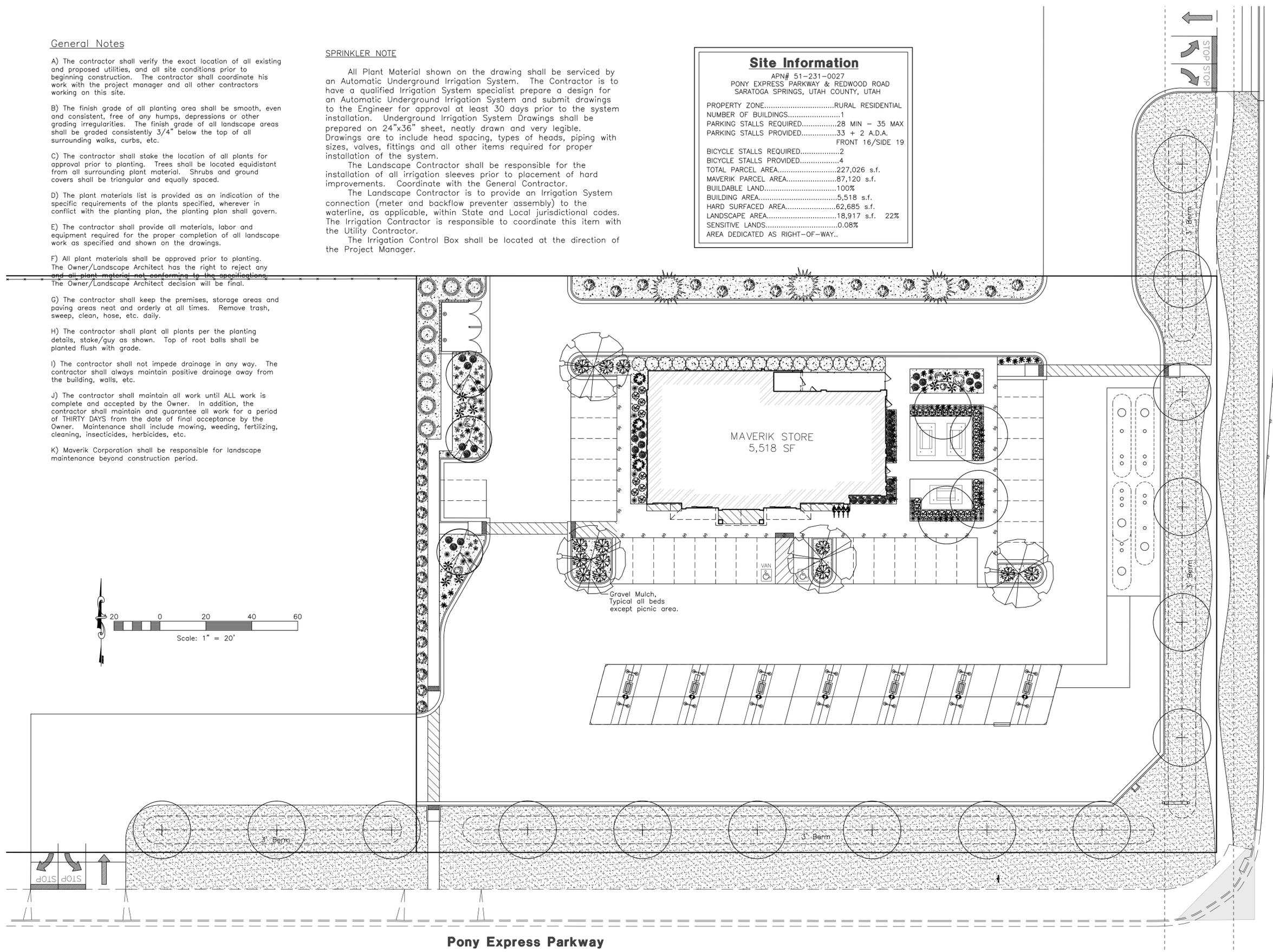
All Plant Material shown on the drawing shall be serviced by an Automatic Underground Irrigation System. The Contractor is to have a qualified Irrigation System specialist prepare a design for an Automatic Underground Irrigation System and submit drawings to the Engineer for approval at least 30 days prior to the system installation. Underground Irrigation System Drawings shall be prepared on 24"x36" sheet, neatly drawn and very legible. Drawings are to include head spacing, types of heads, piping with sizes, valves, fittings and all other items required for proper installation of the system.

The Landscape Contractor shall be responsible for the installation of all irrigation sleeves prior to placement of hard improvements. Coordinate with the General Contractor.

The Landscape Contractor is to provide an Irrigation System connection (meter and backflow preventer assembly) to the waterline, as applicable, within State and Local jurisdictional codes. The Irrigation Contractor is responsible to coordinate this item with the Utility Contractor.

The Irrigation Control Box shall be located at the direction of the Project Manager.

Site Information	
APN# 51-231-0027 PONY EXPRESS PARKWAY & REDWOOD ROAD SARATOGA SPRINGS, UTAH COUNTY, UTAH	
PROPERTY ZONE.....	RURAL RESIDENTIAL
NUMBER OF BUILDINGS.....	1
PARKING STALLS REQUIRED.....	28 MIN - 35 MAX
PARKING STALLS PROVIDED.....	33 + 2 A.D.A.
FRONT 16/SIDE 19	
BICYCLE STALLS REQUIRED.....	2
BICYCLE STALLS PROVIDED.....	4
TOTAL PARCEL AREA.....	227,026 s.f.
MAVERIK PARCEL AREA.....	87,120 s.f.
BUILDABLE LAND.....	100%
BUILDING AREA.....	5,518 s.f.
HARD SURFACED AREA.....	62,685 s.f.
LANDSCAPE AREA.....	18,917 s.f. 22%
SENSITIVE LANDS.....	0.06%
AREA DEDICATED AS RIGHT-OF-WAY..	



Redwood Road

Pony Express Parkway

PROJECT NUMBER

ISSUE DATE:

OCT. 20, 2016

REVISIONS:

No.	Date	Description

NOTE:
Bid documents should not be separated or issued as partial sets to subcontractors. Bidders are responsible for all portions of the documents that pertain to work covered by sub-bids. Bidder assumes full responsibility for error or misinterpretations resulting from partial sets of Bidding Documents by itself or any sub-bidder.

Conflicting information or errors found in the construction documents should be brought to the attention of the architect immediately. In the event of a conflict in the drawings, bidder should not assume the least expensive option will meet the project requirements.



MAVERIK, INC. STORE #???
PONY EXPRESS PARKWAY &
REDWOOD ROAD
SARATOGA SPRINGS, UTAH

SHEET TITLE
LANDSCAPE PLAN

L1



RA Reeve & Associates, Inc.
5160 SOUTH 1500 WEST
RIVERDALE, UTAH 84405
TEL: (801) 621-3100
FAX: (801) 621-2666
www.reeve-assoc.com

LAND PLANNERS * CIVIL ENGINEERS
LAND SURVEYORS * TRAFFIC ENGINEERS
STRUCTURAL ENGINEERS * LANDSCAPE ARCHITECTS

PROJECT NUMBER: 5799-131
DRAWN BY: RWH
ENGINEER: JNR



MAVERIK STORES, INC.

PONY EXPRESS PARKWAY & REDWOOD ROAD, SARATOGA SPRINGS



- KEYED NOTES
- ① STONE VENEER - CSV-20006 COUNTRY LEDGESTONE 'CHARDONNAY'
 - ② FIBER CEMENT BOARD - HARDIBOARD 'AUTUMN TAN' BOARD AND BATTEN
 - ③ PRE-FINISHED ROOF PANELS - MBO 'CLASSIC GREEN'
 - ④ FIBER CEMENT BOARD - HARDIBOARD 'CHESTNUT BROWN' BOARD AND BATTEN
 - ⑤ FIBER CEMENT CORNICE - HARDIBOARD 'SAIL CLOTH' TRIM
 - ⑥ PRE-FINISHED ROOF GUTTER - MBO 'BRITE RED'
 - ⑦ CULTURED STONE CAP - CSV-20006 COUNTRY LEDGESTONE 'CHARDONNAY'
 - ⑧ ROUGH SAWN TIMBER - SHERWIN WILLIAMS 3511 'CEDAR BARK'

1
RRI.0
RENDER-BUILDING
PERSPECTIVE



2
RRI.0
RENDERED-FRONT ELEVATION
1/4" = 1'-0"

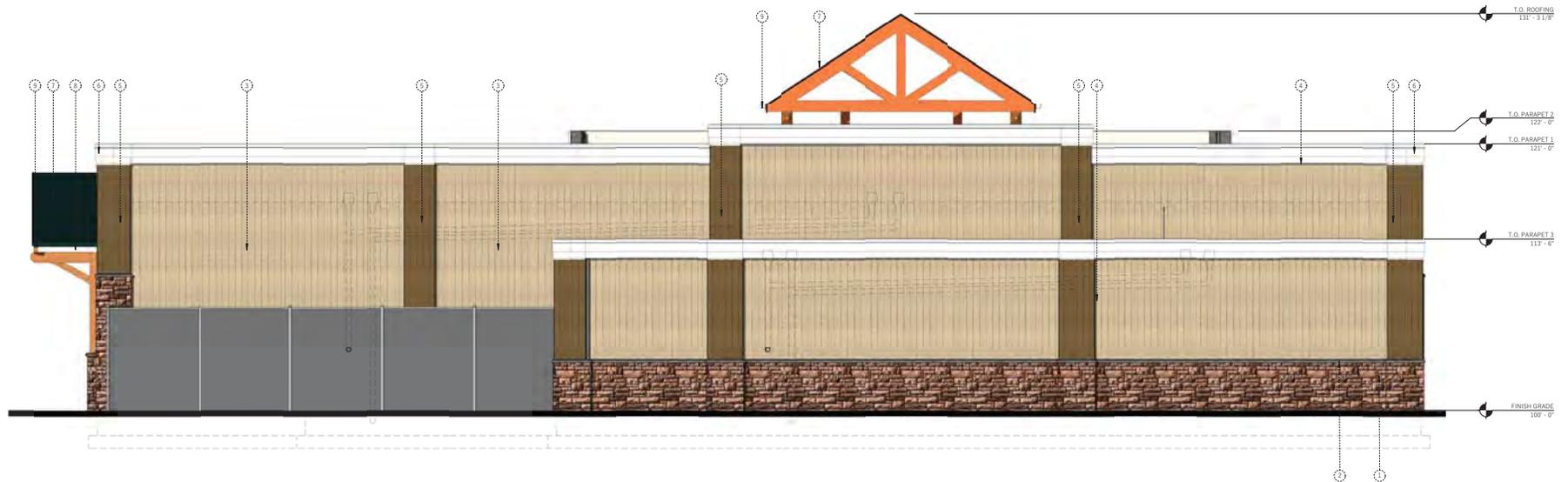
ADVENTURE'S FIRST STOP
MAVERIK

JZW
ARCHITECTS

MAVERIK STORES, INC.

PONY EXPRESS PARKWAY & REDWOOD ROAD, SARATOGA SPRINGS

- KEYED NOTES
- ① STONE VENEER - CSV-2006R COUNTRY LEDGESTONE 'CHARDONNAY'
 - ② CULTURED STONE CAP - CSV-2006B COUNTRY LEDGESTONE 'CHARDONNAY'
 - ③ SURFACE MOUNTED LIGHT FIXTURE, SEE ELECTRICAL
 - ④ FIBER CEMENT BOARD - HARDIBOARD 'AUTUMN TAN' BOARD AND BATTEN
 - ⑤ FIBER CEMENT BOARD - HARDIBOARD 'CHESTNUT BROWN' BOARD AND BATTEN
 - ⑥ FIBER CEMENT CORNICE - HARDIBOARD 'SAIL CLOTH' TRIM
 - ⑦ PRE-FINISHED ROOF PANELS - MBCI 'CLASSIC GREEN'
 - ⑧ PRE-FINISHED ROOF FLASHING - MBCI 'CLASSIC GREEN'
 - ⑨ PRE-FINISHED ROOF GUTTER - MBCI 'BRITE RED'



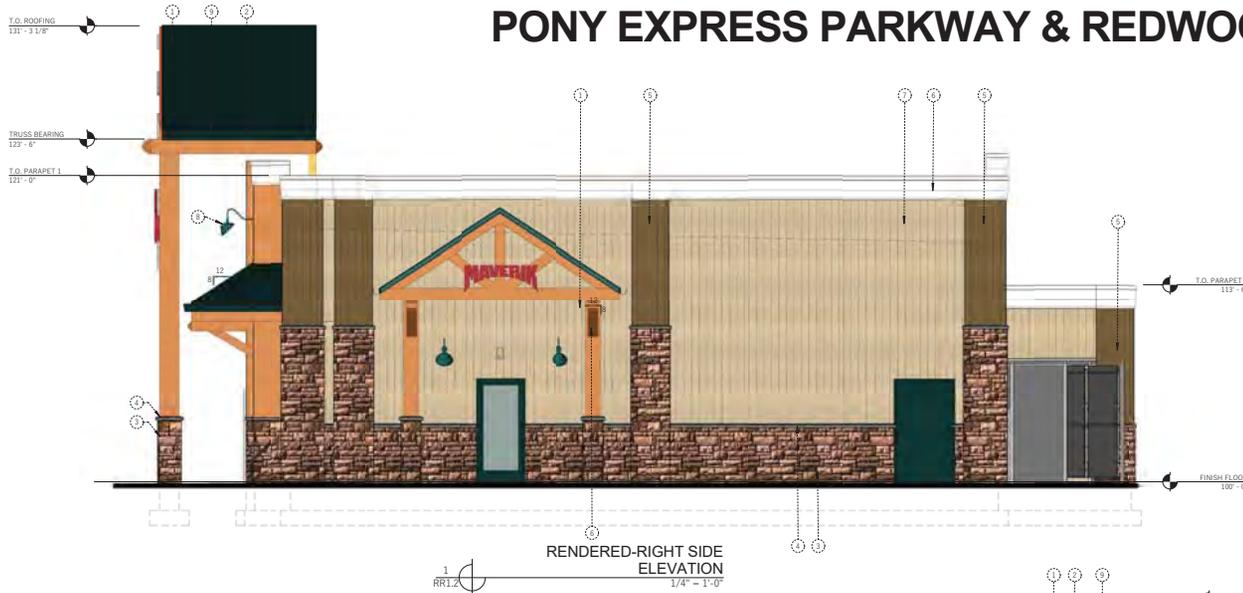
1 RENDERED-REAR ELEVATION
RR1.1 1/4" = 1'-0"

ADVENTURE'S FIRST STOP
MAVERIK

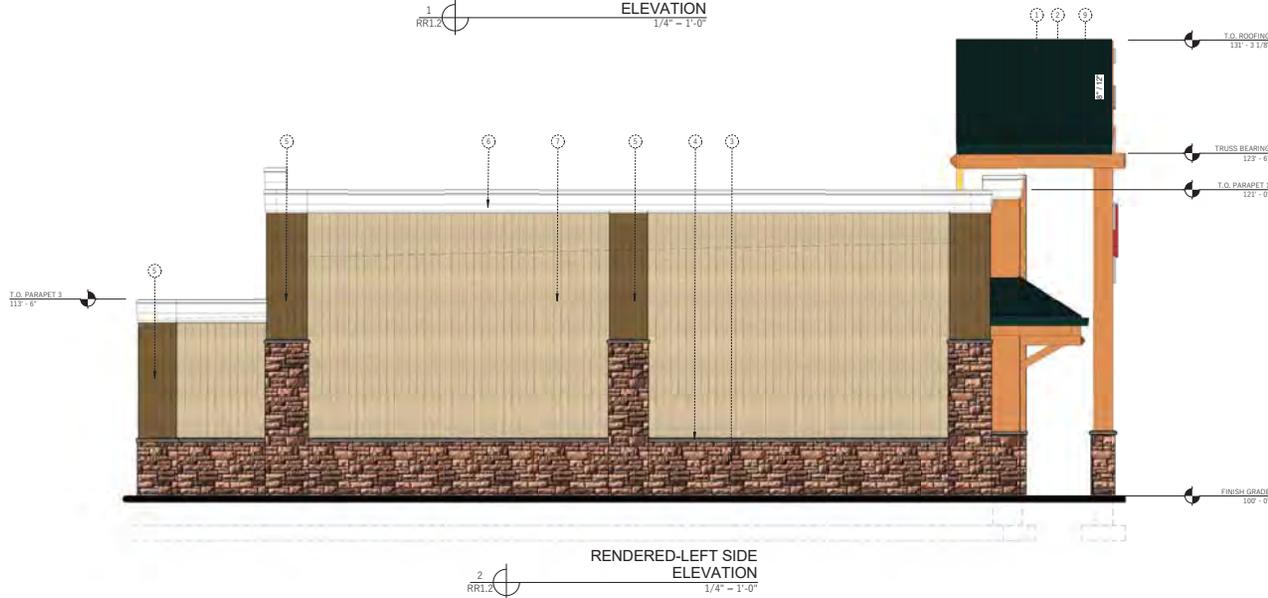
JZW
ARCHITECTS

MAVERIK STORES, INC.

PONY EXPRESS PARKWAY & REDWOOD ROAD, SARATOGA SPRINGS



- KEYED NOTES
- 1 PRE-FINISHED ROOF PANELS - MBI 'CLASSIC GREEN'
 - 2 PRE-FINISHED ROOF FLASHING - MBI 'CLASSIC GREEN'
 - 3 STONE VENEER - CSV-20006 COUNTRY LEDGESTONE 'CHARDONNAY'
 - 4 CULTURED STONE CAP - CSV-20006 COUNTRY LEDGESTONE 'CHARDONNAY'
 - 5 FIBER CEMENT BOARD - HARDBOARD 'CHESTNUT BROWN' BOARD AND BATTEN
 - 6 FIBER CEMENT CORNICE - HARDBOARD 'SAL CLOTH' TRIM
 - 7 FIBER CEMENT BOARD - HARDBOARD 'AUTUMN TAN' BOARD AND BATTEN
 - 8 SURFACE MOUNTED LIGHT FIXTURE. SEE ELECTRICAL.
 - 9 PRE-FINISHED ROOF GUTTER - MBI 'BRITRE RED'



APPLICATION REVIEW CHECKLIST

(8/20/2014 Format)

Application Information

Date Received:	11/10/2016, 12/27/2016
Date of Review:	11/22/2016, 1/9/2016
Project Name:	Maverik
Project Request / Type:	General Plan Amendment, Rezone, and concept
Meeting Type:	Public Hearing
Applicant:	Maverik, Inc. (Russell Skuse)
Owner (if different):	Loyal and Renae Nilsson
Location:	Northwest corner of Redwood Road and Pony Express Parkway
Major Street Access:	Redwood Road, and Pony Express
Parcel Number(s) and size:	Part of 51:231:0027; 2 acres of the overall parcel acreage of 6.21
General Plan Designation:	Business Park
Zone:	Rural Residential
Adjacent Zoning:	RR (Rural Residential), PC (Planned Community)
Current Use:	Lake Mountain Tree Movers
Adjacent Uses:	Rural Residential uses
Previous Meetings:	N/A
Land Use Authority:	City Council
Type of Action:	Legislative
Future Routing:	City Council
Planner:	Kara Knighton, Planner I

Section 19.13 – Application Submittal

- Application Complete: yes
- Rezone Required: yes
 - Zone: Rural Residential to Regional Commercial
- General Plan Amendment required: yes
 - Designation: Business Park to Regional Commercial
- Additional Related Application(s) required: Rezone, General Plan Amendment, and Concept plan

Section 19.13.04 – Process

- DRC: 11/14/2016
- UDC: 11/14/2016
- Neighborhood Meeting: N/A

- PC: 1/26/2016
- CC: 2/7/2016

General Review

Building Department

- Setback detail
- Lot slope and need for cuts and fills

Fire Department

- Width adequate for engine, minimum of 26 feet
- Turnarounds on cul-de-sacs and dead-ends more than 150' in length
- Fire hydrant locations, maximum separation of 500 feet for residential development and 300 feet for commercial development
- Cul-de-sac diameter, 96' drivable surface – use current Engineering detail
- Third party review required for sprinkler systems
- Dimension street and cul-de-sac widths on plat

GIS / Addressing

- No comments

Code Review

- 19.04, Land Use Zones: Reviewed under Regional Commercial (RC): **Can comply.**
 - Zone: Reviewed under Regional Commercial (RC)
 - Use: Convenience store/fast food combination: Conditional Use. A conditional use permit will be needed with site plan.
 - Minimum lot size: Complies. 30,000 sq. ft.; 87,120 sq. ft. proposed.
 - Setbacks: Complies.
 - Front: 20' min.; 140' proposed
 - Sides: 20' min.; 118' proposed to the east and 124' proposed to the west
 - Rear: 30' min.; 48' proposed
 - 5' of separation between the building and any private road, driveway, or parking space: Can comply. There is 6' provided between the parking lot and the front façade columns.
 - Height: Complies. 50' max; the height of the entry is 31'3" and the height of the structure is 21'2".
 - Lot coverage: Complies. 50% max; 7% proposed. The building is 5,518 sq. ft. and the overall site is 87,120 sq. ft. for an overall lot coverage of 7%.
 - Building size: Complies. 1,000 sq. ft. minimum; 5,518 sq. ft. proposed.
 - Development standards: Complies. Required front yard areas, and other yard areas facing a public street, shall have a landscaped area of not less than 20'. There is 30' proposed next to Redwood, and 20' proposed next to Pony Express.
 - Uses within buildings: Can comply. The City Council must deem the gas pumps to be customarily and appropriately conducted outside.
 - Landscaping: Complies. 20% required; 21% provided.

- Sensitive Lands: Complies. Sensitive lands are proposed in way of a detention pond and accounts for .08% of the overall project area. The pond is in protective open space.
 - Buffering/Screening: Complies. A minimum of both deciduous and evergreen trees are required as specified in Section 19.06. Provided.
 - Trash: A dumpster enclosure is proposed on the layout. The details of the dumpster enclosure will be reviewed further at time of site plan.
- 19.05, Supplemental Regulations: **Complies.**
 - Flood Plain: Complies. The parcel is not within the flood plain.
 - Water & sewage: Will connect to City infrastructure.
 - Transportation Master Plan: Complies. There is no proposed conflict with the Transportation Master Plan.
 - Property access: Complies. The parcel abuts Redwood Road and Pony Express Parkway.
- 19.06, Landscaping and Fencing: **Can comply. To be reviewed further at time of site plan.**
 - General Provisions:
 - Automated water conserving irrigation systems, including water conserving sprinkler heads and rain sensors shall be required. To be reviewed at time of site plan.
 - Landscaping Plan: Conceptual level plans provided.
 - Planting Standards & Design: Can comply.
 - Required trees: Can comply.
 - Deciduous trees: Complies. 2" caliper required; 2" caliper proposed
 - Evergreen trees: Complies. 6' height required; 6' height proposed.
 - Tree Base Clearance: Can comply. A note specifying a 3' tree base clearance free of rock and turf is needed.
 - Shrubs: Complies. 25% shall be 5 gallon and the remainder shall be 1 gallon. Complies. 26 shrubs are required and of those 7 must be in 5 gallon containers. 9 shrubs are proposed in 5 gallon containers and the rest are proposed in 1 gallon containers.
 - Turf: Complies. 70% is the maximum; 58% proposed.
 - Drought tolerant plants. Complies. 50% of shrubs shall be drought tolerant; 67% proposed.
 - Rock: Can comply. 2 different sizes and colors required; 1 size and color proposed.
 - Planting and shrub beds: Can comply. The shrubs beds are separated from the lawn beds. All other items will be determined at time of site plan.
 - Artificial turf: Complies. No artificial turf is proposed.
 - Softening of walls and fences: Complies. Plants shall be placed intermittently against long expanses of building walls, fences, etc. Plants are proposed along the building and other walls and fences.
 - Amount: The following amounts are required.
 - 50% live vegetation unless bark mulch is used instead of rock mulch then 40% live vegetation. 50% is proposed as live vegetation.
 - A minimum of 8 deciduous trees, 6 evergreen trees, and 26 shrubs. Complies. 25 deciduous trees are provided, 12 evergreen trees are provided, and 128 shrubs are provided.

- Additional Requirements: Complies. Park strips shall be landscaped when site improvements are completed. Lawn and street trees are currently proposed in the park strips.
- Fencing & Screening: Any retaining wall over 4' will require a building permit. No 4' retaining walls are currently proposed.
- Clear Sight Triangle: Complies. Nothing taller than 3' is proposed in the clear sight triangles.
- 19.09, Off Street Parking: **Complies as to the information provided.**
 - General Provisions: To be reviewed further during site plan.
 - The parking lot consists of asphalt and concrete.
 - Dimensions: Complies. 90 degree parking requires 9'x18' stalls with a 24' aisle. The proposed stalls measure 9'x 20' with an aisle of 24' or greater.
 - Accessible: Complies. The project proposes 28 parking stalls of which one is required to be van accessible and another to be accessible. The project proposes 28 stalls, one van accessible stall, and another one as accessible.
 - Landscaping: Complies.
 - Islands on doubled rows of parking: Complies. No doubled rows of parking proposed.
 - Islands on single rows of parking: Complies. One 9'x18' landscaped island a minimum of every ten stalls and must contain one tree. The proposed landscape islands are 9'x 20' and each has at least one tree.
 - Pedestrian Walkways & Accesses: Complies. For parking lots 75,000 sq. ft. or larger a 10' wide delineated pedestrian pathway is required. The proposed site is 87,120 sq. ft.- 5,518 sq. ft. (building) - 16,307 sq. ft. (landscaping) = 65,2395 sq. ft. The parking lot is smaller than 75,000 sq. ft.
 - Shared Parking: Complies. No shared parking is proposed.
 - Minimum Requirements: Can comply. 5 stalls per 1,000 sq. ft. The building is 5,518 sq. ft. requiring 28; 28 spaces are provided. The minimum of 28 spaces may not be exceeded by more than 25% thus 35 parking spaces are the maximum and 35 stalls are provided.
- 19.11, Lighting: **To be further reviewed at time of site plan.**
 - Wall mounted light fixtures: height may not exceed 16'. The height has not be indicated.
- Section 19.13, Process: **Can comply.**
 - General Considerations: Can comply. A Rezone and General Plan Amendment are both proposed.
 - Notice / Land Use Authority: Notices will be required for the Public Hearings and the City Council is the Land Use Authority for both the Rezone and the General Plan Amendment.
 - Development Agreement: A DA will be required to accompany the rezone.
 - Payment in Lieu of Open Space: Complies. None proposed.
- 19.14, Site Plans: Can comply
 - Commercial
 - Development Standards: Complies.
 - Site plan standards: The entire parcel area shall be built upon. Complies. The entire proposed parcel is to be built upon.
 - Special Provisions: Can comply.

- Uses within buildings: Can comply. The City Council must deem the gas pumps to be customarily and appropriately conducted outside.
 - Nuisances: Can comply. Gas fumes and other odors and noises are usually associated with gas pumps.
 - Residential conversions: Complies. The proposed project is not a residential conversion.
- 19.16, Site and Architectural Design Standards: **Can comply. To be further reviewed at site plan.**
 - Pedestrian connectivity: Safe pedestrian connections shall be made between buildings within a development to any streets adjacent to the property. Complies. A pedestrian connection is proposed to Redwood and to Pony Express.
 - Parking areas: Can comply. On-site parking shall be located primarily to the sides or rear of the building. 50% exception requested. 50% of the proposed parking
 - Parking lots adjacent to, and visible from, public streets shall be screened from view through the use of earth berms, screen walls, landscape hedges or combinations thereof with a minimum height of three feet.
 - Acceleration and deceleration lanes: shall be required on major arterials when deemed necessary by the City Engineer.
 - Parking structures: Complies. No parking structures are proposed.
 - Trash enclosures: Can comply. A trash enclosure is proposed. The enclosure material needs to match the building.
 - Utility boxes: Can comply. Shall be screened.
 - Shopping car corrals: Complies. None proposed.
 - Uses within buildings: Can comply. All uses established in any commercial zone shall be conducted entirely within a fully enclosed approved building except those deemed by the City Council to be customarily and appropriately conducted in the open. The gas pumps will required Council approval.
 - Outdoor display: Can comply. It is anticipated that there will be some outdoor display such as firewood, washer fluid, etc. The following requirements shall apply.
 - All retail product displays shall be located under the buildings' permanent roof structure or on designated display pads within front landscape areas.
 - All display areas shall be clearly defined on the approved Site Plan and designated on the site with a contrasting colored, painted, or striped surface.
 - Display areas shall not block building entries or exits, pedestrian walks, or parking spaces in front of the building. Outdoor display areas shall not spill into walkways or any drive aisle adjacent to a building.
 - Seasonal uses outside of these areas may be approved through the Temporary Use process.
 - Access requirements: Complies. 40' maximum; 40' proposed.
 - Off-street truck loading space: Can comply. The following shall apply.
 - Off-street Truck Loading Space. Every structure involving the receipt or distribution by vehicles of materials or merchandise shall provide and maintain on the building's lot adequate space for standing, loading, and unloading of the vehicles in order to avoid undue interference with public use of streets, alleys, required parking stalls, or accessible stalls.
 - Screening of storage and loading areas: Can comply.

- These areas shall not be located on the side(s) of the building facing a public street. Complies. The proposed storage area is located on the rear of the building.
 - The following shall apply.
 - Screening for storage and loading areas shall be composed of 6 foot high solid masonry or architectural precast concrete walls with opaque gates and self-latching mechanisms, to keep gates closed when not in use. Bollards are required at the front of the masonry walls to protect the enclosure from trash collection vehicles.
 - Gates shall be made of opaque metal for durability. Chain link gates with opaque slats are prohibited.
 - The method of screening shall be architecturally integrated with the adjacent building in terms of materials and colors.
 - Trash areas shall be designed to include the screening of large items (e.g. skids and pallets) as well as the trash bin(s) that are needed for the business (unless storage is otherwise accommodated behind required screened storage areas).
- Buffers: Can comply.
- Parking lot buffers: 10' of landscaping between parking areas and side and rear property lines adjacent to agricultural and residential land uses. Complies. 10' of landscaping is proposed between the parking areas and the side and rear property lines.
- Interconnection: Complies. All parking and other vehicular use areas shall be interconnected with adjacent non-residential properties in order to allow maximum off-street vehicular circulation. Stubbing for future connection has been proposed.
- Building articulation: Can comply. The following shall apply.
 - Building elevations exceeding 40 feet shall incorporate a minimum of two of the following spaced at intervals of 30 to 50 feet of horizontal width:
 - A single elevation shift, stepping portions of the elevation to create shadow lines and changes in volumetric spaces of at least five feet.
 - A combination of vertical and horizontal elevation shifts that together equal at least five feet.
 - Addition of horizontal and vertical divisions by use of textures or materials.
 - Primary material change.
 - Addition of projections such as balconies, cornices, covered entrances, porte-cocheres, trellis', pergolas, arcades, and colonnades. Such trellis' and awnings extend outward from the underlying wall surface at least 36-inches.
 - Variation in the rooflines by use of dormer windows, overhangs, arches, stepped roofs, gables or other similar devices.
- Roof treatment.
 - Sloped roofs shall provide articulation and variations in order to break up the massiveness of the roof. Sloped roofs shall include eaves which are proportional to the roofs slope and scale of the building.
 - Flat roofs shall be screened with parapets on all sides of the building. If no roof top equipment exists or is proposed, the parapet shall be a minimum of 18 inches in height of the roof.

- Roof mounted equipment shall not be visible from adjacent public and private streets as well as from adjacent properties, unless grade differences make visibility unavoidable.
 - In no case shall wooden or vinyl fences or chain link fencing with slats be used as a roof top equipment screen.
- Windows: Complies. Windows, other than rectangular windows, may be used as accents and trim. Untreated aluminum or metal window frames are prohibited.
- Awnings, canopies, trellises, pergolas, and similar features.
 - All such features must be attached to a vertical wall.
 - All such features shall project at least 4 feet from the building when located over a pedestrian traffic area and no less than 2 feet otherwise.
 - All such features shall maintain a minimum clearance above sidewalk grade of 8 feet to the bottom of the framework when located over a pedestrian traffic area.
 - Backlighting is not permitted.
- Mechanical Equipment.
 - All mechanical equipment shall be located or screened and other measures shall be taken so as to shield visibility of such equipment from any public or private streets.
 - Wing walls, screens, or other enclosures shall be shall be integrated into the building and landscaping of the site, whether located on the ground or roof.
 - Rooftops of buildings shall be free of any mechanical equipment unless completely screened from all horizontal points of view.
 - Screening materials shall conform to the color scheme and materials of the primary building.
- Four-sided architecture.
 - All sides of a building that are open to public view (including views from adjacent residential dwellings or probable location of residential dwellings) shall receive equal architectural design consideration as the building front.
- Colors and materials.
 - Exterior Building Materials shall be considered any materials that make up the exterior envelope of the building and shall be limited to no more than four and no less than two types of materials per building, window and door openings excluded.
 - Color of exterior building materials (excluding accent colors) shall be limited to no more than four and no less than two major colors per development.
 - No more than 75% of any building elevation shall consist of any one material or color.
- Prohibited materials: Complies. The building does not propose any of the prohibited materials.
- All stairways to upper levels shall be located within the building unless otherwise approved by the Land Use Authority for secondary access to outdoor patio decks or other usable outdoor area. Complies. No upper levels are proposed.
- All roof drains, conduit and piping, maintenance stairs and ladders, air conditioning units, and other related services shall be located on the interior of the building.
- To the extent possible, all electric panels and communication equipment should be located in an interior equipment room.
- Street Orientation.

- All Retail or Commercial buildings shall have expansive windows, balconies, terraces, or other design features oriented to the street or adjacent public spaces.
 - At least 50 percent of the first floor elevation(s) of multi-story buildings that are viewed from public streets shall include transparent windows, display windows, and/or doors to minimize the expanse of blank walls and encourage a pedestrian friendly atmosphere.
Complies. The proposed building is only one story.
- Metal Buildings: Complies. None proposed.
- 19.18, Signs: **To be reviewed further at time of site plan.**
 - A primary channel letter sign is proposed on the front façade. Size is currently not indicated.
 - A secondary sign is proposed on the right side elevation (facing Redwood Road). Size is currently not indicated.
- 19.27, Addressing: **To be determined and reviewed further at time of subdivision.**
- Fiscal Impact: None.

**City of Saratoga Springs
Planning Commission Meeting
December 8, 2016**

Regular Session held at the City of Saratoga Springs City Offices
1307 North Commerce Drive, Suite 200, Saratoga Springs, Utah 84045

Minutes

Present:

Commission Members: Kirk Wilkins, Sandra Steele, Hayden Williamson, David Funk, Troy Cunningham
Staff: Kimber Gabryszak, Planning Director; Mark Christensen, City Manager; Kevin Thurman, City Attorney; Gordon Miner, City Engineer; Nicolette Fike, Deputy Recorder
Others: Todd Myers, Russell Skuse

Excused: Ken Kilgore, Brandon MacKay

Call to Order - 6:30 p.m. by Chairman Kirk Wilkins

1. **Pledge of Allegiance** - led by Todd Myers

2. **Roll Call** – A quorum was present

3. **Public Input**

Public Input Open by Chairman Kirk Wilkins

No public comment was given.

Public Input Closed by Chairman Kirk Wilkins

Item 4 moved till later in the meeting

5. **Approval of the 2017 Regular Meeting Schedule for the Planning Commission.**

Motion made by Commissioner Funk to approve the 2017 Regular Meeting Schedule for the Planning Commission. Seconded by Commissioner Cunningham. Aye: Sandra Steele, David Funk, Kirk Wilkins, Hayden Williamson, Troy Cunningham. Motion passed 5 - 0.

6. **Work Session: Maverik, located at the Northwest Corner of Redwood Road and Pony Express, Maverik Inc., Russell Skuse, applicant.**

City Planner I Kara Knighton presented the application for review. The applicant is requesting a Rezone from Rural Residential to Regional Commercial for a gas station/convenience store.

Russell Skuse, applicant, was present to answer questions.

Commissioner Williamson asked if UDOT gave the approval for the full access.

Russell Skuse replied they have met with UDOT and that is in their standards, the access is something that will be worked out with UDOT as they go through the process. They have updated plans that reflect the changes to Redwood Road.

Commissioner Funk also wondered about the access on UDOT. He received clarification that there were 7 pumps. He commented that the landscaping didn't seem to meet the 20% requirement.

Russell Skuse responded that the new plans have had the landscaping adjusted.

Commissioner Steele recalled when they first designated the use as Business Park. She can't support changing the General Plan and the Zone. She commented on the placement of the ADA spots. The rear

elevation needs something to dress it up. She asked staff what they thought about parking in the rear. She commented that they may meet the minimum for trees but it seems there are no trees along Pony Express. The trees help mitigate sound and pollution. She noted the high traffic in the area during commute times that may be a safety issue.

Russell Skuse responded that they are capturing the traffic, not generating it. They are only asking to change their portion of the property. The ADA spots are compliant, in front of the doors. He said they could look at adding more trees as they move through the process.

Planner I Kara Knighton noted that with pending ordinance there is an exception that if 50% of parking is to the sides and rear then they could put 50% in the front.

Planning Director Kimber Gabryszak commented that they will be discussing the parking in the rear further in the subcommittee. Parking in the rear for instance doesn't make sense for this type of use.

Commissioner Cunningham was concerned about delivery trucks that may be blocking the area during peak hours. He referred to the problem in the Bluffdale store. He also asked about future widening of Pony Express. His other concern was how this would affect the General Plan. Russell Skuse commented that this area is much bigger and they would direct the trucks where to park to stay out of the flow of the parking area. Mark Christensen noted widening of the road is anticipated to happen to the south.

Commissioner Wilkins recalled requiring different delivery times which the commission suggested in another gas station, could we look at that. Planning Director Kimber Gabryszak responded that in that situation the truck radius was such that it would obstruct traffic, we don't have that situation here, but we can look at it with the traffic study and consider if there are going to be issues. Commissioner Wilkins is concerned about the ingress egress on Redwood Road. He would like to see some sort of speed adjustment on the main road because it is too fast to get into this store.

4. **Public Hearing: Bicycle & Pedestrian Study & Master Plan, an element of the General Plan, City initiated.**

Planning Director Kimber Gabryszak gave a summary of the study. It will be a standalone element of the General Plan (GP) and used with the Parks and Trails Master Plan. It includes goals and objectives for bicycle and pedestrian planning in the City, a background on existing conditions, a summary of public outreach and surveys, and the resulting proposed system improvements and prioritization. The plan identifies construction and ongoing maintenance costs. Changes were made based on previous work session and public hearing recommendations.

Public Hearing Open by Chairman Kirk Wilkins

No public input was given.

Public Hearing Closed by Chairman Kirk Wilkins

Commissioner Steele commented that in the General Plan, the word handicapped should be changed to disabled. She asked if we had the equipment to sweep bike paths and for snow removal. City Manager Mark Christensen replied that they have the necessary equipment and do clear the trails currently. There is a prioritization in place. Commissioner Steele suggested that if we are going to encourage bike and pedestrian access we should talk with UDOT and get no parking signs along bike paths so bikes aren't forced into main traffic. She noted a few typo's in the document. She asked if we have continuous trail from the Marina to the Jordan River Trail. City Manager Mark Christensen responded not yet but it is planned. Commissioner Steele said in the appendix there are parking requirements. Planning Director Kimber Gabryszak noted that those are a reference to best practices, not a requirement. If the City chooses to adopt standards we can use this as a guide. Commissioner Steele was concerned with raised intersections, it should be to ADA standards, they look nice and serve a purpose but can present a danger.

Commissioner Williamson is concerned about bike parking standards; he doesn't want to force that onto businesses. He wondered how we will determine which model we get. Planning Director Kimber Gabryszak noted it will be similar to other plans where developments bring in the pieces and grants can fill

**CITY OF SARATOGA SPRINGS
CITY COUNCIL MEETING MINUTES**

Tuesday, January 3, 2017
City of Saratoga Springs City Offices
1307 North Commerce Drive, Suite 200, Saratoga Springs, Utah 84045

City Council Work Session

Present Mayor Jim Miller, Council Members Chris Porter, Shellie Baertsch, Michael McOmber, Stephen Willden, and Bud Poduska.

Staff City Manager Mark Christensen, City Attorney Kevin Thurman, Assistant City Manager Spencer Kyle, Public Relations Economic Development Manager Owen Jackson, Planning Director Kimber Gabryszak, Planner Kara Knighton, City Recorder Cindy LoPiccolo.

Maverik Concept Plan, Rezone, and General Plan Amendment Review:

Planner Kara Knighton presented the proposed Maverik application for rezone, General Plan Amendment, and Concept Plan, for Council review and informal feedback. Planner Knighton identified the project site location at the corner of Redwood Road and Pony Express, and reviewed proposed access, structure elevations, parking, landscape, delivery and traffic patterns.

Applicant Representative Russell Skuse reported information was received from the Planning Commission and they are working with property owners to extend access off Pony Express 500 feet to the north to achieve full movement in the event a future median is incorporated on Pony Express. If unable, the business would still have right in right out movement with full movement up until a median is placed. He reported they are working closely with Planning Staff, understands there will be code changes coming to Council for consideration, and as discussed with staff interested in exploring doing a use permit with Community Commercial, moving forward making sure everything is compatible.

Council Member Baertsch noted the Planning Commission had brought up some things and she had several concerns and questions. Council Member Baertsch clarified the north entrance is planned to be a shared access with the existing driveway on Redwood Road; noted Business Park zoning was chosen for this site to ensure lower traffic counts, and although the applicant believes the business would capture traffic, it is a concern it would create more traffic conflict points as people are entering and exiting at a more frequent rate. She inquired what the traffic count difference would be for a gas station v. business park/office; City Engineer Gordon Miner responded he does not have numbers, however, traffic counts for a site such as this would be higher. Council Member Baertsch noted this is a great concern as there are already many issues on this particular corner with high traffic counts and close proximity to schools. She explained this use would be increasing the amount of potential conflicts, people crossing in and out of those intersections, not the actual number of cars there; with an office park there will be a couple of times during the day when people are going in and out every few minutes. She pointed out another Maverik application has been submitted and in discussion for the Ring Road area which is already a Commercial area and another light will be there soon. This makes more sense than taking something that is the City's business park area and increasing the number of potential conflict points. There are also places along Pony Express that are already zoned commercial and believe would be better than this particular corner. She appreciates the landscaping as requested by the Planning Commission with inclusion of trees along Pony Express and Redwood Road. Thinks Maverik has great stores but does not think this is the right place.

Council Member Baertsch commented another major concern is the flow of traffic within the site itself. She reported she reviewed other Maverik stores, noted the traffic flow for delivery and rear loading garbage trucks coming in from the north provides no place to turn around and does not work as currently shown; reported most Maverik sites have five to ten more feet of aisle space allowing for turning, this site is too small in several places, delivery trucks would be running up on curbs, and the City is trying not to duplicate problems and issues. This is

55 another reason she does not think this is the right place to change zoning from a business park to allow for a gas
56 station on this particular site.

57
58 Council Member Baertsch commented concerning the elevations for the right side and rear where outdoor storage
59 is kept fencing is marked as grey which does match the rest of the façade; noted cannot be chain link with vinyl
60 slats, would need to be the rock and cement fiber board to match the building, the garbage surround would need
61 to match the building as well with rock, not cinder block.

62
63 Maverik Representative Skuse stated they have looked at nine of their Maverik sites and do capture the traffic
64 already existing there, and based on the land use of what they are proposing versus a business park, the business
65 park actually generates more traffic. Mr. Skuse noted they have relocated the garbage to provide secondary access
66 to the other parcels with access points allowing people to move in and out through the adjacent parcels. Council
67 Member Baertsch pointed out she is specifically saying a garbage truck coming in from the north turns right into
68 the parcel at the northern most entrance, comes southward and turns right again headed west toward the garbage
69 facility, and at that point are backing all the way down the entire alley way, which is not safe and they do not like
70 to do that, as it is a rear loading garbage truck, the site plan does not work. Mr. Skuse noted there is an access
71 point to the north of the garbage area so there is no backing up if the truck came in from Pony Express and made
72 a right, could pick up the garbage there and continue north. Council Member Baertsch responded it would still
73 take backing, although a shorter amount; emphasized her biggest concern is the existing traffic in this area and
74 the potential for more conflict points entering and exiting, and we purposely said we wanted this to be business
75 park area so there would be lower constant traffic counts.

76
77 Council Member Poduska commented his perception was quite a bit different, in his initial review its similarity
78 to the Chevron station layout at Crossroads and Redwood Road struck him, recalls when the Stop Shop opened it
79 had an access entrance that extended to the north onto Redwood, which was necessary for the same reasons and
80 UDOT saying it was too close to the signal; pointed out it seems to have worked. He understands from a business
81 standpoint the location should be near the most traffic and that corner seems would led itself to the business, it is
82 also close to the high school for use as a lunch stop. Council Member Poduska expressed concern if negotiations
83 with landowners were unsuccessful, however, noted the full access point to the west would be a convenience, and
84 is not necessary. He noted the rear loading garbage truck would come in from the south and back in.
85 Representative Skuse reported the access point to the north has been secured and is in place; they are working
86 with current landowner to the south on Pony Express for that entrance; noted they do not necessarily need that
87 access and can do it with the right in right out, however, trying to achieve the full movement by shifting the point
88 down a little further to the west. He noted the garbage dumpsters would be located in the back or side to avoid
89 conflicts.

90
91 Council Member McOmber commented in review of this application he believes his opinion is in the middle. He
92 appreciates Council Member Baertsch's comments, also had concern with the dumpster fencing materials and
93 color, has seen the Provo store on State Street and aesthetically likes that store, if the same it will fit in, it is a good
94 location for business. In regard to backing, traffic flow and stalls, asked this be worked out as required by the
95 City to make sure customers are not impacted and will look for that in a revised traffic flow plan. Noted the traffic
96 counts are a nightmare because of the schools and traffic coming from Eagle Mountain, does not love this is in
97 this location and can support it only if the western access happens, this needs more than right in right out for cars
98 to be able to turn into the Maverik and not be part of the queing of cars which at times could que past the western
99 entrance, however, thinks this is a service and wants to provide that. The access further west is essential to keep
100 things moving and does not want Eagle Mountain saying we screwed up their traffic adding six minutes to their
101 commute because it gets backed past the Jr. High school. With that it becomes much more like the Chevron as
102 pointed out by Council Member Poduska where the access is moved further back. Also make sure to continue to
103 work with staff. On a concept plan perspective, the western entrance is going to be his hang up, for him that will
104 be the turning point and hopes they will be able to work that out with the landowner. Mr. Skuse commented in
105 every entity projects are always a little different and they are extremely flexible and willing to provide what is
106 requested

107

108 Council Member Willden clarified if the entrance is pushed back further west it will be a shared entrance and
 109 would address concerns here. Agrees the business would benefit adjacent development which in turn could benefit
 110 the store from office spaces around there. Had some concerns with some of the traffic pattern, however, thinks a
 111 lot could be addressed with setting delivery times, etc. Inquired if a conditional rezone was done tying to a specific
 112 use, it could be made conditional upon the site plan going through at the same time. Mr. Skuse reported they have
 113 talked about going to the Community Commercial zoning in their meeting with staff, which would be a lesser
 114 zone, however, when they come in with their site plan would do a Conditional Use Permit (CUP) which would go
 115 with the site plan. City Attorney Thurman advised it is always safest to have a development agreement that runs
 116 with the land for guarantee, the zone is permanent and would be a conditioned rezone, would not be recorded until
 117 the final site plan approval is given, but to guarantee it remain as this particular use a development agreement is
 118 the best tool and can be kept simple so it does not deviate from the code but puts in writing there is a rezone, the
 119 Maverik concept plan and site plan is a condition of that rezone.

120
 121 Council Member Willden commented he is comfortable with whatever is the best methodology, noted there are
 122 certain businesses that would not be conducive to have office spaces around it. Another question for staff is would
 123 the Pony Express alignment on the Master Transportation Plan have any impact; Director Gabryszak responded it
 124 would not; Council Member Baertsch noted a Transit Hub is included on the MTP in that location which may or
 125 may not have an effect.

126
 127 Council Member Porter commented he believes they have heard most of the concerns, staff will steer the applicant
 128 in the right direction with the concept plan. His concern with the rezone is this is planned as a business park, the
 129 only saving grace is he could see this as a peripheral use in a business park. Noted once it is zoned Community
 130 Commercial neighboring property owners may want the same zoning and all of a sudden it is not business park.
 131 Also sees some similarities with the Chevron station, however, it more resembles the Wendy's and Taco Bell
 132 location because it is going to be difficult to access coming from the south. He has concerns about the traffic and
 133 getting the western access would alleviate some of those concerns, however, as it was mentioned there is a
 134 potential at Ring Road and he feels that may be an easier and more conducive site.

135
 136 Closed Session Adjourned at 7:00 p.m.

137
 138 **City Council Policy Meeting**

139
 140 **Call to Order:** Mayor Jim Miller called the Policy Session to order at 7:01 p.m.

141
 142 **Roll Call:**

143 Present Council Members Chris Porter, Stephen Willden, Michael McOmber, Bud Poduska, and
 144 Shellie Baertsch.

145
 146 Staff Present City Manager Mark Christensen, City Attorney Kevin Thurman, Assistant City Manager
 147 Spencer Kyle, Public Relations and Economic Development Manager Owen Jackson, Police
 148 Chief Andrew Burton, Fire Chief Jess Campbell, Finance Manager Chelese Rawlings,
 149 Planning Director Kimber Gabryszak, City Engineer Gordon Miner, Public Works Director
 150 Jeremy Lapin, City Recorder Cindy LoPiccolo.

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 152 Invocation by Council Member Poduska.

153 Pledge of Allegiance led by Council Member Baertsch.

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 155 **Public Input:**

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 157 Mayor Miller invited public input.

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 159 Jennifer Kañar, leader of the Stem Master Minds Team, introduced the student members Cathan Canar, Josie
 160 Dolman, Carson Dewey, Andrew MacKay, Simon Evans, and Andrew Martineau, who presented reports and
 161 information concerning the decline of native birds and the team's efforts to support the birds, especially American

City of Saratoga Springs Planning Commission Meeting
January 12, 2017

Regular Session held at the City of Saratoga Springs City Offices
1307 North Commerce Drive, Suite 200, Saratoga Springs, Utah 84045

Minutes

Present:

Commission Members: Kirk Wilkins, Sandra Steele, Hayden Williamson, David Funk, Ken Kilgore, Troy Cunningham
Staff: Kimber Gabryszak, Planning Director; Sarah Carroll, Senior Planner; Kara Knighton, Planner 1; Jeff Attermann, Planner 1; Kevin Thurman, City Attorney; Gordon Miner, City Engineer; Nicolette Fike, Deputy Recorder; Andrew Burton, Police Chief
Others: Fred Cox, Johnny Anderson, Stan Steele, Jared Hanie, Tanya Parker, Ryan Poduska, Doug Towler

Call to Order - 6:30 p.m. by Chairman Kirk Wilkins

1. **Pledge of Allegiance** - led by Doug Towler
2. **Roll Call** – A quorum was present
3. **Business Item: Swearing in of New Planning Commission Member: Ken Kilgore.**
Ken Kilgore was sworn in by Deputy Recorder Nicolette Fike.
4. **Business Item: Election of Planning Commission Chair and Vice Chair for 2017.**
Commissioner Steele nominated Kirk Wilkins for Chair. Commissioner Cunningham seconded. All Commissioners voted in favor of the nomination: **Kirk Wilkins was elected as Chairman.**
Commissioner Steele nominated David Funk for Vice Chair. Seconded by Commissioner Cunningham. All Commissioners voted in favor of the nomination: **David Funk was elected as Vice-Chair.**
5. **Public Input**
Public Input Open by Chairman Kirk Wilkins
No public input was given.
Public Input Closed by Chairman Kirk Wilkins

Item 6 was moved to later in the meeting.

7. **Public Hearing: Site Plan and Conditional Use Permit for ABC Great Beginnings located at the NW corner of Aspen Hills Blvd. and Redwood Road. Johnny Anderson, applicant**
Planner 1 Kara Knighton presented the item. The City Council previously approved the Rezone from Agriculture to Mixed Use with the condition that no residential be permitted. The proposal consists of 2 one-story buildings on the north for office space and deli-style businesses, and 2 two-story buildings on the south for a child care center and retail/office space. They are requesting a reduction in parking.

Fred Cox, architect, was present for applicant. He mentioned the City has strict requirements for Water detention. They have come up with a design they believe will solve the problems.

Public Hearing Open by Chairman Kirk Wilkins
No public comments were given.
Public Hearing Closed by Chairman Kirk Wilkins

Commissioner Williamson joined the meeting at this time.

Commissioner Kilgore asked for the context of City Council not allowing residential in the area. Planner 1 Kara Knighton responded that the Council decided that based on public input, only for this project. Commissioner Kilgore wanted to make sure that the conditions that “Can Comply” items would be complied with. He commented on the items. Fred Cox said they updated their base to meet the additional redlines from staff. The drawings are being updated. He said they will solve the issues and meet the requirements.

Commissioner Cunningham commented his main concern was that there didn’t seem to be enough parking on the north end of the lot. It didn’t seem to have a good flow. He was concerned with the Daycare near Aspen Hills Blvd. a busy road. Fred Cox noted that the fence would not be the type kids would climb, it was not screened but was a nicer style (wrought iron was proposed). It creates an opportunity for kids to play and allows people driving by to see the playground equipment and realize it is a child care facility. The building is designed so it fronts all the way around. The doors on the south go into a fenced area. Commissioner Cunningham liked that the buildings faced the street and that the garbage can was in a place that was easily accessible.

Commissioner Funk asked how long they knew it would be coming before the Planning Commission. He was concerned that there were several “Can Comply” items and perhaps they were not prepared to come to Planning Commission quite yet.

Fred Cox responded they have been working on it several months it has taken a little longer to follow some of staff’s recommendations. They have corrected several items already and he believes items remaining are minor and staff doesn’t see a reason why they can’t complete them. They are down to just a few items. He said they were just told a few weeks ago that they needed to redo the detention pond. The water retention requirements are more strict and different than any state or city he has seen. It costs more in time and money to change those types of things.

Commissioner Steele noted she agreed with Commissioner Funk. She is concerned about the play area near the traffic with traffic pollution. A wrought iron fence may not be enough protection for the children. She thinks there may not be two deli businesses that would go in next to each other. Fred Cox replied that Deli-style covered a larger variety of businesses that would go next to each other well (It could be a juice bar and a sandwich shop). People are not there long which is why a large number of parking spaces were not required.

Commissioner Steele was concerned with the request for reduction in parking. She commented that if they changed the use for the space they couldn’t have an office that required more parking like a medical office. Fred Cox responded that the request for reduction was based on a Traffic Study that was done on Mixed Use, also on Aspen Hills and Harvest Hills. The mixes of businesses don’t all have the same Peak Load. It was also based on previous feedback and suggestions from City Council. Johnny Anderson commented they were aware of the inability to change the use based on the parking.

Commissioner Steele did not like the layout because of the children’s play area; it’s too open. She does not believe they comply with the General Plan because mixed use requires a portion be residential. She hoped they would have come back with a request for Neighborhood Commercial. She understands they are being requested to do with residential. Fred Cox commented that when they originally came in and brought in the residential to meet the Mixed Use, but City Council requested that they reduce the sq. ft. and remove the additional residential units. It had to do with the amount of apartments in the city as a whole. They are following the master plan which is mixed use. Planning Director Kimber Gabryszak commented they are not required to have a residential component. It is consistent with the General Plan because it states it is a goal not a requirement. City Attorney Kevin Thurman said it is a condition in the development agreement that residential is not allowed. It’s a situation they would try to avoid, but we are past that point and are seeing if it meets the standards of the code. With Administrative decisions the ambiguities have to be resolved in favor of the property owner. Commissioner Steele has a problem that when we do this it’s not clean. We have to say it complies with development code and she can’t say that it does. She said she felt she needed to see the traffic report to make a better decision. She doesn’t like the layout as shown, doesn’t

thing the parking is optimal. She does feel we need the Childcare Center and is glad they are bringing that in, but this might not be the best configuration.

Planning Director Kimber Gabryszak suggested that they could recommend that Council see the traffic study. City Attorney Kevin Thurman asked them to reference Code 19.09.05 and 19.09.10 for shared parking standards.

Commissioner Wilkins thanked the applicants for their time tonight. With the Layout, he doesn't see any code justification to provide a negative recommendation. As for delis he feels that's the businesses decision. As for the play yard and fencing he doesn't think we have code to change that. Fred Cox said they had better protection there but engineering told them they couldn't have a retention wall. Commissioner Wilkins would be willing to support reduction in parking as is or with a condition. Fred Cox thanked them for their patience. It has been difficult to get everything to work and some time to do it. He noted when engineering said they couldn't have the retention wall it had to change the fence. Commissioner Wilkins recommended that they look at that in the City Standards where this cost so much to make this change. City Attorney Kevin Thurman noted we do have problem soils in the city and the requirements are required if feasible, significant residents have spent thousands of dollars fixing settling in their homes. It's important for developers to know there are unique things in the city that other areas may not have, it may cost money to put it in but the consequences of another way could be severe. Commissioner Wilkins noted that on the parking reduction he would be willing to accept the application as presented with or without a condition.

Commissioner Steele said there are special conditions for preschools and day care. It must provide off street parking and pickup and delivery area. She believes they don't have that. Johnny Anderson said by law there has to be a check in process by State Code. (Kids can't just go out to the cars.) Fred Cox noted if another retail came in it still had enough parking. Commissioner Steele asked if the shared parking would affect that. Planning Director Kimber Gabryszak said it would not affect it. We have to treat them like a commercial business. Commissioner Steele said there was a list of standards covering conditional uses. Johnny Anderson mentioned he has looked at it and had to sign a document saying he would meet the requirements. Planning Director Kimber Gabryszak summarized those standards.

Motion made by Commissioner Williamson to forward a positive recommendation to the City Council for the ABC Great Beginnings site plan and Conditional Use Permit, located on parcel 58:023:0168 and as shown in exhibit 2, with the findings and conditions in the staff report dated January 12, 2017. With the additional condition that staff provide Council with the applicant's traffic study as part of their packet. Seconded by Commissioner Kilgore.

Commissioner Funk commented he would vote against because of the number of "can complies" and he is putting as much weight against the City as the Applicant for that.

**Aye: Kirk Wilkins, Hayden Williamson, Troy Cunningham, Ken Kilgore.
Nay Sandra Steele, Dave Funk.
Motion passed 4-2.**

6. Work Session: Code Enforcement Process.

Police Chief Andrew Burton gave an overview of the Code Enforcement Process.

Police Chief Andrew Burton shared with the Commissioners a little about that office. They average 2.5 officers per hour a day. They also have two officers designated as Animal Control and Code Enforcement. They have that coverage Monday to Saturday during the daytime. They handle complaints and they have some time spent looking for violations, they are not criminal violations, they are administrative. Their main objective is to maintain compliance in the easiest manner possible. When they receive a call or observe a violation they first start with a verbal contact. If they feel the need is there they can issue a notice to comply with no penalty. If they don't comply in that time they can get a second notice, a notice of violation and refer them to ACE Court. If they don't comply then a fine of 25\$ per day starts. In

addition to the notice they do a report to document the violation. Some of the challenges they have are signs. They attack it pretty strongly but it may not look at it because these companies replace them so quickly. They call the companies and try to go through the violation process. They collect a lot of signs. Often the police officers also pick up the signs. They are trying to keep on top of it. Yard completion is a challenge. The newer extension process has been helpful as there are a variety of reasons things aren't complied with like illness. Another area they try to focus on is parking. The two code officers are very hard workers who also try to be very compassionate. They created a new unit separately, special services, animal control code enforcement and are in that unit along with commercial vehicle inspector.

Commissioner Kilgore asked how code changes get communicated to the officers. Police Chief Andrew Burton replied the City Attorney and Planning Director advise of changes and typically once a year they get an update as well.

Commissioner Steele asked about cars parked in the snow. They had a situation the last weekend where someone parked in front of their house, they weren't plowed and the drainage didn't work. Police Chief Andrew Burton said they are doing ticketing on that and have impounded some of the cars. A citizen can call and advise of a problem, they can request to be anonymous but it's helpful for the officer to have a name and number for questions.

Commissioner Funk commented that we support you and appreciate the work he and the officers do.

A 10 min. break was taken at this time.

Commissioner Steele was excused at this time.

8. Public Hearing: Master Development Agreement Amendment, Rezone, and General Plan Amendment for Fox Hollow, located approximately 3100 S Redwood Road. Doug Towler/Ed Bailey, applicant

Senior Planner Sarah Carroll presented the item. This is an amendment to modify uses and zoning in several neighborhoods within the Fox Hollow Development. The request is to transfer 2.5 ac. of Regional Commercial zoning and 9.78 ac. of Neighborhood Commercial zoning to Neighborhoods 12 and 13 which are adjacent to Foothill Blvd. The remainder of those zones will be along Redwood Road. All other property will be zone R-3 PUD. The proposed General Plan Amendment would result in designating specific Regional Commercial and Neighborhood Commercial land use areas. They are proposing to reduce units and density in N4 and lower unit counts in N12-14. They would like to transfer some open space obligation to N14.

Doug Towler and Matt Scott were present as Applicants. Doug thanked Staff for their hours worked on the project. He mentioned the problem was the property lines split the neighborhood in half so they are working jointly through the process together. The basis behind this is to get the property developed as soon as possible. The previous amount of units was very dense and they felt it was better for the neighborhood to adjust that.

Public Hearing Open by Chairman Kirk Wilkins

Ryan Poduska, represented the HOA, they have no problem with this change and support it with a positive recommendation.

Public Hearing Closed by Chairman Kirk Wilkins

Commissioner Kilgore asked for clarification on why the Master Development Agreement and Zoning map don't agree.

Senior Planner Sarah Carroll did not know the background of why it happened but it also says in the vicinity of neighborhood 4, which is vague. City Attorney Kevin Thurman said in the past the old property owners didn't have the time and money to do the exhibits so they used the old exhibits and put in the request. Now they want to move that area to a place that didn't exist, it helps clear it up at this point where

they don't have to rezone property later. Commissioner Kilgore commented that there doesn't seem to be any issues with this change and our code.

Commissioner Cunningham is supportive of this and thinks it's great to reduce the amount of housing and likes the way they have done the commercial along Redwood Road and moved some over by Foothill Blvd. He has noted comments from citizens that there is nothing in this part of the city for a resident to grab a quick gallon of milk or similar type.

Commissioner Williamson also liked more commercial in this part of the city. He thought the new proposed Community Commercial zone would be a good use here.

Commissioner Funk thanked them for providing all the information they provided and for making sure the citizens in the area were approving.

Commissioner Wilkins asked staff to show which areas were developed. Senior Planner Sarah Carroll noted which areas were developed and not. Commissioner Wilkins asked if there would be a stoplight. He wondered if it would conflict with Mountain View Corridor. City Engineer Gordon Miner noted that MAG is studying this corridor from Crossroads to Redwood Road in the south of the city. We are not sure of the cross section at this time it will be an outcome of this study as well as signal locations. Senior Planner Sarah Carroll noted they will have frontage on Village Pkwy also. Doug Towler commented they envisioned an entrance off of Foothill Blvd. but access off of Village Pkwy.

Motion made by Commissioner Funk to forward a positive recommendation to the City Council for the Rezone and General Plan Amendment for Fox Hollow Neighborhoods 4, 12, and 13 as described in Section C of the Staff Report and as depicted in the attached exhibits, with the findings and conditions in the Staff Report. Seconded by Commissioner Williamson. Aye: David Funk, Kirk Wilkins, Hayden Williamson, Troy Cunningham, Ken Kilgore. Motion passed 5 - 0.

9. Public Hearing: Preliminary Plat for Willow Glen, located approximately 1900 E 145 N (NW of Loch Lomand). Jared Hanie, Applicant.

Planner 1 Jeff Attermann presented the item. They are requesting preliminary plat approval for a single family subdivision of 19 lots. Landscaping will be going into part of the right-of-way. Two parcels are used for open space. Part of it will be for Road expansion trail and detention.

Jared Hanie and David Peterson were present as applicants.

Public Hearing Open by Chairman Kirk Wilkins

No public comments were given.

Public Hearing Closed by Chairman Kirk Wilkins

Commissioner Funk assumed that an HOA would only be maintaining the small open spaces here, they wouldn't be combining with another. Jared Hanie responded that was correct.

Commissioner Cunningham asked about the fee in lieu and how it would benefit the residents. Jared Hanie responded that the City Council recommended they do the fee in lieu rather than an HOA and it would most likely go to whatever park would benefit the area. Planning Director Kimber Gabryszak noted that right now the fee in lieu went into the park fund as a whole. The Council felt it was reasonable for them to have less open space here because they were larger lots and they were providing some landscape improvements.

Commissioner Wilkins asked what the current zoning was in the area. Planning Director Kimber Gabryszak noted that just to the south are privately owned properties, there are some wetland issues. The big parcels to the west are owned by Forestry Fire and State Lands. Trails are being developed that will

benefit the area. To the north was a church and school in Lehi. City Engineer Gordon Miner informed them that the nearest park may be the Sports Complex.

Commissioner Kilgore recalled some road alignment needed in this parcel. Planning Director Kimber Gabryszak replied that was resolved with this alignment.

Commissioner Wilkins asked if they would comply with all the conditions. Jared Hanie responded that they were all general and they were just waiting on approval of the appraisal for the fee in lieu.

Planning Director Kimber Gabryszak suggested they strike the second sentence in condition 2 because it's a rough estimate and they don't want to tie it to a specific number.

City Engineer Gordon Miner noted with respect to condition 1 this seems to be more of a boiler-plate item.

Motion made by Commissioner Williamson to forward a positive recommendation of the Willow Glen Preliminary Plat with the Findings and Condition in the Staff Report dated January 12, 2017. With the exception of striking the second sentence in Condition 2 and Striking Conditions 3 and 4 as they have been met. Seconded by Commissioner Funk. Aye: David Funk, Kirk Wilkins, Hayden Williamson, Troy Cunningham, Ken Kilgore. Motion passed 5 - 0.

10. Approval of Minutes:
a. December 8, 2016

Motion made by Commissioner Williamson to approve the minutes of December 8, 2016. Seconded by Commissioner Funk. Aye: David Funk, Kirk Wilkins, Hayden Williamson, Troy Cunningham. Abstain: Ken Kilgore –(due to absence from that meeting.)

11. Reports of Action. – No Reports of Action

12. Commission Comments.

Commissioner Williamson asked about mixed waterfront property. Planning Director Kimber Gabryszak said there is only one property that is currently zoned Mixed Waterfront. In the north area there are areas identified to be Mixed Waterfront north of the lake.

13. Director's Report:

- a. Council Actions** – approved park sales tax revenue bond, bicycle and pedestrian plan, and park trails and signage code amendments.
- b. Applications and Approval** – There should be a list included in the next packet
- c. Upcoming Agendas - Maverik**
- d. Other** – There was some discussion on the Sales Tax Bond to answer questions from Commissioners. Planning Director Kimber Gabryszak reported briefly on the Community meeting held last night. There will be one next Thursday at the Library.

14. Motion to enter into closed session. – No Closed Session was held.

15. Meeting Adjourned at 8:57 p.m. by Chairman Kirk Wilkins

Date of Approval

Planning Commission Chair
Kirk Wilkins

City Recorder



CITY OF SARATOGA SPRINGS

Memo

To: Mayor, City Council and/or Planning Commission
From: Planning Department
Date: January 19, 2017
Meeting Date: January 26, 2017
Re: New Applications & Resubmittals

New Projects:

- 01.03.17 Maverik at Redwood-Ring Concept (SE Corner of Redwood Rd & Ring Rd)
- 10.03.17 Advanced Rooter and Drain Service Home Occupation (4084 Montego Dr)
- 01.05.17 US Bank- Smith's Marketplace Permanent Sign Permit (1320 N. Redwood Rd Store #207)
- 01.09.17 Fairway Townhomes Concept Plan (110 East Fairway Blvd)
- 01.13.17 Mt. Saratoga Village Plan 1 (1200 W. Pony Express Pkwy)
- 01.13.17 Mt. Saratoga Village Plan 2 (1200 W. Talus Ridge Dr)
- 01.13.17 Mt. Saratoga Village Plan 2 Preliminary Plat Phase 2 (1200 W. Talus Ridge Dr)

Resubmittals & Supplemental Submittals:

- 01.03.17 Fox Hollow N. 5 Preliminary Plat (Village Blvd & Redwood Rd)
- 01.03.17 Legacy Farms VP3 A-E Final (400 S. Redwood Rd)
- 01.04.17 Fox Hollow Second MDA Amendment Rezone & GPA (Village Pkwy & Redwood Rd)
- 01.06.17 Jordan View Landing Phase 2 Final Plat (1590 N & 400 E)
- 01.06.17 River Bend Phase 3A Plat Amendment (Approx. 130 E. River Bend Rd)
- 01.10.17 Maverik at Redwood-Pony Express Concept (Redwood Rd & Pony Express)
- 01.10.17 Legacy Farms VP4 Plats 4A-4D Preliminary (400 S. Redwood Rd)
- 01.17.17 Towne Storage-China Chefs Plat Amendment (1531 W. Exchange Dr)
- 01.17.17 Jordan View Landing Phase 1 Final Plat (400 E. Alhambra Dr)
- 01.17.17 Jordan View Landing Phase 2 Final Plat (1590 N & 400 E)
- 01.18.17 Fox Hollow N.4 Concept Plan (Redwood & Wildlife)

Staff Approvals:

- 01.05.17 US Bank- Smith's Marketplace Permanent Sign Permit (1320 N. Redwood Rd Store #207)