



Jim Miller, *Mayor*
Stephen Willden, *Mayor Pro Tem*
Shellie Baertsch, *Council Member*
Michael McOmber, *Council Member*
Bud Poduska, *Council Member*
Chris Porter, *Council Member*

CITY COUNCIL MEETING

Tuesday, July 19, 2016

7:00 P.M.

City of Saratoga Springs Council Chambers
1307 North Commerce Drive, Suite 200, Saratoga Springs, Utah 84045

1. Call to Order.
2. Roll Call.
3. Invocation / Reverence.
4. Pledge of Allegiance.
5. Public Input – This time has been set aside for the public to express ideas, concerns, and comments.

POLICY ITEMS:

REPORTS:

1. Mayor.
2. City Council.
3. Administration Communication with Council.
4. Staff Updates: Inquiries, Applications, and Approvals.

PUBLIC HEARINGS:

1. Annexation Policy Plan Amendment, Ordinance 16-14 (7-19-16).
2. FY 2016-17 Budget Amendments, Resolution R16-45 (7-19-16).

ACTION ITEMS:

1. Discount Tire – Proposed Site Plan, Conditional Use Permit (CUP).
2. Bach Homes, River Heights Plat D – Final Plat.
3. Temporary Purchase of Central Utah Water - approval.

APPROVAL OF MINUTES:

1. July 5, 2016.

[Councilmembers may participate in this meeting electronically via video or telephonic conferencing.](#)
The order of the agenda items is subject to change by order of the Mayor.

In compliance with the Americans with Disabilities Act, individuals needing special accommodations (including auxiliary communicative aids and services) during this meeting should notify the City Recorder at 766-9793 at least one day prior to the meeting.

CLOSED SESSION:

Motion to enter into closed session for any of the following: purchase, exchange, or lease of real property; discussion regarding deployment of security personnel, devices, or systems; pending or reasonably imminent litigation; the character, professional competence, or the physical or mental health of an individual.

ADJOURNMENT

Posted: July 18, 2016, 4:15 p.m.



Annexation Policy Plan Amendment

July 19, 2016

Public Hearing

Report Date:	July 12, 2016
Applicant:	City Initiated
Location:	~ 400 North Saratoga Road
Major Street Access:	Pioneer Crossing or 145 North
Parcel Number(s):	58:036:0049, 13:028:0030, 58:036:0049
Parcel Zoning:	Not yet zoned (currently in County)
Adjacent Zoning:	Agricultural
Current Use of Parcel:	undeveloped
Adjacent Uses:	Agricultural, undeveloped property
Previous Meetings:	None
Previous Approvals:	None
Type of Action:	Legislative
Land Use Authority:	City Council
Future Routing:	City Council
Author:	Sarah Carroll, Senior Planner

A. Executive Summary:

In anticipation of future applications for annexations, staff is recommending amendments to the Annexation Policy Plan. The attached map indicates the parcels to be added to the Annexation Policy Plan. The City has already adopted an Annexation Policy Plan; the purpose of this process is to add a small area to that Plan.

Recommendation:

Staff recommends that the City Council conduct a public hearing on the Annexation Policy Plan amendment, take public comment, review and discuss the proposal, and choose from the options in Section I of this report. Options include forwarding approval with or without modification, denial, or continuation.

- B. Background:** There may be an upcoming request for an annexation in the location indicated on the attached map. The City may only annex property with the annexation policy boundary however a small portion of the land that may be proposed for annexation falls outside of the current boundary, necessitating an amendment to the boundary.

- C. **Specific Request:** This is a proposal to amend the Annexation Policy Plan to include more land near Saratoga Road, as shown on the attached map
- D. **Process:** The process is outlined in Utah Code 10-2-401.5 and is reviewed in section H of this report.
- E. **Community Review:** This item has been noticed as a public hearing in the *Daily Herald*; and mailed notice sent to all affected entities as required by Utah State Code (see Section H below). A public meeting was held on June 9, 2016 with the Planning Commission to allow the effected entities to provide comment on the proposed amendment; no public comment was given at that meeting. A public hearing was held with the Planning Commission on June 23, 2016; no public comment was given at that meeting.
- F. **Review:** The criteria and process for Annexation Policy Plans is outlined in State Code Section 10-2-401.5, and reviewed under Section H of this report.
- G. **General Plan:** The General Plan does not yet include this property. If the annexation policy plan is approved, staff recommends an amendment to the General Plan to designate this property for Low Density Residential use.

Staff conclusion: future action required.

- H. **Code Criteria:**
Utah Code 10-2-401.5 requires that “no municipality may annex an unincorporated area located within a specified county unless the municipality has adopted an annexation policy plan as provided in this section.” Section 10-2-401.5 contains the criteria for adopting an annexation policy plan including the map of the annexation expansion area. Since there is no specific language about an amendment, the process for adopting the policy plan and map is the same process for amending the plan and map. A review of the requirements is below.

Utah Code 10-2-401.5

- (2) To adopt an annexation policy plan:
 - (a) the planning commission shall:
 - (i) prepare a proposed annexation policy plan that complies with Subsection (3);
 - (ii) hold a public meeting to allow affected entities to examine the proposed annexation policy plan and to provide input on it;
 - (iii) provide notice of the public meeting under Subsection (2)(a)(ii) to each affected entity at least 14 days before the meeting;
 - (iv) accept and consider any additional written comments from affected entities until 10 days after the public meeting under Subsection (2)(a)(ii);
 - (v) before holding the public hearing required under Subsection (2)(a)(vi), make any modifications to the proposed annexation policy plan the

- planning commission considers appropriate, based on input provided at or within 10 days after the public meeting under Subsection (2)(a)(ii);
- (vi) hold a public hearing on the proposed annexation policy plan;
 - (vii) provide reasonable public notice, including notice to each affected entity, of the public hearing required under Subsection (2)(a)(vi) at least 14 days before the date of the hearing;
 - (viii) make any modifications to the proposed annexation policy plan the planning commission considers appropriate, based on public input provided at the public hearing; and
 - (ix) submit its recommended annexation policy plan to the municipal legislative body; and
- (b) the municipal legislative body shall:
- (i) hold a public hearing on the annexation policy plan recommended by the planning commission;
 - (ii) provide reasonable notice, including notice to each affected entity, of the public hearing at least 14 days before the date of the hearing;
 - (iii) after the public hearing under Subsection (2)(b)(ii), make any modifications to the recommended annexation policy plan that the legislative body considers appropriate; and
 - (iv) adopt the recommended annexation policy plan, with or without modifications.

Staff Finding: *The attached map indicates the proposed changes to the Annexation Policy Plan. A public meeting that was held on June 9, 2016 with the Planning Commission; notice of the public meeting was mailed to affected entities at least 14 days prior to the meeting. After the public meeting affected entities were allowed to examine the proposed amendment to the annexation policy plan and comment for 10 days. A public hearing was held by the Planning Commission on June 23, 2016; notice of this meeting was mailed to affected entities at least 14 days prior to the meeting. The Planning Commission did not direct any changes to the proposed amended boundary. Changes will be made if so directed by the Planning Commission. The public hearing with the City Council will be held on July 19, 2016, after which, modifications will be made as directed by the City Council; notice of this hearing was mailed to affected entities at least 14 days prior to the meeting.*

- (3) Each annexation policy plan shall include:
- (a) a map of the expansion area which may include territory located outside the county in which the municipality is located;
 - (b) a statement of the specific criteria that will guide the municipality's decision whether or not to grant future annexation petitions, addressing matters relevant to those criteria

including:

- (i) the character of the community;
 - (ii) the need for municipal services in developed and undeveloped unincorporated areas;
 - (iii) the municipality's plans for extension of municipal services;
 - (iv) how the services will be financed;
 - (v) an estimate of the tax consequences to residents both currently within the municipal boundaries and in the expansion area; and
 - (vi) the interests of all affected entities;
- (c) justification for excluding from the expansion area any area containing urban development within 1/2 mile of the municipality's boundary; and
 - (d) a statement addressing any comments made by affected entities at or within 10 days after the public meeting under Subsection (2)(a)(ii).

Staff Finding: *The City last revised the annexation policy plan on June 19, 2012 with the passage of Ordinance 12-7(6-19-12) (refer to attached ordinances). The City is now only amending the map, which is attached, and does not need to address the other elements of the policy plan as those will remain the same.*

- (4) In developing, considering, and adopting an annexation policy plan, the planning commission and municipal legislative body shall:
 - (a) attempt to avoid gaps between or overlaps with the expansion areas of other municipalities;
 - (b) consider population growth projections for the municipality and adjoining areas for the next 20 years;
 - (c) consider current and projected costs of infrastructure, urban services, and public facilities necessary:
 - (i) to facilitate full development of the area within the municipality; and
 - (ii) to expand the infrastructure, services, and facilities into the area being considered for inclusion in the expansion area;
 - (d) consider, in conjunction with the municipality's general plan, the need over the next 20 years for additional land suitable for residential, commercial, and industrial development;
 - (e) consider the reasons for including agricultural lands, forests, recreational areas, and wildlife management areas in the municipality; and
 - (f) be guided by the principles set forth in Subsection 10-2-403(5) (only applies to first class counties, i.e., Salt Lake County).

Staff Finding:

- a) *The Lehi Annexation Policy Plan overlaps the Saratoga Springs Annexation Policy Plan in this location. The two cities have not come to a mutual agreement regarding annexation boundaries in this location. This overlap allows property owners to choose between the two cities when considering an annexation. State Code requires that an “attempt” be made, thus it is not mandatory to avoid overlaps.*
 - b) *The proposed amendment is of small enough scope that it will not have a significant impact on growth projections.*
 - c) *The proposed amendment will not have a significant impact on services; it is anticipated that at the time the property is developed the developer will extend utilities to the property.*
 - d) *The proposed addition to the annexation policy plan includes approximately 9 acres; it is recommended that the land be designated as low density residential on the Land Use Map of the General plan if the proposed amendment is approved. This location would allow for suitable residential development, adding more options to the demand in the City for residential housing.*
 - e) *The property is currently in the County and is zoned Residential Agricultural 5. The zoning cannot be changed by the City until the time of annexation. This amendment merely allows the land owners to consider and apply for annexation into Saratoga Springs.*
 - f) *Utah County is a second class county and therefore this criteria does not apply.*
- (5) Within 30 days after adopting an annexation policy plan, the municipal legislative body shall submit a copy of the plan to the legislative body of each county in which any of the municipality's expansion area is located.

Staff finding: *To be completed after adoption.*

I. Recommendation and Alternatives:

Staff recommends that the Planning Commission conduct a public hearing, take public input, discuss the application, and choose from the following options.

Staff Recommended Option – Positive Recommendation

“I move that the City Council approve the proposed amendment to the Annexation Policy Plan, specifically the amendment to the annexation expansion area map, as shown in the attached Exhibit A, based on the Findings in the staff report.”

Findings

1. The application complies with the criteria in Utah Code Section 10-2-401.5 as articulated in Section H of the staff report, which section is incorporated by reference herein.

Alternative 1 - Continuance

The City Council may also choose to continue the item. "I move to **continue** the amendment to the Annexation Policy Plan to another meeting on [DATE], with direction to the applicant and Staff on information and / or changes needed to render a decision, as follows:

1. _____
2. _____

Alternative 2 – Negative Recommendation

The City Council may also choose to forward a recommendation for denial. "I move to forward a recommendation for denial of the proposed amendment to the Annexation Policy Plan with the Findings below:

1. The proposal is not consistent with Section 10-2-401.5 of State Code, as articulated by the City Council: _____.

J. Attachments:

- A. Proposed Amendment to the Annexation Policy Plan Boundary
- B. Annexation Policy Plan and Boundary, Ordinance 03-2 (1-14-03)
- C. Annexation Policy Plan Amendment, Ordinance 12-7(6-19-12)

Policy Item #7
1-14-03

ORDINANCE NO. 03-2 (1-14-03)

AN ORDINANCE REPEALING ORDINANCE 99-0209-001, ANNEXATION POLICY; AN ORDINANCE ESTABLISHING AN ANNEXATION POLICY PLAN; AN ANNEXATION POLICY PLAN MAP; AND ANNEXATION PETITION REQUIREMENTS AND PROCEDURES; AND ESTABLISHING AN EFFECTIVE DATE.

WHEREAS, the City of Saratoga Springs is a city of the third class under Section 10-2-301(2)(a), Utah Code Annotated, 1953, as amended; and,

WHEREAS, the City of Saratoga Springs allows property owners desirous of annexing property into the municipality to petition the City to include such properties within the corporate limits of the City; and,

WHEREAS, under Section 10-2-401.5, Utah Code Annotated, 1953, as amended, no municipality, after December 31, 2002, may annex unincorporated area located within a specified county unless the municipality has adopted an annexation policy plan.

NOW, THEREFORE, be it ordained by the Governing Body of the City of Saratoga Springs, Utah, as follows:

1. The City of Saratoga Springs hereby repeals Ordinance #99-0209-001, Annexation Policy
2. The City of Saratoga Springs hereby adopts the following Annexation Policy Plan Statement.
3. The City of Saratoga Springs hereby adopts the following Annexation Policy Plan Map.
4. The City of Saratoga Springs hereby adopts the following Annexation Petition Requirements and Procedures.

Section 2. Annexation Policy Plan Statement.

Statements of the specific criteria that will guide the municipality's decision whether or not to grant future annexation petitions:

1) Character of the community.

Saratoga Springs is a relatively new growing Master Planned community that places substantial emphasis on quality, sensible growth. The community contains a variety of landforms and natural amenities which help create a unique sense of place. Saratoga Springs is currently home to some 5,000 residents. Commercial developments that are currently under construction, along with others that are now being planned, will diversify the City's land-uses and give both residents and visitors new opportunities for shopping and employment. At the same time, agricultural activities will continue on large tracts of land in the City which will help create a sense of continuity as the community continues to grow.

2) The need for municipal services in developed and undeveloped unincorporated areas.

The City of Saratoga Springs is a newly formed municipality that contains both rural and urban land uses. There are large tracts of existing agricultural property that will remain undeveloped for at least twenty (20) years under the current agricultural protection designation that has been placed on those parcels. Developed areas within the City have all been approved with the condition that municipal services shall be provided concurrent with the development of the property.

Undeveloped locations within the unincorporated areas may or may not be ready for municipal services. Current City land development regulations in this case indicate that prior to development, an applicant must submit a proposed master development plan. In that plan submittal, all applicants must indicate how the proposed development will be serviced by public utilities and other municipal services.

3) The municipality's plans for extension of municipal services.

As indicated above, the City's policy regarding the extension of public services is that proposed developments are required to submit information showing how their respective projects will be served. The City then makes decisions regarding the extension of such services through a detailed review and approval process that begins with the City's technical staff: the Development Review Committee (DRC). Following the DRC process, proposed facilities are then reviewed by the Planning Commission and acted upon by the City Council.

The City Council also adopts an annual Capital Facilities Plan wherein it designates and plans for the construction of public infrastructure that will be required during the next 12-24 months. These plans are reviewed annually and updated as necessary and as funding allows.

Public infrastructure and services are also provided through developer contribution as development projects are approved and built. Many development projects in the City have oversized the capacity of water, sewer and storm drain facilities so that other portions of the City can be serviced with public utilities.

4) How municipal services will be financed.

Municipal services and their accompanying infrastructure are typically financed through private developers making investments in their respective development projects. However, the City also make contributions periodically, particularly in the construction of capital projects

such as storm drainage facilities, road reconstruction, sewer line construction, parks and public safety buildings. The City is able to make these expenditures primarily through the collection of impact fees. The City has adopted the following impact fees per equivalent residential unit (ERU):

Public Safety:	\$327
Transportation:	\$921
Parks & Open Space:	\$833
Storm Drainage:	\$559

In this way, the City has already constructed many capital improvements and will continue to do so, in coordination with the Capital Facilities Plan (mentioned previously) and timing of development approvals and collection of impact fees.

Finally, the City may also, from time to time, borrow funds to extend and construct new physical infrastructure when necessary.

- 5) Estimate of the tax consequences to residents both currently within the municipal boundaries and in the expansion area.

Currently, residents within the unincorporated areas of Utah County do not pay a municipal services tax. This means that when they are annexed into the City of Saratoga Springs, they will experience a tax increase. Many of these residents are being assessed under the "greenbelt" status of the Utah Property Tax Code. On a typical 25 acre parcel in the unincorporated area and in greenbelt status, an owner might expect to have a valuation of only a few hundred dollars for most of the property and then the actual house is valued at the regular or typical residential/urban evaluation.

Newly annexed properties will be assessed a new property tax for City municipal services. Currently the City's certified property tax rate is 0.001495. On a typical residence that has an assessed tax valuation of \$125,000 the annual payment required to be paid to the City is \$186.88 (\$125,000 X 0.001495).

- 6) Interests of all affected entities.
(to be addressed after the public meeting)
- 7) Justification for excluding from the expansion area any area containing urban development within ½ mile of the municipality's boundary.

There is no urban development within ½ mile of the City's expansion area that is not presently being served by a neighboring municipality.

- 8) A statement addressing comments made by affected entities at or within ten days after the public meeting under Subsection (2)(a)(ii).
(to be addressed after the public meeting)

Section 3. Annexation Policy Plan Map.

Section 4. Annexation Petition Requirements and Procedures.

General Requirements

In order to assure orderly growth and development of the community and protect the general interest of the tax paying public as well as the rights of individual property owners who wish to annex to the City, the following specific guidelines are established.

- 1) That an annexation fee of \$250.00 plus \$10.00 per acre be charged. City of Saratoga Springs policy requires subdividers and developers to provide for public improvements through on-site construction, bond procedures, special improvement districts and impact fees in addition to this annexation fee. Developers will be subject to all other appropriate and adopted fees to offset the cost to the City of planning and development services. A party annexing property will likewise be charged for all attorneys' fees associated with review of the annexation.
- 2) That every annexation includes the greatest amount of property possible, be a compact area to the greatest extent possible and be contiguous to the City of Saratoga Springs municipal boundaries.
- 3) That piecemeal annexation of individual small parcels of property not allowed if contiguous parcels, soon to be developed, are available, in order to avoid repetitious annexations.
- 4) That no pocket or island of county jurisdiction be left or created, and that peninsulas and irregular boundaries be minimized.
- 5) That annexation generally follow existing roads, property lines, easements, utilities and power lines in order to minimize the public expense for extension of main or service lines and streets.
- 6) That in order to facilitate the consolidation of overlapping functions of local governments, promote the efficient delivery of services, encourage the equitable distribution of community resources and obligations and eliminate island and peninsulas of territory that are not receiving municipal services, the boundaries of an area proposed for annexation shall be drawn, where practicable and feasible, along the boundaries of existing special districts for sewer, water, and other services, and along the boundaries of school districts, and along the boundaries of other taxing entities.
- 7) That in order to provide for the orderly growth and development in the City and avoid confusion and undue cost to the taxpayers, all utility and service hook-on shall be limited to incorporated areas of the City and shall not be made available outside the City limits. The only exception shall be those extensions which are made pursuant to agreement with other units of government under the Interlocal Government Cooperation Act, or by specific approval of the City Council on the request of the Mayor.
- 8) That utilities be extended to annexed areas as soon as practicable after annexation.
 - a) Each annexation should require a disclosure by the developer of anticipated needs of utilities and street improvements and a timetable of anticipated development.
 - b) Needed utilities should be extended into the annexed area as soon as practicable subject to budgetary limitations.
 - c) Extensions of main and service lines shall be chargeable to the property development rather than to the public generally, and shall be planned and constructed in full compliance with City ordinances.

Water

Inasmuch as the annexation of property into the City of Saratoga Springs will ultimately require a supply of water resources within the annexed area, the owner of the annexed property may be required to demonstrate, upon development of the property, how they shall provide all water resources as required under the water ordinances of the City of Saratoga Springs.

Property Owner Initiation of Annexation

When initiated by the property owner, the process for annexation shall be as follows:

- 1) The property owner or owners shall submit to the City a petition, in the specific form provided by the City, meeting the criteria established by the state law. Said petition shall contain signatures of property owners representing a majority of the land area and at least 1/3rd of the value of real property within the area proposed for annexation. Said petition shall designate up to five of the petitioners as sponsors, and one whom shall be designated as the contact sponsor. The mailing address of each sponsor shall be included in the petition.
- 2) Attached to and as a part of the petition shall be an accurate survey plat of the property to be annexed, prepared by a surveyor licensed to practice in the State of Utah. The survey plat shall accurately describe the existing City boundaries and each individual ownership sought to be annexed and shall also include an accurate legal description of the property to be annexed.
- 3) There shall be attached to the annexation petition a full disclosure statement of how water resources shall be provided to the property to be annexed.
- 4) The annexation petition shall not propose annexation of any land area proposed for annexation to the municipality in a previously filed petition that has not been granted, denied, or rejected.
- 5) The annexation petition shall not propose annexation of any land area being considered for incorporation under Utah State Law.
- 6) On the date of filing the annexation petition with the City Recorder, the petition sponsor(s) shall also deliver or mail a copy of the petition to the County Clerk of Utah County and to the chair of the Planning Commission of each township in which any part of the area proposed for annexation is located.
- 7) There shall also be attached to the annexation petition a statement as to the anticipated timetable for development of the property to be annexed.
- 8) There shall also be attached to the petition a proposed development agreement for the territory proposed for annexation. The proposed development agreement shall include at least the following components:
 - a) General land use plan for the area; utilizing City of Saratoga Springs land use designations.
 - b) Zoning for all parcels. Where multiple zones are suggested, specific boundaries of each zone shall be designated; utilizing City of Saratoga Springs zone designations.
 - c) Provisions for utility services including but not limited to; Power, water, wastewater, secondary water, natural gas, telephone, and cable TV.

Procedure for Petitions and Plats

The procedure for processing annexation petitions and plats shall be as follows:

- 1) A petition (on a petition form provided by the City) and proper plat certified by a licensed surveyor shall be submitted (on a City of Saratoga Springs Petition Submittal form) to the City Recorder as set forth in Section 10-2-403, Utah Code Annotated, 1953, as amended, together with any other information required by the City staff to enable the staff to prepare an impact report to the City Council. All materials shall be provided with the petition prior to the City Recorder accepting the petition.
- 2) Prior to City Council action on the petition, the petition and plat shall be forwarded to the Development Review Committee who shall determine the feasibility of expanding the annexation boundaries.
- 3) The Development Review Committee shall complete, on timely basis not to exceed 60 days, an impact report on the proposed annexation. The impact report shall be forwarded to the Planning Commission for review and comment and then forwarded to the City Council.

- 4) If the City accepts the annexation petition, the petition shall be forwarded to the City Recorder for certification pursuant to section 10-2-405, Utah Code, as amended.
- 5) If the annexation petition is certified by the City Recorder, the City Council shall provide for public notice and a hearing as set forth in section 10-2-406, Utah Code, as amended.

Annexation Petition Review

Once the annexation petition has been accepted by the City Council, general annexation procedure shall be provided by the Utah Code; provided however, that the City Council shall not take final action on any petition until the same has been reviewed by the City of Saratoga Springs Development Review Committee and Planning Commission.

The Development Review Committee will review each annexation request and prepare an impact report with considerations and recommendation for the Planning Commission and City Council indicating an evaluation of the proposed annexation. The impact report shall include at least the following information:

- 1) The ability to meet annexation policy criteria.
- 2) An accurate map of the proposed annexation area showing the boundaries and property ownership within the area, the topography of the area and major natural features.
- 3) Current and potential population of the area and the current residential densities.
- 4) A review of existing and proposed land uses.
- 5) Statement as to how the proposed area, and/or its potential land use, would contribute to the achievement of the goals and policies of the City of Saratoga Springs General Plan.
- 6) Assessed valuation of the current properties.
- 7) A review of the potential demand on various municipal services, including, but not limited to, the following:
 - a) Distance from existing utility lines.
 - b) Special requirements.
 - c) Distance to public schools, parks, and shopping centers.
 - d) Traffic generated by expected land uses.
- 8) The affect that the annexation will have upon City boundaries and whether the annexation will ultimately create potential for islands, undesirable boundaries, and difficult service areas.
- 9) Specific timetable for extending services to the area and how these services will be financed.
- 10) Potential revenue versus service costs.
- 11) Recommendations or comments of other local government jurisdictions regarding the proposal and potential impact of the annexation on general county economic needs, goals, or objectives.

This Ordinance shall become effective upon passage by the Governing Body and posting by the City Recorder as required by the Utah Code.

ADOPTED AND PASSED by the Governing Body of the City of Saratoga Springs, Utah, this 14th day of January, 2003.

Signed: Timothy L. Parker
Timothy L. Parker, Mayor

Attest: Wendy S. Hodge
City Recorder



1/23/03
Date

ORDINANCE NO. 12-7 (6-19-12)

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF SARATOGA SPRINGS, UTAH AMENDING THE CITY'S ANNEXATION EXPANSION AREA MAP; AMENDING THE ANNEXATION POLICY PLAN INCLUDING THE ADDITION OF COMMENTS RECEIVED BY AFFECTED ENTITIES AND THE CITY'S RESPONSE THERETO; AND ESTABLISHING AN EFFECTIVE DATE

WHEREAS, Utah Code section 10-2-401.5 provides that an annexation policy plan for the City must be adopted to establish the policy of the City for municipal annexation and to provide notice to citizens and affected entities in the City; and

WHEREAS, the City previously adopted an annexation policy plan, which included an annexation expansion area map; and

WHEREAS, the Council finds that is in the public interest to amend the original annexation policy plan to consider the modification of the annexation expansion area map as well as comments received from affected entities pertaining thereto; and

WHEREAS, all required public notices have been provided, all required public hearings and meetings have been held, and all comments on the proposed amended plan have been received and considered by the City of Saratoga Springs Planning Commission and City Council as required by law.

NOW THEREFORE, be it resolved by the City Council of the City of Saratoga Springs, Utah as follows:

1. The annexation policy plan for Saratoga Springs is hereby amended follows:

A statement addressing comments made by affected entities at or within ten days after the public meeting under Subsection (2)(a)(ii).

In May and June of 2012, the City of Saratoga Springs considered amendments to the City's annexation policy plan, specifically the annexation expansion area map contained therein. After the planning commission held its first public meeting, affected entities were given 10 days, per Utah Code section 10-2-401.5, to respond in writing to the proposed amendments. The City received comments from Steve Mumford, Eagle Mountain Planning Director, on May 16, 2012. In his letter, he mentioned the following concerns regarding the proposed amendments:

- Eagle Mountain requests that the City remove 240 acres from the annexation expansion area map because of a recent annexation by Eagle Mountain.

Saratoga Springs' Response: It is our understanding that Eagle Mountain City has not yet received a certificate of annexation from the Lieutenant Governor's office. Therefore, Saratoga Springs has not removed this property since the annexation process has not finalized.

- The Interpace property, as well as the Rocky Mountain Power and Kern River Gas easements, has always been included in Eagle Mountain's annexation expansion area.

Saratoga Springs' Response: We do not dispute this. However, as stated by Mayor Love, it is the City's intent, if feasible, to honor the requests of property owners to choose which City they wish to annex into. Furthermore, a determination as to annexation policy is a legislative decision that is granted considerable deference under Utah law.

- Utah Code section 10-2-401.5 states that cities shall "attempt to avoid . . . overlaps with the expansion areas of other municipalities." Saratoga Springs is making a deliberate attempt at overlapping our boundary.

Saratoga Springs' Response: The use of the word "attempt" means that this is not mandatory. Therefore, it is not illegal to include land that overlaps. In the case at hand, there is simply nothing the City can do to not overlap this land as the property owner has requested to be annexed into Saratoga Springs and it is the policy of the City to honor the requests of property owners to select for themselves the city they wish to annex into and the land use ordinances and policies they wish to be bound to.

- In 2009, a property owner specifically requested to be annexed into Eagle Mountain City. Eagle Mountain declined to annex this property due in part to concerns raised by Saratoga Springs.

Saratoga Springs' Response: The Interpace property is significantly different than the property mentioned. For example, it is the City's understanding this property was not contiguous to Eagle Mountain, was outside of Eagle Mountain's ability to service, and was proposed solely for the purpose of acquiring municipal revenue, as prohibited by Utah Code section 10-2-402. Here, we are honoring the request of a property owner, are able to service this property, and are not annexing this property solely for the purpose of acquiring additional revenue.

- The cities have failed to work together in the annexing and planning of areas near each City's boundary, as required by the Cooperative Boundary Agreement dated May 18, 2010.

Saratoga Springs' Response: The Cooperative agreement was discussed and approved during an Eagle Mountain City Council meeting. The written minutes of this meeting state: "The agreement doesn't legally bind either city, but it provides a framework for cooperative planning." While Saratoga Springs believes cooperation with Eagle Mountain City to be vital to the success of both cities, Saratoga Springs is not bound by the Cooperative Agreement and therefore can amend its annexation expansion area map to include the Interpace property.

- This property is next to Camp Williams, which has expressed opposition to the development of residential uses adjacent to Camp Williams.

Saratoga Springs' Response: Saratoga Springs will listen to and value input from Camp Williams as to the future development of adjacent land. Saratoga Springs is involved with Camp Williams and the Joint Land Use Study (JLUS) study currently underway. Saratoga Springs has been involved in this process from the beginning.

Section 3. Annexation Expansion Area Map.

(attached as Exhibit A)

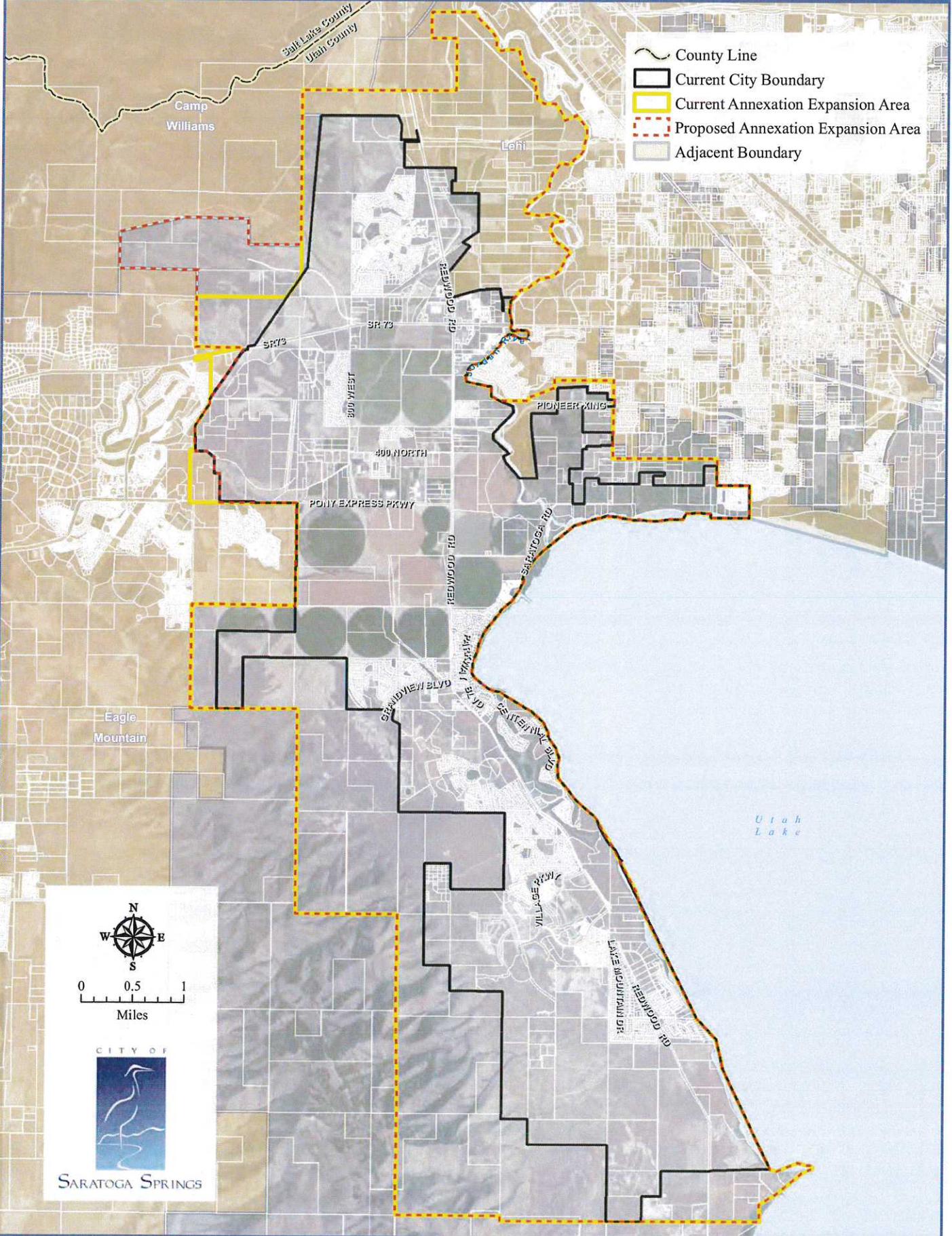
2. The annexation policy plan, as amended herein, shall be in force until it is amended or revised by the City Council of Saratoga Springs.

3. This Ordinance shall take effect immediately upon execution by the Mayor and attestation of the Recorder.

4. Within 30 days of passage of this Ordinance, the City Recorder is directed to submit a copy of the amended annexation policy plan, including the amended annexation expansion area map, to the legislative body of Utah County.

ADOPTED AND PASSED by the Governing Body of the City of Saratoga Springs, Utah, this 19th day of June, 2012.

Saratoga Springs City Proposed Annexation Expansion Area



S:\GIS\Maps\Boundary\Amex\Bnd\Amex.mxd 2012.mxd

ORDINANCE NO. 16-14 (07-19-16)

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF SARATOGA SPRINGS, UTAH AMENDING THE CITY'S ANNEXATION POLICY PLAN, SPECIFICALLY THE EXPANSION AREA MAP

WHEREAS, Utah Code section 10-2-401.5 provides that an annexation policy plan for the City must be adopted to establish the policy of the City for municipal annexation and to provide notice to citizens and affected entities in the City; and

WHEREAS, the City previously adopted an annexation policy plan, which included an annexation expansion area map; and

WHEREAS, the Council finds that is in the public interest to amend the original annexation policy plan to modify the annexation expansion area map; and

WHEREAS, all required public notices have been provided and all required public hearings and meetings have been held; and

WHEREAS, no comments on the proposed amended plan have been received by the City of Saratoga Springs Planning Commission within the timeframe required pursuant to Utah Code § 10-2-401.5(2)(a)(ii)(2016).

NOW THEREFORE, be it resolved by the City Council of the City of Saratoga Springs, Utah as follows:

SECTION I – AMENDMENTS

The annexation policy plan for Saratoga Springs, specifically the annexation expansion area map, is hereby amended as more fully specified in Exhibit A, which is incorporated herein by this reference.

SECTION II – AMENDMENT OF CONFLICTING ORDINANCES

If any ordinances, resolutions, policies, or zoning maps of the City of Saratoga Springs heretofore adopted are inconsistent herewith they are hereby amended to comply with the provisions hereof. If they cannot be amended to comply with the provisions hereof, they are hereby repealed.

SECTION III – EFFECTIVE DATE

This ordinance shall take effect upon its passage by a majority vote of the Saratoga Springs City Council and following notice and publication as required by the Utah Code.

SECTION IV – SEVERABILITY

If any section, subsection, sentence, clause, phrase, or portion of this ordinance is, for any reason, held invalid or unconstitutional by any court of competent jurisdiction, such provision shall be deemed a separate, distinct, and independent provision, and such holding shall not affect the validity of the remaining portions of this ordinance.

SECTION V – NOTICE

The Saratoga Springs City Recorder is hereby ordered, in accordance with the requirements of Utah Code §§ 10-3-710—711 and 10-2-401.5(5) to do as follows:

- a. deposit a copy of this ordinance in the office of the City Recorder; and
- b. publish notice as follows:
 - i. publish a short summary of this ordinance for at least one publication in a newspaper of general circulation in the City; or
 - ii. post a complete copy of this ordinance in three public places within the City; and
- c. submit a copy of the amended annexation policy plan to the Utah County Commission within 30 days of passage of this ordinance.

ADOPTED AND PASSED by the City Council of the City of Saratoga Springs, Utah, this ___ day of _____, 2016.

Signed: _____
Jim Miller, Mayor

Attest: _____
City Recorder

VOTE

Shellie Baertsch	_____
Michael McOmber	_____
Bud Poduska	_____
Chris Porter	_____
Stephen Willden	_____

EXHIBIT A

Annexation Policy Plan Amendments

City Council Staff Report

Author: Chelese M. Rawlings, Finance Manager
Subject: Budget Amendments
Date: July 19, 2016
Type of Item: Resolution



Summary Recommendation: Staff recommends approval of the following by resolution amending the budget for the fiscal year 2016-17.

Description

A. Topic

This is the first budget amendment for the fiscal year 2016-2017.

B. Background

Attached is the detail of the requested budget amendments for this budget amendment.

C. Analysis

Additional budgeted expenditures are detailed in the attached spreadsheet.

Recommendation: Staff recommends approval of the resolution amending the budget for the fiscal year 2016-17.

2016-2017 Budget Amendment Supplemental #1

G/L Account	Department	Description	Current FY 2017 Budget	New Budget Amount	Increase (Decrease)	Notes/Comments
General Fund						
<u>Revenues</u>						
10-3356-100	Intergovernmental Revenue	Class "C" Road Fund Allotment	594,000	647,503	(53,503)	Per ULCT FY2017 Projection (Impact of HB 60 2016 , change to HB 362 2015)
10-3310-100	Intergovernmental Revenue	Grants	65,000	80,674	(15,674)	Assistant Victim Advocate - fully funded by the VOCA grant
<u>Expenditures</u>						
10-4420-345	Public Works Admin	Electrical Lock Boxes	-	25,280	25,280	Revenue 1/1/16 to 6/30/16 to offset
10-4210-132	Police Department	Salaries - Part-Time	245,365	259,925	14,560	Assistant Victim Advocate - fully funded by the VOCA grant
10-4210-130	Police Department	Employee Benefits	899,691	900,805	1,114	Assistant Victim Advocate - fully funded by the VOCA grant
10-4210-620	Police Department	Animal Control	24,000	27,475	3,475	Current Estimate for Animal Shelter Fees
General Capital Fund						
<u>Expenditures</u>						
new code	General Capital	Jordan River Boat Ramp	-	121,000	121,000	Offset by grant money
new code	General Capital	City Building Security System	-	86,200	86,200	City Buidling Security System
35-4000-755	General Capital	Five Year CIP	1,572,934	3,400,000	1,827,066	Current Fund Balance to be budgeted for Future Projects
Roads Impact Fund						
<u>Expenditures</u>						
new code	Roads Impact	Legacy Farms Reimbursement	-	212,500	212,500	Legacy Farms Reimbursement Agreement (400 S. Upsize to Collector)
new code	Roads Impact	Pony Express Betterments at Mt Saratoga	-	100,000	100,000	Pony Express Betterments
new code	Roads Impact	Redwood Road Betterments	-	300,000	300,000	Redwood Road Betterments
Storm Drain Impact Fund						
<u>Expenditures</u>						
new code	Storm Drain Impact	Legacy Farm Reimbursment	-	104,608	104,608	Legacy Farms Reimbursment Agreement
new code	Storm Drain Impact	PN1	-	550,000	550,000	PN1
31-4000-659	Storm Drain Impact	City Center Outfall	161,439	-	(161,439)	Project Complete
31-4000-660	Storm Drain Impact	Talus Ridge Outfall Reimb	172,000	-	(172,000)	Credits, not payout
Sewer Impact Fund						
<u>Expenditures</u>						
new code	Sewer Impact	Legacy Farms Reimbursment	-	256,592	256,592	Legacy Farms Reimbursment Agreement (VP2)
Secondary Water Impact Fund						
<u>Expenditures</u>						
new code	Secondary Water Impact	Legacy Farms Reimbursement	-	287,000	287,000	Legacy Farms Reimbursment Agreement (400 S.)
					3,486,779	

RESOLUTION NO. R16-45 (7-19-16)

A RESOLUTION AMENDING THE CITY OF SARATOGA SPRINGS BUDGET FOR FISCAL YEAR 2016-2017 AND ESTABLISHING AN EFFECTIVE DATE.

WHEREAS, the City Council of the City of Saratoga Springs has found it necessary to amend the City's current 2016-2017 fiscal year budget;

WHEREAS, pursuant to state law, the City Council has conducted a public hearing on the proposed amended budget; and,

WHEREAS, the City Council has determined that the proposed budget amendment is in the best interests of the public, will further the public health, safety, and welfare, and will assist in the efficient administration of City government.

NOW THEREFORE, BE IT RESOLVED BY THE GOVERNING BODY OF THE CITY OF SARATOGA SPRINGS, UTAH, THAT:

1. The City of Saratoga Springs does hereby adopt the amended 2016-2017 fiscal year budget as set forth and attached hereto.

BE IT FURTHER RESOLVED that this resolution shall take effect immediately upon passage.

Passed on the 19th day of July, 2016

CITY OF SARATOGA SPRINGS
A UTAH MUNICIPAL CORPORATION

Signed: _____
Jim Miller, Mayor

Attest: _____
Cindy LoPiccolo, City Recorder



Site Plan and CUP
Discount Tire
Tuesday, July 19, 2016
Public Meeting

Report Date:	July 12, 2016
Applicant:	Discount Tire (Scott Fournier)
Owner:	Amsource Saratoga NWC, LLC
Location:	1413 North Exchange Dr.
Major Street Access:	Exchange Drive
Parcel Number(s) & Size:	66:242:0003 – 1.325 acres (per pending plat amendment)
Parcel Zoning:	Regional Commercial
Adjacent Zoning:	Regional Commercial
Current Use of Parcel:	Vacant
Adjacent Uses:	Vacant, Medical Office
Previous Meetings:	None for this application
Previous Approvals:	None for this application
Type of Action:	Administrative
Land Use Authority:	City Council
Future Routing:	None
Author:	Jamie Baron, Planner I

- A. **Executive Summary:** The proposed Site Plan and Conditional Use Permit are for Discount Tire (Automotive Repair, Minor), located at 1413 North Exchange Drive, consisting of 1.325 acres and 35% landscaping.

Recommendation:

Staff recommends that the City Council review and discuss the Discount Tire Site Plan and Conditional Use Permit and choose from the options in Section “H” of this report. Options include approval with conditions, denial, or continuing the application to a future meeting.

- B. **Background:** On April 21, 2016, the City received an application for the Discount Tire Site Plan and Conditional Use Permit. The application is for an Automotive Repair, Minor business located at 1413 North Exchange Drive. The business only sells and installs tires and wheels. The lot on

which the site plan is located is part of the Walmart Subdivision. The size of the lot was not adequate for the proposed use, so the owner of the property submitted a plat amendment application on March 11, 2016 for a lot line adjustment to enlarge the lot, which was approved on May 19, 2016. The plat amendment must be recorded prior the issuance of a building permit.

On June 23, 2016 the Planning Commission conducted a public hearing, and voted to forward a positive recommendation for the applications with the following conditions:

- The parking is acceptable as proposed.
- Add landscaping to screen the electrical panel.
- The base of the monument sign shall be the same material as the building.
- Work with staff to ensure that truck turnaround space is adequate.

C. Specific Request: The applicant requests approval for a Site Plan and Condition Use Permit for a 7,373 square foot Automotive Repair, Minor business located at 1413 North Exchange Drive.

D. Process:

Section 19.13.04 states that Site Plans and Conditional Uses require City Council approval after the Planning Commission holds a public hearing and forwards a recommendation.

On June 23, 2016, the Planning Commission held a public hearing for the proposal. No public comments were received, and the Planning Commission forwarded a positive recommendation.

Section 19.13.06 states that Development Review Committee (DRC) shall conduct an Architectural and Urban Design Review of all site plans. *The application was reviewed by the Development Review Committee (DRC) on May 2, 2016 and May 23, 2016 and the following comments on the elevations and site layout were provided.*

5/2/2016

- *Carry the other colors onto the receiving side, the faux columns and red around the doors.*
- *Flip the layout so that the building backs Exchange Dr.*

Originally the DRC commented that the building needed to be moved to back Exchange Drive. After further review the DRC determined that the applicant could keep the location of the building the same as long as the south elevation was changed to be the front of the building. Since the property was an edge use of the Walmart Subdivision, it is required to face the development. The reason for moving the building was to ensure that parking was in the rear and side of the building, this alternative would accomplish the requirements of the initial review comment.

5/23/2016, further review by the DRC

- *The layout would not have to be flipped if the front of the building is located on Crossroads Blvd, so that the parking is on the rear and side of the building.*

The Site Plan included in Exhibit 3 is consistent with the comments provided. The applicant has added the faux column and red color to the receiving side as well as placed a door, addressing,

and primary sign to the south elevation. A sidewalk connecting the existing sidewalk along Crossroads Blvd to the front door has been added to the site plan.

- E. **Community Review:** Per Section 19.13.04, this item was noticed in The Daily Herald, the City website, and the Utah Public Notice Website. Each property owner within 300 feet of the subject property was also notified by postcard at least ten calendar days prior to the public hearing. No public comment has been received as of the date of this report.

No public comment was given during the Public Hearing at the Planning Commission.

- F. **General Plan:** This property is designated as Regional Commercial in the Land Use Element of the General Plan, which states:

Regional Commercial. Regional Commercial areas shall be characterized by a variety of retail users including big box retail configured in developments that provide excellent vehicular access to and from major transportation facilities. Developments located in Regional Commercial areas shall be designed so as to create efficient, functional conglomerations of commercial activities.

As Regional Commercial areas are to be located in close proximity to substantial roadways careful consideration shall be given to the arrangement of structures and other improvements along those corridors. Consideration shall also be given to the existing or potential availability of mass transit facilities as sites in this designation are designed.

Among the many tenants anticipated in these areas are large destination oriented businesses. With that in mind, individual sites shall be designed so as to make automobile access a priority. Even so, specific areas for pedestrian activity shall be designated and appropriately improved. Plazas and other features shall be provided as gathering places which should be incorporated so as to make each site an inviting place to visit.

Staff conclusion: *Consistent. The application is for an Automotive Repair, Minor business which is automobile oriented, and is listed as a Conditional Use in the Regional Commercial Zone. The site is located on the corner of two substantial roads with existing sidewalks and landscaping.*

- G. **Code Criteria:**

A summary of the code review is provided below, with full details contained in the Planning Review Checklist in Exhibit 4:

19.04, Zone – Complies

19.05, Supplemental Regulations – Complies

19.06, Landscaping – Complies

19.09, Off Street Parking – Can Comply

- The site requires 42 parking stalls and only 41 have been provided. The City Council may approve a maximum of 25% parking reduction. The Planning Commission forwarded a recommendation to approve the site with the proposed

stalls, noting that if they parking inside the bays are counted, the site will exceed the requirement.

19.11, Lighting – Can Comply with Conditions to modify lighting design.

- Arm and Bell design is required for parking lighting.
- Parking lighting poles shall not exceed 20' in height.
- Parking lighting poles shall have a decorative base of at least 16 inches in height.
- All freestanding lighting fixtures shall be black.
- 50% of lights shall be turned off within 1 after closing and not turned on earlier than one half hour prior to the earliest employee shift.

19.12, Subdivision – Complies

19.13, Process – Complies

19.14, Site Plan – Complies

19.15, Conditional Use – Complies

19.18, Signs – Can Comply with condition to modify secondary sign.

- Secondary Signs shall not exceed 50% of the Primary Sign size. The proposed secondary signs exceed 50% of the proposed primary sign.

19.27, Addressing – Complies

H. Recommendation and Alternatives:

Staff recommends that the City Council discuss the application and choose from the following options.

Option 1 – Staff Recommendation, Approval with conditions

“I move to **approve** the Discount Tire Site Plan and Conditional Use Permit with the Findings and Conditions in the Staff Report dated July 12, 2016:”

Findings

1. With conditions, the application complies with the criteria in sections 19.04, 19.05, 19.06, 19.09, 19.11, 19.12, 19.13, 19.14, 19.15, 19.18, and 19.27 of the Development Code, as articulated in Section “G” of the staff report, which section is incorporated by reference herein.
2. The application is consistent with the General Plan, as articulated in Section “F” of the staff report, which section is incorporated by reference herein.

Conditions:

1. All conditions of the City Engineer shall be met, including but not limited to those in the Staff report in Exhibit 1.
2. All Fire Codes shall be met.
3. The Discount Tire Site Plan and Conditional Use Permit is recommended as shown in the attachment to the Staff report in Exhibit 3.
4. A reduction of two parking stalls is approved, permitting the proposed 40 outdoor parking stalls.

- a. [Alternative: 42 parking stalls shall be provided, unless a reduction of 2 stalls is approved by the City Council.]
 - 5. All lighting fixtures shall comply with the lighting standards in 19.11
 - 6. Secondary signage shall not exceed 50% of the primary sign size.
 - 7. Rooftop access shall be from the interior of the building.
 - 8. The plat amendment shall be recorded prior to building permit issuance.
 - 9. All other code requirements shall be met.
 - 10. Any other conditions or changes as articulated by the Planning Commission:
 - a. The parking is acceptable as proposed.
 - b. Add landscaping to screen the electrical panel.
 - c. The base of the monument sign shall be the same material as the building.
 - d. Work with staff to ensure truck turnaround space is adequate.
 - 11. Any other conditions or changes as articulated by the City Council:
-

Alternative 1 - Continuance

The City Council may also choose to continue the item. “I move to **continue** the Discount Tire Site Plan and Conditional Use Permit to another meeting on [DATE], with direction to the applicant and Staff on information and / or changes needed to render a decision, as follows:

- 1. _____
- 2. _____

Alternative 2 – Denial

The City Council may also choose to deny the application. “I move to **deny** the Discount Tire Site Plan and Conditional Use Permit with the Findings below:

- 1. The Discount Tire Site Plan and Conditional Use Permit is not consistent with the General Plan, as articulated by the City Council: _____, and/or,
- 2. The Discount Tire Site Plan and Conditional Use Permit is not consistent with Section [19.04, 19.05, 19.06, 19.09, 19.11, 19.12, 19.13, 19.14, 19.15, 19.18, 19.27] of the Code, as articulated by the City Council: _____.

I. Attachments:

- 1. City Engineer’s Report (pages 6-7)
- 2. Location & Zone Map (page 8)
- 3. Proposed Site Plan (pages 9-27)
- 4. Planning Review Checklist (pages 28-41)
- 5. 6.23.2016 PC draft minutes (pages 42-46)

Planning Commission Staff Report

Author: Gordon Miner, City Engineer
Subject: Discount Tire
Date: June 16, 2016
Type of Item: Site Plan Approval



Description:

A. Topic: The Applicant has submitted a Site Plan application. Staff has reviewed the submittal and provides the following recommendations.

B. Background:

Applicant: Scott M. Fournier
Request: Site Plan Approval
Location: 1413 N Exchange Dr
Acreage: 1.325 Acres

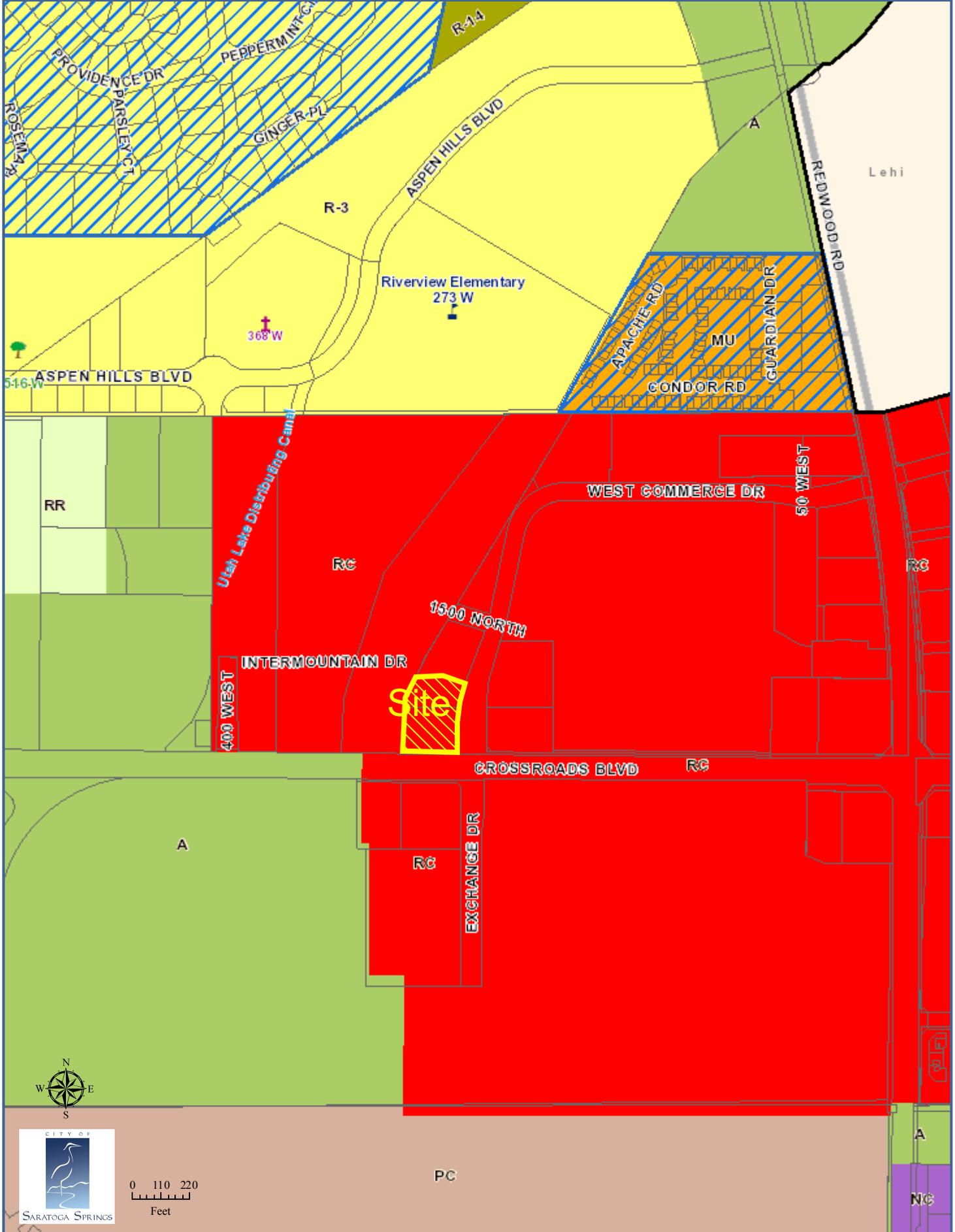
C. Recommendation: Staff recommends the approval of Site Plan subject to the following conditions:

D. Conditions:

- A. Meet all engineering conditions and requirements in the construction of the project. Review and inspection fees must be paid and a bond posted as per the City's Development Code prior to any construction being performed on the project. Impact and water fees are due when pulling the building permit.
- B. All review comments and redlines provided by the City Engineer are to be complied with and implemented with the approved construction drawings.
- C. Developer must secure water rights as required by the City Engineer, City Attorney, and development code.
- D. Developer is required to ensure that there are no adverse effects to adjacent properties due to the grading practices employed during construction of these plats.
- E. Project must meet the City Ordinance for Storm Water release (0.2 cfs/acre for all developed property) and all UPDES and NPDES project construction requirements.

- F. Final plans shall include an Erosion Control Plan that complies with all City, UPDES and NPDES storm water pollution prevention requirements.
- G. All work to conform to the City of Saratoga Springs Standard Technical Specifications, most recent edition.
- H. Developer may be required by the Saratoga Springs Fire Chief to perform fire flow tests prior to final plat approval and prior to the commencement of the warranty period.
- I. Submittal of a Mylar and electronic version of the as-built drawings in AutoCAD format to the City Engineer is required prior acceptance of site improvements and the commencement of the warranty period.
- J. Detention basin shall be located a minimum of 10 feet from property lines.

Discount Tire Location and Zone Map



SITE CALCULATIONS

BUILDING HEIGHT (MAX 50'): 35'-0"
 BLDG. AREA: 7,373 SF / 517,732 SF = 12.88
 TOTAL LOT COVERAGE: 1.332 (517,732 SF)
 LOT AREA: NET (AC)

LEGEND

- PROPOSED (CASE LOT LINE)
- ADJACENT PROPERTY LINE
- PROPOSED A.C. PAVEMENT
- PROPOSED HEAVY DUTY A.C. PAVEMENT
- PROPOSED CONCRETE SIDEWALK
- PROPOSED HEAVY DUTY CONCRETE PAVEMENT
- PROPOSED LANDSCAPE

CONSTRUCTION NOTES

1. CONSTRUCT STANDARD DUTY ASPHALT CONCRETE PER GEOTECH REPORT. SEE PAVEMENT DETAIL HEREON.
2. CONSTRUCT HEAVY DUTY ASPHALT CONCRETE PER GEOTECH REPORT. SEE PAVEMENT DETAIL HEREON.
3. CONSTRUCT 6" VERTICAL CURB AND GUTTER PER SARATOGA SPINNS STD DETAIL ST-20 ON SHEET C7.
4. NOT USED.
5. CONSTRUCT CONCRETE SIDEWALK PER SARATOGA SPINNS STD DETAIL HEREON.
6. INSTALL REINFORCING SIDEWALK RAMP AND DETECTABLE SURFACE PER SARATOGA SPINNS STD DETAIL HEREON.
7. PAINT ADA PARKING PAVEMENT LEGEND.
8. PAINT 4" WIDE YELLOW 90° SOLID PARKING STRIKE.
9. PROVIDE PORTLAND CEMENT CONCRETE PAVEMENT WITH TOP SURFACE FINISH PER GEOTECH REPORT AND DETAILS.
10. INSTALL TRASH ENCLOSURE, REF ARCH PLANS FOR DETAILS.
11. MONUMENT SIGN, REF ARCH PLANS FOR DETAILS.
12. INSTALL BUILDING HARDSCAPE, REF ARCH PLANS FOR DETAILS.
13. DEBRASSAGE ASSES, REFERENCE LANDSCAPING AND IRRIGATION PLANS.
14. CONSTRUCT 12" ASPHALTIC CONCRETE PER GEOTECH REPORT. SEE PAVEMENT DETAIL HEREON.
15. PROPOSED SITE LIGHT, REFER SITE LIGHTING PLAN.

PROJECT INFORMATION

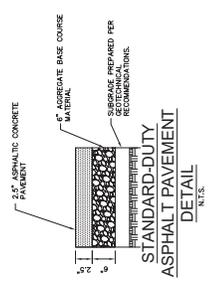
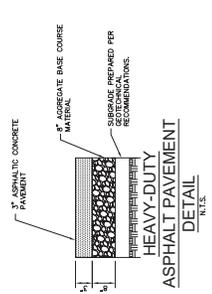
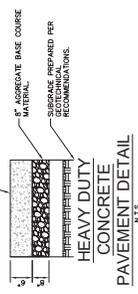
PROPOSED USE: RETAIL SALES AND INSTALLATION OF TIRES AND WHEELS
 PROJECT NAME: DISCOUNT TIRE
 PROJECT ADDRESS: 1413 NORTH 250 WEST, SARATOGA SPRINGS, UTAH
 BUILDING/LANDSCAPE SETBACKS: 5' SIDEWALK, 10' SIDEWALK, 10' SIDEWALK, 10' SIDEWALK
 MINIMUM SIDE SETBACK: 20' (SIDEWALK), 20' (SIDEWALK), 20' (SIDEWALK), 20' (SIDEWALK)
 MINIMUM REAR SETBACK: 20' (SIDEWALK), 20' (SIDEWALK), 20' (SIDEWALK), 20' (SIDEWALK)

PARKING DATA

THE SHOP	2 STALLS PER SERVICE BAY	6 BAYS * 2 = 12 SPACES
	1 STALL PER EMPLOYEE (MAX SHIFT = 30 EMPLOYEES)	30 SPACES
	TOTAL REQUIRED	42 SPACES
PARKING PROVIDED	MINIMUM ALLOWED SPACES	125 * REQUIRED = 53 SPACES
	STANDARD SPACES	38 SPACES
	ACCESSIBLE SPACES	3 SPACES
	TOTAL PROVIDED	41 SPACES
	LOADING SPACES	1 SPACE

PROJECT NARRATIVE

THE SCOPE OF THIS PROJECT CONSISTS OF THE BUILDING OF A NEW DISCOUNT TIRE STORE AND THE INSTALLATION OF TIRES AND WHEELS. THE STORE WILL BE LOCATED ON THE EAST SIDE OF THE LOT, ADJACENT TO THE EXISTING POSSESSIONS SAID TO BE TO THE SOUTH, AND ADJACENT TO THE WEST, AND A NEARBY STORAGE FACILITY TO THE NORTH.



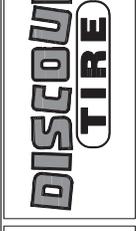
CAUTION: NOTICE TO CONTRACTOR
 THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES POSSIBLE MEASUREMENTS TAKEN IN THE FIELD. THE CONTRACTOR IS NOT TO BE RELIED ON AS BEING ACCURATE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO ANY EXCAVATION TO PREVENT DAMAGE TO EXISTING UTILITIES. ALL EXISTING UTILITIES SHALL BE MAINTAINED AND PROTECTED THROUGHOUT THE PROJECT. PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.



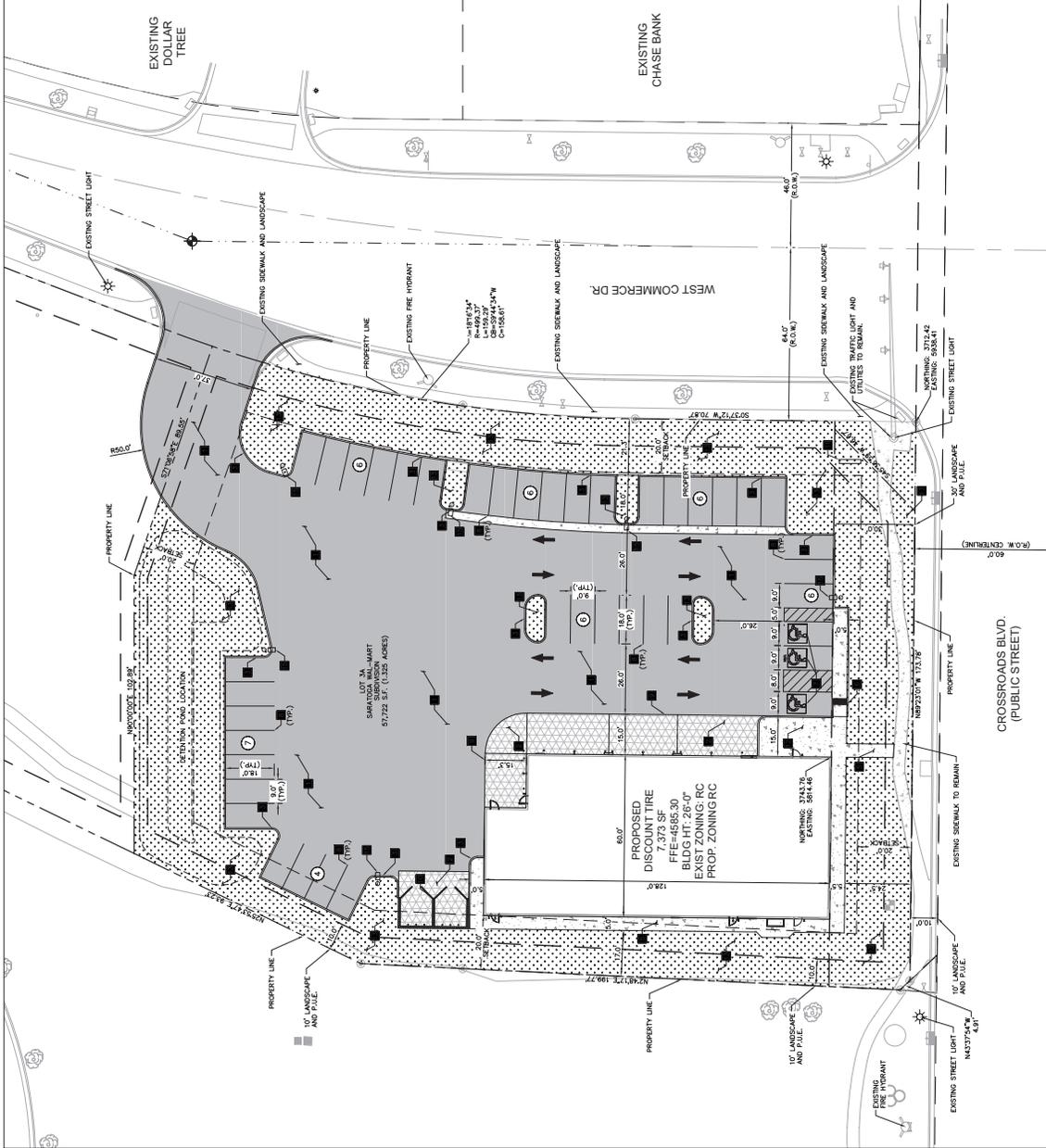
JOB NUMBER:	093534003
PROJECT MANAGER:	ZAJ
DRAWN BY:	JSC
REVIEWED BY:	ZAJ
DATE:	4/18/2016

SITE PLAN	
SHEET DESIGNATION:	C4
SHEET NUMBER:	4 OF 13

1413 NORTH 250 WEST
 SARATOGA SPRINGS, UTAH



Kimley»Horn
 215 SOUTH 1520 WEST, SUITE 400
 SALT LAKE CITY, UTAH 84111
 (385) 212-3179



NO.	REVISION	DATE

DISCLAIMER: THIS DRAWING IS AN INSTRUMENT OF SERVICE AND IS THE PROPERTY OF DISCOUNT TIRE COMPANY AND SHALL NOT BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF DISCOUNT TIRE COMPANY.

LEGEND

	CONCRETE PAVEMENT		EXISTING WATER LINE
	PROPOSED FIRE LINE		PROPOSED ELECTRICAL LINE
	EXISTING ELECTRICAL LINE		PROPOSED TELEPHONE LINE
	ROADWAY CENTER LINE		EXISTING TELEPHONE LINE
	PROPERTY LINE		EXISTING COMMUNICATIONS LINE
	SETBACK/ENCASEMENT LINE		PROPOSED GAS LINE
	PROPOSED SANITARY SEWER		EXISTING GAS LINE
	EXISTING SANITARY SEWER		PROPOSED DOMESTIC WATER LINE
	PROPOSED DOMESTIC WATER LINE		

PLANTING LEGEND

BOTANICAL NAME / COMMON NAME	PLANTING SIZE	MATURE SIZE (HxW)	VZ	QTY
Acer platanoides Parkway / Parkway Maple	2" Caliper Single Trunk	30' x 20'	1	7
Quercus macrocarpa var. Skyline / Pyramidal Honeylocust	2" Caliper Single Trunk	35' x 30'	1	9
Prunus americana 'Cockler' / Golden Black Spruce	6" in. min. Full crown	25' x 15'	2	4
Prunus nigra / Aesthete Pine	8" in. min. Full crown	30' x 20'	1	7
Zelkova serotina City Sycle / City Spruce Zelkova	2" Caliper Single Trunk	24' x 18'	2	6
Existing tree to remain in place / Species vary				

SHRUBS & GROUNDCOVERS

BOTANICAL NAME / COMMON NAME	PLANTING SIZE	MATURE SIZE (HxW)	VZ	QTY
Berberis thunbergii 'Crimson Pyram' / Crimson Pygmy Barberry	5 Gal. 12" x 12"	24" x 30"	2	70
Calluna x. australis 'Karl Foerster' / Karl Foerster Grass	3 Gal. 24" H.	36" x 24"	1	121
Helianthus sempervirens / Blue Avens Grass	3 Gal. 12" x 12"	24" x 24"	1	42
Juniperus horizontalis 'Limelight' / Limelight Juniper	1 Gal. 12" H.	18" x 60"	0	88
Ligularia vulgaris 'Lodestar' / Lodestar Privet	5 Gal. 24" x 24"	48" x 60"	2	27
Spiraea x. bumalda 'Bumald Spiraea	5 Gal. 12" x 12"	36" x 36"	2	38

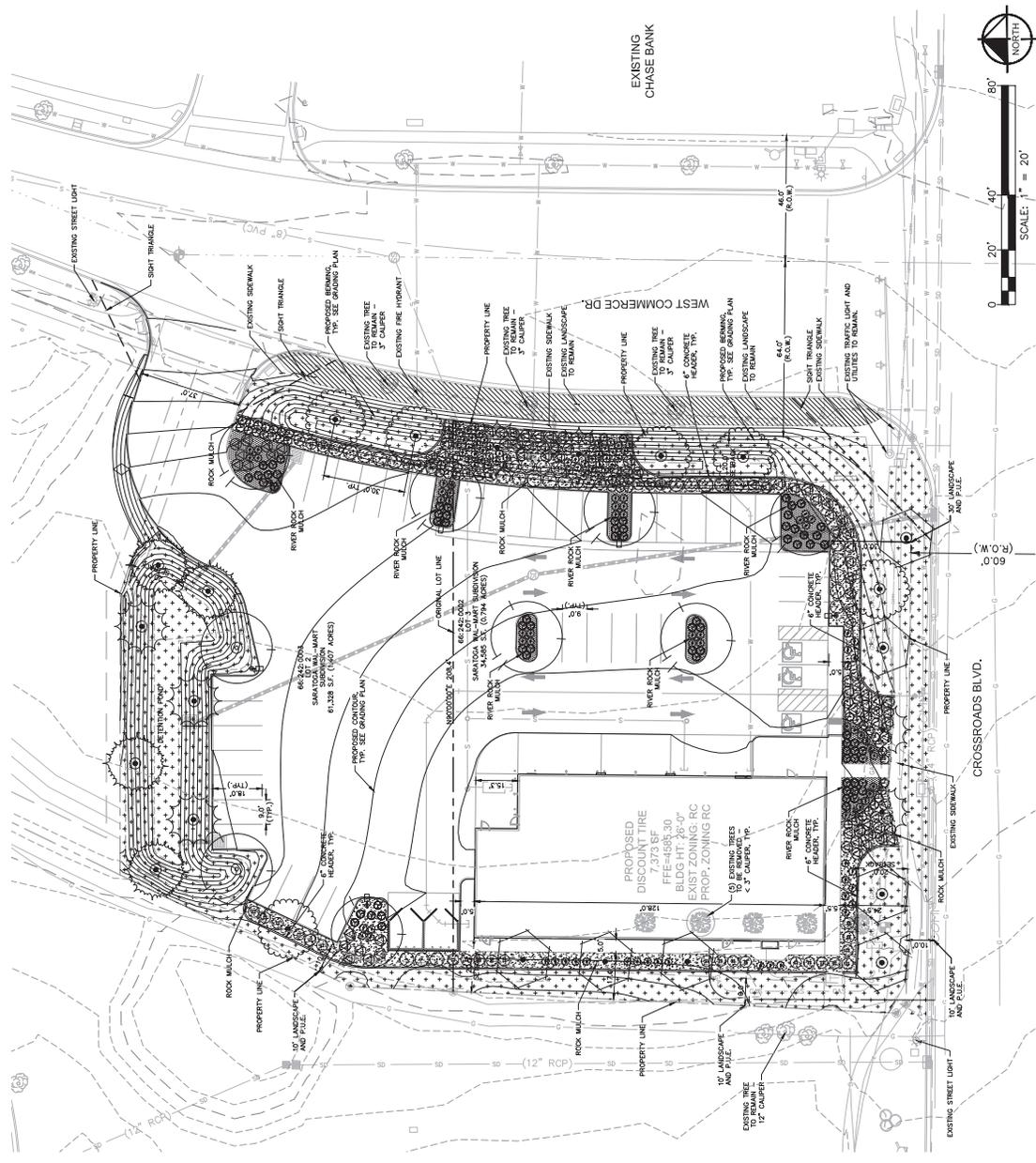
VZ: Mean Tree Classification indicates the amount of plant material to be installed. A classification of 1 indicates a need of 1" in size of appropriate water per month. A classification of 2 indicates a need of greater than 1" of appropriate water per month. Classification of 3 or an unclassified tree is an unclassified tree concerning or drought tolerant.

MISCELLANEOUS

DESCRIPTION / SPECIFICATION	QTY
River Rock Mulch (River Rock, washed with an underlayer of Domet Pro-V Weed Barrier, 'Chowhee Crushed' by American Stone Sales (601-262-4300) or approved local. Submit sample to Owner's Representative for approval. Rock mulch shall be laid at a density so that no landscape fabric is visible.	1,500 SF
Rock Mulch	5,735 SF
Turf	13,045 SF
Concrete Path Edging	615 LF
6" wide x 12" deep cast-in-place concrete edging, see details	
6" wide x 12" deep cast-in-place concrete edging, see details	

SARATOGA SPRINGS LAND DEVELOPMENT CODE REQUIREMENTS

CODE SEC.	REQUIRED	PROVIDED
19.03.05	All landscape trees minimum 2" caliper trunk	Provided
	All evergreen trees minimum 6" H.	Provided
	Tree base clearance - 5' dia. at bases of trees from rock and turf	Provided
	Minimum 25% of shrubs shall be minimum 5-gallon size	(155) 35% Provided
	Minimum 75% turf (total landscape = 20,280 sf, min turf = 4,158 sf)	13,045 sf turf (64%)
	50% of all trees and shrubs shall be drought tolerant species	64% Shrubs 70% Trees
	Rock: Minimum 15% of landscape can be different sizes, correct to pavement	Provided
	High-quality weed barrier is required	37% Provided
	All edging used between shrub beds and turf shall be concrete edging	Provided
	Plants shall be placed immediately adjacent building walls, terraces, borders	Provided
	Plantings shall be placed in accordance with the following: (a) 10' spacing required (11 reqd).	Provided
	Plantings shall be placed in accordance with the following: (b) 10' spacing required (11 reqd).	Provided
19.03.06	Public Street Trees: Trees shall be placed in accordance with the following: (a) 10' spacing required (11 reqd).	12 Trees Provided, 30/0.0. reqd
19.03.07	Required Deciduous Trees = 7 trees (15,000 sf + trees 3,000 sf each)	9 Deciduous Site Trees Provided
	Required Evergreen Trees = 5 trees (15,000 sf + trees 3,000 sf each)	7 Evergreen Trees Provided
	Required Shrubs = 25 min. 15,000 sf + 1' 1' min. 3,000 sf each	358 Shrubs Provided
	2' 2' min. required	



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<p>1413 NORTH 250 WEST SARATOGA SPRINGS, UTAH</p>		
<p>Kimley»Horn 215 SOUTH 700 WEST, SUITE 400 SALT LAKE CITY, UTAH 84111 (385) 212-3179</p>		

GENERAL LANDSCAPE NOTES

1. ALL WORK SHALL BE CONFINED TO LIMITS OF CONSTRUCTION AS SHOWN ON PLANS.
2. SITE GRADING NECESSARY BY THE WORK AS IT PROGRESSES AND NOT NECESSARILY CALLED OUT ON THE PLANS SHALL BE CONSIDERED INCIDENTAL WORK.
3. CONTRACTOR SHALL COMPLY AND BE IN COMPLIANCE WITH ALL STATE AND LOCAL MANIPULATES AS WARRANTED.
4. CONTRACTOR IS TO REVIEW PLANS, VERIFY SITE CONDITIONS AND PLANT QUANTITIES PRIOR TO INSTALLATION. ANY DISCREPANCIES FOUND BETWEEN THE DRAWINGS AND SPECIFICATIONS AND EXISTING SITE CONDITIONS OR ANY OTHER INFORMATION REPORTED TO THE LANDSCAPE ARCHITECT IN WRITING, WHO SHALL IMMEDIATELY ADDRESS SUCH DISCREPANCIES OR AMBIGUITIES. RESPONSE TO INCONSISTENCIES OR AMBIGUITIES SHALL BE DONE AT THE CONTRACTOR'S RISK.
5. DEVIATION FROM THESE PLANS AND NOTES WITHOUT THE PRIOR CONSENT OF THE OWNER OR THE LANDSCAPE ARCHITECT MAY BE CAUSE FOR THE WORK TO BE DEEMED TO BE UNACCEPTABLE.
6. THE CONTRACTOR ACKNOWLEDGES AND AGREES THAT THE WORK IS ENTIRELY AT HIS OWN RISK AND THAT HE WILL BE RESPONSIBLE FOR HIS SAFETY.
7. THE CONTRACTOR WILL BE HELD RESPONSIBLE FOR THE DAMAGE OR LOSS OF ANY REFERENCE POINTS AND MARKS DURING THE CONSTRUCTION OF HIS WORK, AND SHALL BEAR THE COST OF REPLACING SAME.
8. THE CONTRACTOR IS RESPONSIBLE FOR HORIZONTALLY AND VERTICALLY LOCATING ALL PLANT MATERIAL AND SHALL BE RESPONSIBLE FOR ANY ADJUSTMENT TO THE CONSTRUCTION SITE AT LEAST 48 HOURS PRIOR TO ANY DEMOLITION, GRADING OR CONSTRUCTION ACTIVITY.
9. THE CONTRACTOR SHALL SAVAGE AND PROTECT ALL EXISTING POWER POLES, SIGNS, MANHOLES, TELEPHONE RESS, WATER VALVES, ETC., DURING ALL CONSTRUCTION. ANY DAMAGE TO EXISTING UTILITIES DURING CONSTRUCTION REPAIR AT THE OWN EXPENSE. ANY EXISTING UTILITIES DAMAGED DURING CONSTRUCTION.
10. ANY FOREIGN ITEM FOUND DURING CONSTRUCTION IS THE PROPERTY OF THE CONTRACTOR AND SHALL BE REMOVED IMMEDIATELY TO THE NEAREST CONVENIENT CURBNEY, ATTRACTOR AND INDIVIDUAL.
11. CONTRACTOR IS RESPONSIBLE FOR OBTAINING NECESSARY PERMITS AND APPROVALS PRIOR TO COMMENSAL CONSTRUCTION.
12. CONTRACTOR IS TO MAINTAIN CONTROLLED PROGRESS AND ADA ACCESS THROUGH ALL AREAS OF THE SITE THROUGHOUT CONSTRUCTION PERIOD.
13. MAINTAIN THE SITE IN A NEAT AND ORDERLY CONDITION AT ALL TIMES. ONLY MAKE OFF SITE NECESSARY. INSPECT AND PICK UP ALL SCRAP DEBRIS & WASTE MATERIAL.
14. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REMOVE ALL MUD, DIRT, MULCH AND OTHER MATERIALS FROM THE SITE AND TO MAINTAIN THE SURFACE OF THE ROAD AND DRIVEWAYS. THE CONTRACTOR MUST CLEAN THESE DAILY, IF NECESSARY, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COST OF CLEANING AND REMOVAL OF ALL MUD, DIRT, MULCH AND OTHER MATERIALS FROM THE SITE AND TO MAINTAIN THE SURFACE OF THE ROAD AND DRIVEWAYS.
15. PROTECT PROTECTION TO ALL FINISHED WORK. MAINTAIN SURFACES CLEAN, UNHARMED AND SURFACES PROTECTED UNTIL ACCEPTANCE BY OWNER.
16. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING ANY DAMAGE TO EXISTING UTILITIES AND SHALL BE RESPONSIBLE FOR THE COST OF REPAIRING ANY DAMAGE TO EXISTING UTILITIES.
17. EROSION CONTROL MEASURES (SILT FENCING AND SEDIMENTATION CONTROL) SHALL BE MAINTAINED BY THE CONTRACTOR FOR THE DURATION OF THE PROJECT. EROSION CONTROL MEASURES WILL BE REPAIRED PER THE CONTRACTOR'S OBLIGATION.
18. PLANT QUANTITIES LISTED IN THE PLANT LEGEND ARE FOR THE CONVENIENCE OF THE CONTRACTOR. THE CONTRACTOR SHALL DO THEIR OWN TAKE-OFFS AND BASE BID ACCORDINGLY.
19. ALL PLANT MATERIAL SHALL BE HEALTHY, VIGOROUS, WELL BRANCHED, AND FREE FROM DISEASE, PESTS, AND DEFOLIATION. PLANT MATERIAL SHALL BE CUT OR OTHER APPROPRIATE PLANT MATERIAL SHALL BE SIZED IN ACCORDANCE WITH THE AMERICAN ASSOCIATION OF WEDDERSMAN.
20. OWNER REPRESENTATIVE RESERVES THE RIGHT TO REJECT ANY PLANT MATERIAL DEEMED UNACCEPTABLE.
21. LANDSCAPE CONTRACTOR TO TAG AND HOLD ALL PLANT MATERIAL A MINIMUM OF 30 DAYS PRIOR TO DATE OF INSTALLATION. ALL PLANT MATERIAL SUBSTITUTIONS MADE WITHIN THE 30 DAYS PRIOR TO INSTALLATION TO BE THE NEXT SIZE LARGER AND OF EQUAL OR BETTER QUALITY.
22. REPRESENTATIVE RESERVES THE RIGHT TO APPROVE AND APPROVED BY THE OWNERS UTILITIES. ALL SIZES A MINIMUM OF 1 FT. SEPARATION FROM ALL UTILITIES. ALL SIZES A ROOT BARRIER IS ALLEED.
24. THE LANDSCAPE CONTRACTOR SHALL MAINTAIN PLANTED AREAS BY MEANS OF CONTINUOUS WATERING, PRUNING, RENEWING TREE ROOT BALLS WHEN SETTLE BELOW GRADE, WEED, INSECT AND DISEASE CONTROL, FEEDING, WEEDING, WEEDING, WEEDING AND OTHER OPERATIONS NECESSARY FOR PROPER CARE AND UPKEEP.

GENERAL LANDSCAPE NOTES (CONT.)

25. FINISH GRADE IN ALL AREAS TO BE SMOOTH AND EVEN AND 1" BELOW TOP OF CURB OR SIDEWALK.
26. FINISH GRADE SHALL BE TYPICAL AT LEAST 6" BELOW TOP OF CURB OR SIDEWALK PRIOR TO PLANTING OPERATIONS. IMMEDIATELY PRIOR TO ACCEPTANCE OF ROCK MULCH, CONTRACTOR TO APPLY PREARRANGED PER MANUFACTURER RECOMMENDATIONS.
27. ROCK MULCH SHALL EXCEED UNDER SHRUBS, TREES SHALL MAINTAIN A 3' DRAINAGE CLEARANCE AROUND THE TRUNK (USE OF TURF AND ROCK MULCH).
28. CONTRACTOR SHALL BE RESPONSIBLE FOR THE ENTIRE PROJECT FOR 90 DAYS AFTER COMPLETION OF THE PROJECT. CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLETION OF THE MAINTENANCE PERIOD. THE OWNER WILL ASSUME ALL MAINTENANCE RESPONSIBILITY.
29. PRIOR TO INITIATING THE 90 DAY MAINTENANCE PERIOD, COMPLETE ANY INITIAL SUBSTITUTIONS AND REVISIONS TO THE PLANS AND NOTES. CONTRACTOR TO MAINTAIN SUBSTANTIAL COMPLIANCE WITH THE OWNER'S REPRESENTATIVE'S COMMENTS AND REVISIONS. CONTRACTOR TO MAINTAIN RECORDS OF ALL REPLACEMENTS OF ANY MATERIAL THAT HAS BEEN OR IS SHOWING EVIDENCE OF REPLACEMENT OF ANY MATERIAL. SUBMIT WRITTEN REQUEST FOR FINAL PUNCHLIST ONE WEEK PRIOR TO END OF MAINTENANCE PERIOD.
30. ALL GENERAL CONDITIONS, SUPPLEMENTARY GENERAL CONDITIONS AND TECHNICAL SPECIFICATIONS OF THE CONTRACT SHALL APPLY.

SARATOGA SPRINGS LANDSCAPE NOTES

1. PARK STRIPS SHALL BE LANDSCAPED AND MAINTAINED BY THE PROPERTY OWNER. CONTRACTOR SHALL BE RESPONSIBLE FOR THE COST OF LANDSCAPING AND MAINTENANCE RECORDED SUBSEQUENT TO THE PROJECT.
2. ALL LANDSCAPED AREAS SHALL BE MAINTAINED BY WATERING, WEED REMOVAL, LAWN MOWING, OR ANY OTHER ACTIVITY REQUIRED TO MAINTAIN HEALTHY AND WELL-MANICURED LANDSCAPING.
3. TREES WHICH PROJECT OVER ANY SIDEWALK SHALL BE PRUNED CLEAR OF ALL SIDEWALKS AND FINISHED GRADE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PRUNING AND TRIMMING OF SHIRT FEET FOR THAT PORTION OF THE PLANT LOCATED OVER THE SIDEWALK. (SEE SECTION 19.06.11.)
4. LANDSCAPING AND FINISHING SHALL MAINTAIN A CLEAR, RIGHT TRIANGLE AS SPECIFIED IN SECTION 19.06.11.
5. LANDSCAPING IMPROVEMENTS SHALL BE GUARANTEED FOR A PERIOD OF 1 YEAR AFTER FINAL ACCEPTANCE BY POSTING A WARRANTY BOND AND ENTERING INTO A WARRANTY BOND AGREEMENT IN ACCORDANCE WITH SECTION 19.12.05.



1 TREE PLANTING AND STAKING
SCALE: N.T.S.



2 MULCH INSTALLATION
SCALE: N.T.S.



3 SHRUB / GROUND COVER PLANTING
SCALE: N.T.S.



4 CONCRETE CURB EDGING
SCALE: N.T.S.



5 BACKFILL AND FERTILIZER NOTES

DATE	REVISION

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215 SOUTH 700 WEST, SUITE 400
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DISCOUNT TIRE
1301 LOCKWOOD BLVD
SARATOGA SPRINGS, UT 84055
No. 812845-5370
LI-CERTIFIED LICENSEE
8669382816

1413 NORTH 250 WEST
SARATOGA SPRINGS, UTAH

FOR NUMBER: 093534003
PROJECT MANAGER: ZAJ
DRAWN BY: CMR
REVIEWED BY: ASB
DATE: 4/18/2016

SHEET NUMBER: 2 OF 5

LANDSCAPE DETAILS
SHEET DESIGNATION: L2

IRRIGATION LEGEND

SYMBOL	MANUFACTURER DESCRIPTION	QTY
⊠	Top TRIC-12E-001 TRM4 expression module, 12-Station Controller with wall-mounted holding metal cabinet, with limited CL-1000/weekless weather sensor and module, Coordinate Final Location with Owner.	1
⊠	1" Irrigation Meter	1
⊠	Top P22-27-06 1-1/2" Master Valve with Compact EZR-100 Regulator module, Normally Closed	1
⊠	Top TRS-50 1-1/2" Flow Sensor, compatible with specified controller module, Normally Closed	1
⊠	Top D2K-TRV-LF 1" Drop Check Valve Kit with Filter, Pressure Regulator, and 1" SCH 40 PVC Ball Valve (Emp. Brass)	2
⊠	Top P22-26-04 1" Electric Remote Control Valve (Turf)	10
⊠	Flush End Cap	17
⊠	Top 570Z PRA with Top C-4-5 Precision Series Spray Nozzle (Red), 5' Radius, 6" Pop-Up, Radius Per Plans and Site Conditions	6
⊠	Top 570Z PRA with Top C-4-5 Precision Series Spray Nozzle (Green), 8' Radius, 6" Pop-Up, Radius Per Plans and Site Conditions	47
⊠	Top 570Z PRA with Top C-4-5 Precision Series Spray Nozzle (Blue), 10' Radius, 6" Pop-Up, Radius Per Plans and Site Conditions	28
⊠	Top 570Z PRA with Top C-4-12 Precision Series Spray Nozzle (Brown), 12' Radius, 6" Pop-Up, Radius Per Plans and Site Conditions	21
⊠	Top 570Z PRA with Top C-4-15 Precision Series Spray Nozzle (Black), 15' Radius, 6" Pop-Up, Radius Per Plans and Site Conditions	75
⊠	SHUBBS, Sarcos, M.L. 200 Series Multi-Outlet Emitters (1.0 GPH outlet @ 20 PSI) with 90 degree elbow outlet for each distribution tube. Install (1) per up to six emitters. Install per details.	AS
⊠	NOT SHOW	AS
⊠	NOT SHOW	AS
⊠	TREES, Bowerman M. 200 Series Multi-Outlet Emitters (2.0 GPH outlets @ 20 PSI) with 90 degree elbow outlet for each distribution tube. Install per details.	AS
SLEEVES		QTY
---	2" SCH 40 Spheres or equal - for drip and spray laterals	241 LF
---	4" SCH 40 Spheres or equal - for mainlines	7 LF

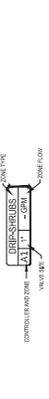
Note: All tapered size and standard tapered panel surfaces shall be tapered to maximum diam. min. 3/8" the diameter of the pipe.

PIPE SCHEDULE

SYMBOL	SIZE DESCRIPTION	QTY
---	1" SCH 40 PVC Mainline	670 LF
---	SCH 40 PVC - Dip, Tree Lateral - 1"	1,165 LF
---	SCH 40 PVC - Dip, Sprink Lateral - 1"	1,041 LF
---	SCH 40 PVC - Spray, Lateral - 7/8" - 1"	1,560 LF

PROVIDE AND INSTALL ALL LENGTHS, FITTINGS, AND RISERS AS NECESSARY FROM LATERAL PIPES TO SUPPORT INSTALLATION OF EQUIPMENT WITH OWNER PRIOR TO CONSTRUCTION.

CONTROL VALVE IDENTIFICATION

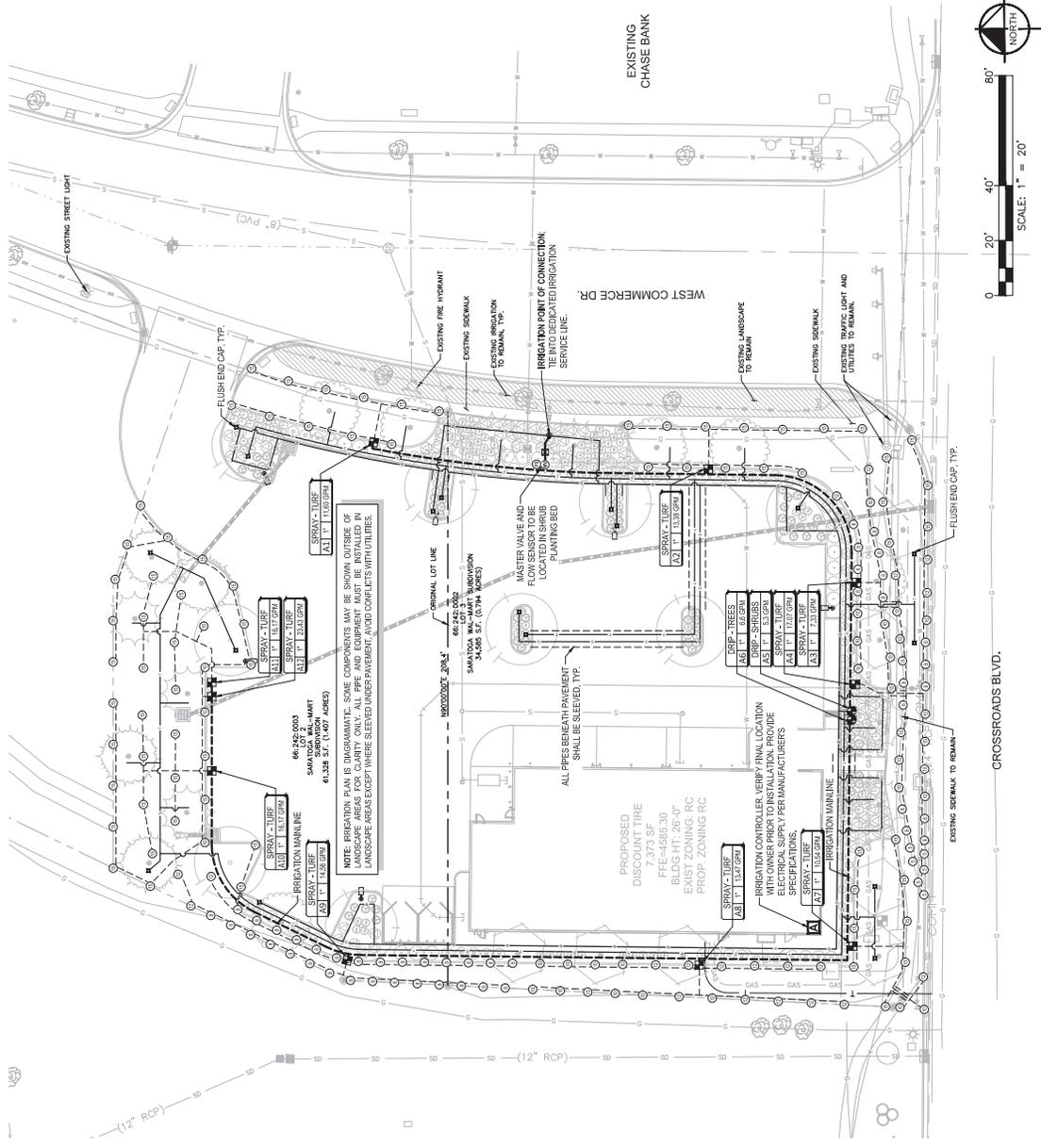


IRRIGATION WINTERIZATION

THE SYSTEM AND ALL COMPONENTS MUST BE PROPERLY WINTERIZED TO PREVENT FROST-DAMAGE DAMAGE. CONTRACTOR IS RESPONSIBLE FOR WINTERIZATION PROCEDURES. CONTRACTOR SHALL CONSULT WITH OWNER REGARDING WINTERIZATION PROCEDURES AND EQUIPMENT WITH OWNER PRIOR TO CONSTRUCTION.

GENERAL IRRIGATION NOTES

- CONTRACTOR SHALL REVIEW AND FIELD VERIFY LAYOUT OF ALL IRRIGATION SYSTEM & EQUIPMENT PRIOR TO CONSTRUCTION. APPROVED BY THE OWNER'S REPRESENTATIVE PRIOR TO CONSTRUCTION.
- REFER TO DETAILS FOR INSTALLATION PROCEDURES.
- OWNER'S REPRESENTATIVE SHALL BE PRESENT AT ALL CONSTRUCTION MEETINGS AND SHALL REVIEW ALL WORKING DRAWINGS, MATERIALS, AND METHODS OF INSTALLATION. INSTALLATION AND NOTIFY CONSULTANT AND OWNER IMMEDIATELY OF ANY DISCREPANCIES OR CHANGES TO THE ORIGINAL PLAN. FAILURE TO NOTIFY CONSULTANT AND OWNER REPRESENTATIVE, BE ASSUMES FULL RESPONSIBILITY FOR ANY SYSTEMAL ERRORS.
- ALL PIPING AND WIRING SHALL BE UNDER PAVED AREAS SHALL BE PER PLAN DETAILS. SLEEVES SHALL BE INSTALLED PRIOR TO THE START OF ANY PAVING. ALL PIPING SHALL BE INSTALLED PRIOR TO THE START OF ANY PAVING. EXISTING SLEEVES LOCATIONS AND DETERMINE LOCATION AND COMPATIBILITY WITH EXISTING SLEEVES PRIOR TO THE START OF ANY OTHER WORK. SLEEVES BENEATH EXISTING PAVEMENT SHALL BE IDENTIFIED BY MARKING SLEEVES OR MARKING APPROVED BY THE OWNER'S REPRESENTATIVE.



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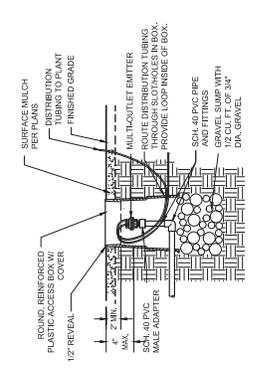
FOR NUMBER: 093534003
PROJECT MANAGER: ZAI
DRAWN BY: CMR
REVIEWED BY: ASB
DATE: 4/18/2016

1413 NORTH 250 WEST
SARATOGA SPRINGS, UTAH

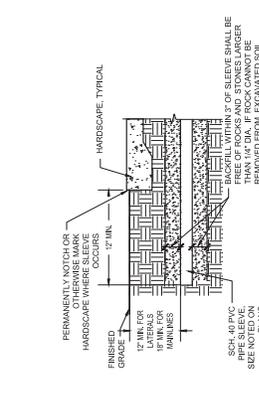
Kimley»Horn
215 SOUTH 777 WEST, Suite 400
SALT LAKE CITY, UT 84111
(385) 212-3179

NO.	REVISION	DATE

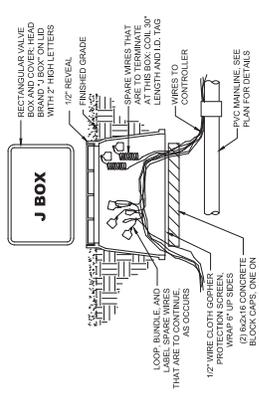
IRRIGATION PLAN
SHEET DESIGNATION:
L3
SHEET NUMBER:
3 OF 5



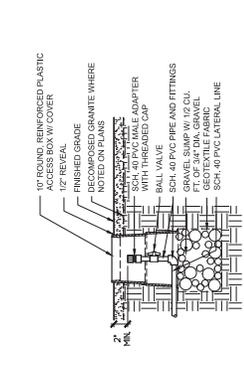
9 MULTI-OUTLET EMITTER
SCALE: N.T.S.



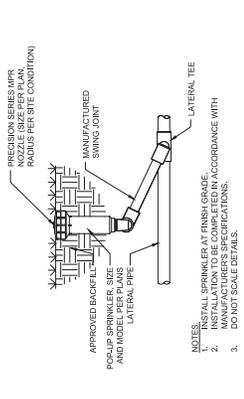
11 MAINLINE AND LATERAL PIPE SLEEVING
SCALE: N.T.S.



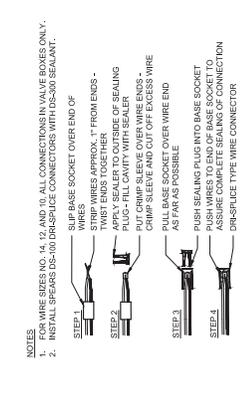
12 IRRIGATION WIRING JUNCTION BOX
SCALE: N.T.S.



10 LATERAL FLUSHING END CAP
SCALE: N.T.S.



12 SPRAY HEAD
SCALE: N.T.S.



13 IRRIGATION WIRE CONNECTION
SCALE: N.T.S.

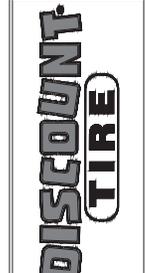
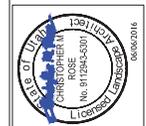
NOTES:

- FOR WIRE SIZES NO. 14, 12, AND 10, ALL CONNECTIONS IN VALVE BOXES ONLY.
- INSTALL SPEARS DS-100 DRIP-SPLICE CONNECTORS WITH DS-300 SEALANT.

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NO.	REVISION	DATE

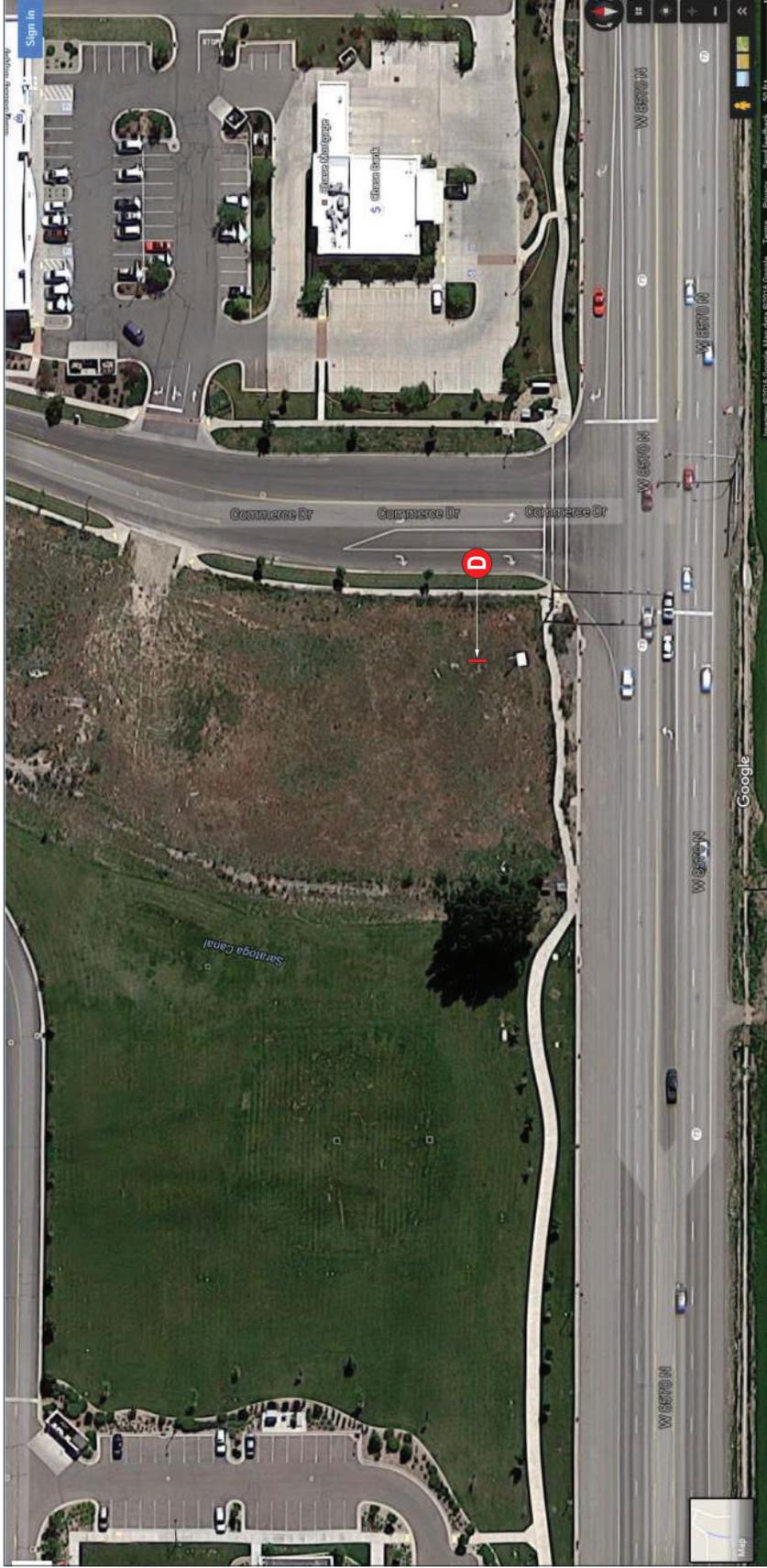
Kimley»Horn
215 SOUTH 2700 STREET, SUITE 400
SALT LAKE CITY, UTAH 84111
(385) 212-3179



1413 NORTH 250 WEST
SARATOGA SPRINGS, UTAH

JOB NUMBER: 093534003
PROJECT MANAGER: ZAJ
DRAWN BY: CMR
REVIEWED BY: ASB
DATE: 4/18/2016

IRIGATION DETAILS
SHEET DESIGNATION: L5
SHEET NUMBER: 5 OF 5



GOOGLE SHOT
Scale: Not to Scale



WALTON
SIGNAGE
3419 East Commerce
Saratoga Springs, UT 84045
212.856.2644
www.waltonsignage.com
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Client: DISCOUNT TIRE - UTS 10913
Address: 1400 BLOCK COMMERCE DR
Location: SARATOGA SPRINGS, UT 84045
Sales: HOUSE Designer: GD
Date: 02/17/16 PM TG

Revision:
R1: 02/17/16 ADD CODE NOTES AND SIGNAGE FOR BLDG - RB
R2: 02/17/16 ADD ADDRESS NUMBERS TO BLDG - RB

H: Discount Tire, Locations\UT\UT Saratoga Springs UTS 10913\49689 Bldg Signage\DESIGNS\149689.cdr

Signs will be manufactured with 120 Volt A.C. according to the requirements of the National Electrical Code. All work is to be done in accordance with the purchase agreement attached hereto. In case of variance between the Specifications of the purchase agreement and this drawing, the drawing shall prevail.

Approvals:
Sales: _____ Date: _____
P.M.: _____ Date: _____
Design: _____ Date: _____
Client: _____ Date: _____

This sign is intended to be installed in accordance with the requirements of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign.

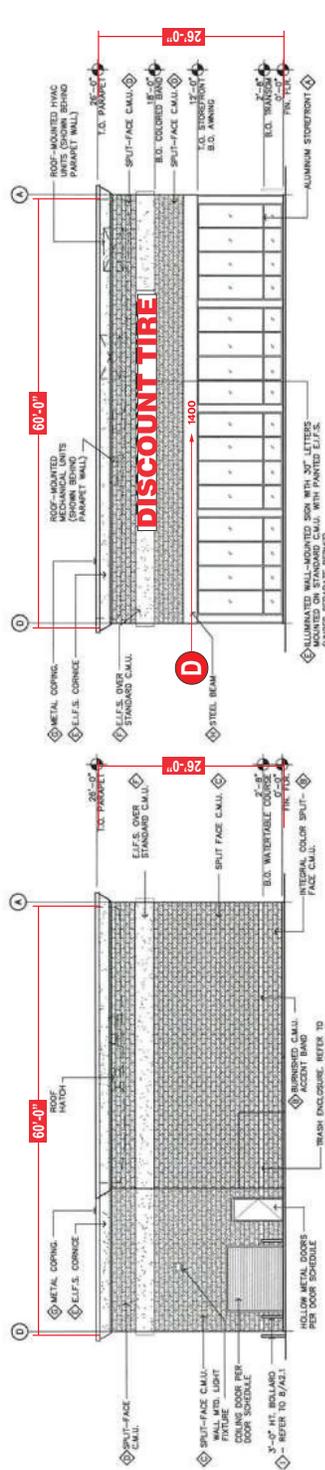
CID149699

SHEET 2 OF 8

FINISH LEGEND

- MANUFACTURER'S STANDARD COLOR TO MATCH DURAMAR UC6057 AL "BANNER RED"
- INTERIOR COLOR CALL: SPURT-FACE OR BRUSHED AS NOTED TO MATCH SW 7714 "OAK BARREL"
- INTERIOR COLOR CALL: SPURT-FACE CALL TO MATCH SW 7714 "OAK BARREL"
- INTERIOR COLOR CALL: SPURT-FACE CALL TO MATCH SW 6119 "ANTIQUE WHITE"
- PAIN'T SHEPHER WILLIAMS SW 6119 "ANTIQUE WHITE"
- ACCENT BAND PAINTED SW 7585 "SUNDRIED TOMATO"
- METAL COPING - FACTORY FINISH TO MATCH SW 7714 "OAK BARREL"
- EXPOSED STEEL PAINTED SW 7714 "OAK BARREL"
- BOLLARDS PAINTED SW 7714 "OAK BARREL"
- HOLLOW METAL DOORS PAINTED SW 7714 "OAK BARREL"
- PAINT SHEPHER WILLIAMS SW 7714 "OAK BARREL"

- #33 RED (BANNER RED)
- SW 7714 OAK BARREL
- SW ANTIQUE WHITE
- SW 7585 SUNDRIED TOMATO



MATERIAL PERCENTAGES

- FRONT: 1,353 TOTAL S.F.
- SPURT-FACE CALL = 1,209 S.F. (89.4%)
- BRUSHED CALL = 144 S.F. (10.6%)
- GLASSING = 89 S.F. (6.6%)
- STEEL = 111 S.F. (8.1%)
- BACK: 1,353 TOTAL S.F.
- SPURT-FACE CALL = 715 S.F. (52.9%)
- BRUSHED CALL = 71 S S.F. (5.2%)
- EL.F.S. = 87 S.F. (6.4%)
- DOORS = 48 S.F. (3.5%)
- STEEL = 29 S.F. (2.1%)
- STOREFRONT SIDE: 1,523 TOTAL S.F.
- SPURT-FACE CALL = 435 S.F. (28.6%)
- EL.F.S. = 300 S.F. (19.7%)
- STEEL = 170 S.F. (11.2%)
- REGIONS: SEE LISTS TOTAL S.F.
- SPURT-FACE CALL = 1,145 S.F. (75.2%)
- EL.F.S. = 300 S.F. (19.7%)
- DOORS = 29 S.F. (1.9%)

TOTAL MATERIAL PERCENTAGE:
 BRUSHED CALL = 1.33%
 EL.F.S. = 22.5%
 GLASSING = 6.5%
 DOORS = 3.5%
 STEEL = 5.2%

CODE:
CODE ALLOWANCE:
 PRIMARY SIGN: 60'-0" X 26'-0" = 1560 SQ FT
 X 8% = 124.8 SQ FT
 SECONDARY ALLOWANCE IS 50%
 = 62.4 SQ FT.
 MONUMENT SIGNAGE ALLOWANCE: 45 SQ FT
 FACE IS 35 SQ FT
 ADDRESS NUMBERS: 1.09 SQ FT
 BUILDING SIGNAGE:
 193.47 SQ FT
 ADDRESS NUMERALS:
 9.5 SQ FT

Approval:
 Sales: _____ Date: _____
 P.M.: _____ Date: _____
 Design: _____ Date: _____
 Client: _____ Date: _____

This sign is intended to be installed in accordance with the requirements of the International Building Code and all applicable local codes. This includes proper grounding and bonding of the sign.

Signs will be manufactured with 120 Volt A.C. All primary electrical service to the sign and final connections shall be made by a licensed electrician. All work to be done in accordance with the purchase agreement attached hereto. In case of variance between the specifications of the purchase agreement and this drawing, the drawing shall prevail.

Revised: _____
 Revision: _____
 811771716-ADD CODE NOTE AND SIGNAGE TO BLDG - RB
 821771716-ADD ADDRESS NUMBERS TO BLDG - RB

Client: DISCOUNT TIRE - UTS 10913
 Address: 1400 BLOCK COMMERCE DR
 Location: SARATOGA SPRINGS, UT 84045
 Sales: HOUSE Designer: GD
 Date: 02/17/16 P.M. TG

WALTON SIGNAGE
 3419 East Commerce
 Saratoga Springs, UT 84045
 210.836.3444
 www.waltonsignage.com

29-6 1/2"

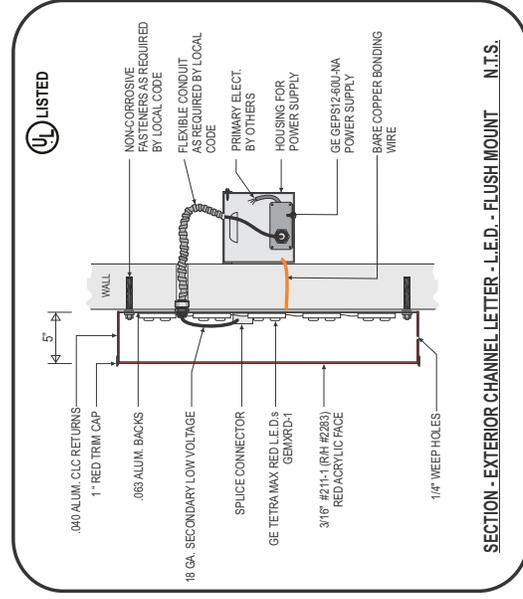
9 7/8"

DISCOUNT TIRE

A 30" FRONT VIEW OF ILLUMINATED CHANNEL LETTERS - FLUSH MOUNT - "DISCOUNT TIRE" - 73.85 SQ. FEET
Scale: 1/2" = 1' - 0"

GENERAL SPECIFICATIONS

- ACRYLIC FACE LIT CHANNEL LETTERS
- .063 ALUM. BACKS W/ .040 ALUM. RETURNS (BACKS TO HAVE 3 HOLES FOR ELECTRICAL PENETRATION OPTIONS - BOTTOM, MIDDLE, TOP)
- 1" "JEWELITE" RED TRIM CAP
- 5" PRE-FINISHED CLC RED RETURNS
- 3/16" #211-1 (RH 2283) RED ACRYLIC FACE
- INTERNAL ILLUMINATION WITH RED GE L.E.D.s
- 12VDC SECONDARY WIRING
- REMOTE 120 VAC TO 12VDC GE LED POWER SUPPLIES
- 120 VOLT PRIMARY TO SIGN LOCATIONS BY OTHERS



SECTION - EXTERIOR CHANNEL LETTER - L.E.D. - FLUSH MOUNT N.I.S.

INSTALLATION NOTES:
ALL SIGNS ARE INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 600 OF THE NATIONAL ELECTRIC CODE AND OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING AND BONDING OF THE SIGN.

WHEN INSTALLING LETTERS, USE CLEAR SILICONE AROUND SECONDARY AND WALL PENETRATIONS. RUN A BEAD OF SILICONE ACROSS THE TOPS OF ALL LETTERS, IN ORDER TO PREVENT LEAKS.

NOTE:
REFERENCE UL-48-ELECTRIC SIGN STANDARDS PG. 35 FOR DETAILS CONCERNING UL REQUIREMENT FOR BONDING OF PAN CHANNEL L.E.D. ILLUMINATED LETTERS

This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electric Code and/or other applicable local codes. This includes proper grounding and bonding of the sign.

Signs will be manufactured with 120 Volts A.C. All primary electrical service to the sign and final wiring shall be done in accordance with the agreement attached hereto. In case of variance between the specifications of the purchase agreement and this drawing, the drawing shall prevail.

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Revision: _____
 B11877HEAD CODE NOTES: ADD SIGNAGE TO BLDG - RB
 B21877HEAD ADDRESS NUMBERS TO BLDG - RB

Client: DISCOUNT TIRE - UTS 10913
 Address: 1400 BLOCK COMMERCE DR
 Location: SARATOGA SPRINGS, UT 84045
 Sales: HOUSE Designer: GD
 Date: 02/17/16 PM TG

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 SIGNAGE
 3419 East Commerce
 Provo, UT 84606
 210.836.2844
 www.waltonsign.com
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Approvals:
 Sales: _____ Date: _____
 P.M.: _____ Date: _____
 Design: _____ Date: _____
 Client: _____ Date: _____

Approval: _____ Date: _____
 Sales: _____ Date: _____
 P.M.: _____ Date: _____
 Design: _____ Date: _____
 Client: _____ Date: _____

CID149699

26'-7"

8 7/8"

DISCOUNT TIRE

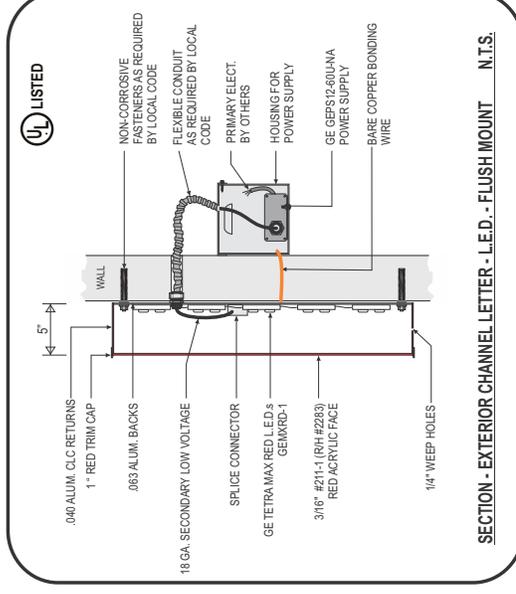
B C 27"

FRONT VIEW OF ILLUMINATED CHANNEL LETTERS - FLUSH MOUNT - "DISCOUNT TIRE" - 59.81 SQ. FEET

Scale: 1/2" = 1'-0"

GENERAL SPECIFICATIONS

- ACRYLIC FACE LIT CHANNEL LETTERS
- .063 ALUM. BACKS W/ .040 ALUM. RETURNS (BACKS TO HAVE 3 HOLES FOR ELECTRICAL PENETRATION OPTIONS - BOTTOM, MIDDLE, TOP)
- 1" "JEWELITE" RED TRIM CAP
- 5" PRE-FINISHED CLC RED RETURNS
- 3/16" #211-1 (RH #2283) RED ACRYLIC FACE
- INTERNAL ILLUMINATION WITH RED GE L.E.D.s
- 12VDC SECONDARY WIRING
- REMOTE 120 VAC TO 12VDC GE LED POWER SUPPLIES
- 120 VOLT PRIMARY TO SIGN LOCATIONS BY OTHERS



INSTALLATION NOTES:

ALL SIGNS ARE INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 600 OF THE NATIONAL ELECTRIC CODE AND OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING AND BONDING OF THE SIGN.

WHEN INSTALLING LETTERS, USE CLEAR SILICONE AROUND SECONDARY AND WALL PENETRATIONS. RUN A BEAD OF SILICONE ACROSS THE TOPS OF ALL LETTERS, IN ORDER TO PREVENT LEAKS.

NOTE: REFERENCE UL-48-ELECTRIC SIGN STANDARDS PG. 35 FOR DETAILS CONCERNING UL REQUIREMENT FOR BONDING OF PAN CHANNEL L.E.D. ILLUMINATED LETTERS



Client: DISCOUNT TIRE - UTS 10913
 Address: 1400 BLOCK COMMERCE DR
 Location: SARATOGA SPRINGS, UT 84045
 Sales: HOUSE Designer: GD
 Date: 02/17/16 PM TG

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Revision:
 R1: 02/17/16 ADD CODE NOTES AND SIGNAGE TO BLOG - RB
 R2: 02/17/16 ADD ADDRESS NUMBERS TO BLOGS - RB

Signs will be manufactured with 120 Volts A.C. All Primary electrical service to the sign and final connections shall be done in accordance with the agreement attached hereto. In case of variance between the specifications of the purchase agreement and this drawing, the drawing shall prevail.

This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electric Code and/or other applicable local codes. This includes proper grounding and bonding of the sign.

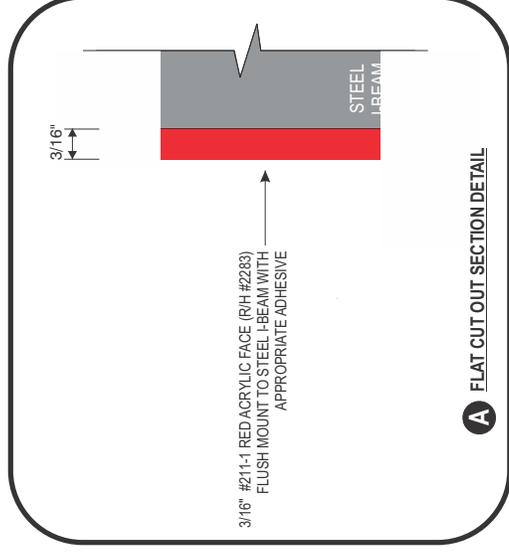
Approval: _____ Date: _____
 Sales: _____ Date: _____
 P.M.: _____ Date: _____
 Design: _____ Date: _____
 Client: _____ Date: _____

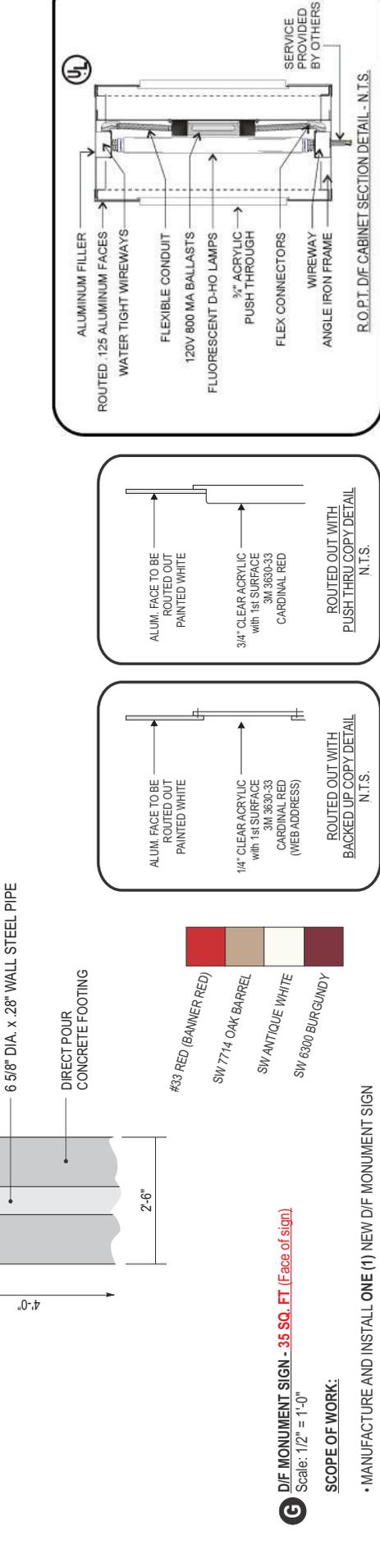
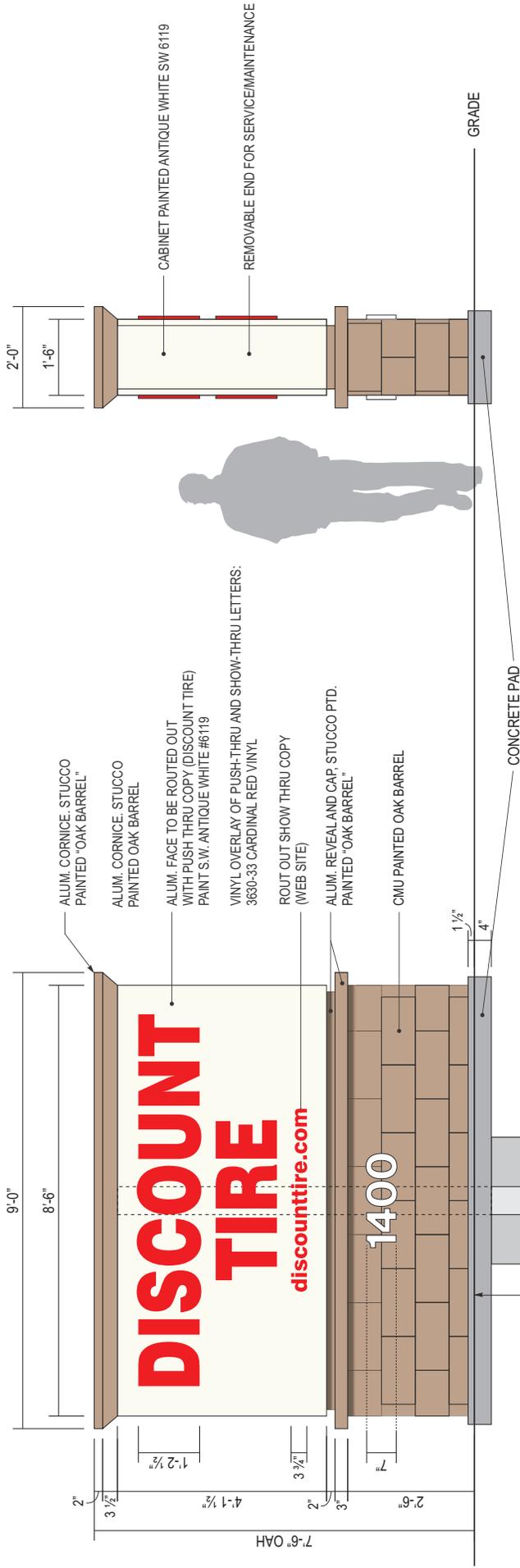
CID149699



DEF 3/16" #211-1 RED ACRYLIC FACE (R/H #2283)
 Scale: 1 1/2" = 1'-0"

- FABRICATE AND INSTALL (3) THREE SETS OF FLAT CUT OUT ADDRESS NUMBERS
- FLUSH MOUNT ONE SET TO STEEL I-BEAM WITH APPROPRIATE ADHESIVE





G D/F MONUMENT SIGN - 35 SQ. FT. (Face of Sign)
 Scale: 1/2" = 1'-0"

SCOPE OF WORK:

- MANUFACTURE AND INSTALL ONE (1) NEW D/F MONUMENT SIGN



Client: DISCOUNT TIRE - UTS 10913
 Address: 1400 BLOCK COMMERCE DR
 Location: SARATOGA SPRINGS, UT 84045
 Sales: HOUSE Designer: GD
 Date: 02/17/16 PM TG

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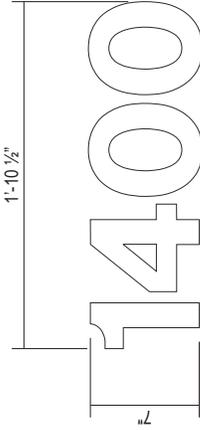
Revision:
 R1: 07/17/16 ADD CODE NOTES AND SIGNAGE FOR LOGO - RB
 R2: 07/17/16 ADD ADDRESS NUMBERS TO LOGO - RB

Signs will be manufactured with 120 Volts A.C. according to the requirements of the National Electrical Code. All work is to be done in accordance with the purchase agreement attached hereto. In case of variance between the specifications of the purchase agreement and this drawing, the drawing shall prevail.

This sign is intended to be installed in accordance with the requirements of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign.

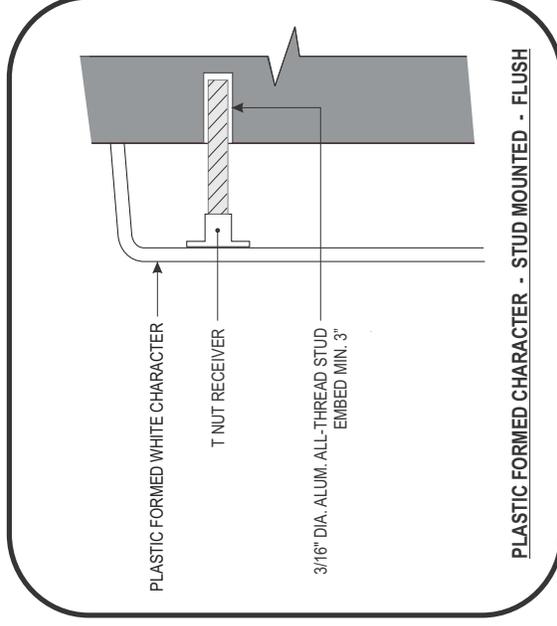
Approvals:
 Sales: _____ Date: _____
 P.M.: _____ Date: _____
 Design: _____ Date: _____
 Client: _____ Date: _____

CID149699



G1 PLASTIC FORMED NUMBERS FOR MONUMENT - FLUSH MOUNT
 Scale: 1 1/2" = 1' -0" **1.09 SQ FT**

- PROVIDE AND INSTALL (2) TWO SETS OF GEMINI PLASTIC FORMED ADDRESS NUMBERS
- WHITE
- STUD MOUNTED FLUSH ON BASE OF D/F MONUMENT
- HELVETICA FONT



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 3419 East Commerce
 Saratoga Springs, UT 84045
 201.856.7844
 www.waltonsg.com

Client: DISCOUNT TIRE - UTS 10913
 Address: 1400 BLOCK COMMERCE DR
 Location: SARATOGA SPRINGS, UT 84045
 Sales: HOUSE Designer: GD
 Date: 02/17/16 PM TG

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Revision: R1 (2/17/16) HEAD CODE NOTES: ADD SIGNAGE FOR BLDG - RB
 R2 (2/17/16) ADD ADDRESS NUMBERS FOR BLDG - RB
 H (Discount Tire) Locations (UT)UT Saratoga Springs UTS 10913\49699 Bldg Signage\DESIGNS\149699.cdr

This sign is intended to be installed in accordance with the requirements of applicable local codes. This includes proper grounding and bonding of the sign.

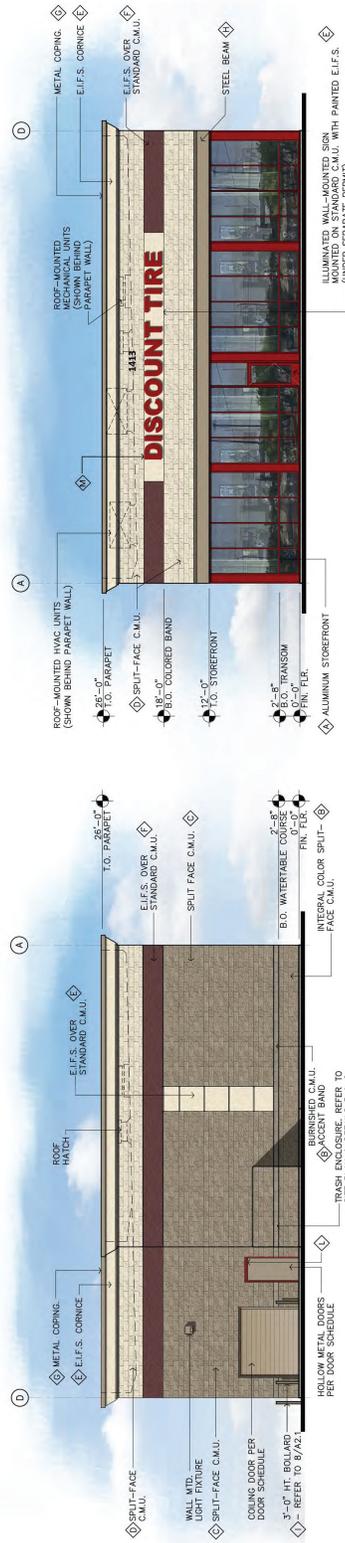
Signs will be manufactured with 120 Volts A.C. All Primary electrical service to the sign and final connections shall be made by a licensed electrician. All work is to be done in accordance with the purchase agreement attached hereto. In case of variance between the specifications of the purchase agreement and this drawing, the drawing shall prevail.

Approvals:
 Sales: _____ Date: _____
 P.M.: _____ Date: _____
 Design: _____ Date: _____
 Client: _____ Date: _____

CID149699

FINISH LEGEND

- 1. MANUFACTURER'S STANDARD COLOR TO MATCH DURAMAR UC40597 XL "BANNER RED" BARREL
- 2. INTEGRAL COLOR C.M.U. (SPUT-FACE OR BURNISHED AS NOTED) TO MATCH SW 7714 "OAK BARREL"
- 3. GRAY SPUT-FACE C.M.U. PAINTED SW 7714 "OAK BARREL"
- 4. GRAY SPUT-FACE C.M.U. PAINTED SW 6119 "ANTIQUE WHITE"
- 5. PAINT SHERWIN WILLIAMS SW 6119 "ANTIQUE WHITE"
- 6. ACCENT BAND PAINTED SW 7566 "SUNBRED TOMATO"
- 7. METAL COPING - FACTORY PAINTED/FACORY FINISH TO MATCH SW 7714 "OAK BARREL"
- 8. EXPOSED STEEL PAINTED SW 7714 "OAK BARREL"
- 9. BOLLARDS PAINTED SW 7714 "OAK BARREL"
- 10. HOLLOW METAL DOORS PAINTED SW 7714 "OAK BARREL"
- 11. PAINT SHERWIN WILLIAMS SW 7714 "OAK BARREL"
- 12. DOOR FRAME TO MATCH "BANNER RED"
- 13. PRIMARY SIGN SHALL BE BK OF FACADE
- 14. SECONDARY SIGN SHALL BE 50% OF PRIMARY SIGN

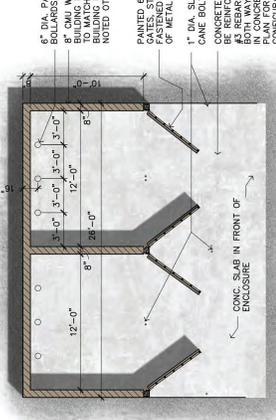
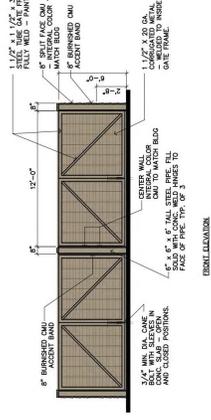


SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

NORTH ELEVATION
SCALE: 1/8" = 1'-0"

WEST ELEVATION
SCALE: 1/8" = 1'-0"

EAST ELEVATION
SCALE: 1/8" = 1'-0"



TRASH ENCLOSURE PLAN / ELEVATIONS
SCALE: NOT TO SCALE

REV. R2
DATE: 06.08.16
JOB No.: UTS 10913

Sheet No.

99 a. virginia ave. ste 120
pooey, va 80004
602-307-5399 1 v
www.caham.com



CONCEPTUAL ELEVATIONS

Street & Avenue
ANYTOWN, US

THIS PLAN IS PROPERTY OF ARCHITECTURAL RESOURCE TEAM, INC. THE AGREEMENT AND CONDITIONS THAT IT IS NOT REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, AND IS NOT TO BE USED IN WHOLE OR IN PART TO ASSIST IN ANY OTHER PROJECT OR FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN CONSENT OF ARCHITECTURAL RESOURCE TEAM, INC. DRAWINGS WILL BE CONSIDERED AS AN ACCEPTANCE OF THE FOREGOING CONDITIONS.



- R... .. ,
 - E... ..
 - O... .. , dr... .. ,
- **Lot size**... .. **Co... p... ies**. T... .. ,
- **Lot coverage**... .. **Co... p... ies**. T... .. W... .. ,
- **Building size**... .. **Co... p... ies**. T... ..
- **Height**... .. **Co... p... ies**. T... ..
- **Development Standards**
 - Ar... .. T... S... P... .. r... ..
 -
 - R... .. **Co... p... ies**. T... .. E... .. Dr... .. Cr... .. R... .. B... ..
 - **Co... p... ies**. T... ..
 - A... .. C... ..
 - A... .. S... .. P... .. A... ..
 - T... .. S... ..
- **Uses Within Buildings**
 - A... ..
 - S... ..
 - O... ..
- **Trash**... ..
- **Buffering/Screening**
 - A... ..
 - A... ..

- **Landscaping** - Landscaping shall be provided in accordance with the Standards and Specifications for Landscaping provided in the Co-piles. The standards and specifications shall be provided in the Co-piles, and shall be provided in the Co-piles, and shall be provided in the Co-piles.
- **Sensitive Lands** - Sensitive Lands shall be identified in the Standards and Specifications for Landscaping provided in the Co-piles. The standards and specifications shall be provided in the Co-piles, and shall be provided in the Co-piles.

- **1.05, Supplemental Regulations**

- **Standard Planting** - Standard Planting shall be provided in accordance with the Standards and Specifications for Landscaping provided in the Co-piles. The standards and specifications shall be provided in the Co-piles, and shall be provided in the Co-piles.
- **Water** - Water shall be provided in accordance with the Standards and Specifications for Landscaping provided in the Co-piles. The standards and specifications shall be provided in the Co-piles, and shall be provided in the Co-piles.
- **Tree Planting** - Tree Planting shall be provided in accordance with the Standards and Specifications for Landscaping provided in the Co-piles. The standards and specifications shall be provided in the Co-piles, and shall be provided in the Co-piles.
- **Pruning** - Pruning shall be provided in accordance with the Standards and Specifications for Landscaping provided in the Co-piles. The standards and specifications shall be provided in the Co-piles, and shall be provided in the Co-piles.

- **1.06, Landscaping and Fencing**

- **Planting**
 - **Planting** - Planting shall be provided in accordance with the Standards and Specifications for Landscaping provided in the Co-piles. The standards and specifications shall be provided in the Co-piles, and shall be provided in the Co-piles.
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drummed down the road for the first time in the history of the company. The company's first year of operation was a success. The company's first year of operation was a success.

- The company's first year of operation was a success. The company's first year of operation was a success. The company's first year of operation was a success.

▪ **Read the Paragraph**

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- The first year of operation was a success. The company's first year of operation was a success. The company's first year of operation was a success.

• **11, Lighting**

o The first year of operation was a success. The company's first year of operation was a success. The company's first year of operation was a success.

o The first year of operation was a success. The company's first year of operation was a success. The company's first year of operation was a success.

▪ **Read the Paragraph**

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- Dr... .. Co... p... ies. T... ..
- N... ..
 - A... .. Co... p... ies. A... ..
 - I... ..
 - A... .. Co... p... ies. T... ..
 - A... .. Can Co... py. T... ..
 - P... .. Can Co... py. T... ..
 - P... .. Can Co... py. T... ..
 - A... .. Co... p... ies. T... ..

- **Co**p̄ies. T̄r̄d̄ **Co**p̄ies. T̄r̄d̄ **Co**p̄ies. T̄r̄d̄ **Co**p̄ies.
- **Co**p̄ies. T̄r̄d̄ **Co**p̄ies. T̄r̄d̄ **Co**p̄ies. T̄r̄d̄ **Co**p̄ies.

• **12, Addressing**

- B̄d̄Id̄
 - B̄r̄d̄N̄r̄d̄ **Co**p̄ies. T̄r̄d̄ **Co**p̄ies. T̄r̄d̄ **Co**p̄ies. T̄r̄d̄ **Co**p̄ies.
 - S̄r̄d̄ **Co**p̄ies. T̄r̄d̄ **Co**p̄ies. T̄r̄d̄ **Co**p̄ies. T̄r̄d̄ **Co**p̄ies.
 - V̄r̄d̄Addr̄ **Co**p̄ies. T̄r̄d̄ **Co**p̄ies. T̄r̄d̄ **Co**p̄ies. T̄r̄d̄ **Co**p̄ies.

**City of Saratoga Springs
Planning Commission Meeting
June 23, 2016**

Respectfully Submitted: _____

Minutes

Present

Commissioner Matt Winters, Sandra Stee, Hayden Williams, David Funke, _____, _____, _____

Sara Dwyer, _____, _____, _____, _____, _____, _____, _____

Excused _____

Call to Order - _____

1. **Pledge of Allegiance** - _____
2. **Roll Call** _____

Public Input

Public Input Open _____

Public Input Closed _____

Public Hearing **Agenda Item to the Annexation Expansion Area of the City's Annexation Policy Plan.**

Staff _____, _____, _____

Commissioner _____

Commissioner _____

Staff _____

Commissioner _____

Motion made by Commissioner Stee to forward a recommendation for approval for the proposed agenda item to the annexation policy plan, specifically the agenda item to the annexation expansion area as shown in the attached exhibit A, based on the findings in the staff report. Seconded by Commissioner Funke. Aye—Sandra Stee, David Funke, Hayden Williams, Kirk Williams, Ken Kigore, Troy Cunningham. Motion passed -0.

5. Public Hearing Site Plan and Conditional Use Permit for Discount Tire located at 111 North Exchange Drive, Discount Tire, Applicant.

The Board, Planning Commission, and the applicant have reviewed the site plan and conditional use permit application for Discount Tire located at 111 North Exchange Drive, Discount Tire, Applicant.

The applicant, Discount Tire, has submitted a site plan and conditional use permit application for Discount Tire located at 111 North Exchange Drive, Discount Tire, Applicant.

Commissioner Williams has reviewed the site plan and conditional use permit application for Discount Tire located at 111 North Exchange Drive, Discount Tire, Applicant.

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The applicant, Discount Tire, has submitted a site plan and conditional use permit application for Discount Tire located at 111 North Exchange Drive, Discount Tire, Applicant. The applicant, Discount Tire, has submitted a site plan and conditional use permit application for Discount Tire located at 111 North Exchange Drive, Discount Tire, Applicant. The applicant, Discount Tire, has submitted a site plan and conditional use permit application for Discount Tire located at 111 North Exchange Drive, Discount Tire, Applicant.

Commissioner Williams has reviewed the site plan and conditional use permit application for Discount Tire located at 111 North Exchange Drive, Discount Tire, Applicant.

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Commissioner Williams has reviewed the site plan and conditional use permit application for Discount Tire located at 111 North Exchange Drive, Discount Tire, Applicant. He has reviewed the site plan and conditional use permit application for Discount Tire located at 111 North Exchange Drive, Discount Tire, Applicant. He has reviewed the site plan and conditional use permit application for Discount Tire located at 111 North Exchange Drive, Discount Tire, Applicant.

Commissioner Williams has reviewed the site plan and conditional use permit application for Discount Tire located at 111 North Exchange Drive, Discount Tire, Applicant. He has reviewed the site plan and conditional use permit application for Discount Tire located at 111 North Exchange Drive, Discount Tire, Applicant.

...dd ... I ... W ... H ... C ...

P ... B ... S ... C ...

C ... W ... H ... r ... H ...

C ... S ...

C ... W ... P ... C ...

Motion made by Commissioner Williamson made the motion to forward a positive recommendation of the Discount Tire site plan and conditional use permit with the findings and conditions listed in the staff report with the modifications that the proposed amount of parking is acceptable and the electrical switch gear cabinet meets the screening code, the base of the monument sign meets code, staff verify the ability for a truck to access the site safely. Seconded by Commissioner Cunningham. Ayes: Sandra Steele, David Fun, Hayden Williamson, Kirby Wins, Ken Kigore, Troy Cunningham. Motion passed 6-0.

1. **Work Session Code A agenda items, Multiple Sections, City Initiated.**

... P ... D ... T ... W ...

C ... S ... EPA ...

P ... D ... S ... T ... C ... O ... I ... P ... S ... C ... A ... T ...

Commissioner Williams and staff are pleased to announce that the Board of Directors has approved the proposed amendments to the Board of Directors' Bylaws.

Proposed Director [Name] and staff are pleased to announce that the Board of Directors has approved the proposed amendments to the Board of Directors' Bylaws. The Board of Directors has also approved the proposed amendments to the Board of Directors' Bylaws. The Board of Directors has also approved the proposed amendments to the Board of Directors' Bylaws.

1. **Approval of Minutes**

a. June 2011

Motion made by Commissioner Williams to approve the minutes of June 2011. Seconded by Commissioner Funke. Aye Sandra Stee, David Funke, Hayden Williams, Kir Williams, Ken Kigore, Troy Cunningham. Motion passed - 0.

2. **Reports of Action.** None

3. **Commissioner Comments.**

Commissioner Williams and staff are pleased to announce that the Board of Directors has approved the proposed amendments to the Board of Directors' Bylaws. The Board of Directors has also approved the proposed amendments to the Board of Directors' Bylaws.

Proposed Director [Name] and staff are pleased to announce that the Board of Directors has approved the proposed amendments to the Board of Directors' Bylaws. The Board of Directors has also approved the proposed amendments to the Board of Directors' Bylaws.

10. **Director's Report**

a. **Council Actions** The Council has approved the proposed amendments to the Board of Directors' Bylaws. The Council has also approved the proposed amendments to the Board of Directors' Bylaws. The Council has also approved the proposed amendments to the Board of Directors' Bylaws.

b. **Applications and Approvals** [Name] and [Name]

c. **Upcoming Agendas** The Council has approved the proposed amendments to the Board of Directors' Bylaws. The Council has also approved the proposed amendments to the Board of Directors' Bylaws. The Council has also approved the proposed amendments to the Board of Directors' Bylaws.

d. **Other** The Council has approved the proposed amendments to the Board of Directors' Bylaws. The Council has also approved the proposed amendments to the Board of Directors' Bylaws. The Council has also approved the proposed amendments to the Board of Directors' Bylaws.

11. **Motion to enter into closed session.** None

12. **Meeting Adjourned at 5:00 p.m. by Chairman Kir Williams**

Director [Name]

Proposed Commissioner [Name]
Kir Williams

Noted by [Name], Director [Name]



River Heights Plat D

Final Plat

July 1, 2016

Public Meeting

Report Date:	July 12, 2016
Applicant/Owner:	Bach Investments LLC
Location:	Approximately 300 East Verano Way
Major Street Access:	Redwood Road
Land area:	Approximately 3.79 acres
Parcel Number(s) & Size:	58:023:0035
Land Use Plan Designation:	Medium Density Residential Parcel
Zoning:	R-6 Medium Density Residential
Zoning of Adjacent Parcels:	R-10, Medium Density Residential; Lehi to the North
Current Use of Parcel:	Undeveloped
Adjacent Uses:	R-6 single family homes and townhomes developments
Previous Meetings and Approvals:	Summer Village Phases 4-7 Rezone, General Plan Amendment and Concept Review, 5-22-07 River Heights Concept Review, 12-13-12 PC, 1-15-13 CC, 2-19-13 CC Preliminary Plat: approved by City Council 5-7-13 Plat A and B Final Plat: approved by City Council 8-6-13 Plat C Final Plat: approved by City Council 9-16-14
Land Use Authority:	City Council
Author:	Sarah Carroll, Senior Planner

A. Executive Summary: This is a request for final plat approval for River Heights Plat D which consists of 19 single family lots and 0.39 acres of open space within 3.79 acres. The property is zoned R-10.

Recommendation:

Staff recommends that the City Council conduct a public meeting, take public comment at their discretion, discuss the proposed final plat, and choose from the options in Section "H" of this report. Options include approval with conditions, continuing the item, or denial.

- B. Background:** Phase 4 (Plat D) falls within the R-10 zone. The entire project has two zones, R-6 and R-10. When the preliminary plat was approved the R-6 and R-10 zones allowed a minimum lot size of 4,000 square feet. The Preliminary plat approval occurred on August 6, 2013, and is valid for two years; however, the approval is extended for 24 months after the final plat is recorded for each phase. The most recent final plat was recorded on October 14, 2015; thus, the approval has not expired.

Please note, this application has been reviewed under the Code that was in effect prior to July 16, 2013.

- C. Specific Request:** This is a request for Final Plat approval for Plat D of the River Heights Development which consists of 19 single family lots and 0.39 acres of open space within 3.79 acres. The property is zoned R-10. Lots in this phase range from 4,722-10,316 square feet. The density is 5.01 units per acre for this phase.
- D. Process:** Section 19.12.03 of the City Code states that the Planning Director is the land approval authority for Final Plats unless they vary from the Preliminary Plat.

In this case the path is wider and a detention basin has been added, creating deviations from the Preliminary Plat. The applicant would also like the open space reviewed again. They have added more open space to this plat and would like to be able to fence some private yard areas in the townhome portion of the development (Plat B).

- E. Community Review:** A public hearing, neighborhood/canvas meeting, and publication in the paper is not required for final plat. However, the Preliminary Plat was reviewed by the Planning Commission at a public hearing on April 25, 2013 and was approved by the City Council at a public meeting on May 7, 2013. Prior to the public hearing with the Planning Commission, the Preliminary Plat was noticed as a public hearing in the *Daily Herald* and notices were mailed to all property owners within 300 feet of the subject property. No public input was given at the public hearing.
- F. General Plan:** The General Plan recommends Medium Density Residential for this site. The Land Use Element of the General Plan states that Medium Density Residential is to be characterized by density ranging from 4 to 14 units per acre that may include a mixture of attached and detached dwellings.

Finding: consistent. The overall subdivision consists of 6.21 units per acre (68 units within 10.95 acres); thus, the proposed density is consistent with the general plan.

- G. Code Criteria:** The property is zoned R-6 and R-10, Medium Density Residential. Sections 19.04.12 and 19.04.13 regulate the R-6 and R-10 zones and are evaluated below. The Code references below are from the Code that was in place prior to the July 2013 code changes.

Permitted or Conditional Uses: complies. Sections 19.04.12 and 19.04.13 lists "Multi-family dwellings" as a permitted use in the R-6 and R-10 zones. This entire

project includes 31 single family lots and 37 townhome units. Plat D includes 17 single family lots; thus, the proposal is a permitted use in these zones.

Minimum Lot Sizes: complies. Sections 19.04.12 and 19.04.13 state that “the minimum lot size for any use in this zone is 4,000 square feet. This may not apply to multi-family units where each unit is separately owned.” The lots shown on the final plat are all 4,000 square feet or larger.

Setbacks and Yard Requirements: complies. Sections 19.04.12 and 19.04.13 outline the setbacks required by the R-6 and R-10 zones. These requirements are listed below.

Front: twenty-five feet.

1. The front may be reduced to 15 feet if the garage is setback from the front plane of the home, but in no case shall the garage be located closer than twenty feet to the front property line.
2. An unenclosed front entry or porch may encroach up to five feet into the twenty-five-foot front setback but only if the front setback is not reduced due to a garage that is set back from the front plane of the home.

Sides: 1. Single family residences: 5/10 feet (both combined – minimum)
2. Multi-family buildings: ten feet

Rear: twenty feet

Corner Lots:

Front: twenty-five feet

Side: twenty feet

The front and side setbacks can be reversed, but in no case will the setback combination for the two street sides be less than twenty-five feet.

The setback detail on the plat complies with these requirements.

Minimum Lot Width: complies. Sections 19.04.12 and 19.04.13 outline the requirements for lot widths in the R-6 and R-10 zones and states “Every lot in this zone shall be at least forty feet in width at the front building setback. This may not apply to multi-family units where each unit is separately owned.” All of the proposed lots comply with this requirement.

Minimum Lot Frontage: complies. Sections 19.04.12 and 19.04.13 outline the requirements for lot frontage in the R-6 and R-10 zones and states “Every lot in this zone shall have at least thirty-five feet of frontage along a public or private street. This may not apply to multi-family units where each unit is separately owned.” Each lot frontage exceeds 35’, thus meeting this requirement.

Maximum Height of Structures, Maximum Lot Coverage, Minimum Dwelling Size: can comply. No building in the R-6 zone shall be taller than thirty five feet and no building in the R-10 zone shall be taller than forty feet. In the R-6 and R-10 zones

the maximum lot coverage is fifty percent. In the R-6 and R-10 zones, "Every dwelling in this zone shall contain a minimum of 1,000 square feet of living space." These requirements will be reviewed by the building department with each individual building permit application.

Open Space: complies. Sections 19.04.12 and 19.04.13 outline the open space requirements for the R-6 and R-10 zones and states:

There shall be a minimum requirement of twenty percent of the total project area to be used for open space either public or common space not reserved in individual lots.

- a. This requirement is intended to provide neighborhood park space to meet the minimum recreational needs of the residents of the subdivision and to provide other open space amenities such as gateways, trails, buffer areas and berms.
- b. Individual lots are not approved open space for the purpose of meeting this requirement.
- c. Required park-strips shall not be included in the calculation of open space for the purpose of meeting this provision.
- d. Credit toward meeting minimum open space requirements may be given for sensitive lands as define in Chapter 19.03. However, no more than fifty percent of the required open space area shall be comprised of sensitive lands or detention areas. All sensitive lands shall be placed in protected open space.

The project includes 20% open space which includes a park with a play structure, benches and a picnic pavilion, common space and a trail to be used by the residents. Plat D includes 0.39 acres of open space including a trail connection to 400 East and a detention basin.

***Open Space Change:** The applicant has added a detention basin to Phase 4 and slightly increased the width of the trail. This has resulted in an increase to the overall open space. With the preliminary plat approval the project had exactly 20% open space; this change results in an additional 0.154 acres of open space. The applicant would like to offer some of the townhomes the option to fence off small areas. This change allows them to fence approximately 6708 square feet and still meet the open space requirement of 20%; there are 37 townhomes in Plat B and this would allow each of them a fenced area of approximately 181 square feet.*

Landscape Requirements: complies. Chapter 19.06 regulates the landscape requirements. The overall landscape plan was approved with 69,619 square feet of landscaping which requires 28 deciduous trees, 19 evergreen trees at a height of 6', 88 shrubs, and minimum of 50% turf. The plans include 28 deciduous trees, 23 evergreen trees, 263 shrubs, and 75% turf. The approved landscape plan is attached along with the landscape plan for Plat D which has some changes to the original.

An additional 0.154 acres of open space has been added to the project; however, this does not increase the plant requirements because they are applied to the 20% requirement and not to extra open space. The changes to the plat D landscape plans have increased the plat counts so that they now total 30 deciduous trees, 28 evergreen

trees, and 279 shrubs. Park strip trees are in addition to the requirement and are included at 30' intervals on the public park strips as required in the Engineering Standard Technical Specifications and Drawings.

Phasing: complies. Section 19.12.02(6) requires the City Council to approve phasing plans and states that "the open space or recreational facilities shall be developed in proportion to the number of dwellings intended to be developed during any stage of construction." The City Council approved revisions to the River Heights phasing plan on June 17, 2014. Plat D is phase 4 and is consistent with the approved phasing plan (attached).

H. Recommendation and Alternatives:

Staff recommends that the City Council review the Final Plat and select from the options below.

Recommended Motion:

"I move that the City Council approve the River Heights Plat D Final Plat, located at approximately 300 East Verano Way, with the findings and conditions below:

Findings:

1. The proposed final plat is consistent with the General Plan as explained in the findings in Section "F" of this report, which findings are incorporated herein by this reference.
2. The proposed final plat meets all the requirements in the Land Development Code as explained in the findings in Section "G" of this report, which findings are incorporated herein by this reference.

Conditions:

1. That all requirements of the City Engineer are met, including those listed in the attached report.
 2. That all requirements of the Fire Chief are met.
 3. That all other code requirements shall be met.
 4. Any other conditions as articulated by the City Council:
-

Alternative Motions:

Alternative Motion A

The City Council may also choose to continue the item. "I move to **continue** the River Heights Plat D final plat to another meeting on [DATE], with direction to the applicant and Staff on information and / or changes needed to render a decision, as follows:

1. _____
2. _____

Alternative Motion B

The City Council may also choose to deny the application. "I move to **deny** the River Heights D Final Plat with the Findings below:

1. The Final Plat is not consistent with the General Plan, as articulated by the City Council:

and/or,

2. The Final Plat is not consistent with Section [19.04] of the Code, as articulated by the City Council:

I. Attachments:

1. Engineering Staff Report
2. Zoning / Location map
3. Approved Preliminary Plat
4. Approved Phasing Plan
5. Approved Landscape Plan
6. Proposed Final Plat
7. Proposed Landscape Plan for Plat D

City Council Staff Report

Author: Gordon Miner, City Engineer
Subject: River Heights Plat D – Final Plat
Date: July 7, 2016
Type of Item: Final Plat Approval



Description:

A. Topic: The Applicant has submitted a Final Plat application. Staff has reviewed the submittal and provides the following recommendations.

B. Background:

Applicant: Cory Shorkey – Bach Homes
Request: Final Plat Approval
Location: Cardoba Dr & Verano Way
Acreage: 3.792 Acres - 19 Lots

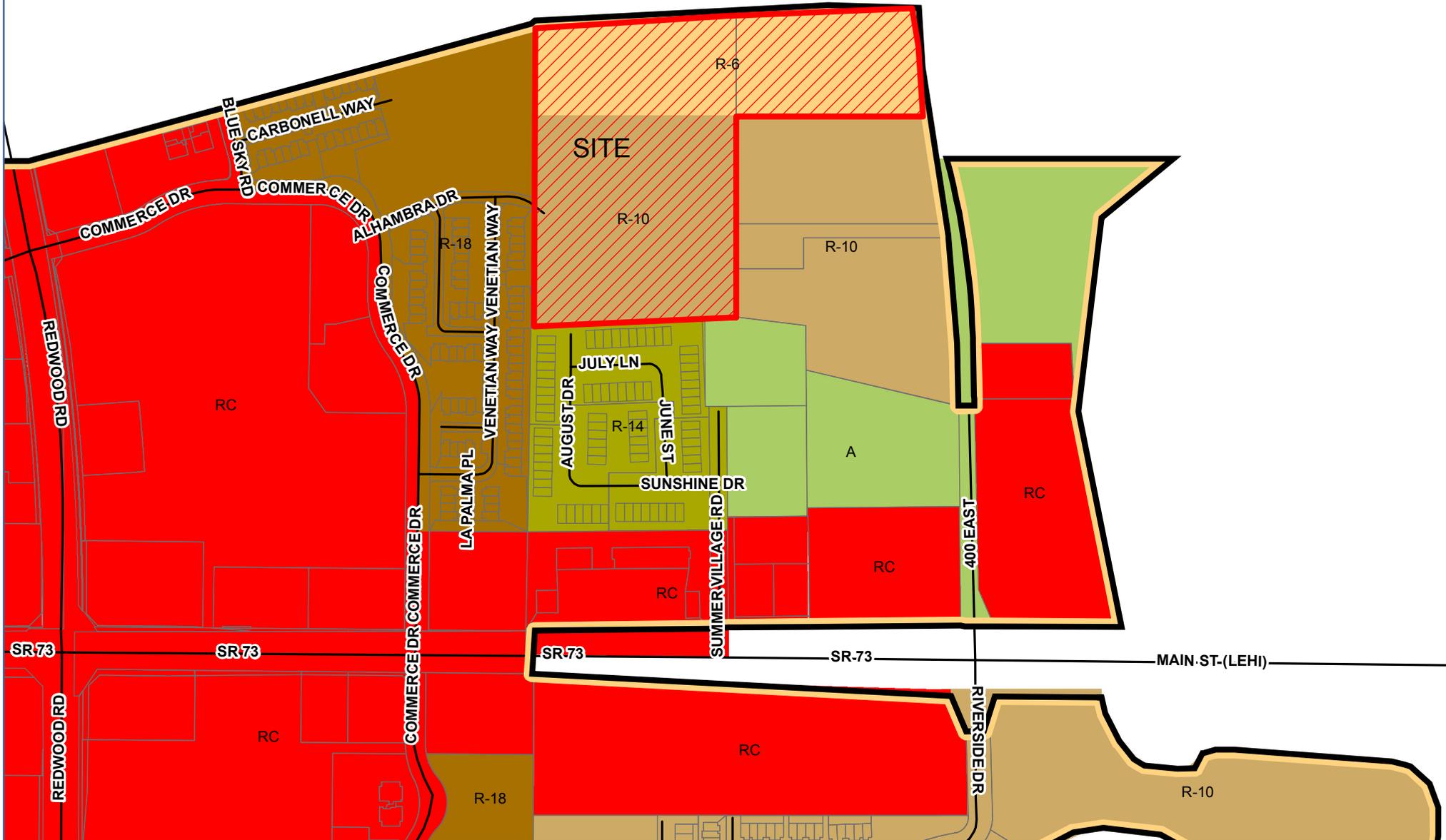
C. Recommendation: Staff recommends the approval of final plat subject to the following conditions:

D. Conditions:

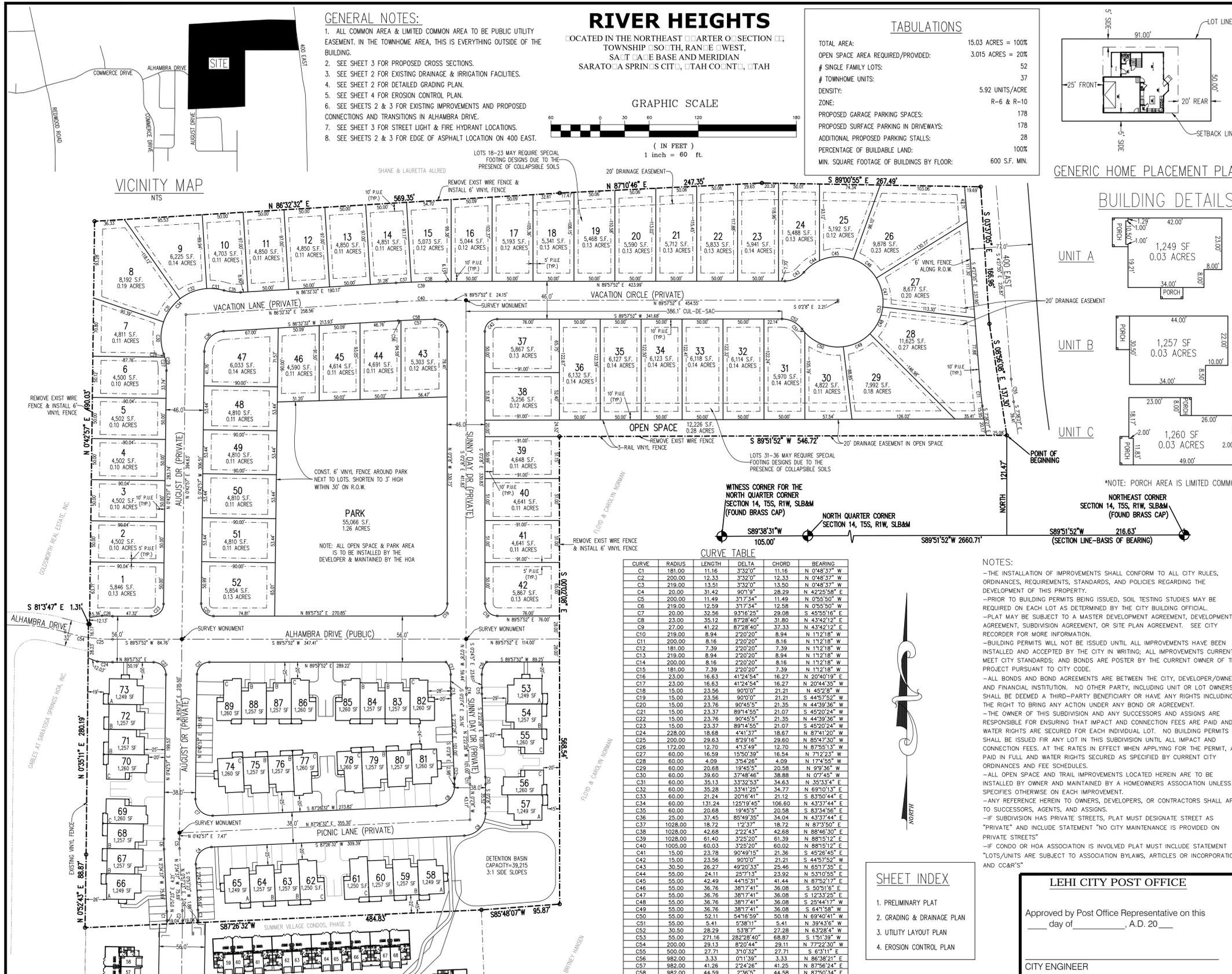
- A. Meet all engineering conditions and requirements in the construction of the subdivision and recording of the plats. Review and inspection fees must be paid as indicated by the City prior to any construction being performed on the project.
- B. All review comments and redlines provided by the City Engineer are to be complied with and implemented into the Final plat and construction drawings.
- C. Developer must secure water rights as required by the City Engineer, City Attorney, and development code.
- D. Submit easements for all off-site utilities not located in the public right-of-way.
- E. Developer is required to ensure that there are no adverse effects to future homeowners due to the grading practices employed during construction of these plats.
- F. Project must meet the City Ordinance for Storm Water release (0.2 cfs/acre for all developed property) and all UPDES and NPDES project construction requirements.

- G. Final plats and plans shall include an Erosion Control Plan that complies with all City, UPDES and NPDES storm water pollution prevention requirements.
- H. All work to conform to the City of Saratoga Springs Standard Technical Specifications, most recent edition.
- I. Project bonding must be completed as approved by the City Engineer prior to recordation of plats.
- J. Developer may be required by the Saratoga Springs Fire Chief to perform fire flow tests prior to final plat approval and prior to the commencement of the warranty period.
- K. Submittal of a Mylar and electronic version of the as-built drawings in AutoCAD format to the City Engineer is required prior acceptance of site improvements and the commencement of the warranty period.
- L. Developer shall bury and/or relocate the power lines that are within this plat.
- M. All roads shall be designed and constructed to City standards and shall incorporate all geotechnical recommendations as per the applicable soils report.
- N. Developer shall provide a finished grading plan for all lots and shall stabilize and reseed all disturbed areas.

Location Map



APPROVED PRELIMINARY PLAT



SURVEYOR'S CERTIFICATE

I, Matthew B. Judd, do hereby certify that I am a Registered Land Surveyor, and that I hold certificate No. 6913 as prescribed under laws of the State of Utah. I further certify that by authority of the owners, I have made a survey of the tract of land shown on this plat and described below, and have subdivided said tract of land into lots, blocks, streets, and easements and that the same as shown on this plat. I further certify that all lots have been correctly surveyed and staked on the ground, meet frontage width and area requirements of the applicable zoning ordinances.

BOUNDARY DESCRIPTION

COMMENCING AT A POINT LOCATED SOUTH 89°51'52" WEST ALONG THE SECTION LINE 216.63 FEET AND NORTH 121.47 FEET FROM THE NORTHEAST CORNER OF SECTION 14, TOWNSHIP 5 SOUTH, RANGE 1 WEST, SALT LAKE BASE & MERIDIAN; THENCE SOUTH 89°51'52" WEST 546.72 FEET; THENCE SOUTH 0°02'08" EAST 568.54 FEET; THENCE ALONG A FENCE LINE THE FOLLOWING SIX(6) COURSES: SOUTH 85°48'07" WEST 95.87 FEET, SOUTH 87°26'32" WEST ALONG SUMMER VILLAGE SUBDIVISION 484.83 FEET, NORTH 00°52'43" EAST 88.87 FEET, NORTH 00°35'11" EAST 280.19 FEET, SOUTH 81°03'47" EAST 1.31 FEET, NORTH 00°42'57" EAST 490.03 FEET, NORTH 86°32'32" EAST 569.35 FEET, NORTH 87°10'46" EAST 247.35 FEET AND SOUTH 89°00'55" EAST 267.49 FEET; THENCE SOUTH 03°37'05" EAST 166.96 FEET; THENCE SOUTH 08°56'08" EAST 137.30 FEET TO THE POINT OF BEGINNING.

AREA = 15.03 ACRES

OWNER'S DEDICATION

Know all men by these presents that _____, the undersigned owner(s) of the above described tract of land having caused same to be subdivided into lots and streets to be hereafter known as

RIVER HEIGHTS

do hereby dedicate for perpetual use of the public and/or City all parcels of land, easements, and public amenities shown on this plat as intended for public use. The owner(s) warrant and defend and save the City harmless against any easements or other encumbrance on a dedicated street which will interfere with the City's use, maintenance and operation of the street.

In witness whereof _____ have hereunto set _____ this _____ day of _____, A.D. 20____

OWNER'S ACKNOWLEDGMENT

STATE OF UTAH
County of Utah } S.S.

On the _____ day of _____, A.D. 20____, personally appeared before me, the undersigned Notary Public, in and for said County of Utah in said State of Utah, the signer () of the above Owner's dedication, _____ in number, who duly acknowledged to me that _____ signed it freely and voluntarily and for the uses and purposes therein mentioned.

My commission expires: _____ Notary Public residing at _____

CORPORATE ACKNOWLEDGMENT

STATE OF UTAH
County of UTAH } S.S.

On the _____ day of _____, A.D. 20____, personally appeared before me _____ and _____, who being by me duly sworn did say each for himself, that he, the said _____ is the President and he the said _____ is the Secretary of _____ Corporation, and that the within and foregoing instrument was signed in behalf of said Corporation by authority of a resolution of its board of directors and said _____ and _____ each duly acknowledge to me that said Corporation executed the same and that the seal affixed is the seal of said Corporation.

My commission expires: _____ Notary Public residing at _____

ACCEPTANCE BY LEGISLATIVE BODY

The Mayor of the City of Saratoga Springs, County of Utah, approves this subdivision subject to the conditions and restrictions stated hereon, and hereby accepts the Dedication of all streets, easements, and other parcels of land intended for the public purpose of the perpetual use of the public.

This _____ day of _____, A.D. 20____

Mayor _____ Attest
City Recorder
(See Seal Below)

RIVER HEIGHTS

LOCATED IN THE NORTHEAST QUARTER OF SECTION 14, TOWNSHIP 5 SOUTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN SARATOGA SPRINGS CITY, UTAH COUNTY, UTAH

APPROVED BY POST OFFICE REPRESENTATIVE ON THIS _____ day of _____, A.D. 20____

CITY ENGINEER _____

SARATOGA SPRINGS ATTORNEY _____

SURVEYORS SEAL _____ NOTARY PUBLIC SEAL _____ CITY ENGINEER'S SEAL _____ CLERK-RECORDER SEAL _____

Developer: Bach Homes
11650 S. State St. Suite 3000
Roper, Utah 84020

Surveyor: JUDCO
473 West Lakeview Rd.
Lindon, UT 84042
(801) 367-7409

Engineer: Excel Engineering, Inc.
12 West 100 North, #201
American Fork, UT 84003
(801) 756-4504

PUBLIC UTILITIES APPROVALS

QUESTAR _____

ROCKY MOUNTAIN POWER _____

CENTURY LINK _____

COMCAST CABLE _____

FIRE CHIEF APPROVAL

Approved this _____ day of _____, A.D. 20____

By the Fire Chief _____

CITY FIRE CHIEF _____

PLANNING COMMISSION APPROVAL

Approved this _____ day of _____, A.D. 20____

By the Planning Commission _____

CHAIRMAN, PLANNING COMMISSION _____

SARATOGA SPRINGS ENGINEER APPROVAL

Approved this _____ day of _____, A.D. 20____

By the City Engineer _____

CITY ENGINEER _____

SARATOGA SPRINGS ATTORNEY

Approval as to form this _____ day of _____, A.D. 20____

By the City Attorney _____

SARATOGA SPRINGS ATTORNEY _____

SHEET INDEX

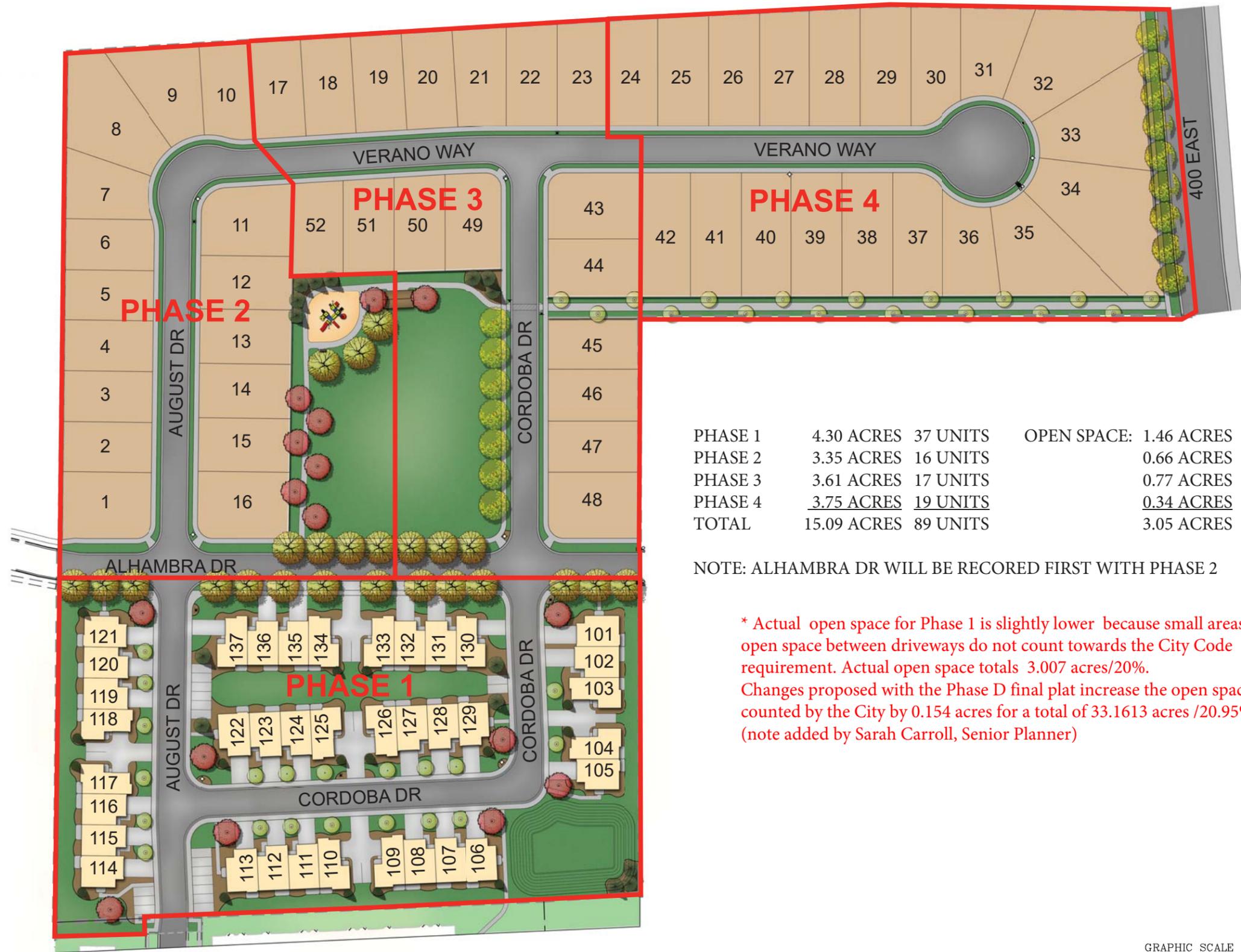
- PRELIMINARY PLAT
- GRADING & DRAINAGE PLAN
- UTILITY LAYOUT PLAN
- EROSION CONTROL PLAN

LEHI CITY POST OFFICE

Approved by Post Office Representative on this _____ day of _____, A.D. 20____

CITY ENGINEER _____

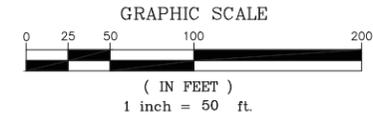
APPROVED PHASING PLAN



PHASE 1	4.30 ACRES	37 UNITS	OPEN SPACE: 1.46 ACRES	33% *
PHASE 2	3.35 ACRES	16 UNITS	0.66 ACRES	20%
PHASE 3	3.61 ACRES	17 UNITS	0.77 ACRES	21%
PHASE 4	3.75 ACRES	19 UNITS	0.34 ACRES	9%
TOTAL	15.09 ACRES	89 UNITS	3.05 ACRES	21.4%

NOTE: ALHAMBRA DR WILL BE RECORDED FIRST WITH PHASE 2

* Actual open space for Phase 1 is slightly lower because small areas of open space between driveways do not count towards the City Code requirement. Actual open space totals 3.007 acres/20%. Changes proposed with the Phase D final plat increase the open space counted by the City by 0.154 acres for a total of 33.1613 acres /20.95%. (note added by Sarah Carroll, Senior Planner)



<p>PROJECT ENGINEERING CONSULTANTS 986 West 9000 South West Jordan, Utah, 84088 Tel. (801) 495-4240 Fax. (801) 495-4244 www.pec.us.com</p>	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th>Project Number</th> <th>LDA</th> <th>Plot Date</th> <th>Drawn By</th> <th>Date</th> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> <td> </td> </tr> <tr> <th>Designed By</th> <th>Checked By</th> <th>Date</th> <th>Date Issued</th> <th>No.</th> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> <td> </td> </tr> <tr> <th>LDA</th> <th>Scale</th> <th colspan="3">Revisions</th> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </table>	Project Number	LDA	Plot Date	Drawn By	Date						Designed By	Checked By	Date	Date Issued	No.						LDA	Scale	Revisions							
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<p>RIVER HEIGHTS SUBDIVISION ALHAMBRA DRIVE & AUGUST DRIVE SARATOGA SPRINGS, UTAH, 84045 OPEN SPACE</p>																															
<p>Sheet Number</p>																															



SHADE TREE LEGEND

SYMBOL	BOT. NAME/COMMON NAME	QTY.	SIZE
	FRAXINUS AMERICANA 'AUTUMN PURPLE' AUTUMN PURPLE ASH	24	2-1/2" CALIPER
	GLEDITSIA T. I. 'SHADEMASTER' SHADEMASTER THORNLESS HONEYLOCUST	16	2-1/2" CALIPER

ORNAMENTAL TREE LEGEND

SYMBOL	BOT. NAME/COMMON NAME	QTY.	SIZE
	MALUS SP. 'RADIANT' RADIANT CRAB APPLE	16	1-1/2" CALIPER
	PYRUS CALLERYANA 'CHANTICLEER' CHANTICLEER FLOWERING PEAR	37	1-1/2" CALIPER

EVERGREEN TREE LEGEND

SYMBOL	BOT. NAME/COMMON NAME	QTY.	SIZE
	PINUS FLEXILIS 'VANDERWOLF'S PYRAMID' VANDERWOLF'S LIMBER PINE	15	5'
	PICEA OMORIKA 'WELLS DEER RUN' WELLS DEER RUN SERBIAN SPRUCE	16	5'

SHRUB LEGEND

SYMBOL	BOT. NAME/COMMON NAME	QTY.	SIZE
A	CORNUS ALBA 'BAILHALO' IVORY HALO DOGWOOD	7	5 GALLON
B	CORNUS ALBA 'ELEGANTISSIMA' VARIEGATED DOGWOOD	21	5 GALLON
C	CORNUS SERICEA 'KELSEY' KELSEY DOGWOOD	61	5 GALLON
D	PHYSOCARPUS O. 'SUMMER WINE' SUMMER WINE NINEBARK	28	5 GALLON
E	PINUS MUGO 'SLOWMOUND' SLOWMOUND MUGO PINE	16	5 GALLON
F	SPIRAEA BIMALDA 'GOLDFLAME' GOLDFLAME SPIRAEA	13	5 GALLON
G	TAXUS BACCATA REPANDENS DWARF ENGLISH YEW	36	5 GALLON
H	VIBURNUM OPULIS NANUM DWARF EUROPEAN VIBURNUM	77	5 GALLON

GRASS & PERENNIAL LEGEND

SYMBOL	BOT. NAME/COMMON NAME	QTY.	SIZE
I	HEMEROCALLIS SP 'STELLA DE ORO' STELLA DE ORO DAYLILY	159	1 GALLON
J	HOSTA SP. 'MEDIO PICTA' VARIEGATA PLANTAIN LILY	68	1 GALLON
K	PENNISETUM RUPPELII CRIMSON FOUNTAINGRASS	79	1 GALLON

LANDSCAPE NOTES:

1. ALL PLANTER AREAS SHALL HAVE A 3" DEPTH OF 1" SCREENED GRAVEL.
2. SEE CIVIL PLANS FOR ALL GRADING AND DRAINAGE INFORMATION.
3. SEE CIVIL PLANS FOR ALL HARDSCAPE DRAWINGS.
4. SEE ARCHITECTURAL PLANS FOR ALL BUILDING AND PAVILION INFORMATION.
5. SITE SHALL HAVE OVERHEAD SPRAY IRRIGATION IN ALL TURF AREAS AND DRIP IRRIGATION IN ALL PLANTER AREAS.

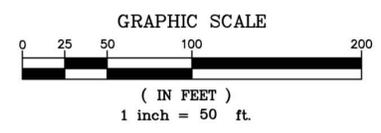
TOWNHOME LANDSCAPE CALCULATION

	REQUIRED	PROVIDED	
TOTAL LANDSCAPE AREA:	-	69,619 S.F.	
TOTAL DECIDUOUS TREES:	28	28	Total Deciduous: 30
(6 PER 15,000 S.F.)			
TOTAL EVERGREEN TREES	19	23	Total Evergreen: 28
(4 PER 15,000 S.F.)			
TOTAL SHRUBS:	88	263	Total Shrubs: 279
(19 PER 15,000 S.F.)			
TOTAL TURF AREA:	50%	75%	

SINGLE FAMILY/OPEN SPACE CALCULATION

	REQUIRED	PROVIDED
TOTAL DECIDUOUS TREES:	-	51
TOTAL EVERGREEN TREES	-	8

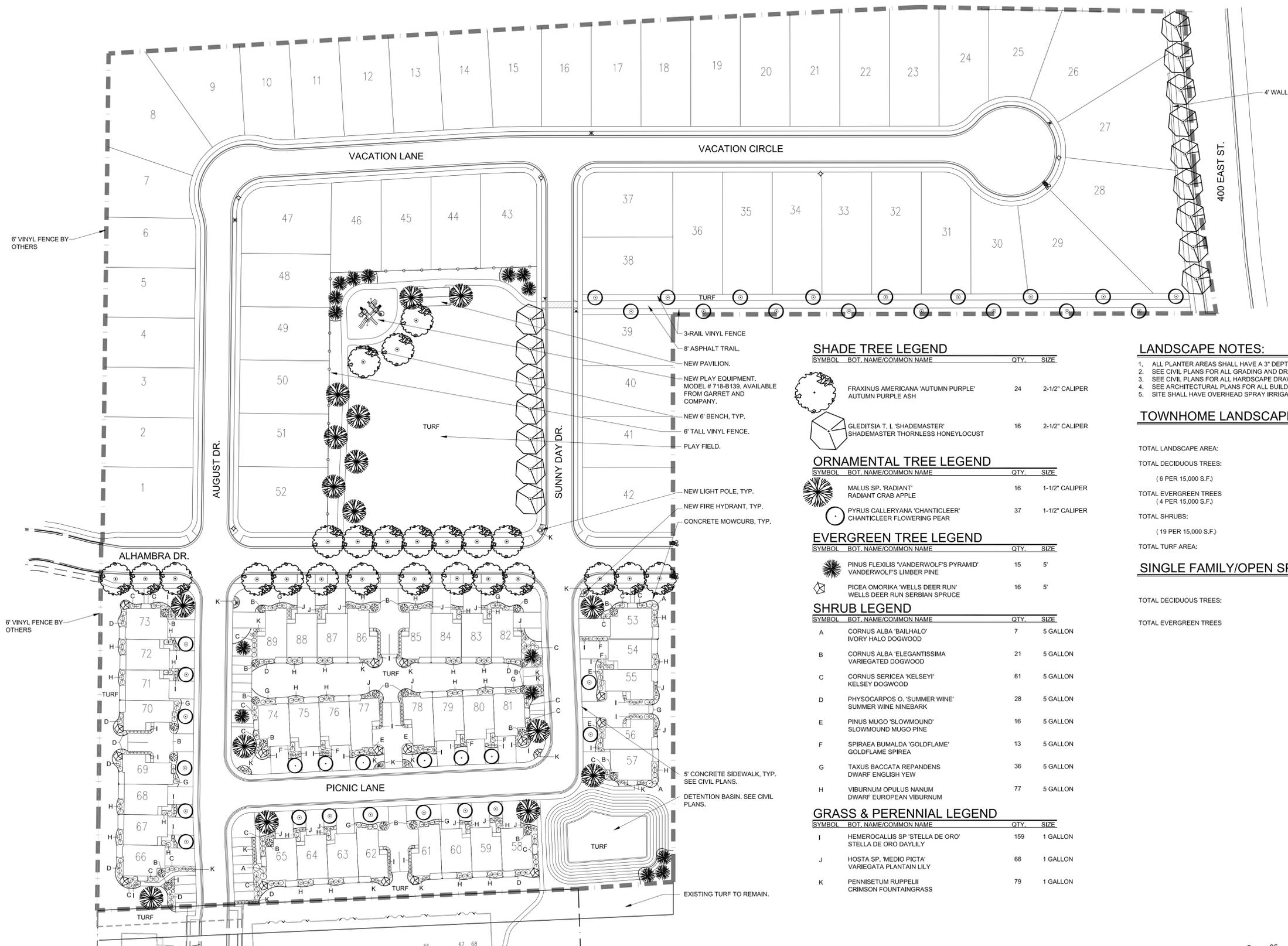
PRELIMINARY PLAN
NOT FOR CONSTRUCTION



Project Number	LDA	Plot Date	Drawn By	Date	Date Issued	Revisions	No.	By	Date

PROJECT ENGINEERING CONSULTANTS
 986 West 9000 South
 West Jordan, Utah, 84088
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 www.pecutah.com

RIVER HEIGHTS SUBDIVISION
 ALHAMBRA DRIVE & AUGUST DRIVE
 SARATOGA SPRINGS, UTAH, 84045
LANDSCAPE PLAN



SHADE TREE LEGEND

SYMBOL	BOT. NAME/COMMON NAME	QTY.	SIZE
(Symbol)	FRAXINUS AMERICANA 'AUTUMN PURPLE' AUTUMN PURPLE ASH	24	2-1/2" CALIPER
(Symbol)	GLEDITSIA T. L. 'SHADEMASTER' SHADEMASTER THORNLESS HONEYLOCUST	16	2-1/2" CALIPER

ORNAMENTAL TREE LEGEND

SYMBOL	BOT. NAME/COMMON NAME	QTY.	SIZE
(Symbol)	MALUS SP. 'RADIANT' RADIANT CRAB APPLE	16	1-1/2" CALIPER
(Symbol)	PYRUS CALLERYANA 'CHANTICLEER' CHANTICLEER FLOWERING PEAR	37	1-1/2" CALIPER

EVERGREEN TREE LEGEND

SYMBOL	BOT. NAME/COMMON NAME	QTY.	SIZE
(Symbol)	PINUS FLEXILIS 'VANDERWOLF'S PYRAMID' VANDERWOLF'S LIMBER PINE	15	5'
(Symbol)	PICEA OMORIKA 'WELLS DEER RUN' WELLS DEER RUN SERBIAN SPRUCE	16	5'

SHRUB LEGEND

SYMBOL	BOT. NAME/COMMON NAME	QTY.	SIZE
A	CORNUS ALBA 'BAILHALO' IVORY HALO DOGWOOD	7	5 GALLON
B	CORNUS ALBA 'ELEGANTISSIMA' VARIEGATED DOGWOOD	21	5 GALLON
C	CORNUS SERICEA 'KELSEY' KELSEY DOGWOOD	61	5 GALLON
D	PHYSOCARPUS O. 'SUMMER WINE' SUMMER WINE NINEBARK	28	5 GALLON
E	PINUS MUGO 'SLOWMOUND' SLOWMOUND MUGO PINE	16	5 GALLON
F	SPIRAEA BUMALDA 'GOLDFLAME' GOLDFLAME SPIREA	13	5 GALLON
G	TAXUS BACCATA REPANDENS DWARF ENGLISH YEW	36	5 GALLON
H	VIBURNUM OPULUS NANUM DWARF EUROPEAN VIBURNUM	77	5 GALLON

GRASS & PERENNIAL LEGEND

SYMBOL	BOT. NAME/COMMON NAME	QTY.	SIZE
I	HEMEROCALLIS SP. 'STELLA DE ORO' STELLA DE ORO DAYLILY	159	1 GALLON
J	HOSTA SP. 'MEDIO PICTA' VARIEGATA PLANTAIN LILY	68	1 GALLON
K	PENNISETUM RUPPELII CRIMSON FOUNTAINGRASS	79	1 GALLON

- LANDSCAPE NOTES:**
- ALL PLANTER AREAS SHALL HAVE A 3" DEPTH OF 1" SCREENED GRAVEL.
 - SEE CIVIL PLANS FOR ALL GRADING AND DRAINAGE INFORMATION.
 - SEE CIVIL PLANS FOR ALL HARDSCAPE DRAWINGS.
 - SEE ARCHITECTURAL PLANS FOR ALL BUILDING AND PAVILION INFORMATION.
 - SITE SHALL HAVE OVERHEAD SPRAY IRRIGATION IN ALL TURF AREAS AND DRIP IRRIGATION IN ALL PLANTER AREAS.

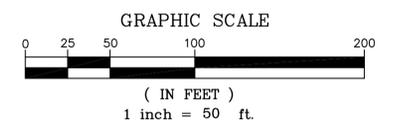
TOWNHOME LANDSCAPE CALCULATION

	REQUIRED	PROVIDED
TOTAL LANDSCAPE AREA:	--	69,619 S.F.
TOTAL DECIDUOUS TREES:	28	28
(6 PER 15,000 S.F.)		
TOTAL EVERGREEN TREES:	19	23
(4 PER 15,000 S.F.)		
TOTAL SHRUBS:	88	263
(19 PER 15,000 S.F.)		
TOTAL TURF AREA:	50%	75%

SINGLE FAMILY/OPEN SPACE CALCULATION

	REQUIRED	PROVIDED
TOTAL DECIDUOUS TREES:	--	51
TOTAL EVERGREEN TREES:	--	8

**PRELIMINARY PLAN
NOT FOR CONSTRUCTION**



<p>PROJECT ENGINEERING CONSULTANTS 966 West 9000 South West Jordan, Utah, 84088 Tel. (801) 495-4240 Fax. (801) 495-4244 www.pecutah.com</p>	<p>RIVER HEIGHTS SUBDIVISION ALHAMBRA DRIVE & AUGUST DRIVE SARATOGA SPRINGS, UTAH, 84045 LANDSCAPE PLAN</p>																				
<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th>Project Number</th> <th>File Name</th> <th>Designed By</th> <th>Checked By</th> <th>Date</th> <th>Date Issued</th> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </table>	Project Number	File Name	Designed By	Checked By	Date	Date Issued							<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th>No.</th> <th>Revisions</th> <th>By</th> <th>Date</th> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </table>	No.	Revisions	By	Date				
Project Number	File Name	Designed By	Checked By	Date	Date Issued																
No.	Revisions	By	Date																		
Sheet Number LS1.0																					

SURVEYOR'S CERTIFICATE

I, David F. Hunt, do hereby certify that I am a registered Land Surveyor and that I hold a license, Certificate No. 5243543, in accordance with the Professional Engineers and Land Surveyors Licensing Act found in Title 58, Chapter 22 of the Utah Code. I further certify that by authority of the owners, I have made a survey of the tract of land shown on this plat and described below, have subdivided said tract of land into lots, streets, and easements, have completed a survey of the property described on this plat in accordance with Utah Code Section 17-23-17, have verified all measurements, and have placed monuments as represented on the plat. I further certify that every existing right-of-way and easement grant of record for underground facilities, as defined in Utah Code Section 54-8a-2, and for other utility facilities, is accurately described on this plat, and that this plat is true and correct. I also certify that I have filed, or will file within 90 days of the recording of this plat, a map of the survey I have completed with the Utah County Surveyor.

BOUNDARY DESCRIPTION

A PARCEL OF LAND SITUATED IN THE SOUTHEAST QUARTER OF SECTION 11, TOWNSHIP 5 SOUTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN, SAID PARCEL BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT A POINT LOCATED SOUTH 89°51'52" WEST ALONG THE SECTION LINE 216.28 FEET AND NORTH 121.48 FEET FROM THE SOUTHEAST CORNER OF SECTION 11, TOWNSHIP 5 SOUTH, RANGE 1 WEST, SALT LAKE BASE & MERIDIAN, THENCE SOUTH 89°51'52" WEST 23.41 FEET ALONG THE NORTHERLY BOUNDARY OF PLAT A, JORDAN VIEW LANDING SUBDIVISION ACCORDING TO THE OFFICIAL PLAT OF RECORD ON FILE AT THE UTAH COUNTY RECORDER'S OFFICE; THENCE NORTH 10°04'36" WEST 0.58 FEET ALONG SAID PLAT A, JORDAN VIEW LANDING SUBDIVISION; THENCE WEST 523.63 FEET TO THE EASTERLY BOUNDARY OF PLAT "C", RIVER HEIGHTS SUBDIVISION ACCORDING TO THE OFFICIAL PLAT OF RECORD ON FILE AT THE UTAH COUNTY RECORDER'S OFFICE; THENCE ALONG SAID SUBDIVISION BOUNDARY THE FOLLOWING THREE (3) COURSES: NORTH 0°02'08" WEST 140.85 FEET, NORTH 34°52'24" WEST 56.04 FEET AND NORTH 0°02'08" WEST 107.92 FEET; THENCE NORTH 86°59'00" EAST 291.90 FEET; THENCE SOUTH 88°21'00" EAST 256.69 FEET; THENCE SOUTH 03°29'00" EAST 167.29 FEET; THENCE SOUTH 08°48'00" EAST 137.88 FEET TO THE POINT OF BEGINNING.

AREA = 3.7920 ACRES
LOTS = 19
PARCELS = 1
Date 06-08-16
Surveyor's Name David F. Hunt
License no. 5243543

OWNER'S DEDICATION

Know all men by these presents that undersigned owner(s) of the above described tract of land have caused the same to be subdivided into lots, parcels and streets, together with easements and rights-of-way, to be hereafter known as

RIVER HEIGHTS PLAT "D"

do hereby dedicate for the perpetual use of the public and/or City all parcels of land, easements, right-of-way, and public amenities shown on this plat as intended for public and/or City use. The owner(s) voluntarily defend, indemnify, and save harmless the City against any easements or other encumbrance on a dedicated street which will interfere with the City's use, maintenance, and operation of the street. The owner(s) voluntarily defend, indemnify, and hold harmless the City from any damage claimed by persons within or without this subdivision to have been caused by alterations of the ground surface, vegetation, drainage, or surface or sub-surface water flows within this subdivision or by establishment or construction of the roads within this subdivision.

In witness whereof _____ have hereunto set this _____ day of _____, A.D. 20____.
SIGNATURE _____ PRINT NAME _____ TITLE AND ENDITY _____
SIGNATURE _____ PRINT NAME _____ TITLE AND ENDITY _____

OWNER'S ACKNOWLEDGMENT

STATE OF UTAH _____ J.S.S.
County of Utah _____
On the _____ day of _____, A.D. 20____, personally appeared before me _____, who being by me duly sworn, did prove to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument, and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed this plat with full authority of the owner(s).

I certify under PENALTY OF PERJURY under the laws of the State of Utah that the foregoing paragraph is true and correct.
WITNESS my hand and official seal.

Notary Public Full Name: _____
Commission Number: _____
My commission expires: _____
A Notary Public Commissioned in Utah

APPROVAL BY LEGISLATIVE BODY

The City Council of the City of Saratoga Springs, County of Utah, approves this subdivision subject to the conditions and restrictions stated hereon, and hereby accepts the Dedication of all streets, easements, and other parcels of land intended for the public purpose of the perpetual use of the public.
This _____ day of _____, A.D. 20____.

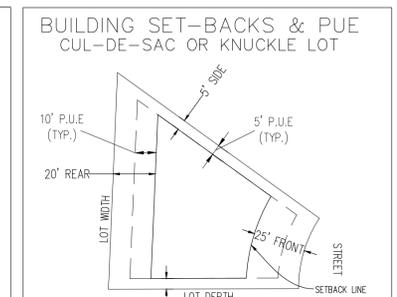
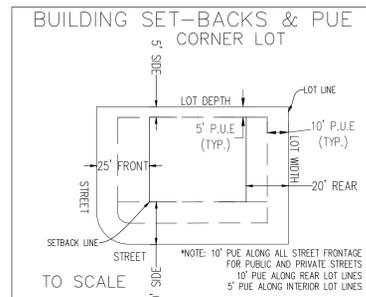
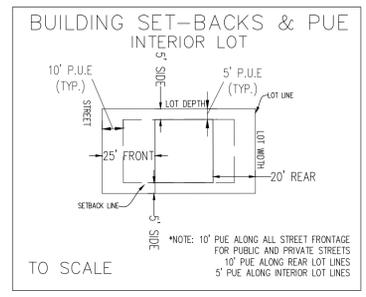
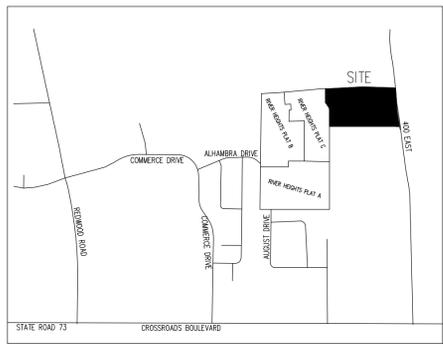
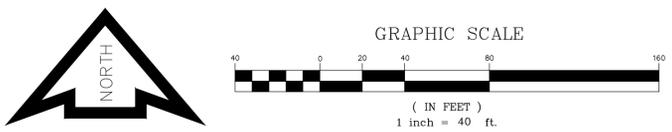
RIVER HEIGHTS PLAT "D"

LOCATED IN THE SOUTHEAST QUARTER OF SECTION 11, TOWNSHIP 5 SOUTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN
SARATOGA SPRINGS CITY, UTAH COUNTY, UTAH

Approval grid with columns for SURVEYORS SEAL, CIVIL ENGINEER SEAL, CLERK-RECORDER SEAL, SARATOGA SPRINGS ATTORNEY, LEHI CITY POST OFFICE, and LEHI CITY POST OFFICE REPRESENTATIVE.

RIVER HEIGHTS PLAT "D"

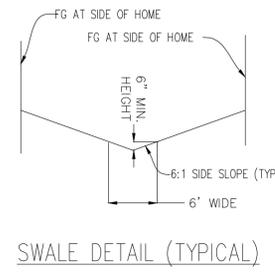
LOCATED IN THE SOUTHEAST QUARTER OF SECTION 11, TOWNSHIP 5 SOUTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN SARATOGA SPRINGS CITY, UTAH COUNTY, UTAH



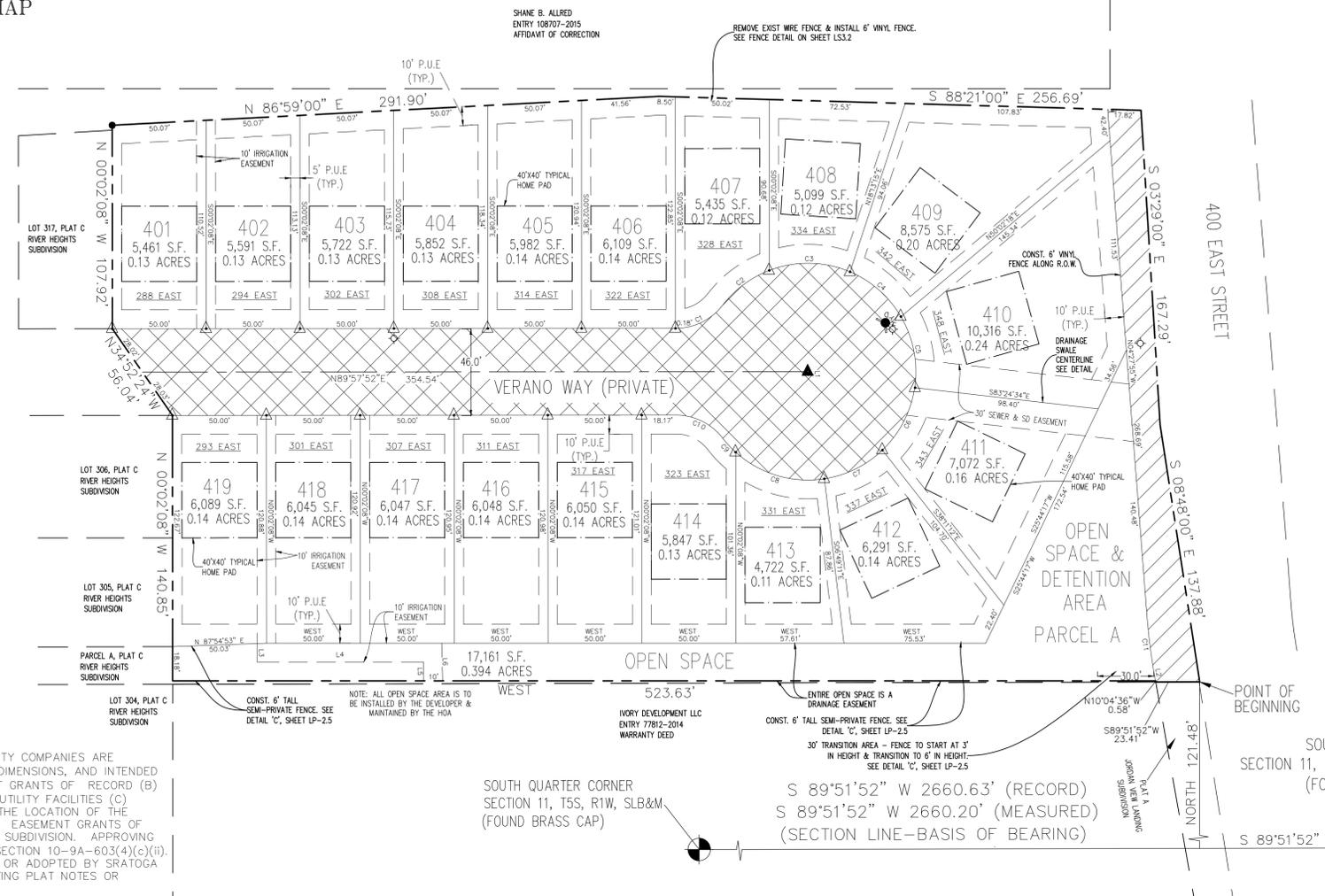
- NOTES: 1 - PLAT MUST BE RECORDED WITHIN 24 MONTHS OF FINAL PLAT APPROVAL... 2 - THE INSTALLATION OF IMPROVEMENTS SHALL CONFORM TO ALL CITY STANDARDS... 3 - PRIOR TO BUILDING PERMITS BEING ISSUED, SOIL TESTING STUDIES MAY BE REQUIRED... 4 - (OPTIONAL) PLAT IS SUBJECT TO A (MASTER) DEVELOPMENT AGREEMENT... 5 - PLAT IS SUBJECT TO "INSTALLATION OF IMPROVEMENTS AND BOND AGREEMENT NO. _____" WHICH REQUIRES THE CONSTRUCTION AND WARRANTY OF IMPROVEMENTS IN THIS SUBDIVISION... 6 - BUILDING PERMITS WILL NOT BE ISSUED UNTIL ALL IMPROVEMENTS HAVE BEEN INSTALLED AND ACCEPTED BY THE CITY IN WRITING... 7 - NO BUILDING PERMITS SHALL BE ISSUED UNTIL ALL IMPACT AND CONNECTIONS FEES ARE PAID IN FULL PER CITY REGULATIONS... 8 - ALL OPEN SPACE AND TRAIL IMPROVEMENTS LOCATED HEREIN ARE TO BE INSTALLED BY OWNER AND MAINTAINED BY A HOMEOWNERS ASSOCIATION... 9 - REFERENCES HEREIN TO DEVELOPER OR OWNER SHALL APPLY TO BOTH, AND ANY SUCH REFERENCE SHALL ALSO APPLY TO SUCCESSORS, AGENTS, AND ASSIGNS... 10 - NO CITY MAINTENANCE SHALL BE PROVIDED ON STREETS DESIGNATED AS PRIVATE ON THIS PLAT... 11 - (OPTIONAL) IF CONDO OR HOA ASSOCIATION IS INVOLVED, PLAT MUST INCLUDE STATEMENT "LOTS/UNITS ARE SUBJECT TO ASSOCIATION BYLAWS, ARTICLES OF INCORPORATION AND CC&R'S"... 12 - A GEOTECHNICAL REPORT HAS BEEN COMPLETED BY IGES (GEOTECHNICAL ENGINEER), WHICH ADDRESSES SOIL AND GROUNDWATER CONDITIONS... 13 - AGRICULTURAL USES, OPERATIONS, AND RIGHTS ARE ADJACENT TO OR NEAR THE PLAT AND LOTS... 14 - DRAINAGE ACROSS PROPERTY LINES SHALL NOT EXCEED THAT WHICH EXISTED PRIOR TO GRADING...

GEOTECHNICAL NOTE: SOME LOTS MAY CONTAIN WETTING-INDUCED COLLAPSIBLE SOILS THAT WERE OBSERVED IN THE GENERAL AREA OF TP-8 AND ARE NOT SUITABLE FOR SUPPORT OF FOOTINGS IN THE CURRENT STATE. FOR ADDITIONAL INFORMATION PLEASE REFER TO THE GEOTECHNICAL INVESTIGATION PREPARED BY IGES DATED FEBRUARY 19, 2013 - JOB #01384-002.

FEMA 100 YEAR FLOOD PLAIN ZONE THIS SITE IS LOCATED IN FEMA FLOOD ZONE X, WHICH IS AN AREA DETERMINED TO BE OUTSIDE THE 500-YEAR FLOODPLAIN, MAP NUMBER 4902500115 A, EFFECTIVE DATE: JULY 17, 2002.



SYMBOL LEGEND: DEDICATED PUBLIC STREET, PRIVATE STREET, SET NEW REBAR & CAP, SET PLUG ON LOT LINE EXTENSION, UTAH COUNTY MONUMENT, PROPOSED STREET MONUMENT, PROPOSED FIRE HYDRANT, PROPOSED STREET LIGHT.



LEVEL OF FOCUS, INC David F. Hunt, PLS 1334 East 1150 South Spanish Fork, Utah 84660 (801) 319-5441

ROCKY MOUNTAIN POWER approval block with text: PURSUANT TO UTAH CODE ANN. 54-3-27 THIS PLAT CONVEYS TO THE OWNER(S) OR OPERATORS OF UTILITY FACILITIES A PUBLIC UTILITY EASEMENT...

QUESTAR GAS COMPANY approval block with text: QUESTAR APPROVES THIS PLAT SOLELY FOR THE PURPOSES OF CONFIRMING THAT THE PLAT CONTAINS PUBLIC UTILITY EASEMENTS...

COMCAST CABLE TELEVISION approval block with text: Approved this ___ day of ___, A.D. 20__.

PLANNING DIRECTOR APPROVAL approval block with text: Approved by the Land Use Authority on this ___ day of ___, A.D. 20__.

LAND USE AUTHORITY approval block with text: Approved by the Land Use Authority on this ___ day of ___, A.D. 20__.

SARATOGA SPRINGS ATTORNEY approval block with text: Approved by Saratoga Springs Attorney on this ___ day of ___, A.D. 20__.

Approved this ___ day of ___, A.D. 20__

Approved this ___ day of ___, A.D. 20__

Approved this ___ day of ___, A.D. 20__

Approved by the City Engineer on this ___ day of ___, A.D. 20__

Approved by the Fire Chief on this ___ day of ___, A.D. 20__

Approved by Post Office Representative on this ___ day of ___, A.D. 20__

LANDSCAPE PLAN SPECIFICATIONS

PART I - GENERAL

1.1 SUMMARY

A. THIS SECTION INCLUDES LANDSCAPE PROCEDURES FOR THE PROJECT INCLUDING ALL LABOR, MATERIALS, AND INSTALLATION NECESSARY, BUT NOT LIMITED TO, THE FOLLOWING:

1. SOIL AMENDMENTS
2. FINE GRADING
3. CULTIVATION
4. LANDSCAPE EDGING
5. TURF PLANTING
6. FURNISH AND INSTALLING PLANT
7. MAINTENANCE
8. MOWING
9. WEEDING

1.2 SITE CONDITIONS

A. EXAMINATION: BEFORE SUBMITTING A BID, EACH CONTRACTOR SHALL CAREFULLY EXAMINE THE CONTRACT DOCUMENTS; SHALL VISIT THE SITE OF THE WORK; SHALL FULLY INFORM THEMSELVES AS TO ALL EXISTING CONDITIONS AND LIMITATIONS; AND SHALL INCLUDE IN THE BID THE COST OF ALL ITEMS REQUIRED BY THE CONTRACT DOCUMENTS ARE AT A VARIANCE WITH THE APPLICABLE LAWS, BUILDING CODES, RULES, REGULATIONS, OR CONTAIN OBVIOUS ERRONEOUS OR UNCOORDINATED INFORMATION, THE CONTRACTOR SHALL PROMPTLY NOTIFY THE PROJECT REPRESENTATIVE AND THE NECESSARY CHANGES SHALL BE ACCOMPLISHED BY ADDENDUM.

B. PROTECTION: CONTRACTOR TO CONDUCT THE WORK IN SUCH A MANNER TO PROTECT ALL EXISTING UNDERGROUND UTILITIES OR STRUCTURES. CONTRACTOR TO REPAIR OR REPLACE ANY DAMAGED UTILITY OR STRUCTURE USING IDENTICAL MATERIALS TO MATCH EXISTING AT NO EXPENSE TO THE OWNER.

C. IRRIGATION SYSTEM: DO NOT BEGIN PLANTING UNTIL THE IRRIGATION SYSTEM IS COMPLETELY INSTALLED, IS ADJUSTED FOR FULL COVERAGE AND IS COMPLETELY OPERATIONAL.

1.3 PERMITS

A. BLUE STAKE/ DIG LINE: WHEN DIGGING IS REQUIRED, "BLUE STAKE" OR "DIG LINE" THE WORK SITE AND IDENTIFY THE APPROXIMATE LOCATION OF ALL KNOWN UNDERGROUND UTILITIES OR STRUCTURES.

1.4 PLANT DELIVERY, QUALITY, AND AVAILABILITY

A. UNAUTHORIZED SUBSTITUTIONS WILL NOT BE ACCEPTED. IF PROOF IS SUBMITTED THAT SPECIFIC PLANTS OR PLANT SIZES ARE UNOBTAINABLE, WRITTEN SUBSTITUTION REQUESTS WILL BE CONSIDERED FOR THE NEAREST EQUIVALENT PLANT OR SIZE. ALL SUBSTITUTION REQUESTS MUST BE MADE IN WRITING AND PREFERABLY BEFORE THE BID DUE DATE.

1.5 FINAL INSPECTION

A. ALL PLANTS WILL BE INSPECTED AT THE TIME OF FINAL INSPECTION PRIOR TO RECEIVING A LANDSCAPE SUBSTANTIAL COMPLETION FOR CONFORMANCE TO SPECIFIED PLANTING PROCEDURES, AND FOR GENERAL APPEARANCE AND VITALITY. ANY PLANT NOT APPROVED BY THE PROJECT REPRESENTATIVE WILL BE REJECTED AND REPLACED IMMEDIATELY.

1.6 LANDSCAPE SUBSTANTIAL COMPLETION

A. A SUBSTANTIAL COMPLETION CERTIFICATE WILL ONLY BE ISSUED BY THE PROJECT REPRESENTATIVE FOR "LANDSCAPE AND IRRIGATION" IN THEIR ENTIRETY. SUBSTANTIAL COMPLETION WILL NOT BE PROPORTIONED TO BE DESIGNATED AREAS OF A PROJECT.

1.7 MAINTENANCE

A. PLANT MATERIAL: THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN ALL PLANTED MATERIALS IN A HEALTHY AND GROWING CONDITION FOR 30 DAYS AFTER RECEIVING A LANDSCAPE SUBSTANTIAL COMPLETION AT WHICH TIME THE GUARANTEE PERIOD COMMENCES. THIS MAINTENANCE IS TO INCLUDE MOWING, WEEDING, CULTIVATING, FERTILIZING, MONITORING WATER SCHEDULES, CONTROLLING INSECTS AND DISEASES, RE-GUING AND STAKING, AND ALL OTHER OPERATIONS OF CARE NECESSARY FOR THE PROMOTION OF ROOT GROWTH AND PLANT LIFE SO THAT ALL PLANTS ARE IN A CONDITION SATISFACTORY AT THE END OF THE GUARANTEE PERIOD. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR FAILURE TO MONITOR WATERING OPERATIONS AND SHALL REPLACE ANY AND ALL PLANT MATERIAL THAT IS LOST DUE TO IMPROPER APPLICATION OF WATER.

1.8 GUARANTEE

A. GUARANTEE: A GUARANTEE PERIOD OF ONE YEAR SHALL BEGIN FROM END OF MAINTENANCE PERIOD AND FINAL ACCEPTANCE FOR TREES, SHRUBS, AND GROUND COVERS. ALL PLANTS SHALL GROW AND BE HEALTHY FOR THE GUARANTEE PERIOD AND TREES SHALL LIVE AND GROW IN ACCEPTABLE UPRIGHT POSITION. ANY PLANT NOT ALIVE, IN POOR HEALTH, OR IN POOR CONDITION AT THE END OF THE GUARANTEE PERIOD WILL BE REPLACED IMMEDIATELY. ANY PLANT WILL ONLY NEED TO BE REPLACED ONCE DURING THE GUARANTEE PERIOD. ANY PLANT WILL ONLY NEED TO BE REPLACED ONCE DURING THE GUARANTEE PERIOD. CONTRACTOR TO PROVIDE DOCUMENTATION SHOWING WHERE EACH PLANT TO BE REPLACED IS LOCATED. ANY OUTSIDE FACTORS, SUCH AS VANDALISM OR LACK OF MAINTENANCE ON THE PART OF THE OWNER, SHALL NOT BE PART OF THE GUARANTEE.

PART II - PRODUCTS

2.1 LANDSCAPE MATERIALS

A. TREE STAKING: ALL TREES SHALL BE STAKED FOR ONE YEAR WARRANTY PERIOD. ALL TREES NOT PLUMB SHALL BE REPLACED. STAKED TREES SHALL USE VINYL TREE TIES AND TREE STAKES TWO (2) INCH BY TWO (2) BY EIGHT (8) FOOT COMMON PINE STAKES USED AS SHOWN ON THE DETAILS.

B. TREE WRAP: TREE WRAP IS NOT TO BE USED.

C. MULCH: SEE PLANS. ALL PLANTER BEDS TO RECEIVE A MINIMUM 4" LAYER FOR TREES, SHRUBS, AND PERENNIALS AND 1" FOR GROUND COVERS.

D. WEED BARRIER: DEWITT 5 OZ. WEED BARRIER FABRIC. MANUFACTURED BY DEWITT COMPANY, DEWITTCOMPANY.COM OR APPROVED EQUAL.

E. TREE, SHRUB, AND GRASS BACKFILL MIXTURE: BACKFILL MIXTURE TO BE 50% NATIVE SOIL AND 50% TOPSOIL, THOROUGHLY MIXED TOGETHER PRIOR TO PLACEMENT.

F. TOPSOIL: REQUIRED FOR TURF AREAS, PLANTER BEDS AND BACKFILL MIXTURE. ACCEPTABLE TOPSOIL SHALL MEET THE FOLLOWING STANDARDS:

- a. PH: 5.5-7.5
- b. EC (ELECTRICAL CONDUCTIVITY): < 2.0 MMHOS PER CENTIMETER
- c. SAR (SODIUM ABSORPTION RATION): < 3.0
- d. % OM (PERCENT ORGANIC MATTER): >1%
- e. TEXTURE (PARTICLE SIZE PER USDA SOIL CLASSIFICATION): SAND <70%, CLAY <30%, SILT <70%, STONE FRAGMENTS (GRAVEL OR ANY SOIL PARTICLE GREATER THAN TWO (2) MM IN SIZE) < 5% BY VOLUME.

G. TURF SOD: ALL SOD SHALL BE 18 MONTH OLD AS SPECIFIED ON PLANS (OR APPROVED EQUAL) THAT HAS BEEN CUT FRESH THE MORNING OF INSTALLATION. ONLY SOD THAT HAS BEEN GROWN ON A COMMERCIAL SOD FARM SHALL BE USED. ONLY USE SOD FROM A SINGLE SOURCE.

H. LANDSCAPE EDGING: HEADERS AND EDGING SIX (6) INCHES BY SIX (6) INCHES EXTRUDED CONCRETE CURB MADE UP OF THE FOLLOWING MATERIALS:

- a. WASHED MORTAR SAND FREE OF ORGANIC MATERIAL.
- b. PORTLAND CEMENT (SEE CONCRETE SPEC. BELOW FOR TYPE)
- c. REINFORCED FIBER - SPECIFICALLY PRODUCED FOR COMPATIBILITY WITH AGGRESSIVE ALKALINE ENVIRONMENT OF PORTLAND CEMENT-BASED COMPOSITES.

I. ONLY POTABLE WATER FOR MIXING.

PART III - EXECUTION

3.1 GRADING

A. TOPSOIL PREPARATION: GRADE PLANTING AREAS ACCORDING TO THE GRADING PLAN. ELIMINATE UNEVEN AREAS AND LOW SPOTS. PROVIDE FOR PROPER GRADING AND DRAINAGE.

B. TOPSOIL PLACEMENT: SLOPE SURFACED AWAY FROM BUILDING AT TWO (2) PERCENT SLOPE WITH NO POCKETS OF STANDING WATER. ESTABLISH FINISH GRADES OF ONE (1) INCHES FOR PLANTERS BELOW GRADE OF ADJACENT PAVED SURFACE. PROVIDE NEAT, SMOOTH, AND UNIFORM FINISH GRADES. REMOVE SURPLUS SUB-SOIL AND TOPSOIL FROM THE SITE.

C. COMPACTION: COMPACTION UNDER HARD SURFACE AREAS (ASPHALT PATHS AND CONCRETE SURFACES) SHALL BE NINETY-FIVE (95) PERCENT. COMPACTION UNDER PLANTING AREAS SHALL BE BETWEEN EIGHTY-FIVE (85) AND NINETY (90) PERCENT.

3.2 TURF GRADING

A. THE SURFACE ON WHICH THE SOD IS TO BE LAID SHALL BE FIRM AND FREE FROM FOOTPRINTS, DEPRESSIONS, OR UNDULATIONS OF ANY KIND. THE SURFACE SHALL BE FREE OF ALL MATERIALS LARGER THAN 3/4" IN DIAMETER.

B. THE FINISH GRADE OF THE TOPSOIL ADJACENT TO ALL SIDEWALKS, MOW-STRIPS, ETC. PRIOR TO THE LAYING OF SOD, SHALL BE SET SUCH THAT THE CROWN OF THE GRASS SHALL BE AT THE SAME LEVEL AS THE ADJACENT CONCRETE OR HARD SURFACE. NO EXCEPTIONS.

3.3 PLANTING OPERATIONS

A. REVIEW THE EXACT LOCATIONS OF ALL TREES AND SHRUBS WITH THE PROJECT REPRESENTATIVE FOR APPROVAL PRIOR TO THE DIGGING OF ANY HOLES. PREPARE ALL HOLES ACCORDING TO THE DETAILS ON THE DRAWINGS.

B. WATER PLANTS IMMEDIATELY UPON ARRIVAL AT THE SITE. MAINTAIN IN MOIST CONDITION UNTIL PANTED.

C. BEFORE PLANTING, LOCATE ALL UNDERGROUND UTILITIES PRIOR TO DIGGING. DO NOT PLACE PLANTS ON OR NEAR UTILITY LINES.

D. THE TREE PLANTING HOLE SHOULD BE THE SAME DEPTH AS THE ROOT BALL, AND THREE TIMES THE DIAMETER OF THE ROOT BALL.

E. TREES MUST BE PLACED ON UNDISTURBED SOIL AT THE BOTTOM OF THE PLANTING HOLE.

F. THE TREE HOLE DEPTH SHALL BE DETERMINED SO THAT THE TREE MAY BE SET SLIGHTLY HIGH OF FINISH GRADE, 1" TO 2" ABOVE THE BASE OF THE TRUNK FLARE, USING THE TOP OF THE ROOT BALL AS A GUIDE.

G. PLANT IMMEDIATELY AFTER REMOVAL OF CONTAINER FOR CONTAINER PLANTS.

H. SET TREE ON SOIL AND REMOVE ALL BURLAP, WIRE BASKETS, TWINE, WRAPPINGS, ETC. BEFORE BEGINNING AND BACKFILLING OPERATIONS. DO NOT USE PLANTING STOCK IF THE BALL IS CRACKED OR BROKEN BEFORE OR DURING PLANTING OPERATION.

I. APPLY VITAMIN B-1 ROOT STIMULATOR AT THE RATE OF ONE (1) TABLESPOON PER GALLON.

J. UPON COMPLETION OF BACKFILLING OPERATION, THOROUGHLY WATER TREE TO COMPLETELY SETTLE THE SOIL AND FILL ANY Voids THAT MAY HAVE OCCURRED. USE A WATERING HOSE, NOT THE AREA IRRIGATION SYSTEM. IF ADDITIONAL PREPARED TOPSOIL MIXTURE NEEDS TO BE ADDED, IT SHOULD BE A COURSER MIX AS REQUIRED TO ESTABLISH FINISH GRADE AS INDICATED ON THE DRAWINGS.

K. THE AMOUNT OF PRUNING SHALL BE LIMITED TO THE MINIMUM NECESSARY TO REMOVE DEAD OR INJURED TWIGS AND BRANCHES. ALL CUTS, SCARS, AND BRUISES SHALL BE PROPERLY TREATED ACCORDING TO THE DIRECTION OF THE PROJECT REPRESENTATIVE. PROPER PRUNING TECHNIQUES SHALL BE USED. DO NOT LEAVE STUBS AND DO NOT CUT THE LEADER BRANCH. IMPROPER PRUNING SHALL BE CAUSE FOR REJECTION OF THE PLANT MATERIAL.

L. PREPARE A WATERING CIRCLE OF 2' DIAMETER AROUND THE TRUNK. FOR CONIFERS, EXTEND THE WATERING WELL TO THE DRIP LINE OF THE TREE CANOPY. PLACE MULCH AROUND THE PLANTED TREES.

3.4 TURF - SOD LAYING

A. TOP SOIL AMENDMENTS: PRIOR TO LAYING SOD, COMMERCIAL FERTILIZER SHALL BE APPLIED AND INCORPORATED INTO THE UPPER FOUR (4) INCHES OF THE TOPSOIL AT A RATE OF FOUR POUNDS OF NITROGEN PER ONE THOUSAND (1,000) SQUARE FEET. ADJUST FERTILIZATION MIXTURE AND RATE OF APPLICATION AS NEEDED TO MEET RECOMMENDATIONS GIVEN BY TOPSOIL ANALYSIS. INCLUDE OTHER AMENDMENTS AS REQUIRED.

B. FERTILIZATION: THREE WEEKS AFTER SOD PLACEMENT FERTILIZE THE TURF AT A RATE OF 1/4 POUND OF NITROGEN PER 1000 SQUARE FEET. USE FERTILIZER SPECIFIED ABOVE. ADJUST FERTILIZATION MIXTURE AND RATES TO MEET RECOMMENDATIONS GIVEN BY TOPSOIL ANALYSIS.

C. SOD AVAILABILITY AND CONDITION: THE CONTRACTOR SHALL SATISFY HIMSELF AS TO THE EXISTING CONDITIONS PRIOR TO ANY CONSTRUCTION. THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR FURNISHING AND LAY ALL SOD REQUIRED ON THE PLANS. HE SHALL FURNISH NEW SOD AS SPECIFIED ABOVE AND LAY IT SO AS TO COMPLETELY SATISFY THE INTENT AND MEANING OF THE PLANS AND SPECIFICATION AT NO EXTRA COST TO THE OWNER. IN THE CASE OF PLANS AND SPECIFICATION AT NO EXTRA COST TO THE OWNER. IN THE CASE OF ANY DISCREPANCY IN THE AMOUNT OF SOD TO BE REMOVED OR AMOUNT TO BE USED, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPORT SUCH TO THE PROJECT REPRESENTATIVE PRIOR TO COMMENCING THE WORK.

D. SOD LAYING: THE SURFACE UPON WHICH THE NEW SOD TO BE LAID WILL BE PREPARED AS SPECIFIED ABOVE. AREAS WHERE SOD IS TO BE LAID SHALL BE CUT TRIMMED, OR SHAPED TO RECEIVE FULL WIDTH SOD (MINIMUM TWELVE (12) INCHES). NO PARTIAL STRIP OR PIECES WILL BE ACCEPTED.

E. SOD SHALL BE TAMPED LIGHTLY AS EACH PIECE IS SET TO INSURE THAT GOOD CONTACT IS MADE BETWEEN EDGES AND ALSO THE GROUND. SOD LAID ON ANY SLOPED AREAS SHALL BE ANCHORED WITH WOODEN DOWELS OR OTHER MATERIALS WHICH ARE ACCEPTED BY THE GRASS SOD INDUSTRY.

F. APPLY WATER DIRECTLY AFTER LAYING SOD. RAINFALL IS NOT ACCEPTABLE.

G. WATERING OF THE SOD SHALL BE THE COMPLETE RESPONSIBILITY OF THE CONTRACTOR BY WHATEVER MEANS NECESSARY TO ESTABLISH THE SOD IN AN ACCEPTABLE MANNER TO THE END OF THE MAINTENANCE PERIOD. IF AN IRRIGATION SYSTEM IS IN PLACE ON THE SITE, BUT FOR WHATEVER REASON, WATER IS NOT AVAILABLE IN THE SYSTEM, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO WATER THE SOD BY WHATEVER MEANS, UNTIL THE SOD IS ACCEPTED BY THE PROJECT REPRESENTATIVE.

H. PROTECTION OF THE NEWLY LAID SOD SHALL BE THE COMPLETE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL PROVIDE ACCEPTABLE VISUAL BARRIERS, TO INCLUDE BARRICADES SET APPROPRIATE DISTANCES WITH STRINGS OR TAPES BETWEEN BARRIERS, AS AN INDICATION OF NEW WORK. THE CONTRACTOR IS TO RESTORE ANY DAMAGED AREAS CAUSED BY OTHERS (INCLUDING VEHICULAR TRAFFIC), EROSION, ETC, UNTIL SUCH TIME AS THE LAWN IS ACCEPTED BY THE OWNER.

I. ALL SOD THAT HAS NOT BEEN LAID WITHIN 24 HOURS SHALL BE DEEMED UNACCEPTABLE AND WILL BE REMOVED FROM THE SITE.

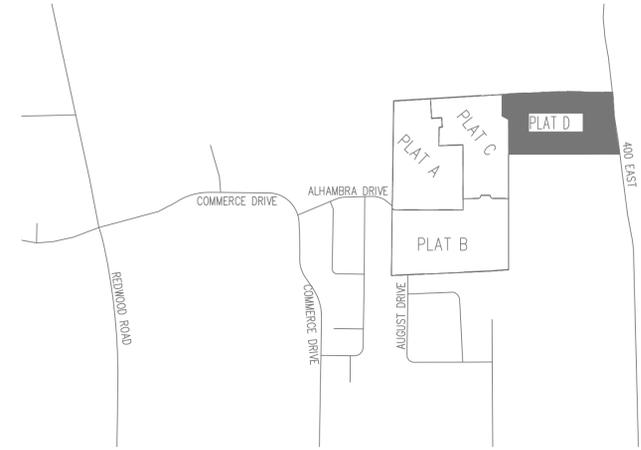
3.5 WEED BARRIER

A. CUT A SLIT OR X AT EACH PLANT LOCATION NO LARGER THAN NECESSARY TO INSTALL PLANT.

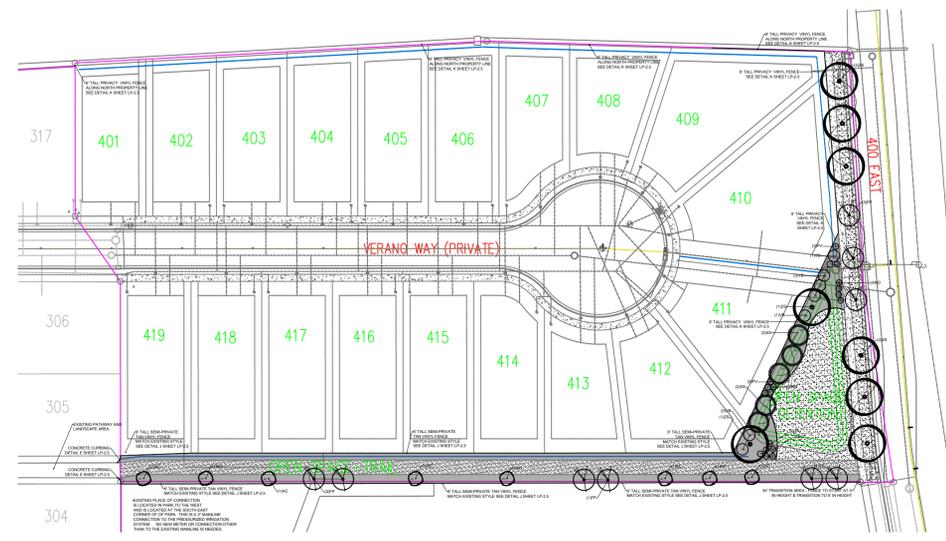
B. OVERLAP ROWS OF FABRIC MIN. 6"

C. STABLE FABRIC EDGES AND OVERLAPS TO GROUND.

END OF SECTION



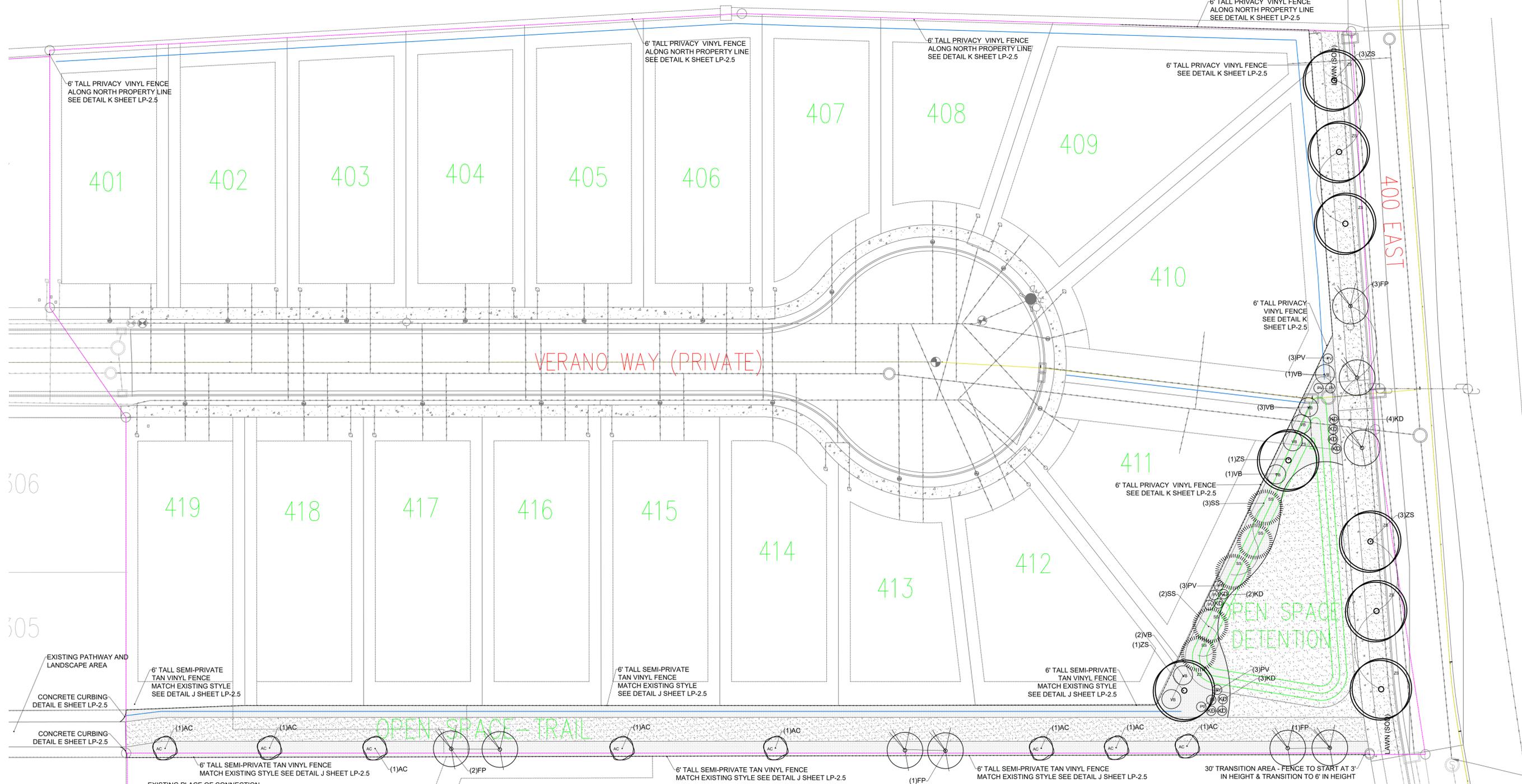
VICINITY MAP



SITE REQUIREMENT CALCULATIONS

STREET FRONTAGE	REQ'D:	PROVIDED:
TOTAL PROJECT AREA: THE TRAIL AREA: 5,225 SQUARE FEET THE LANDSCAPE AREA: 11,936 SQUARE FEET TOTAL AREA = 17,161		
400 EAST = 304 LN FT		
TREE COUNT:		
400 EAST (SPACED EVERY 30 FT)	10	10
MINIMUM DECIDUOUS TREES (REQUIRED PLANTING TABLE)	7	10
MINIMUM EVERGREEN TREES	5	5
MINIMUM SHRUBS	25	25
TOTAL LANDSCAPE COVERAGE FOR OPEN SPACE:		
AT LEAST 25% OF REQUIRED SHRUBS MINIMUM OF 5 GAL.	25%	28%
BETWEEN 35%-70% GRASS	70%	48%
LESS THAN 65% PLANTER AREA	65%	52%
50% OF TREES AND SHRUBS SHALL BE DROUGHT TOLERANT	PROVIDED	PROVIDED
MINIMUM OF TWO DIFFERENT COLORS AND KINDS OF ROCK	BARK	BARK

ISSUE DATE	PROJECT NUMBER	PLAN INFORMATION	PROJECT INFORMATION	DEVELOPER / PROPERTY OWNER / CLIENT	LANDSCAPE ARCHITECT / PLANNER	LICENSE STAMP																							
06-08-2016	UT16012	 BLUE STAKES OF UTAH UTILITY NOTIFICATION CENTER, INC. 1-800-662-4111 www.bluestakes.org	<h2>RIVER HEIGHTS PLAT D</h2> <h3>400 EAST ROAD</h3> <h3>SARATOGA SPRINGS, UTAH</h3>	Developer / Property Owner: BACH HOMES 11650 SOUTH STATE STREET, SUITE #300 DRAPER, UTAH 84020 PHONE: (801)-727-9500 INFO@BACHHOMES.COM	 PKJ DESIGN GROUP PKJ DESIGN GROUP L.L.C. 3450 N. TRIUMPH BLVD, SUITE 102 LEHI, UTAH 84043 (801) 960-2898 www.pkjdesigngroup.com	 LANDSCAPE PLAN PRELIMINARY PLANS NOT FOR CONSTRUCTION LP-COVER																							
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(TOTAL PROJECT QUANTITIES)

TREE LEGEND

SYMBOL	BOTANICAL NAME	COMMON NAME	QTY.	SIZE	HYDROZONE
ZS	ZELKOVA SERRATA	JAPANESE ZELKOVA	8	2" CAL	LOW: DROUGHT TOLERANT
FP	CERCIS CANADENSIS 'FOREST PANSY'	FOREST PANSY REDBUD	9	2" CAL	LOW: DROUGHT TOLERANT
AC	ACER RUBRUM	ARMSTRONG GOLD	8	2" CAL	LOW: DROUGHT TOLERANT
SS	PICEA OMORIKA	SERBIAN SPRUCE	5	6" TALL	LOW: DROUGHT TOLERANT

SHRUB LEGEND

SYMBOL	BOTANICAL NAME	COMMON NAME	QTY.	SIZE	HYDROZONE
KD	CORNUS SERICEA 'KELSEY'	KELSEY DOGWOOD	9	1 GAL	MODERATE
VB	VIBURNUM X BURKWOODII	BURKWOOD VIBURNUM	7	5 GAL	LOW: DROUGHT TOLERANT

GRASSES LEGEND

SYMBOL	BOTANICAL NAME	COMMON NAME	QTY.	SIZE	HYDROZONE
PV	PANICUM VIRGATUM SHENANDOAH	SHENANDOAH SWITCH GRASS	9	1 GAL	LOW: DROUGHT TOLERANT

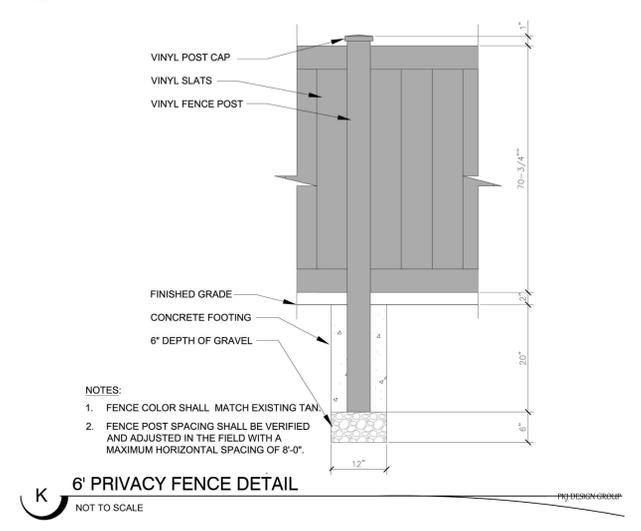
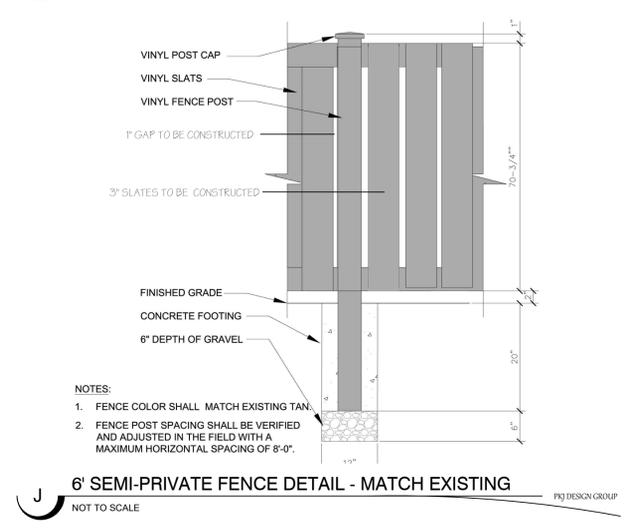
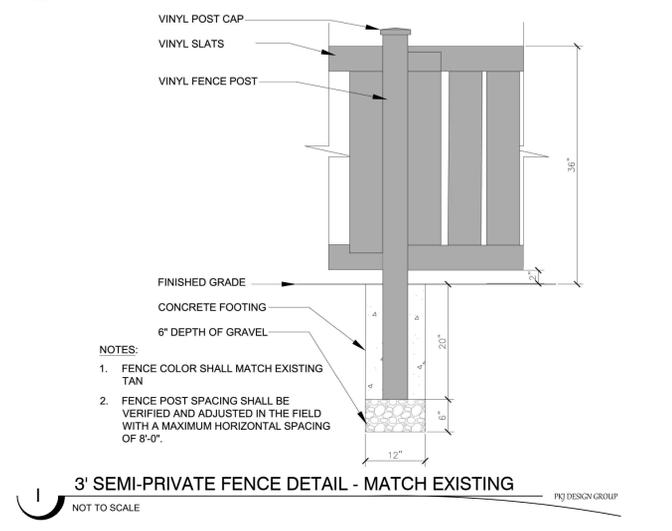
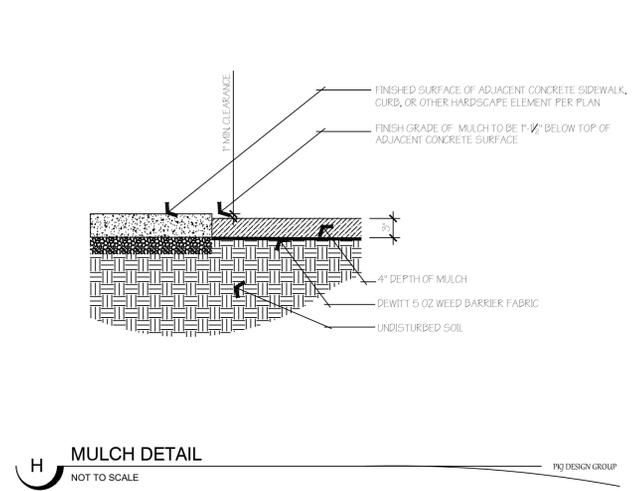
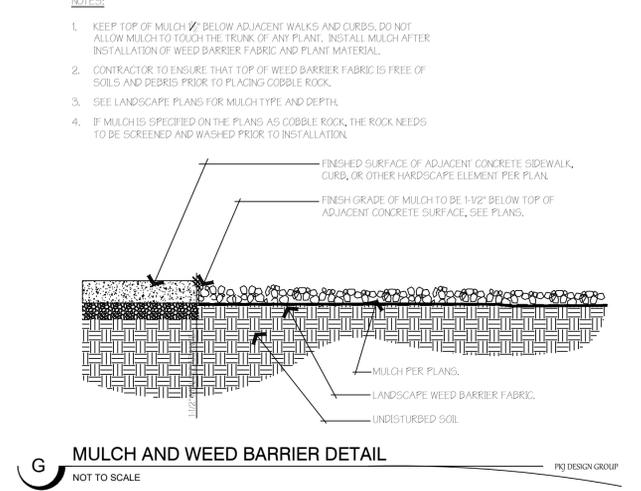
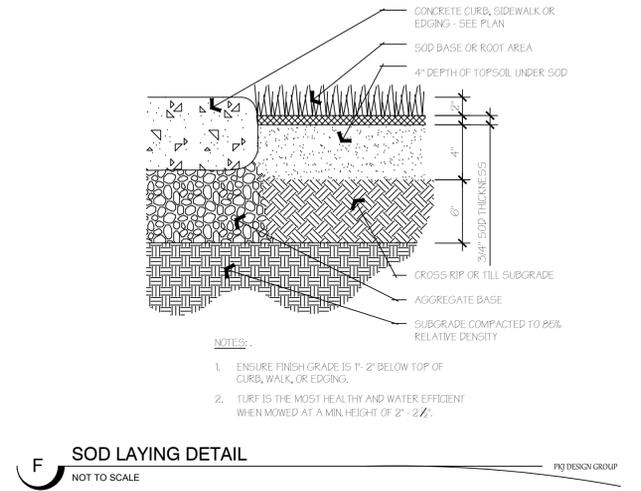
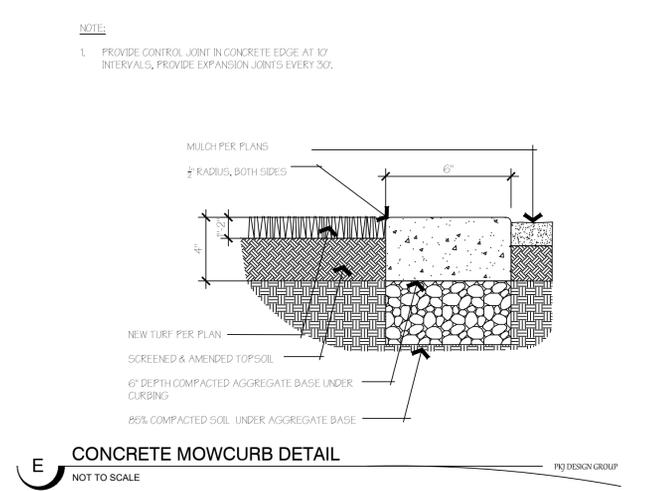
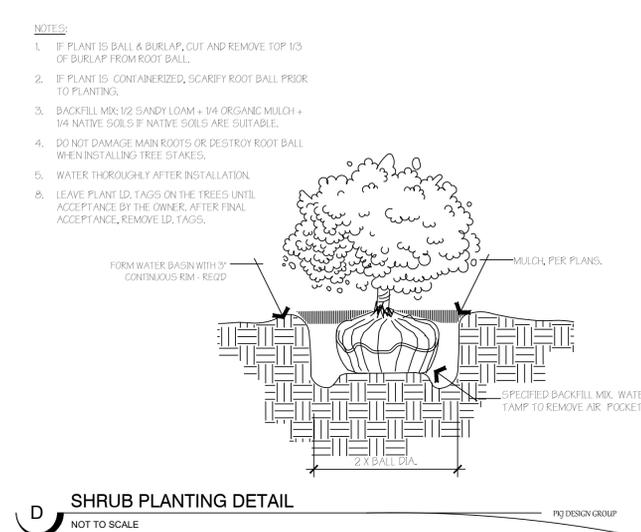
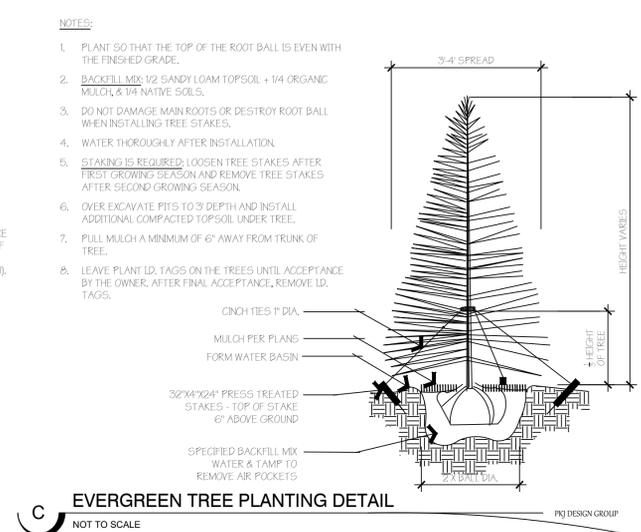
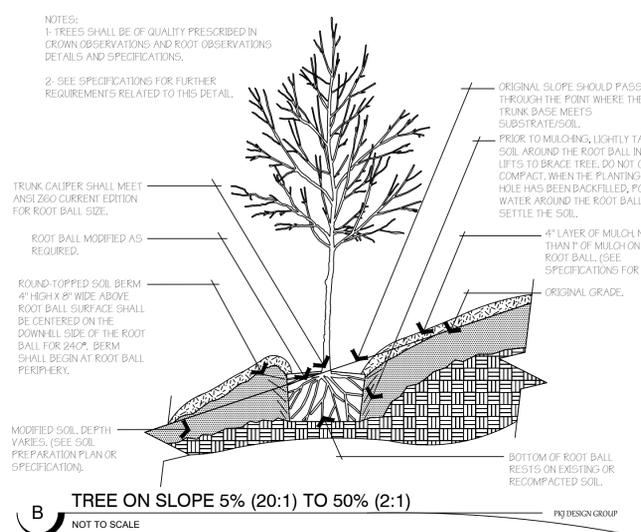
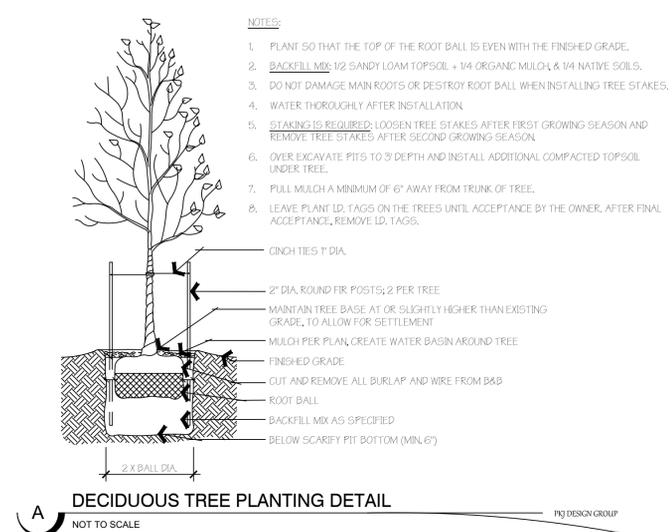
SITE MATERIALS

SYMBOL	SITE MATERIAL	QUANTITY	SPECIAL NOTES
[Symbol]	TURF GRASS (SOD)	7,329 SQ. FT.	DROUGHT TOLERANT VARIETY
[Symbol]	SMALL CHIP BARK MULCH 4" DEPTH	7,968 SQ. FT.	96 CY LOCATED IN ALL PLANTER BED AREAS
[Symbol]	DeWitt 5 OZ. WEED BARRIER FABRIC		TO BE INSTALLED IN ALL PLANTER AREAS

LANDSCAPE NOTES

- LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR VERIFYING QUANTITIES OF ALL MATERIALS FOR BIDDING AND INSTALLATION PURPOSES. IF DISCREPANCIES EXIST, THE PLAN SHALL DICTATE QUANTITIES TO BE USED.
- PLANT MATERIAL TO BE INSTALLED PER PLANT LEGEND. IF SUBSTITUTIONS ARE WANTED, PROPOSED LANDSCAPE CHANGES MUST BE SUBMITTED TO THE LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO PLANTING.
- NEW LAWN AREAS TO BE SODDED WITH DROUGHT TOLERANT VARIETY. FINE LEVEL ALL AREAS PRIOR TO LAYING SOD.
- SANDY LOAM TOPSOIL TO BE IMPLEMENTED AT THE FOLLOWING DEPTHS: 6" TOPSOIL (WITH 2" HUMUS MIXED INTO TOPSOIL PRIOR TO SPREADING) IN ALL NEW PLANTER AREAS AND 4" IN ALL NEW LAWN AREAS. PLANTER BEDS TO BE EXCAVATED AS NECESSARY IN ORDER TO ACCOMMODATE NEW TOPSOIL AND/OR PLANTER BED MULCH TO REACH FINISHED GRADE.
- 4"x6" EXTRUDED CONCRETE MOW CURB TO BE INSTALLED BETWEEN ALL LAWN AND PLANTER AREAS PER PLAN. ANY TREES LOCATED IN LAWN MUST HAVE A 4" CONCRETE TREE RING.
- DeWitt 5 OZ. WEED BARRIER FABRIC TO BE INSTALLED IN ALL PLANTER AREAS EXCEPT UNDER ANNUAL PLANTING AREAS AS SHOWN ON PLAN.
- BARK MULCH TO BE IMPLEMENTED AT THE FOLLOWING DEPTHS: 4" IN ALL TREE, SHRUB, AND PERENNIAL PLANTER AREAS; ANNUAL PLANTING AREAS AS SHOWN ON PLAN TO RECEIVE 4" OF SOIL AID MATERIAL. PULL BARK MULCH MIN. 3" AWAY FROM BASE OF ALL PERENNIALS AND SHRUBS AND MIN. 6" AWAY FROM ALL TREES.
- CONTRACTOR TO PROVIDE NEW AUTOMATIC UNDERGROUND IRRIGATION SYSTEM TO BE INSTALLED IN ALL LANDSCAPE AREAS. ALL LAWN AREA TO RECEIVE 100% HEAD TO HEAD COVERAGE WITH SPRAY AND ROTARY SPRINKLER HEADS. ALL PLANTER AREAS NEED TO RECEIVE A FULL DRIP SYSTEM TO EACH TREE AND SHRUB ON PROJECT. SEE IRRIGATION PLAN.

<p>ISSUE DATE: 06-08-2016 PROJECT NUMBER: UT16012</p>		<p>PLAN INFORMATION</p> <p>811 BLUE STAKES OF UTAH UTILITY NOTIFICATION CENTER, INC. 1-800-662-4111 www.bluestakes.org</p>		<p>PROJECT INFORMATION</p> <p>RIVER HEIGHTS PLAT D 400 EAST ROAD SARATOGA SPRINGS, UTAH</p>		<p>DEVELOPER / PROPERTY OWNER / CLIENT</p> <p>BACH HOMES 11650 SOUTH STATE STREET, SUITE #300 DRAPER, UTAH 84020 PHONE: (801)-727-9500 INFO@BACHHOMES.COM</p>		<p>LANDSCAPE ARCHITECT / PLANNER</p> <p>PKJ DESIGN GROUP PKJ DESIGN GROUP L.L.C. 3450 N. TRIUMPH BLVD, SUITE 102 LEHI, UTAH 84043 (801) 960-2698 www.pkjdesigngroup.com</p>		<p>LICENSE STAMP</p> <p>LANDSCAPE PLAN PRELIMINARY PLANS NOT FOR CONSTRUCTION LP-1.0</p>	
<p>NO. REVISION DATE</p> <p>1 XXXX XX-XX-XX</p>		<p>GRAPHIC SCALE: 1" = 20'</p>		<p>DAVID W. PETERSON, P.E. 12 West 100 North, SUITE # 201 AMERICAN FORK, UTAH 84003 (801) 756-4504</p>		<p>PM: JTA DRAWN: KBA CHECKED: TM PLOT DATE: 7/6/2016</p>					



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CITY OF SARATOGA SPRINGS
CITY COUNCIL MEETING MINUTES

Tuesday, July 5, 2016
City of Saratoga Springs City Offices
1307 North Commerce Drive, Suite 200, Saratoga Springs, Utah 84045

City Council Photo Session 5:00 p.m.

City Council Members gathered for professional photos in the City Council Chambers from 5:00 p.m. to 6:25 p.m. No City business was discussed or action taken.

City Council Work Session

Call to Order: 6:28 p.m. by Mayor Jim Miller

Present Council Members Bud Poduska, Stephen Willden, Shellie Baertsch, Chris Porter, and Michael McOmber.

Staff City Manager Mark Christensen, City Attorney Kevin Thurman, Planning Director Kimber Gabryszak, Public Relations Economic Development Manager Owen Jackson, City Engineer Gordon Miner, City Recorder Cindy LoPiccolo

Presentation. UDOT Redwood Road Improvement Project. UDOT representative Beau Hunter, Public Information Manager, presented an overview of the Redwood Road Improvement project planned to improve Redwood Road south of Pioneer Crossing in Saratoga Springs to reduce congestion and improve mobility, and will include the following:

- Construct new east-west Continuous Flow Intersection (CFI) at Pioneer Crossing
- Widen Redwood Road from three to five lanes from 400 South to Stillwater Drive, center turn lane and striped bike lanes
- Resurface Redwood Road from 400 S to Mile Post 17, approximately seven miles south of City limits
- Install new traffic signals at Ring Road and Stillwater Drive
- Improvement of Pony Express Parkway and Grandview Boulevard intersections
- Enhance active transportation in the area through improved trail connections, designated bike lanes on Redwood Road, and a bike-specific traffic signal at Pony Express Parkway

Mr. Hunter advised UDOT project representatives will hold a public open house on July 14, 2016, 5-7 p.m., at Thunder Ridge Elementary, to review the proposed roadway improvements, and provide information concerning the next steps leading to construction scheduled for 2017; public open house materials will be posted online following the meeting.

Council Members requested future planning for additional lanes and/or turn lanes south of Stillwater Drive to provide for the future growth, improved shoulder and bike lanes further south for safety, advised the majority of residents are opposed to soundwalls and prefer a compacted one year construction schedule, discussed possible night closure, weekend construction and traffic routing on Riverside Drive at time of construction to facilitate the schedule, and recommended public meetings be held at Sage Hills or Saratoga Shores.

Mr. Hunter advised they will return to update the Council and public in December and again in the spring, and invited Council and the public to visit udot.utah.gov/redwoodsaratoga for detailed project information and to sign up for updates.

Agenda Review. Planning Director Gabryszak reported unless a conflict is determined, the joint City Council and Planning Commission meeting is scheduled for Thursday, August 11, 7:00 p.m.

52 City Manager Christensen advised the City Council Mid-Year Retreat is scheduled for Tuesday, July 12, 2016,
53 at the North Fire Station, 995 W 1200 N, Saratoga Springs, beginning at 3:00 p.m.

54
55 **Adjournment:** The Work Session adjourned at 6:56 p.m. to the Policy Session.

56
57

58 **Policy Meeting**

59
60

60 **Call to Order:** Mayor Jim Miller called the Policy Session to order at 6:56 p.m.

61
62

62 **Roll Call:**

63 Present Council Members Chris Porter, Stephen Willden, Michael McOmber, Bud Poduska, and
64 Shellie Baertsch.

65 Staff Present City Manager Mark Christensen, City Attorney Kevin Thurman, Police Chief Andrew
66 Burton, Fire Chief Jess Campbell, Planning Director Kimber Gabryszak, Economic
67 Development/Public Relations Manager Owen Jackson, Library Director Melissa Grygla,
68 City Engineer Gordon Miner, City Recorder Cindy LoPiccolo

69
70

70 Invocation by Council Member Porter.
71 Pledge of Allegiance by Council Member Willden.

72
73

73 **Public Input:** Mayor Miller invited public input – None.

74
75

75 **Presentation:**
76
77 Police Chief Andrew Burton introduced new Police Officer Andres Gianfelice and Mayor Jim Miller presented
78 Officer Gianfelice with his Commission; Mayor Miller and Council welcomed Officer Gianfelice to the
79 Department and City.

80
81

81 **POLICY ITEMS**

82
83

83 **REPORTS:**
84
85 Council Member Porter reported attendance at the Chamber of Commerce meeting and commended Chief
86 Burton for his presentation and representation of the City at the meeting.

87
88

88 In response to Mayor Miller, City Manager Christensen reported Assistant City Manager Kyle will provide
89 information concerning Timpanoga Special Service District board participation at the mid-year retreat next
90 week.

91
92

92 City Manager Christensen reported the City has successfully increased water volume significantly over the
93 weekend and will reduce the Central Utah Water Conservancy District contract provision to 500 per minute. In
94 response to Council Member Baertsch, City Manager Christensen confirmed water is being transitioned north
95 and it is estimated the 500 gpm will work for peak times of use.

96
97

97 City Manager Christensen reported staff is planning for the mid-year retreat next week which will include
98 capital plans discussion, and for future public open houses.

99
100

100 **ACTION ITEMS:**
101
102 1. **Award of Bids – 2016 Asphalt Preservation Project; Resolution R16-42 (7-5-16).**

103
104 Capital Facilities Manager Edwards presented the staff report and recommendation for the award of bids for the
105 2016 Asphalt Preservation Project. Manager Edwards reported Horrocks Engineering, the City's Engineering

106 Consultant, reviewed and analyzed the bids to determine the lowest qualified bidders, and noted there were no
107 bids received for the striping project which will be re-bid. Manager Edwards reported the bid amounts shown
108 include the cost to clean and crack seal the road prior to product application, and provide and install the product;
109 reported contractor references were checked and recommended contract award as follows:

- 110
- 111 Schedule A Slurry Seal – Morgan Pavement - \$98,724.45
- 112 Schedule B High Density Mineral Bond – Holbrook Asphalt - \$436,305.50
- 113 Schedule C Mastic Seal – Precision Asphalt - \$257,805.54
- 114 Schedule D Chip Seal – Consolidated Concrete and Paving - \$66,189.60
- 115 Schedule E Crack Seal – Top Job - \$119,416.28

116
117 Council Member Baertsch requested clarification concerning the difference of High Density Mineral Bond and
118 Mastic Seal, and noted although close in costs, actual bids were not as close, and not having it broken out makes
119 it a little difficult to compare. Manager Edwards reported the Engineer’s estimate did not include the cracked
120 seal cost which was the difference; in regard to the materials, they have received great reviews from other cities
121 that have increased the use of High Density Miner Bond and Mastic Seal, staff feels it may be a better product
122 and the use will give the City an opportunity to do an analysis and comparison as it has not been used
123 extensively in the past, and advised the City and other cities follow APWA Specified products, and planned for
124 multiple treatments for differing areas and conditions.

125
126 Council Member Willden inquired concerning the few number of bidders. Manager Edwards explained in
127 discussing this with contractors and other cities, they are seeing a record amount of asphalt going down this
128 year, budgets are growing, and cities are learning asphalt preservation is important and are trying to catch up,
129 which results in companies having a high volume of work.

130
131 Manager Edwards reported this project will be funded with current budget funds, B&C road revenue will be
132 included if received. City Manager Christensen reported the City will receive slightly more B&C revenue this
133 year, however, did not anticipate or count on this revenue in the budget as other cities unfortunately did and this
134 will not effect funding of the City’s projects. Council Member McOmber noted these are awards for the highest
135 quality at the lowest cost.

136
137 Motion by Council Member Poduska to adopt Resolution R16-42 (7-5-16) awarding bids to the lowest quality
138 bidders for Schedules A through E for the 2016 Asphalt Preservation Project, was seconded by Council Member
139 Baertsch

140 Roll Call Vote: Council Members Porter, Willden, McOmber, Poduska, and Baertsch – Aye
141 Motion carried unanimously.

142
143 **2. Library Advisory Board Appointments, Resolution R16-43 (7-5-16).** Library Director Grygla presented
144 the staff report and Board recommendation for appointments to the Library Board filling the vacancies of two
145 members whose terms are expiring.

146
147 Motion by Council Member McOmber to adopt Resolution R16-43 (7-5-16) appointing Brock Jackson and
148 Brandi Meiners to the Library Advisory Board for terms expiring June 30, 2019, was seconded by Council
149 Member Willden

150 Roll Call Vote: Council Members Baertsch, Poduska, McOmber, Porter, and Willden – Aye
151 Motion carried unanimously.

152
153 **3. General Plan Consulting Agreement, Resolution R16-44 (7-5-16).** Planning Director Gabryszak
154 presented the staff report, agreement and recommendation for award of a consulting agreement for completion
155 of the General Plan Update; introduced Jim Carter with Logan Simpson.

156
157 Jim Carter, Logan Simpson, thanked Council for the opportunity to assist and work with the City on the General
158 Plan Update and is looking forward to getting started.

159

160 Motion by Council Member Willden to adopt Resolution R16-44 (7-5-16) awarding the General Plan update
161 consulting agreement to Logan Simpson in the amount of \$89,852, was seconded by Council Member Porter
162 Roll Call Vote: Council Members Baertsch, Porter, Willden, McOmber, and Poduska – Aye
163 Motion carried unanimously.

164
165 **4. Amendment to City Code Chapter 18.01 With Respect to Adoption of Construction and Fire**
166 **Codes, Ordinance 16-13 (7-5-16).** City Attorney Thurman presented the staff report and recommendation to
167 adopt the mandated Construction and Fire Codes as adopted this year by the State legislature. For the benefit of
168 attending Scouts, Council Member McOmber provided an explanation of the Codes.

169
170 Motion by Council Member Porter to adopt Ordinance 16-13 (7-5-16) adopting Utah State Construction and
171 Fire Code Amendments, was seconded by Council Member Baertsch
172 Roll Call Vote: Council Members Baertsch, Poduska, McOmber, Willden, and Porter – Aye
173 Motion carried unanimously.

174
175 **APPROVAL OF MINUTES:**

176
177 **June 21, 2016.**

178
179 Motion by Council Member McOmber to approve the minutes for June 21, 2016 with corrections as submitted
180 and posted, was seconded by Council Member Baertsch
181 Roll Call Vote: Council Members Porter, Baertsch, Poduska, McOmber, and Willden – Aye
182 Motion carried unanimously.

183
184 Recess: City Council recessed at 7:20 p.m. and reconvened at 7:35 p.m.

185
186 **CLOSED SESSION:**

187
188 Motion by Council Member McOmber to enter into closed session for the purchase, exchange, or lease of
189 property, pending or reasonably imminent litigation, the character, professional competence, or physical or
190 mental health of an individual, was seconded by Council Member Willden
191 Motion carried unanimously.

192
193 The meeting moved to closed session at 7:35 pm.

194
195 Present: Mayor Miller, Council Members Porter, Willden, McOmber, Baertsch, City Manager Mark
196 Christensen, City Attorney Kevin Thurman, City Recorder Cindy LoPiccolo.

197
198 Closed Session Adjourned at 7:45 p.m.

199
200 **ADJOURNMENT:**

201
202 There being no further business, Mayor Miller adjourned the Policy Meeting at 7:46 p.m.

203
204
205
206 Attest: _____
207 Jim Miller, Mayor

208
209 _____
210 Cindy LoPiccolo, City Recorder

211 Approved: