



## **Planning Commission Meeting**

**Thursday, March 24, 2016**

Meeting held at the Saratoga Springs City Offices  
1307 North Commerce Drive, Suite 200, Saratoga Springs

### **AGENDA**

One or more members of the Commission may participate electronically in this meeting.

*PLEASE NOTE: The order of the following items may be subject to change with the order of the planning commission chair.*

#### **Commencing at 6:30 P.M.**

1. Pledge of Allegiance.
2. Roll Call.
3. Public Input – Time has been set aside for any person to express ideas, concerns, comments, questions or issues that are not listed on the agenda. Comments are limited to three minutes.
4. Public Hearing: Site Plan for Denny's, located at 1516 N. Redwood Rd., Food Service Concepts, Inc. Applicant. – Presented by Kara Knighton.
5. Public Hearing: General Code Amendments, City Initiated. Presented by Kara Knighton.
6. Public Hearing: Site Plan and Conditional Use Permit for Murphy Express located at 42 E. Commerce Dr. (North of AutoZone), Greenberg Farrow, applicant. – Presented by Sarah Carroll.
7. Work Session: Rezone and Concept Plan for ABC Great Beginnings, located at NW corner of Redwood Road and Aspen Hills Blvd., ABC Great Beginnings Holdings, LLC. (Johnny Anderson) – Applicant. – Presented by Kara Knighton.
8. Approval of Minutes:
  - a. February 25, 2016.
9. Reports of Action
10. Commission Comments
11. Director's Report:
  - a. Council Actions
  - b. Applications and Approval
  - c. Upcoming Agendas
  - d. Other
12. Motion to enter into closed session for the purchase, exchange, or lease of property, pending or reasonably imminent litigation, the character, professional competence, the deployment of security personnel, devices or systems or the physical or mental health of an individual.
13. Adjourn.

In compliance with the Americans with Disabilities Act, individuals needing special accommodations (including auxiliary communicative aids and services) during this meeting should notify the City Recorder at 766-9793 at least one day prior to the meeting.



## Planning Commission Staff Report

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### Site Plan

#### Denny's

Thursday, March 24, 2016

#### Public hearing

Report Date:	Thursday, March 17, 2016
Applicant:	Food Service Concepts, Inc
Owner:	Phillips Edison Company
Location:	1516 N Redwood Road
Major Street Access:	Redwood Road
Parcel Number(s) & Size:	66:387:0004; 0.787 acres and 66:387:0008; 0.157 acres (total .944 acres)
Parcel Zoning:	Regional Commercial (RC)
Adjacent Zoning:	Regional Commercial (RC)
Current Use of Parcel:	Vacant, undeveloped
Adjacent Uses:	Commercial
Previous Meetings:	N/A
Previous Approvals:	7-19-2012 (CC approved Saratoga Towne Center Master Plan)
Type of Action:	Administrative
Land Use Authority:	City Council
Future Routing:	City Council
Author:	Kara Knighton, Planner I

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#### A. Executive Summary:

The applicant, on behalf of the owner, is requesting approval of a Site Plan for a 4,503 sq. ft. sit-down restaurant on a 0.944 acre parcel at 1516 North Redwood Road. A Concept Plan for the proposed use was reviewed by Staff on February 4, 2016.

#### Recommendation:

**Staff recommends that the Planning Commission conduct a public hearing on the Denny's site plan, take public comment, review and discuss the proposal, and vote to forward a positive recommendation to the City Council as outlined in Section "H".** Alternatives include continuation of the item, or forwarding a negative recommendation.

**B. Background:**

On July 19, 2012 the City Council approved a master concept plan (Saratoga Springs Towne Center) which included the subject site (see attached). The proposed site plan for Denny's substantially conforms to the overall master plan.

A property line adjustment was recorded with Utah County on July 27, 2015. When the lot line adjustment was done the Code did not require a Plat Amendment with the lot line adjustment (the Code has since been changed). This resulted in Denny's site plan consisting of two parcels rather than one larger parcel. A plat amendment is required by the County to correct this issue, and a condition of approval has been added.

**Architectural Design Standards**

The DRC (Development Review Committee) reviewed the site plan and elevations on February 1, 2016. Their comments are below:

1. Coordinate parking to align with AutoZone's current pavement.
2. Ensure the sidewalk along the east side of Kneaders continues.
3. It is recommended that a connection from the site to the sidewalk along Redwood Road be provided.
4. A materials board is required (a photo of the brick is not sufficient for review).
5. Clarify what the yellow hexagons along the southern elevation are; be they signs or metal cut outs.
  - It is suggested that the yellow hexagons be reduced in number or removed completely.
6. The old "diner" look is appealing.
7. The signage on the north elevation appears to be too big under the sign code.
8. Accessible parking needs to be moved as close to the main entrance as possible.

A resubmittal was received on February 25, 2016 addressing the DRC's comments. The applicant clarified that the yellow hexagons are metal cutouts and that the accessible parking stalls were moved one stall closer to the main entrance. The accessible parking stalls are located as close as possible to the main entrance due to the location of the outdoor sitting area.

**C. Specific Request:**

The Site Plan proposal is for a 4,503 sq. ft. sit down restaurant in the RC zone on a 0.994 acre parcel. The proposal consists of 56 parking stalls including 3 accessible stalls, 9,815 sq. ft. of landscaping, and a small outdoor seating area where people may wait to be seated.

"Restaurant, Sit Down" is a permitted use in the Regional Commercial Zone.

**D. Process:**

Section 19.13 summarizes the processes for site plans, and 19.14 outlines the requirements for site plans. The development review process for site plan approval involves a formal review of the request by the Planning Commission in a public hearing, with a recommendation forwarded to the City Council. The City Council is then the deciding body and formally approves or denies the site plan request in a public meeting.

**E. Community Review:**

This item has been noticed as a public hearing in the *Daily Herald*; and mailed notice sent to all property owners within 300 feet. As of the date of this report, no public input has been received.

**F. General Plan:**

The site is designated as Regional Commercial on the Future Land Use Map. The goal and intent of this designation is below:

**g. Regional Commercial.** Regional Commercial areas shall be characterized by a variety of retail users including big box retail configured in developments that provide excellent vehicular access to and from major transportation facilities. Developments located in Regional Commercial areas shall be designed so as to create efficient, functional conglomerations of commercial activities.

As Regional Commercial areas are to be located in close proximity to substantial roadways, careful consideration shall be given to the arrangement of structures and other improvements along those corridors. Consideration shall also be given to the existing or potential availability of mass transit facilities as sites in this designation are designed.

Among the many tenants anticipated in these areas are large destination oriented businesses. With that in mind, individual sites shall be designed so as to make automobile access a priority. Even so, specific areas for pedestrian activity shall be designated and appropriately improved. Plazas and other features shall be provided as gathering places which should be incorporated so as to make each site an inviting place to visit.

Developments in these areas shall contain landscaping and recreational features as per the City's Parks, Recreation, Trails, and Open Space Element of the General Plan. In this land use designation, it is estimated that a typical acre of land may contain 5 equivalent residential units (ERU's).

**Staff conclusion:** Consistent. The proposed sit down restaurant uses are considered destination oriented and as such the automobile is a priority; the main connection is with a private road leading to Commerce Drive, and Redwood Road. Sidewalks and pathways are provided for pedestrian access.

**G. Code Criteria:** For full analysis please see the attached Planning Review Checklist, Exhibit "8".

- 19.04, Land Use Zones: **Can comply.**
  - Development Standards: Can comply.
    - Architectural Review: The Planning Commission shall review the Site Plan and building elevations.
- 19.05, Supplemental Regulations: **Complies.**
- 19.06, Landscaping and Fencing: **Can comply.**
  - Clear Sight Triangle: A Code amendment is required. The site plan cannot comply with the clear sight triangle ordinance and the double row parking island ordinance in 19.09. Two trees are required per double row parking island. Two

trees are provided and while the trunks of the trees are not within the clear sight triangle the canopies are, thus the need for the code amendment.

- 19.09, Off Street Parking: **Can comply.**
  - Landscaping: Can comply.
    - Clear sight: Code amendment required; see analysis above.
- 19.11, Lighting: **Complies.**
- 19.13, Process: **Complies.**
- 19.14, Site Plans: **Complies.**
- 19.18, Signs: **Can comply.**
  - Building Signs in the RC zone: Can comply.
    - Size of Primary sign: Can comply. The primary sign shall not exceed 8% of the façade or 30 sq. ft., whichever is larger. The allowed squared footage of the primary sign is as follows:  $19'10" \times 87'10" = 1742 \text{ sq. ft.} \times .08 = 139.3 \text{ sq. ft.}$  The proposed sign area is 138.75 sq. ft. The square footage of the primary sign complies.
      - The gap between the Denny's sign and the America's Diner sign may only be 12". The 12" gap needs to be measured from the bottom of the Denny's hexagon to the top of the America's Diner letters. The distance is more than 12". The text will need to be adjusted to comply.
    - Size of secondary sign: Complies. Shall not be mounted on the same façade as the primary sign and shall not exceed 50% of the primary sign. Two secondary signs are proposed on different elevations from the primary sign; both are 57.2 sq. ft. The primary sign is 138.75 sq. ft.; 50% of the primary sign is 69.38 sq. ft.

#### H. Recommendation and Alternatives:

Staff recommends that the Planning Commission conduct a public hearing, take public input, discuss the application, and choose from the following options.

#### Recommended Motion – Positive Recommendation

"I move to forward a **positive recommendation** to the City Council for the Denny's Site Plan, located on parcel 66:387:0004 and 66:387:0008 and as shown in the exhibits, with the Findings and Conditions in the Staff Report."

#### Findings

1. The application is consistent with the General Plan, as articulated in Section "F" of the staff report, which section is incorporated by reference herein.
2. With modifications as conditions of approval, the application complies with the criteria in section 19.04, of the Development Code, as articulated in Section "G" of the staff report, which section is incorporated by reference herein.

3. The application complies with the criteria in section 19.05 of the Development Code, as articulated in Section "G" of the staff report, which section is incorporated by reference herein.
4. With modifications as conditions of approval, the application complies with the criteria in section 19.06 of the Development Code, as articulated in Section "G" of the staff report, which section is incorporated by reference herein.
5. With modifications as conditions of approval, the application complies with the criteria in section 19.09 of the Development Code, as articulated in Section "G" of the staff report, which section is incorporated by reference herein.
6. The application complies with the criteria in section 19.11 of the Development Code, as articulated in Section "G" of the staff report, which section is incorporated by reference herein.
7. The application complies with the criteria in 19.13 of the Development Code, as articulated in Section "G" of the staff report, which section is incorporated by reference herein.
8. The application complies with the criteria in section 19.14 of the Development Code, as articulated in Section "G" of the staff report, which section is incorporated by reference herein.
9. With modifications as conditions of approval, the application complies with the criteria in section 19.18 of the Development Code, as articulated in Section "G" of the staff report, which section is incorporated by reference herein.

**Conditions:**

1. All conditions of the City Engineer shall be met, including but not limited to those in the Staff report in Exhibit 1.
2. All requirements of the Fire Chief shall be met.
3. The Denny's site plan is a positive recommendation as shown in the attachment to the Staff report in Exhibit 3.
4. The trees in the single and double row planter islands shall comply with the clear sight triangle ordinance, as amended prior to building permit issuance.
5. The primary sign shall comply with Section 19.18.
6. A plat amendment correcting the lot line adjustment issues shall be recorded prior to building permit issuance.
7. All other Code requirements shall be met.
8. Any other conditions or changes as articulated by the Planning Commission:

\_\_\_\_\_.

**Alternative 1 - Continuance**

The Planning Commission may also choose to continue the item. "I move to **continue** the Denny's site plan to the April 14, 2016 meeting with direction to the applicant and Staff on information and / or changes needed to render a decision, as follows:

1. \_\_\_\_\_
2. \_\_\_\_\_
3. \_\_\_\_\_

### **Alternative 2 – Negative Recommendation**

The Planning Commission may also choose to forward a negative recommendation to the City Council for the Denny’s Site Plan. “I move to forward a negative recommendation to the City Council for the Denny’s Site Plan with the Findings below:

1. The Denny’s Site Plan is not consistent with the General Plan, as articulated by the Planning Commission:  
\_\_\_\_\_, and/or,
2. The Denny’s Site Plan is not consistent with Section [19.04, 19.05, 19.06, 19.09, 19.11, 19.13, 19.14, 19.18] of the Code, as articulated by the Planning Commission:  
\_\_\_\_\_, and/or

#### **I. Attachments:**

- |                              |              |
|------------------------------|--------------|
| 1. City Engineer’s Report    | (Page 7-8)   |
| 2. Location & Zone Map       | (Page 9)     |
| 3. Site Plan                 | (Page 10)    |
| 4. Landscape Plan            | (Page 11)    |
| 5. Elevations                | (Page 12-13) |
| 6. Sign packet               | (Page 14-18) |
| 7. Lighting Plans            | (Page 19-23) |
| 8. Planning Review Checklist | (Page 24-32) |

## City Council Staff Report

**Author:** Janelle Wright, EIT  
**Subject:** Denny's  
**Date:** March 17, 2016  
**Type of Item:** Site Plan Approval



### Description:

**A. Topic:** The Applicant has submitted a Site Plan application. Staff has reviewed the submittal and provides the following recommendations.

### B. Background:

*Applicant:* Food Service Concepts, Inc  
*Request:* Site Plan Approval  
*Location:* 1516 N. Redwood Road  
*Acreage:* 0.944 Acres

**C. Recommendation:** Staff recommends the approval of Site Plan subject to the following conditions:

### D. Conditions:

- A. Meet all engineering conditions and requirements in the construction of the project. Review and inspection fees must be paid and a bond posted as per the City's Development Code prior to any construction being performed on the project. Impact and water fees are due when pulling the building permit.
- B. All review comments and redlines provided by the City Engineer are to be complied with and implemented with the approved construction drawings.
- C. Developer must secure water rights as required by the City Engineer, City Attorney, and development code.
- D. Submit easements for all public utilities not located in the public right-of-way.
- E. Developer is required to ensure that there are no adverse effects to adjacent properties due to the grading practices employed during construction of these plats.
- F. Project must meet the City Ordinance for Storm Water release (0.2 cfs/acre for all developed property) and all UPDES and NPDES project construction requirements.

- G. Final plans shall include an Erosion Control Plan that complies with all City, UPDES and NPDES storm water pollution prevention requirements.
- H. All work to conform to the City of Saratoga Springs Standard Technical Specifications, most recent edition.
- I. Developer may be required by the Saratoga Springs Fire Chief to perform fire flow tests prior to final plat approval and prior to the commencement of the warranty period.
- J. Submittal of a Mylar and electronic version of the as-built drawings in AutoCAD format to the City Engineer is required prior acceptance of site improvements and the commencement of the warranty period.
- K. The survey for this project shall be recorded.
- L. The oil/water separator for this project shall be designed to remove all of the oils and floatables from the storm water and 80% of the total suspended solids (TSS) 110 microns or larger. A snout system will not be able to meet these standards.
- M. The underground detention system shall be vented so that water can enter the detention system without creating bubbles which would diminish the volume of water that the underground system can hold.



DATE: 02/10/2016

JOB NO:

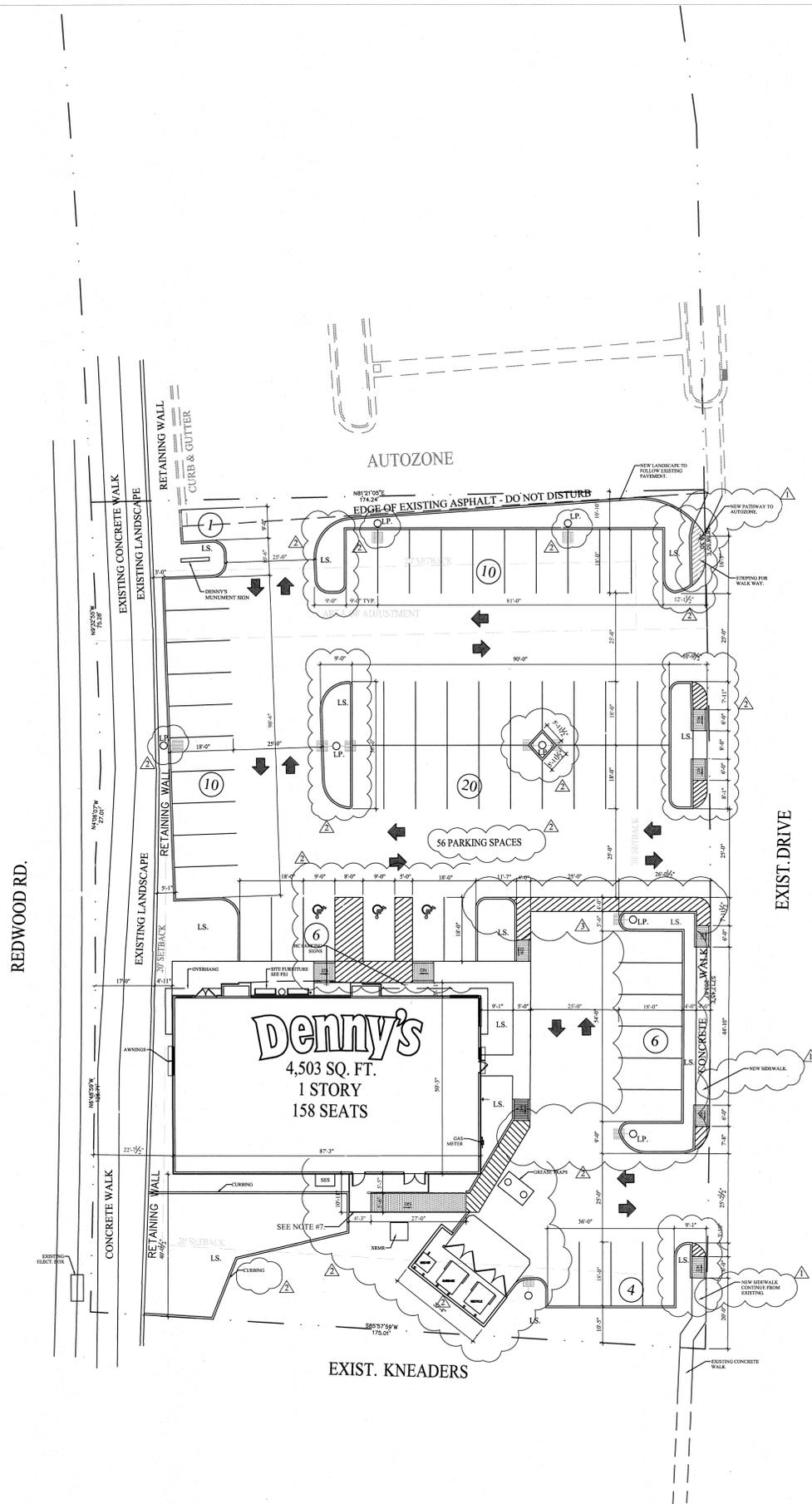
DRAWN: STAFF

CHECKED: CM



711 N. FIELDER RD.  
ARLINGTON, TX 76012  
PH: (817) 635-5696  
FAX: (817) 635-5699

**Denny's**  
1516 N. REDWOOD RD.  
SARATOGA SPRINGS, UT. 84045

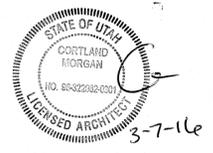


SARATOGA SPRINGS DENNY'S SITE DATA TABLE

- PROJECT AREA: 41, 126 SQ. FT.
- NUMBER OF LOTS: 2 (INCLUDES PARKING OVER 0.16 ACRE LOT NORTH OF DENNY'S)
- NUMBER OF BUILDINGS: 1
- BUILDING SQUARE FOOTAGE: 4,503 SQ. FT.
- SURFACE PARKING SPACES: 56
- GARAGE PARKING SPACES: 0
- % BUILDABLE LAND: 100%
- ACREAGE OF SENSITIVE LANDS: 0 AC.
- SENSITIVE LANDS: 0%
- OPEN SPACE (LANDSCAPING) AREA: 9,815 SQ. FT.
- OPEN SPACE (LANDSCAPING): 28%
- AREA TO BE DEDICATED RIGHT-OF-WAY (PUBLIC & PRIVATE): 0 AC.
- NET DENSITY BY ACRE: 0.13 FLOOR AREA RATIO (FAR)
- NUMBER OF OFF-STREET PARKING SPACES: 56
- IMPERVIOUS AREA ON SITE: 31,311 SQ. FT.



- NOTES:
- SEE SHEET SP-2 FOR SITE PLAN & DUMPSTER ENCLOSURE DETAILS.
  - MINIMUM 5% CONCRETE PAD WITH MAX 2% SLOPE AT ALL DOORS.
  - SEE CIVIL SHEETS FOR INFO ON PARKING LOT & PAVING.
  - EXTERIOR LIGHTING SHALL COMPLY WITH THE CITY OF SARATOGA SPRINGS LIGHTING ORDINANCE.
  - WHEEL STOPS AT ALL PARKING STALLS ADJACENT TO SIDEWALKS AND BUILDINGS.
  - ALL PARKING SPACES TO BE 9'x18'.
  - HANDRAILS AROUND ELEVATED SIDEWALK AND ON BOTH SIDES OF RAMP. HANDRAILS TO BE 1-1/4" - 2" DIA. GALVANIZED STEEL, TOP OF RAIL TO BE 36" ABV. SURFACE, AND EXTEND 12" MIN. BEYOND THE TOP AND BOT. OF RAMP. PAINT TO MATCH BLDG.

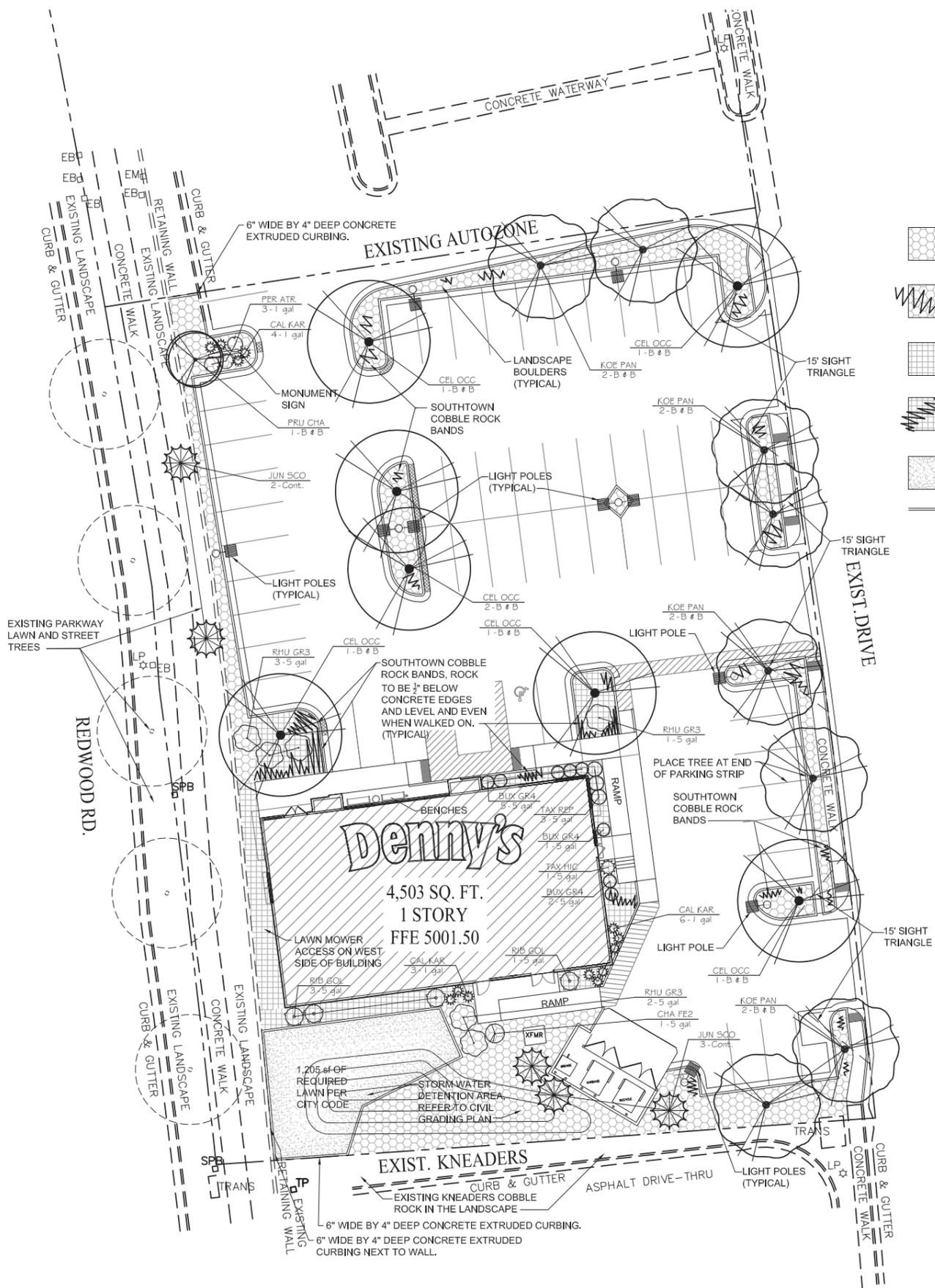


REVISIONS

△	02/10/2016
△	02/24/2016
△	03/04/16

**SITE PLAN**  
SCALE: 1"=20'-0"

SITE PLAN  
SHEET NUMBER  
**SP-1**



**LANDSCAPE AREA**

LAWN AREA ALONG THE STREET INSIDE THE PROPERTY LINE	2,174 sf	23%
LAWN AREA NEW TO ACHIEVE 35% SITE LAWN PER CITY CODE	1,205 sf	13%
COBBLE ROCK LANDSCAPE AREA	4,292 sf	46%
COBBLE ROCK LANDSCAPE AREA AT ENDS OF PARKING	1,702 sf	18%
<b>TOTAL LANDSCAPE AREA</b>	<b>9,373 sf</b>	<b>100%</b>

13 TREES PROVIDED AT END OF PARKING ROWS (7,671 sf ISLANDS)  
 9 TREES REQUIRED (LESS PARKING LOT AREA) ON 7,926 sf IS  
 4 DECIDUOUS AND 5 EVERGREEN TREES REQ. AND PROVIDED  
 21 TREES REQUIRED AND 21 TREES PROVIDED

**LEGEND**

- 1.5" CRUSHED NEPHI SANDSTONE "SOUTHWON" GRAVEL MULCH FOR ALL LANDSCAPE AREAS NOTED ON THE PLAN AT A 4" DEPTH OVER DEWITT PRO 5 WEED BARRIER FABRIC. TOP FINISH GRADE OF GRAVEL TO BE .5" INCHES BELOW TOP OF CONCRETE WALKS & CURBS OUT 12" FROM EDGE.
- NEPHI SANDSTONE "SOUTHWON" 7 INCH COBBLE ROCK BANDS ON TOP OF THE SOUTHWON GRAVEL MULCH WITH UNEVEN EDGES. TOP FINISH GRADE OF GRAVEL TO BE .5" INCHES BELOW TOP OF CONCRETE WALKS & CURBS OUT 12" FROM EDGE.
- 3/8" CRUSHED NEPHI SANDSTONE "SOMA" GRAVEL MULCH FOR ALL LANDSCAPE AREAS NOTED ON THE PLAN AT A 3" DEPTH OVER DEWITT PRO 5 WEED BARRIER FABRIC. TOP FINISH GRADE OF GRAVEL TO BE .5" INCHES BELOW TOP OF CONCRETE WALKS & CURBS OUT 12" FROM EDGE.
- 1.5" CRUSHED NEPHI SANDSTONE "SOMA" GRAVEL MULCH BANDS FOR ALL LANDSCAPE AREAS NOTED ON THE PLAN WITH UNEVEN EDGES OVER DEWITT PRO 5 WEED BARRIER FABRIC. TOP FINISH GRADE OF GRAVEL TO BE .5" INCHES BELOW TOP OF CONCRETE WALKS & CURBS OUT 12" FROM EDGE.
- KENTUCKY BLUE GRASS SOD OVER A 4" LAYER OF TOPSOIL OVER A 6" LAYER OF SCARIFIED SUBSOIL.
- 6" WIDE BY 4" DEEP CONCRETE EXTRUDED CURBING. CURBING TO BE INSTALLED LEVEL AND UNIFORM.

NOTE: COBBLE OR CRUSHED ROCK BANDS TO MATCH THE ROCK MULCH FOR THE AREAS THAT THE BANDS ARE INSTALLED IN.

**LANDSCAPE NOTES:**

1. CONTRACTOR TO CONTACT STEVEN G. ERICKSON, LANDSCAPE ARCHITECT AT 801-918-0366 FOR A PRE-CONSTRUCTION MEETING BEFORE BEGINNING WORK AND TO SET UP A LANDSCAPE PLANTING AND IRRIGATION INSPECTION SCHEDULE. LANDSCAPE PLANTING SHALL CONFORM TO ALL APPLICABLE STATE, COUNTY AND CITY LANDSCAPE REQUIREMENTS.
2. THE LANDSCAPE PLANTING AND IRRIGATION PLANS ARE TO BE USED IN CONJUNCTION WITH THE CIVIL, MECHANICAL, ELECTRICAL, AND ARCHITECTURAL SITE PLANS TO FORM COMPLETE INFORMATION FOR THIS SITE.
3. LANDSCAPE CONTRACTOR SHALL EXAMINE THE SITE CONDITIONS UNDER WHICH THE WORK IS PERFORMED AND NOTIFY THE GENERAL CONTRACTOR IN WRITING OF UNSATISFACTORY CONDITIONS. DO NOT PROCEED UNTIL CONDITIONS HAVE BEEN CORRECTED.
4. BEFORE STARTING WORK, CONTACT APPROPRIATE UTILITY COMPANIES FOR UTILITY LOCATIONS AND COORDINATE WITH GENERAL CONTRACTOR IN REGARD TO LOCATIONS OF EXISTING AND PROPOSED UTILITIES, IRRIGATION SLEEVES, ELECTRICAL CONDUITS, SIGNAGE, ETC. CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE TO UNDERGROUND IMPROVEMENTS AND UTILITIES CAUSED BY EXECUTION OF CONTRACT AND FOR REPAIRS.
5. ALL PLANT MATERIALS SHALL MEET OR EXCEED SIZE LISTED ON PLANT SCHEDULE. OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO REFUSE PLANT MATERIAL WHICH DOES NOT MEET THE QUALITY REQUIREMENTS FOR THE PROJECT SPECIFICATIONS. ALL DECIDUOUS TREES SHALL HAVE FULL, WELL-SHAPED HEADS; ALL EVERGREENS SHALL BE UNSHEARED AND FULL TO THE GROUND.
6. ALL TREE AND SHRUB BED LOCATIONS ARE TO BE STAKED OUT ON SITE FOR APPROVAL BY OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION. PLANT TREES AND SHRUBS PER DETAILS AND SPECIFICATIONS.
7. ALL GRAVEL, COBBLE AND BARK MULCH BEDS TO BE RAKED SMOOTH AND THEN COVERED WITH DEWITT PRO 5 WEED BARRIER FABRIC BEFORE PLACING GRAVEL OR COBBLE ROCK. FINISH GRADE OF GRAVEL OR COBBLE ROCK TO BE 1/2" BELOW ADJOINING CONCRETE WALKS OR CURBS OUT 12".
8. EXISTING ON SITE TOPSOIL MAY BE STRIPPED AND REUSED IN THE LANDSCAPE PROVIDED THE TOPSOIL IS QUALITY TOPSOIL. PROVIDE IMPORTED TOPSOIL AS NEEDED TO COMPLETE THE LANDSCAPE INSTALLATION. PROVIDE TOPSOIL DEPTH OF 6" IN LAWN AREAS AND 12" IN THE SHRUB BEDS. DIG SUBGRADE DOWN AS REQUIRED BEFORE PLACING TOPSOIL WHERE REQUIRED AND SCARIFY SUBGRADE 6" DEEP.
9. PLANTING MIX BACKFILL FOR TREES AND SHRUBS SHALL BE 50% TOPSOIL AND 50% SOIL EXCAVATED FROM PLANT PIT MIXED FOR THE ENTIRE AREA OF THE PLANTING PIT. PROVIDE IMPORTED TOPSOIL FOR BACK FILL MIX.
10. MAINTENANCE OF THE LANDSCAPE WILL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR UNTIL FINAL ACCEPTANCE. AT TIME OF LANDSCAPE ACCEPTANCE, LANDSCAPE INSTALLATION SHALL BE COMPLETE.
11. ALL MATERIAL AND WORKMANSHIP SHALL BE GUARANTEED FOR ONE YEAR FROM DATE OF FINAL ACCEPTANCE. CONTRACTOR TO PROVIDE A WRITTEN ONE-YEAR GUARANTEE ON LANDSCAPE PLANTING AND IRRIGATION SYSTEM INSTALLATION FOR LABOR AND MATERIALS.

**PLANT SCHEDULE**

TREES	CODE	QTY	COMMON NAME / BOTANICAL NAME	CONT	CAL	SIZE
	CEL OCC	7	Common Hackberry / Celtis occidentalis	B # B	2'	Cal
	JUN SCO	5	Rocky Mountain Juniper / Juniperus scopulorum	Cont.		6-7'
	KOE PAN	8	Golden Rain Tree / Koelreutera paniculata	B # B	2'	Cal
	PRU CHA	1	Chanticleer Pear / Pyrus calleryana 'Chanticleer'	B # B	2'	Cal
SHRUBS	CODE	QTY	COMMON NAME / BOTANICAL NAME	CONT		
	BLUX GR4	8	Boxwood / Buxus x 'Green Mountain'	5 gal		
	CAL KAR	13	Feather Reed Grass / Calamagrostis x acutiflora 'Karl Foerster'	1 gal		
	CHA FE2	1	Fernbush / Chamaebatiana millefolium 'Fernbush'	5 gal		
	PER ATR	3	Russian Sage / Perovskia atriplicifolia	1 gal		
	RHU GR3	6	Skunkbush Sumac / Rhus trilobata 'Gro Low'	5 gal		
	RIB GOL	4	Golden Currant / Ribes aureum	5 gal		
	TAX REP	3	Spreading English Yew / Taxus baccata 'Repandens'	5 gal		
	TAX HIC	1	Hicks Yew / Taxus x media 'Hicksii'	5 gal		

19 shrubs required and 39 shrubs provided. 23 are 5 gal. & 16 are 1 gal.

DATE: 03/07/2016  
 JOB NO:  
 DRAWN: SGE  
 CHECKED: -

711 N. FIELDER RD.  
 ARLINGTON, TX 76012  
 PH: (817) 635-5696  
 FAX: (817) 635-5699

**Denny's**  
 1500 NORTH REDWOOD ROAD  
 SARATOGA SPRINGS, UTAH

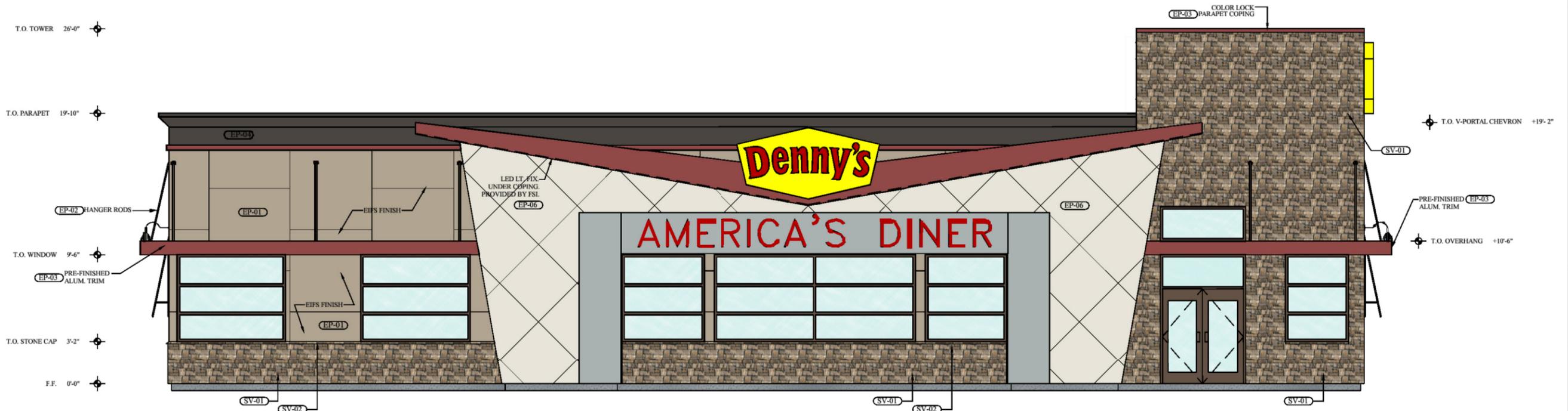
REVISIONS

LANDSCAPE PLANTING PLAN

SHEET NUMBER

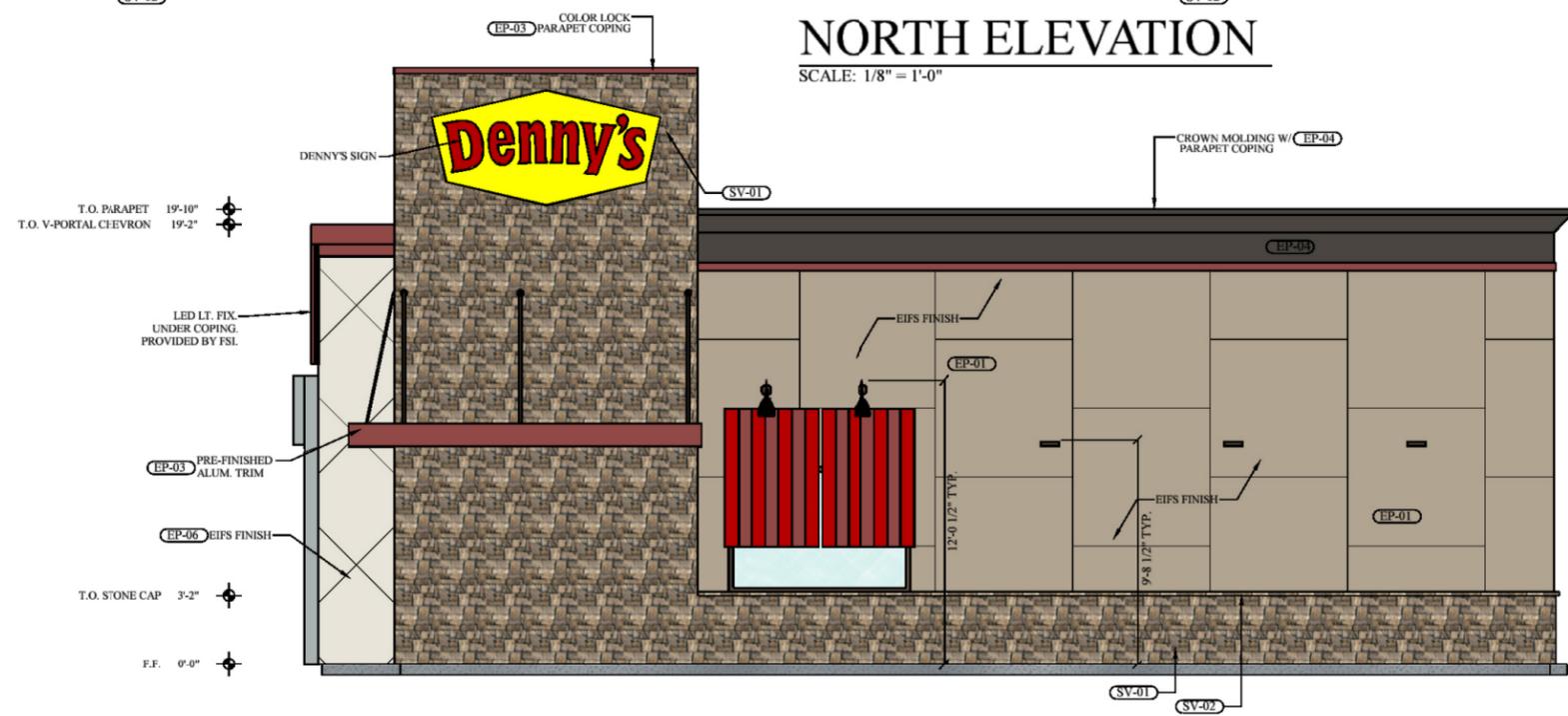
**L101**

SGE ASSOCIATES, Inc.  
 Landscape Architecture  
 2185 Wood Hollow Way  
 Bountiful, UT 84010  
 voice: 801-918-0366  
 serickson@sge-associates.com



**NORTH ELEVATION**

SCALE: 1/8" = 1'-0"



**WEST ELEVATION**

SCALE: 1/8" = 1'-0"

**GENERAL ELEVATION NOTES**

1. ALL UTILITY BOXES (ELECTRICAL PANELS, GAS METER, ETC.) ARE TO BE PAINTED TO MATCH E.I.F.S IF PERMISSIBLE BY THE LOCAL UTILITY COMPANIES.
2. DOWN SPOUTS AND GUTTERS TO BE PREFORMED & PREFINISHED, COLOR EP-02.
3. ALL EXTERIOR LIGHT FIXTURES SHALL BE PREFINISHED, REFER TO E-DWGS.
4. EXTERIOR WALL FINISH TO BE INSTALLED IN STRICT ACCORDANCE WITH MANUFACTURERS PUBLISHED INSTRUCTIONS.
5. ALL EXTERIOR WOOD TRIM TO BE PAINTED "AZEK" TRIM BOARDS OR EQUAL.
6. ALL SIGNS TO BE VERIFIED WITH SIGN PACKAGE FOR LOCATION, SIZE, AND ELECTRICAL REQUIREMENTS.
7. ALL EIFS FINISH TO HAVE SAND TEXTURE.

**ABBREVIATIONS:**  
 CONTROL JOINT = C.J.  
 TEMPERED GLASS = T.G.

DRYVIT REPRESENTATIVE CONTACT INFO:  
 ED WEST  
 CIRCLE SUPPLY  
 1-800-227-0050  
 1-704-631-8526  
 EDW@CIRCLENC.COM

**LEGEND**

SEE EXTERIOR COLOR SCHEDULE

STOREFRONT DOORS & WINDOWS SHALL BE BRONZED ANODIZED ALUMINUM WITH CLEAR GLASS

EXTERIOR FINISH LEGEND			
CODE	PRODUCT	VENDORS & SPECIFICATIONS	COLOR
EP-01	EXTERIOR PAINT	SHERWIN WILLIAMS	SW 7038 TONY TAUPE
EP-02	EXTERIOR PAINT	SHERWIN WILLIAMS	SW 7027 WELL BRED BROWN
EP-03	EXTERIOR PAINT	SHERWIN WILLIAMS	COLOR MATCH MARTHA STEWART #MSL026 BARN
EP-04	EXTERIOR PAINT	SHERWIN WILLIAMS	SW 7675 SEALSKIN
EP-05	EXTERIOR PAINT	SHERWIN WILLIAMS	SW B59S11 SILVER-BRITE
EP-06	EXTERIOR PAINT	SHERWIN WILLIAMS	SW 7009 PEARLY WHITE
SV-01	STONE VENEER	ELDORADO STONE OR EQUAL	MONTECITO CLIFFSTONE OR EQUAL
SV-02	CHISELED WALL & SILL CAP	ELDORADO STONE OR EQUAL	ELDORADO STONE EARTH OR EQUAL

**GENERAL NOTES:**  
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**REVISIONS**

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DATE	02/24/16
DRAWN	O.B.
CHECKED BY	K.K.

(623) 905-8077  
 FAX: (623) 492-2840

**FOOD SERVICE CONCEPTS, INC.**

1191-A WEST MELINDA  
 PHOENIX, ARIZONA 85027

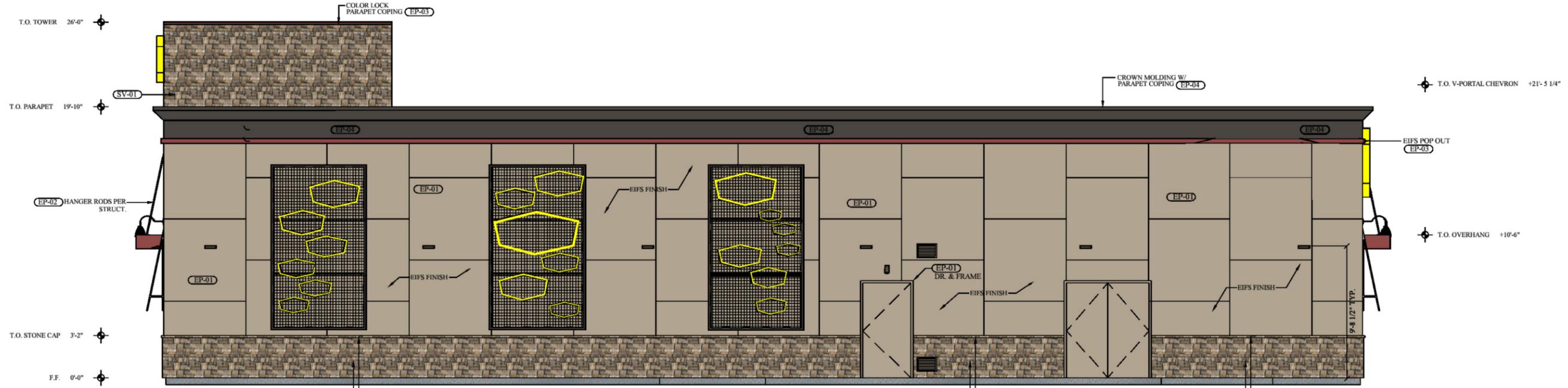
**Denny's**

1516 N. REDWOOD RD.  
 SARATOGA SPRINGS, UT.

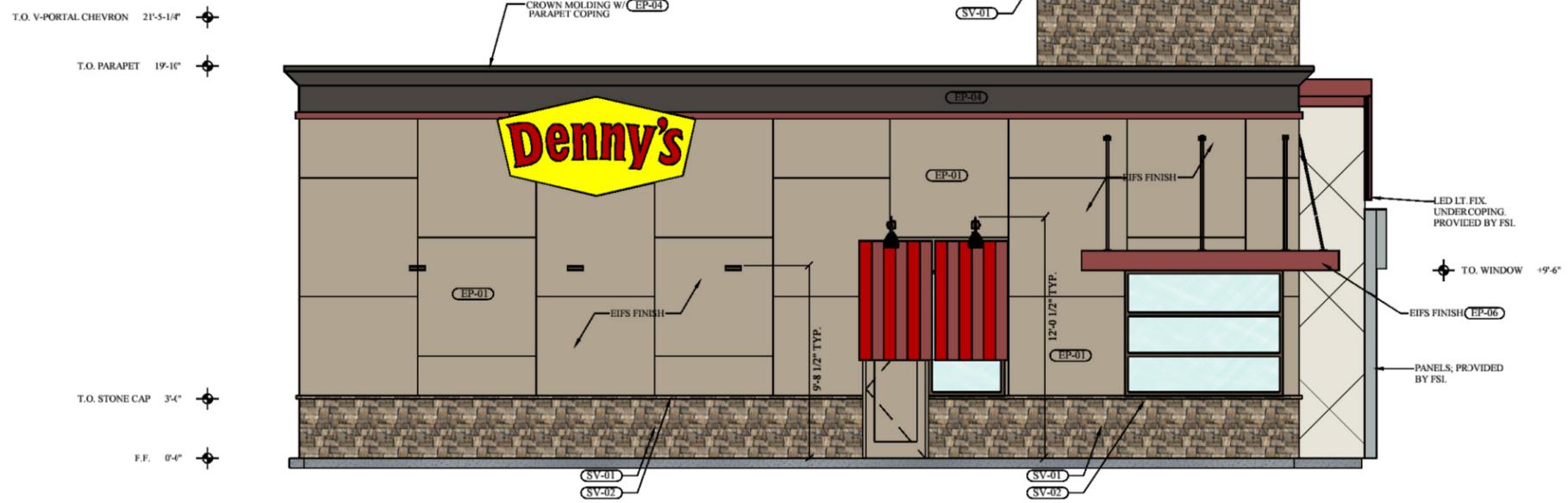
**EXTERIOR ELEVATION**

**A-2A**

1/8"=1'-0"



**SOUTH ELEVATION**  
SCALE: 1/8" = 1'-0"



**EAST ELEVATION**  
SCALE: 1/8" = 1'-0"

**GENERAL ELEVATION NOTES**

1. ALL UTILITY BOXES (ELECTRICAL PANELS, GAS METER, ETC.) ARE TO BE PAINTED TO MATCH E.F.S IF PERMISSIBLE BY THE LOCAL UTILITY COMPANIES.
2. DOWN SPOUTS AND GUTTERS TO BE PREFORMED & PREFINISHED, COLOR EP-02.
3. ALL EXTERIOR LIGHT FIXTURES SHALL BE PREFINISHED, REFER TO E-DWGS.
4. EXTERIOR WALL FINISH TO BE INSTALLED IN STRICT ACCORDANCE WITH MANUFACTURERS PUBLISHED INSTRUCTIONS.
5. ALL EXTERIOR WOOD TRIM TO BE PAINTED "AZEK" TRIM BOARDS OR EQUAL.
6. ALL SIGNS TO BE VERIFIED WITH SIGN PACKAGE FOR LOCATION, SIZE, AND ELECTRICAL REQUIREMENTS.
7. ALL EIFS FINISH TO HAVE SAND TEXTURE.

**ABBREVIATIONS:**  
CONTROL JOINT - C.J.  
TEMPERED GLASS - T.G.

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**LEGEND**

SEE EXTERIOR COLOR SCHEDULE

STOREFRONT DOORS & WINDOWS SHALL BE BRONZED ANODIZED ALUMINUM WITH CLEAR GLASS

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**GENERAL NOTES:**  
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**REVISIONS**

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9	
10	
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12	

DATE	02/24/16
DRAWN	O.B.
CHECKED BY	K.K.

(632) 952-8077  
FAX: (632) 952-8846

**FOOD SERVICE CONCEPTS INC.**

1181-A WEST MELINDA  
PHOENIX, ARIZONA 85027

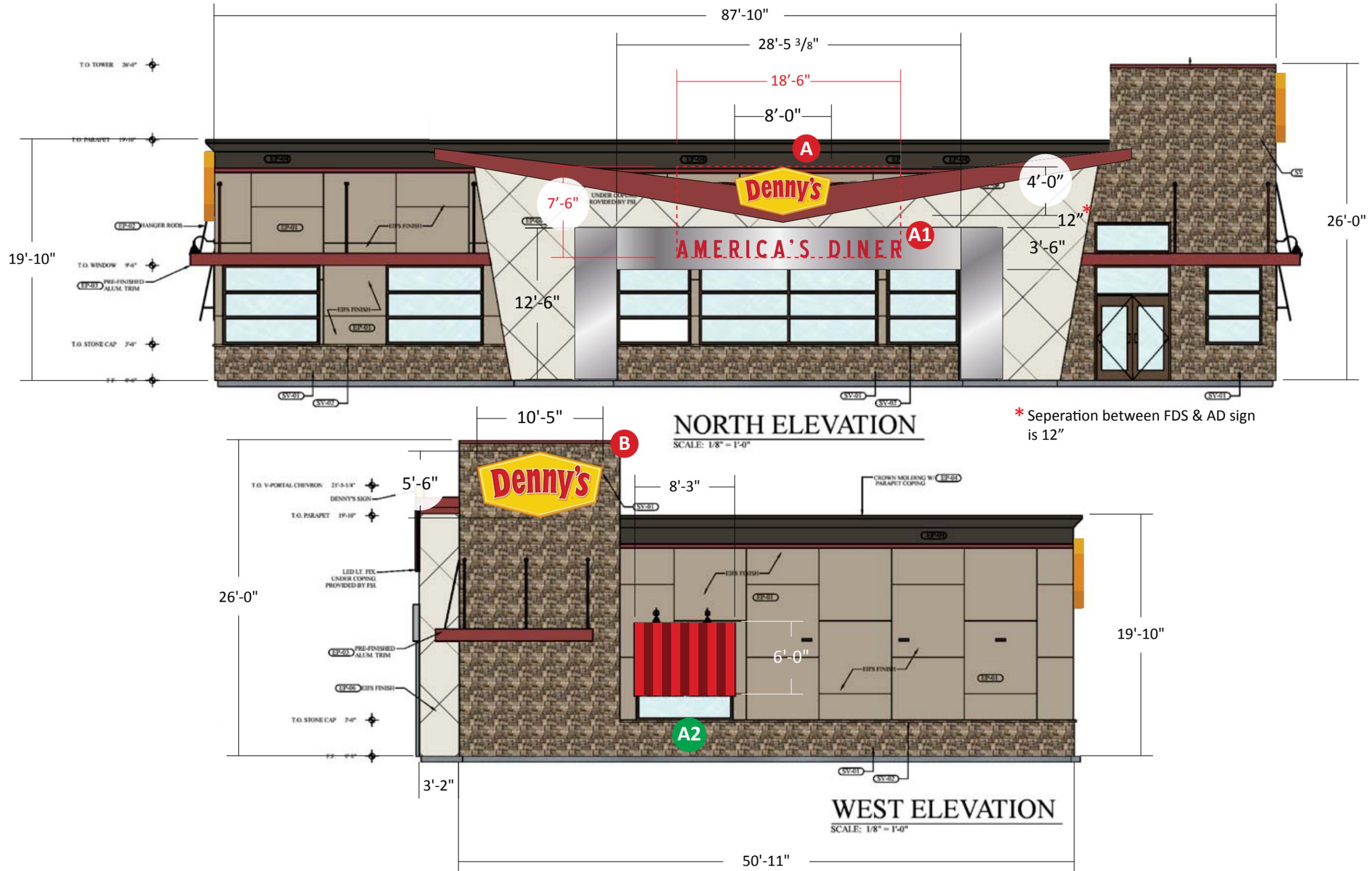
**Denny's**  
1516 N. REDWOOD RD.  
SARATOGA SPRINGS, UT.

EXTERIOR ELEVATION

**A-2B**

1/8"=1'-0"

**19'-10" x 87'-10" = 1,742 Sq. Ft.**  
 1,742 Sq. Ft. of area for front elevation  
 x 8%  
 139.3 Sq. Ft. of signage allowed per code



**PROJECT INFORMATION**

**Client**  
 DENNY'S

**City & State**  
 Saratoga Springs, UT

**Drawing #**  
 DennyS.SaratogaSprgs. 8.13.15

**Scale**  
 AS NOTED

**Designer**  
 GP

**Project Manager**  
 RH

**REVISIONS**

- 8-18-15 add note & monument-gp
- 8-19-15 Siteplan & updates - IH
- 9-4-15 new siteplan & elevations - gp
- 1-25-16 new Elevs/Site plan - IH
- 2-11-16 Add LED notes - IH
- 2-17-16 Permit needs - IH
- 2-24-16 remvd FDS from rear & other revs-GP

**CLIENT APPROVAL**

- APPROVED
- APPROVED AS NOTED
- REVISE & RESUBMIT
- NAME:
- DATE:



**FRANCHISE SIGNS INTERNATIONAL**

**Main Office**  
 1101-A W. Melinda Lane  
 Phoenix, Arizona 85027  
 PHONE: 623 792 3061  
 FAX: 623 792 3063

PAGE SIZE: 11x17

Elevation



**PROJECT INFORMATION**

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 City & State  
 Saratoga Springs, UT  
 Drawing #  
 DennyS.SaratogaSprgs. 8.13.15  
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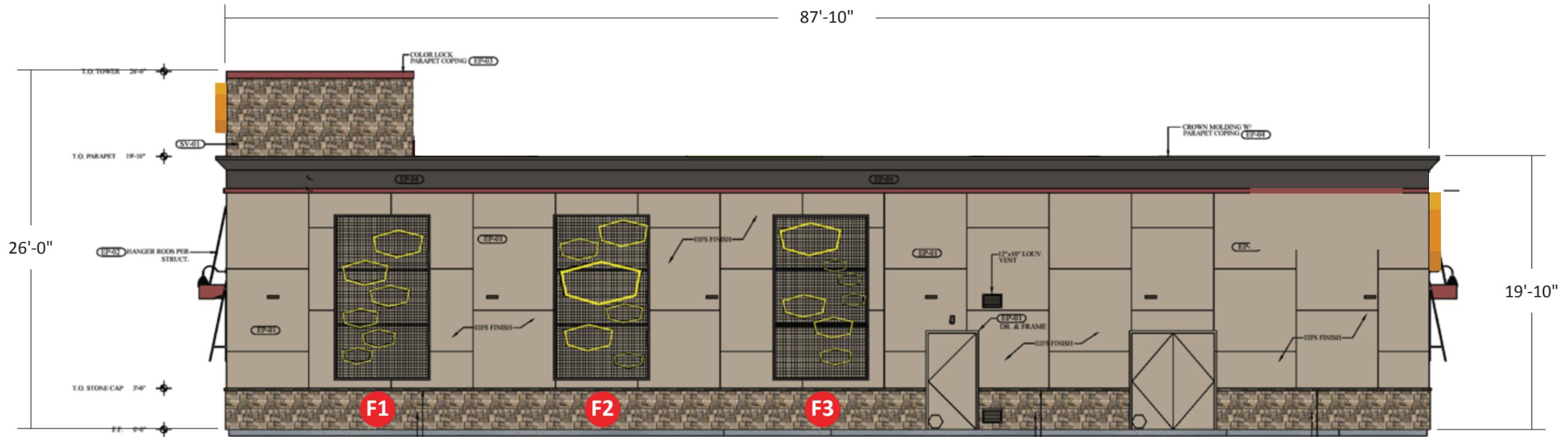


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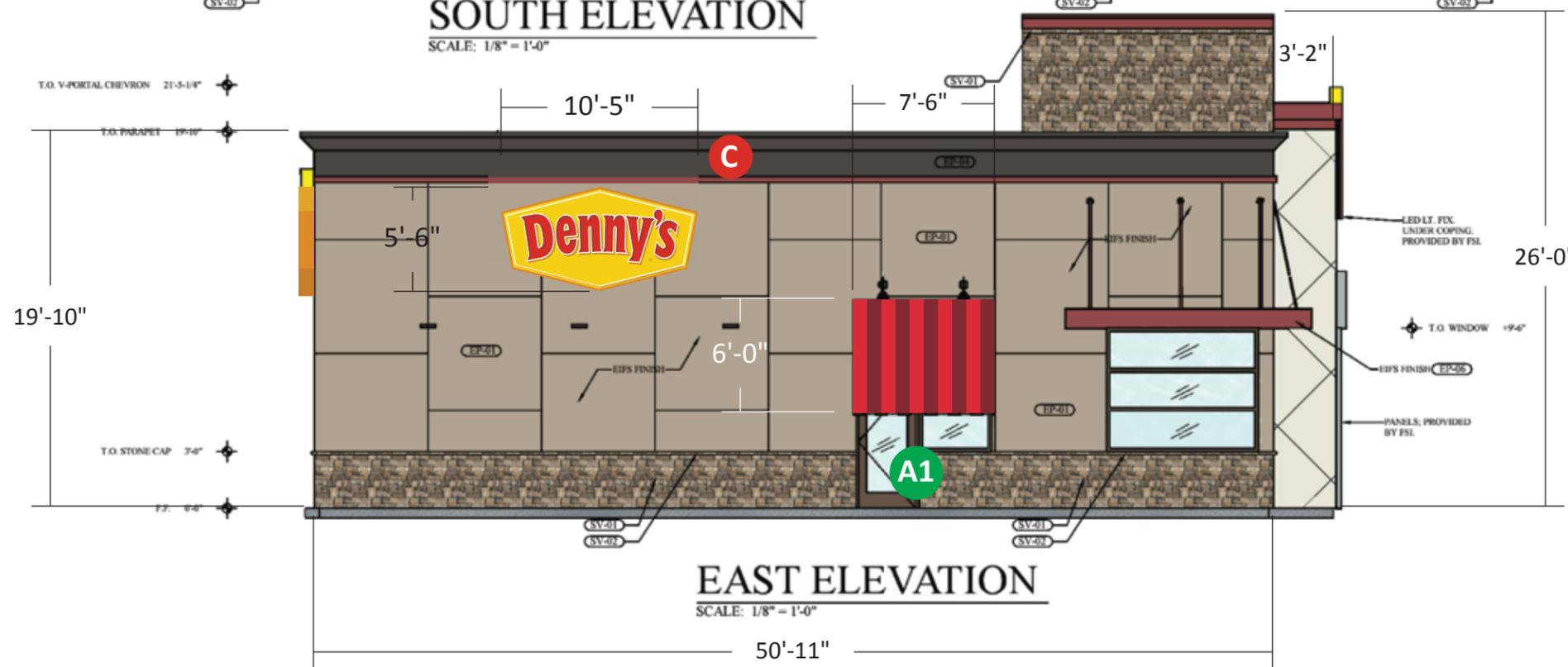
PAGE SIZE: 11x17

Elevation



**SOUTH ELEVATION**

SCALE: 1/8" = 1'-0"



**EAST ELEVATION**

SCALE: 1/8" = 1'-0"



**PROJECT INFORMATION**

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DENNY'S  
**City & State**  
Saratoga Springs, UT  
**Drawing #**  
Dennys.SaratogaSprgs. 8.13.15  
**Scale**  
AS NOTED  
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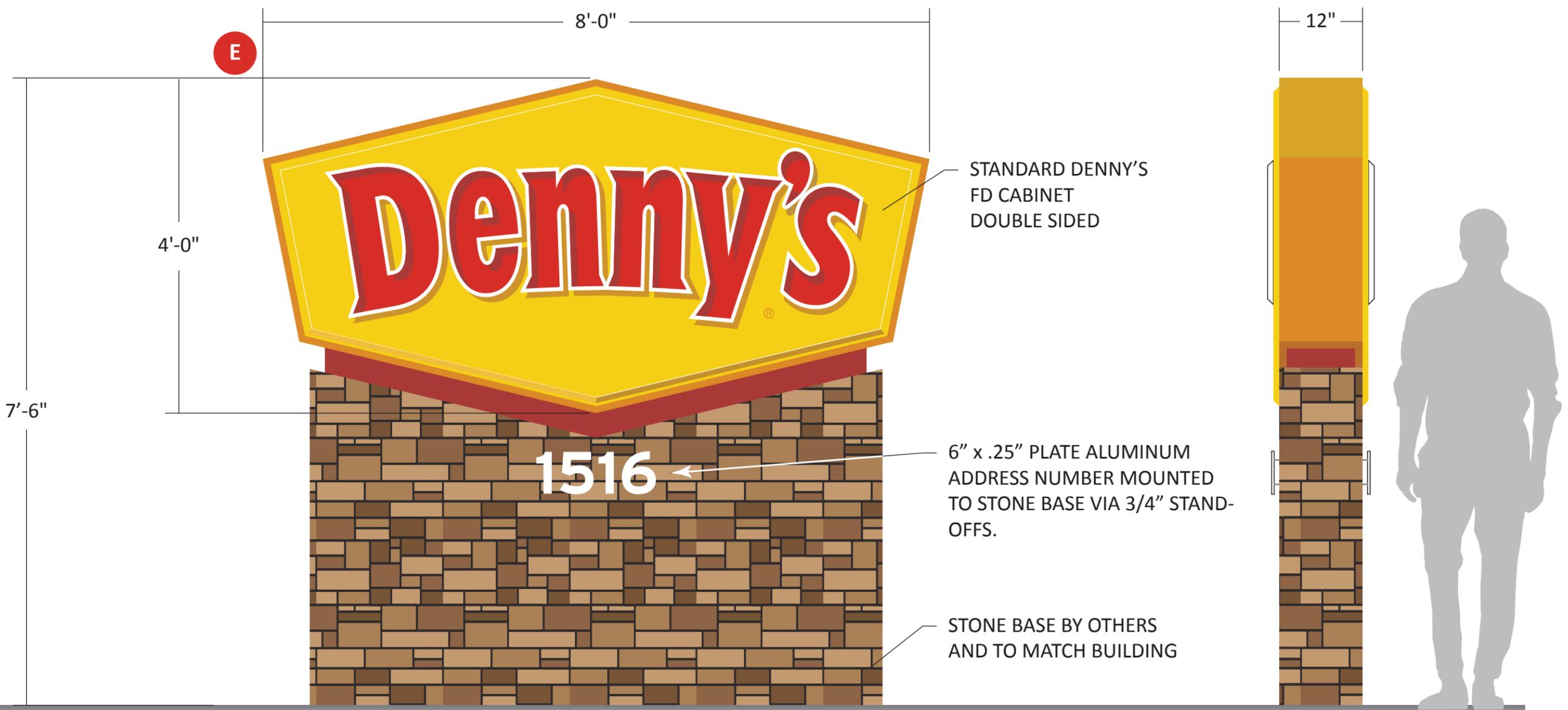
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Phoenix, Arizona 85027  
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FAX: 623 792 3063

**PAGE SIZE: 11x17**

Pylon

**5 of 7**



**STANDARD DENNY'S FRENCH DIAMOND CABINETS**  
SCALE: 3/4" = 1'-0"

**TOTAL SQFT= 32.0**

**SIDE VIEW**  
SCALE: 3/4" = 1'-0"

**MANUFACTURING SCOPE**

- Manufacture (1) D/F cabinet with pan-formed faces and embossed graphics. Translucent graphics applied to 2nd surface. Internal illumination via LEDs.
- Stone base with aluminum reveal  
Total Sq Ft = 57.2  
Actual Sq Ft = 41.9

**INSTALLATION SCOPE**

- Cabinet attached to steel post which is anchored below grade by a concrete foundation.

COLOR LEGEND						
LOGO TYPE	CAST SHADOW	DROP SHADOW	BG YELLOW	BORDER ORANGE	LETTER OUTLINE	CABINET
PMS#: 485 Lacryl#: L8-9145 Sign Tech#: 3232 3M Vinyl#: VT8987	PMS#: 1807C Lacryl#: L8-9708 Sign Tech#: 1-378 3M Vinyl#: VT8986	PMS#: 131C Lacryl#: L8-9709 Sign Tech#: CC3-121 3M Vinyl#: VT8965	PMS#: 109C Lacryl#: L8-9705 Sign Tech#: 2037 3M Vinyl#: VT8847	PMS#: 138C Lacryl#: L8-9706 Sign Tech#: CX3-126 3M Vinyl#: VT8846	PMS#: White 3M Vinyl#: Trans.White	PMS#: 138C SW#: 6895 "Laughing Orange"

Accent lighting LED in screens by American Lighting  
 ULRLED-UWW-150 Warm White, 2100K, 1W/ft, 30Lm/ft  
 1/2" diameter 120 Volt Flexbrite LED = 15 lumens per sq. ft.  
 7' x 12' outline = 38 lin. ft, 19 sq. ft; Total of 285 lumens per screen

LED lighting TBD

4'-0" Minimum electrical whip from each screen

7'-0"

3"

2"

12'-0"

Frame and grid painted  
 SW 7675 Seal Skin.

2" Angle iron frame  
 with medium gauge wire.  
 Grid welded to frame

Attached to wall  
 via 3" standoffs  
 painted to match  
 fascia color.

End View

**F1** (1) S/F LED Illuminated Screen  
 Scale: 1/2" = 1'-0"

**F2** (1) S/F LED Illuminated Screen  
 Scale: 1/2" = 1'-0"

**F3** (1) S/F LED Illuminated Screen  
 Scale: 1/2" = 1'-0"



**PROJECT INFORMATION**

Client  
 DENNY'S  
 City & State  
 Saratoga Springs, UT  
 Drawing #  
 DennyS.SaratogaSprgs. 8.13.15  
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 AS NOTED  
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 GP  
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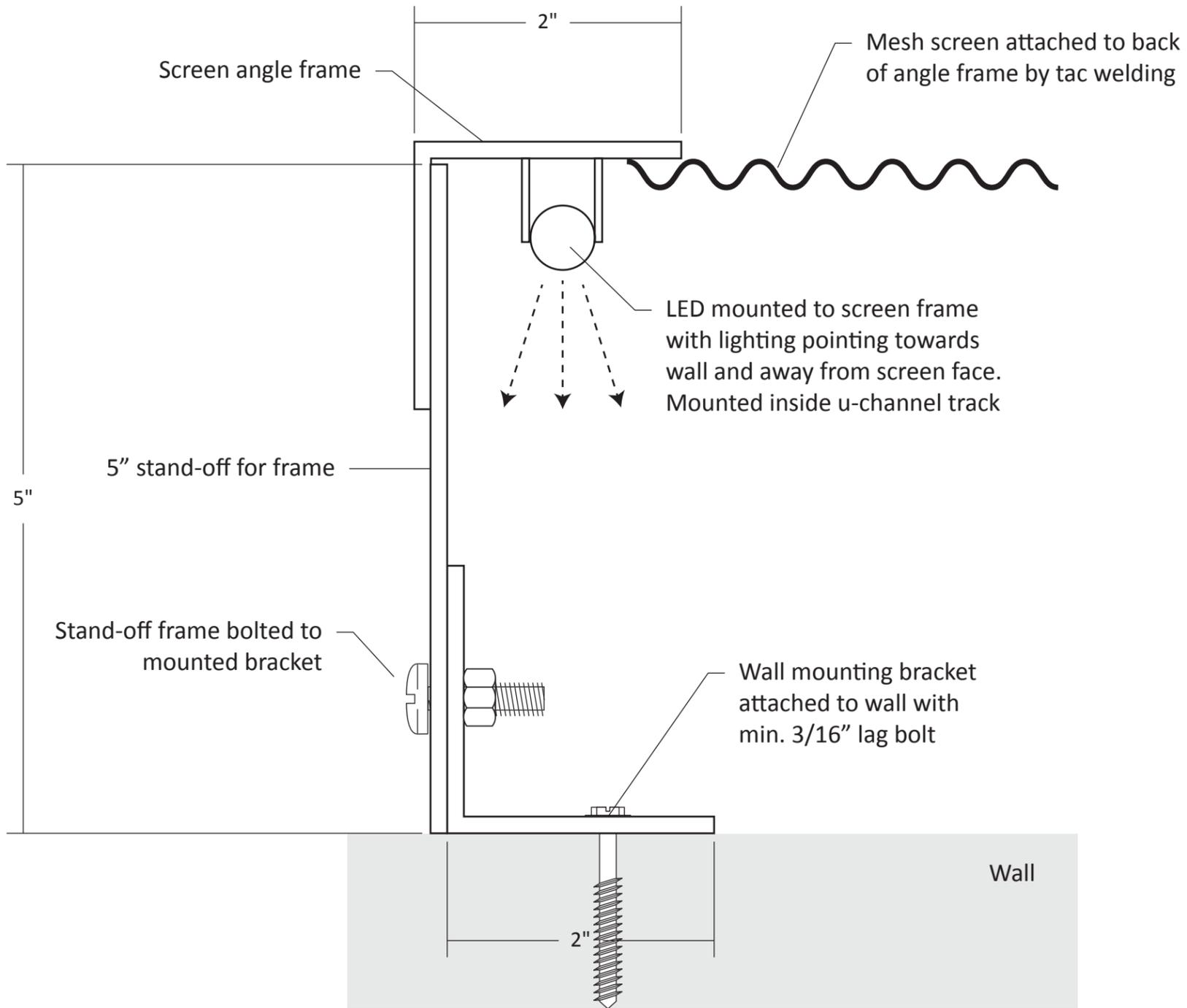


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 INTERNATIONAL**

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 1101-A W. Melinda Lane  
 Phoenix, Arizona 85027  
 PHONE: 623 792 3061  
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PAGE SIZE: 11x17

Wall Screens



LED Mounting Detail

Scale: Full Size



Sample of illumination

Scale: NTS



Sample of Daytime view

Scale: NTS



PROJECT INFORMATION

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 1101-A W. Melinda Lane  
 Phoenix, Arizona 85027  
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PAGE SIZE: 11x17

Wall Screens Detail

Description : CAL-1-TP3/S6-T2-80L-7-40K-L-\*AM-BLK-HSS  
 Project Name: **DENNY'S SARATOGVA SPRINGS**  
 Notes:

TYPE:  
**S1-SH**

Exhibit 7



# CALIFORNIA LED SERIES

## ARCHITECTURAL AREA LIGHTING

The beautiful and simple California Series LED Pedestrian Luminaires depict not only the California lifestyle, but the architecture of California as well. This ornamental piece is a delightful sight to see and a great model to illuminate any urban, rural, retail, or park, or campus setting.

The different caps and shades depict different California styles and a touch of California's historic Spanish mission era. The California Series is the perfect selection to combine both design and efficiency in light performance. Designed, tooled, manufactured and assembled in the USA.



### STAR POWER REFLECTOR

The Star Power reflector is an excellent system which provides great value and performance.



### LED WATTAGE CHART

	16L	32L	48L	64L	80L
350 milliamps	18w	-	-	-	-
530 milliamps	-	52w	80w	103w	135w
700 milliamps	-	72w	109w	141w	174w

**CAL-1 TP3/S6 T2 80L 7 40K L \* AM BLK HSS**

Cat #	Top/Shade	Light Dist.	# of LEDs	Milliamps	Kelvin	Type	Volts	Mount	Color	Shields	Options
California Small 18" Diameter (CAL-S) *16L Max (Shade 6 Only)	Top 1 (TP1)	Type 2 (T2)	16 (16L)	350 (35)	4000K (40K)	LED (L)	120-277 (UNV)	Post Top (PT)	Bronze (BRZ)	House Side Shield (HSS)	Bird Spikes (BS)
	Top 2 (TP2)	Type 3 (T3)	32 (32L)	530 (53)	5500K (55K)		347-480 (HV)	Arm Mount (AM)	White (WHT)		Marine Grade Finish (MGF)
California 1 25" Diameter (CAL-1)	Top 3 (TP3)	Type 4 (T4)	48 (48L)	700 (7)			SPECIFY VOLTAGE		Silver (SVR)		Photocell (PC)
		Type 5 (T5)	64 (64L)						80 (80L)	Green (GN)	
California 2 30" Diameter (CAL-2) (Shade 6 Only)	Shade 1 (S1)								Black (BLK)		Watt Stopper w/ Motion Sensor (FSP-211)
	Shade 2 (S2)										Surge Protector (10K)
	Shade 3 (S3)										Acrylic Rings (AR)
	Shade 4 (S4)										<b>Rotated Optics</b>
	Shade 5 (S5)										Rotate Optic Right (ROR)
	Shade 6 (S6)										Rotate Optic Left (ROL)

Description : CAL-1-TP3/S6-T2-80L-7-40K-L-\*AM-BLK-HSS  
 Project Name: DENNY'S SARATOGVA SPRINGS

TYPE:  
**S1-SH**

Notes:

## PRODUCT SPECIFICATIONS

**Housing:** Heavy Duty Marine Grade Cast and Spun Aluminum with 6 shade options and 3 cap options.

**LED:** Luxeon Series by Lumileds

**Optics:** Star Power Optical System; Type 2, 3, 4 + 5 full cutoff

**Watts:** 18, 52-174 watts.

**Electrical:** Conforms to UL 1598 Standards

**Driver:** By Advance

**Kelvin:** 4000, or 5500

**Finish:** 5 Millimeters Powder Coat

**Hardware:** Stainless Steel

**Warranty:** Standard Warranty is 5 years for Driver and LEDs

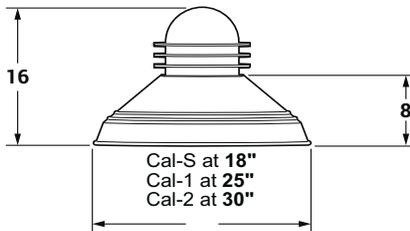
## PRODUCT DIMENSIONS



## CALIFORNIA - LUMEN DATA CHART

PART NUMBER	T3 LUMENS	T3 EFFICACY	T5 LUMENS	T5 EFFICACY	Watts
CAL-1-XX-32L-53-40K	4628	89	4940	95	52
CAL-1-XX-32L-53-55K	4888	94	5200	100	52
CAL-1-XX-32L-7-40K	5976	83	6480	90	72
CAL-1-XX-32L-7-55K	6336	88	6768	94	72
CAL-1-XX-48L-53-40K	7120	89	7600	95	80
CAL-1-XX-48L-53-55K	7520	94	8000	100	80
CAL-1-XX-48L-7-40K	9047	83	9810	90	109
CAL-1-XX-48L-7-55K	9592	88	10246	94	109
CAL-1-XX-64L-53-40K	9270	90	10094	98	103
CAL-1-XX-64L-53-55K	9785	95	10609	103	103
CAL-1-XX-64L-7-40K	11844	84	13113	93	141
CAL-1-XX-64L-7-55K	12549	89	13677	97	141
CAL-2-XX-80L-53-40K	12150	90	13230	98	135
CAL-2-XX-80L-53-55K	12825	95	13905	103	135
CAL-2-XX-80L-7-40K	14616	84	16182	93	174
CAL-2-XX-80L-7-55K	15486	89	16878	97	174

EPA	California
Single	2.7



Description :

**DBP-400-4R-BLK**

TYPE:

21

Project Name:

**DENNY'S SARATOGVA SPRINGS****S1-SH**

Notes:



## DECORATIVE POLE BASES 300 + 400

### POLES + BASES

## DPB-300

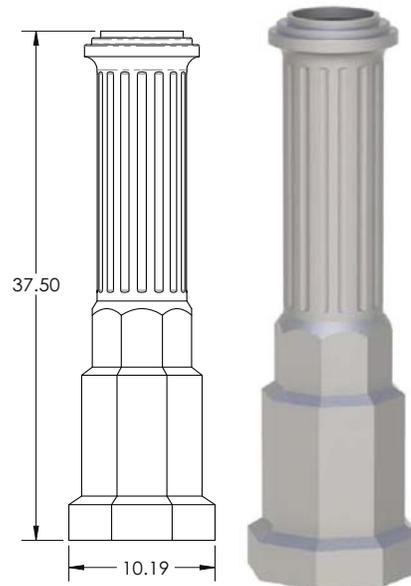
**DPB Category:** Roadway, Residential or Commercial projects.

**Base Material:** Two-piece decorative cast aluminum base. Marine grade copper free aluminum. Base plate 9" OD. Measures 37.5" tall x 10.19" wide.

**Finish:** 5 Millimeters rich textured powder coat finish. Custom color match available upon request, including Patina Verde and Weathered Brown.

**Compatible Poles:** Round Straight Steel (**RSSP**) or Round Straight Aluminum (**RSAP**) poles in 4", or 5" OD in 7 or 11 gauge. Consult factory for fluted options.

Project Name:		Type:
Cat #	Pole Dim.	Color
Decorative Pole Base 300 ( <b>DPB-300</b> )	4" Round ( <b>4R</b> )	Bronze ( <b>BRZ</b> ) White ( <b>WHT</b> )
	5" Round ( <b>5R</b> )	Silver ( <b>SVR</b> ) Green ( <b>GRN</b> ) Black ( <b>BLK</b> ) Custom ( <b>CC</b> )



## DPB-400

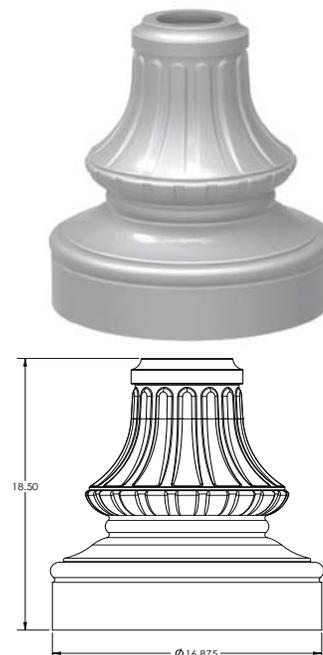
**DPB Category:** Pathway, or Residential projects.

**Base Material:** Two-piece decorative cast aluminum base. Marine grade copper free aluminum. Base plate 9" SQ. Measures 18.5" tall x 16.875" OD wide.

**Finish:** 5 Millimeters rich textured powder coat finish. Custom color match, including Patina Verde and Weathered Brown.

**Compatible Poles:** Round Straight Steel (**RSSP**) or Round Straight Aluminum (**RSAP**) poles in 4", or 5" OD in 7 or 11 gauge. Consult factory for fluted options.

<b>DBP-400</b>	<b>4R</b>	<b>BLK</b>
Cat #	Pole Dim.	Color
Decorative Pole Base 400 ( <b>DPB-400</b> )	4" Round ( <b>4R</b> )	Bronze ( <b>BRZ</b> ) White ( <b>WHT</b> ) Silver ( <b>SVR</b> ) Green ( <b>GRN</b> )
	5" Round ( <b>5R</b> )	Black ( <b>BLK</b> ) Custom ( <b>CC</b> )



**NLS LIGHTING, LLC**

19500 S. Rancho Way Ste. 105, Rancho Dominguez CA 90220

**PH: 310-341-2037**

www.nslighting.com



# CALIFORNIA LED



NLS LIGHTING  
 PHOTOMETRIC STUDY#  
 DENNYS SARATOGA SPGS  
 WILD WEST LIGHTING  
 DATE: 03/04/16

### Calculation Summary

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
CalcPts_2	Illuminance	Fc	3.72	9.1	0.0	N.A.	N.A.
PROPERTY SPILL	Illuminance	Fc	0.29	1.0	0.0	N.A.	N.A.
PARKING STALLS	Illuminance	Fc	5.07	9.1	1.2	4.23	7.58

### Luminaire Schedule

Symbol	Qty	Label	Arrangement	LLF	Description	Lum. Watts
	6	S1-SH	SINGLE	0.950	NLS-CALIFORNIA CAL-1-T2-80L-700-40K-SINGLE @ 20' MTG. HT. HSS	177
	2	S2	BACK-BACK	0.950	NLS-CALIFORNIA CAL-1-T5-80L-700-40K-TWIN @ 20' MTG. HT	177



#	Date	Comments

Revisions

Drawn By: PETER BALDWIN  
 Checked By: BILL HEIN  
 Date: 3/4/2016  
 Scale:  

**NLS LIGHTING**  
 19500 RANCHO WAY  
 RANCHO DOMINGUEZ, CA 90220



SARATOGA SPRINGS DENNY'S SITE DATA TABLE

- A. PROJECT AREA: 41,126 SQ. FT.
- B. NUMBER OF LOTS: 2 (INCLUDES PARKING OVER 0.16 ACRE LOT NORTH OF DENNY'S)  
NUMBER OF BUILDINGS: 1
- C. BUILDING SQUARE FOOTAGE: 4,503 SQ. FT.
- D. SURFACE PARKING SPACES: 56  
GARAGE PARKING SPACES: 0
- E. %%% BUILDABLE LAND: 100%%%
- F. ACREAGE OF SENSITIVE LANDS: 0 AC.  
SENSITIVE LANDS: 0%%%
- G. OPEN SPACE (LANDSCAPING) AREA: 9,815 SQ. FT.  
OPEN SPACE (LANDSCAPING): 28%%%
- H. AREA TO BE DEDICATED RIGHT-OF-WAY (PUBLIC & PRIVATE): 0 AC.
- I. NET DENSITY BY ACRE: 0.13 FLOOR AREA RATIO (FAR)
- J. NUMBER OF OFF-STREET PARKING SPACES: 56
- K. IMPERVIOUS AREA ON SITE: 31,311 SQ. FT.



- NOTES:
1. SEE SHEET SP-2 FOR SITE PLAN & DUMPSTER ENCLOSURE DETAILS.
  2. MINIMUM 5'x5' CONCRETE PAD WITH MAX 2%% SLOPE AT ALL DOORS.
  3. SEE CIVIL SHEETS FOR INFO ON PARKING LOT & PAVING.
  4. EXTERIOR LIGHTING SHALL COMPLY WITH THE CITY OF SARATOGA SPRINGS
  5. WHEEL STOPS AT ALL PARKING STALLS ADJACENT TO SIDEWALKS AND BUILDING
  6. ALL PARKING SPACES TO BE 9'x18'.
  7. HANDRAILS AROUND ELEVATED SIDEWALK AND ON BOTH SIDES OF RAMP. 1-2" DIA. GALVANIZED STEEL, TOP OF RAIL TO BE 36" ABV. SURFACE, AND EXT. TOP AND BOT. OF RAMP. PAINT TO MATCH BLDG.



#	Date	Comments

Revisions

Drawn By: PETER BALDWIN  
 Checked By: BILL HEIN  
 Date: 3/4/2016  
 Scale:

**NLS LIGHTING**  
 19500 RANCHO WAY  
 RANCHO DOMINGUEZ, CA 90220

## APPLICATION REVIEW CHECKLIST

### Application Information

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<b>Date Received:</b>	1/26/2016, 2/1/2016, 2/25/2016, and 3/8/2016
<b>Review date(s):</b>	2/5/2016
<b>Project Name:</b>	Denny's
<b>Project Request / Type:</b>	Site Plan
<b>Body:</b>	City Council
<b>Meeting Type:</b>	Public meeting
<b>Applicant:</b>	Food Service Concepts, Inc. (Othoniel Bejarano)
<b>Owner (if different):</b>	Phillips Edison Company
<b>Location:</b>	1516 N Redwood Road
<b>Major Street Access:</b>	Redwood Road
<b>Parcel Number(s) and size:</b>	66:387:0004; 0.787 acres and 66:387:0008; 0.157 acres (0.944 acres total)
<b>General Plan Designation:</b>	Regional Commercial (RC)
<b>Zone:</b>	Regional Commercial (RC)
<b>Adjacent Zoning:</b>	RC
<b>Current Use:</b>	Vacant
<b>Adjacent Uses:</b>	Commercial
<b>Previous Meetings:</b>	N/A
<b>Type of Action:</b>	Administrative
<b>Land Use Authority:</b>	City Council
<b>Future Routing:</b>	City Council
<b>Planner:</b>	Kara Knighton, Planner I

### Section 19.13 – Application Submittal

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- Application Complete: yes
- Rezone Required: no
- General Plan Amendment required: no
- Additional Related Application(s) required: none

### Section 19.13.04 – Process

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- DRC: 2-2-2016
- Neighborhood Meeting: N/A
- PC: 3/24/2016
- CC: 4/19/2016

### General Review

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## Fire Department

- A hydrant shall be within 150' of lot.
- Access to building shall support a 40' fire apparatus movement.
- A driving exhibit for drive isles shall be provided.
- The business shall be fire sprinkled according to NFPA 13D standards. It shall also have a full alarm system that will be monitored 24/7 by a third party.
- Knox box shall be located near the front entrance and recessed in the building. It shall be Knox item #3275 and the FDC shall have item #3041, Knox Lock. Knox Authorized code for Saratoga Springs Fire and Rescue is PS-06-0053-01-05.
- All sprinkler and alarm plans will be third party reviewed by PCI in Centerville, Utah; ATTN: Bob Goodloe.

## Architectural Design Standards – 19.14.04

- The DRC reviewed the Denny's concept plan, site plan and elevations on February 1, 2016.
- Coordinate parking with AutoZone's current pavement.
- Ensure the sidewalk along the east side of Kneaders continues.
- It is recommended that a connection from the site to the sidewalk along Redwood Road be provided.
- A materials board is required (a photo of the brick is not sufficient for review).
- Clarify what the yellow hexagons along the southern elevation are, be they signs or metal cut outs.
  - It is suggested that the yellow hexagons be reduced in number or removed completely.
- The old "diner" look is appealing.
- The signage on the north elevation appears to be too big under the sign code.
- Accessible parking needs to be moved as close to the main entrance as possible.

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## Code Review

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- 19.04, Land Use Zones: **Can comply.**
  - Zone: Regional Commercial (RC)
  - Use: **Permitted.** Restaurant, sit down.
  - Minimum lot size: **Complies.** Minimum is 20,000 sq. ft. and the site is 41,126 sq. ft.
  - Setbacks and Yard Requirements: **Complies.**
    - Front: Complies. 20' minimum. 140' provided.
    - Sides: Complies. 20' minimum. To the east of the building 70' is provided and to the west of the building 21' is provided.
    - Rear: Complies. 20' minimum. 40' provided.
    - Exceptions: Complies. The applicant is not requesting an exception.
    - General requirements: Complies. No building shall be closer than five feet from any private road, driveway, or parking space. The southeast end of the building abuts the paved surface of the parking lot, but the area is striped for no parking.
  - Structure Height: **Complies.** 50' max. The highest point of the building is 26'.
  - Maximum Lot Coverage: **Complies.** The site is 41,126 sq. ft. and the building is 4,503 sq. ft. which is 11% coverage.

- Minimum Building Size: **Complies**. Minimum 1,000 sq. ft. required. The proposed building is 4,503 sq. ft.
  - Development Standards: **Can comply**.
    - Architectural Review: **Can comply**. The Planning Commission shall review the Site Plan and building elevations.
    - Landscaping: **Complies**.
      - Required front yard areas/ yard areas facing a public street: **Complies**. 20' of landscaped area required. The only public street is Redwood Road and there is 21' provided.
      - Minimum 10' landscaping between parking areas and side or rear property lines adjacent to agricultural and residential land uses: **Complies**. The site is not adjacent to an agricultural or residential land use.
      - Landscaping prior to Certificate of Occupancy: **Will comply**. The landscaping will be inspected prior to the issuance of a Certificate of Occupancy. (Exceptions granted by the Building Official as seasonal conditions warrant.)
      - Maintenance: **Complies**. The property owner will be required to maintain the landscaping.
  - Uses within Buildings: **Complies**. No outdoor storage is proposed.
  - Trash Storage: **Complies**. A trash storage container is provided and complies with Section 19.14.04.
  - Buffering/ Screening Requirements: **Complies**.
    - Screening between commercial and agricultural or residential use. **Complies**. The site is not adjacent to an agricultural or residential zone.
    - Minimum number of both deciduous and evergreen trees: **Complies**. The landscaping complies with Section 19.06.07.
  - Landscaping Requirements: **Complies**. Minimum of 20% of the total project area. The site is 41126 sq. ft. meaning the required amount of landscaping is 8,225 sq. ft. proposes 24%.
  - Sensitive Lands: **Complies**. There are no sensitive lands.
- 19.05, Supplemental Regulations: **Complies**.
    - Flood Plain: **Complies**. The building is not within the flood plain.
    - Water & sewage: **Complies**. The water and sewage will connect to the City utilities.
    - Transportation Master Plan: **Complies**. The building is not proposed on a proposed street, road, highway, or right-of-way as shown on the City's Transportation Master Plan.
    - Property access: **Complies**. The site abuts a roadway that provides for police, fire, and emergency service access.
  - 19.06, Landscaping and Fencing: **Can comply**.
    - General Provisions: **Complies**.
      - Automatic irrigation required.
      - Sight triangles must be protected
      - All refuse areas (including dumpsters) must be screened.
      - Tree replacement required if mature trees are remove.
    - Landscaping Plan: **Complies**. Provided.
    - Completion – Assurances: Bond required for public improvements prior to recordation.

- Planting Standards & Design: **Complies.**
  - Required Trees: Complies.
    - Deciduous Trees: Complies. 2” caliper required and 2” caliper is proposed.
    - Evergreen Trees: Complies. 6’ in height required and 6’7” is proposed.
    - Tree Base Clearance: Complies. Landscape Detail C5 provides a 6’ diameter free of grass and rock.
  - Shrubs: Complies. 25% of the shrubs are required to be in 5 gallon container and the remainder is required to be in 1 gallon containers. All except two shrubs are in 5 gallon containers; the two excluded are in 1 gallon containers.
  - Turf: Complies. 70% max. 41% provided.
  - Drought Tolerant Plants: Complies. 50% of all the proposed trees and shrubs are drought tolerant.
  - Rock: Complies. Two different colors and two different sizes of rock are proposed.
  - Planting and Shrub Beds: Complies.
    - Edging and drip lines and material: Complies. Edging is provided.
  - Artificial turf: Complies. No artificial turf is proposed.
  - Selection of plants: Complies. The proposed plants have different colors, forms, and textures.
  - Evergreens: Complies. Evergreens have been incorporated into the landscape.
  - Softening of walls: Complies. Shrubs are provided against long expanses of the building.
  - Water conservation: Complies. Drip lines are proposed for shrub and trees.
  - Tree Preservation: Complies. There are no existing mature trees on the site.
  - Placement: Complies. Plants are placed against the building.
- Amount: **Complies.**
  - Deciduous Trees: Complies
    - 6 deciduous trees required
    - 16 provided
  - Evergreen Trees: Complies.
    - 3 evergreen trees required
    - 5 provided
  - Minimum Shrubs: Complies
    - 19 shrubs required
    - 39 provided
  - Turf: Complies.
    - 35% required. (2,878 sq. ft. required)
    - 41% provided. (3,379 sq. ft. proposed)
  - Planting and Shrub beds: Complies.
    - Not more than 65% allowed
    - 65% provided (overall landscaping)
- Additional Requirements: **Complies.** The park strip is already landscaped.
- Fencing & Screening: **Complies.** The retaining wall is existing.
- Clear Sight Triangle: **Can comply.** A Code amendment is required. The site plan cannot comply with the clear sight triangle ordinance and the double row parking island ordinance in 19.09. Two trees are

required per double row parking island. Two trees are provided and while the trunks of the trees are not within the clear sight triangle the canopies are thus the need for the code amendment.

- 19.09, Off Street Parking: **Can comply.**
  - General Provisions: **Complies.**
    - Materials: Complies. The parking lot is proposed as asphalt.
    - Maintenance: Complies. The parking lot will be maintained by the property owner.
    - Parking area access: Complies. No parking areas will require backing across a sidewalk to gain access to the street.
    - Lighting in parking areas: Complies. Parking lot lighting is proposed.
    - Location of parking areas: Complies. The parking lot is within 600' of the main entrance to the building.
    - Storm water runoff: See City Engineer's report.
  - Parking Requirements / Design: **Complies.** On-street parking is not counted towards meeting the required parking stalls, the parking requirement is based off of gross square footage, no tandem spaces are proposed, the parking lot calculation was rounded up to the next whole number, and no parking lot reductions are proposed.
  - Dimensions: **Complies.** For 90° parking 9'x18' stalls required with a 24' aisle width. Proposed parking spaces are 9'x18' and the proposed aisles are 25'.
  - Accessible: **Complies.** For 56 stalls, 3ADA stalls are required including 1 van accessible stall with a min. 96" wide access aisle and two accessible parking spaces with a min. 60" wide access aisle. Three ADA stalls are provided and one of which is a van accessible stall with a 96" wide access aisle and the other two stalls share a 60" access aisle. The accessible stalls are located as close as possible to the main entrance due to the outdoor seating area.
  - Landscaping: **Can comply.**
    - Parking areas adjacent to public streets: Complies. A landscaped strip of not less than ten feet between the sidewalk and the parking areas containing a berm or screen wall 3' to minimize intrusion of lighting from headlights. Trees both deciduous and evergreen shall be placed no more than 30' apart. A retaining wall is provided between the parking lot and the public street (Redwood Road). Deciduous and evergreen trees are provided.
    - Curbs: Complies. The parking lot is separated from the landscaping by a curb. All landscaped areas abutting any paved surface are curbed.
    - Clear sight: Can comply. Code amendment required; see above.
    - Components of Landscaped areas: Complies. All landscaped areas have an irrigation system.
    - Required Parking islands: Complies.
      - Double rows: Complies. One 36' by 9' landscaped island required every twenty parking stalls with a minimum of two trees per planter. A 36' x 9' landscape island is provided at either end of the double parking row. Two trees are provided per planter.
      - Single rows: Complies. One landscaped island required every ten parking stalls containing a minimum of one tree per planter. One tree is provided per planter; the islands are 9' x 18'.

- Pedestrian Walkways & Accesses: **Complies.** The parking lot is not larger than 75,000 sq. ft. as it is ~25,075 sq. ft.
- Shared Parking: **Complies.** No shared parking is proposed.
- Minimum Requirements: **Complies.** 1 stall is required for every 100 sq. ft. The building is 4,503 sq. ft. requiring 46 spaces. 58 spaces including 3 accessible stalls are provided.
- 19.11, Lighting: **Complies.**
  - General Standards: **Complies.**
    - Material: Complies. All lighting fixtures are metal.
    - Base: Complies. 16" decorative base required. The proposed base is 18.5" tall.
    - Type: Complies. All lights are full cutoff.
    - Angle: Complies. All lighting is directed downward.
    - Lamp: Complies. Bulb may not exceed 4,000 K in color temperature. The proposed bulb is 4,000 K.
    - Drawings: Complies. Provided.
    - Flags: Complies. No flags are proposed.
  - Nonresidential lighting: **Complies.**
    - Wall-mounted: complies. 16' maximum in height. All proposed wall-mounted lights are mounted below 16'.
    - Intermittent lighting: Complies. No intermittent lighting is proposed.
    - Trespass lighting: Complies. The trespass lighting does not exceed one foot-candle measured at the property line.
    - Service station canopies: Complies. No service station is proposed.
    - Freestanding lights: Complies. All proposed freestanding light fixtures are black.
    - Pole design: Complies. Must be an arm and bell shade. Arm and bell shade light poles are proposed.
    - Parking lot poles: Complies. The luminaire schedule dictates a 20' pole.
    - Lighting fixtures: Complies. All lights are full cut off.
    - Hours: Will comply. One hour after closing or by 11:00pm, whichever is earlier, businesses must turn off at least 50% of building lighting and lighting fixtures in surface parking lots; however, those lighting fixtures turned off may be set to function utilizing a motion detector system. Lights may be turned back on one half hour prior to the first employee shift.
  - Outdoor sign lighting: **Complies.**
    - Illuminated signs within ½ mile of Camp Williams: Complies. The site is more than a ½ mile away from Camp Williams.
    - On-premise signs: Will comply. On-premise signs may remain illuminated during regular business hours, but may not be illuminated later than a half hour after closing, not prior to the daily opening of the business to the public.
    - External illumination for wall signs: Complies. The proposed signs are internally illuminated.
    - Monument signs: Complies. The proposed monument sign is internally illuminated.
    - Internally illuminated signs: Complies. The proposed light source appears to not be visible.

- Digital signs: Complies. No digital signs are proposed.
  - Walkway lighting: **Complies.**
    - Lighting of all pedestrian pathways is recommended.
    - Pathways, walkway, and sidewalk lighting fixtures mounted at a height not to exceed 10'. Complies. No pathway, walkway, nor sidewalk lighting is proposed.
    - Bollard lighting: Complies. No bollard lights are proposed.
  - Street lighting: **Complies.**
    - Reduce glare and excessive direct light: Complies.
    - Black: Complies. The proposed parking lot poles are black.
  - Lighting Plan: Complies. Provided.
- Section 19.13, Process: **Complies.**
  - General Considerations: **Complies.**
    - General Plan: Complies. The proposed use is a Regional Commercial (RC) use and the General Plan already displays the area as RC.
  - Notice / Land Use Authority: The City Council is the Land Use Authority. Prior to City Council, the Planning Commission shall hold a public hearing and forward a recommendation onto the City Council.
- 19.14, Site Plans: **Complies.**
  - Commercial
  - Development Standards: **Complies.**
    - Entire site included in site plan: complies.
    - Buffering/ Screening: Complies. A commercial lot abutting a residential lot shall be effectively screened. The commercial lot does not abut residential.
    - Access: Complies. Access spacing and circulation has been reviewed by the City Engineer. Interconnection to adjacent sites is provided via the private street.
    - Utilities: See City Engineer's report.
    - Grading and Drainage: See City Engineer's report.
    - Secondary Water: See City Engineer's report.
    - Irrigation ditches: See City Engineer's report.
  - Architectural and Urban Design Requirements: **Complies.**
    - Process: Complies. The DRC reviewed the elevations and site plan prior to the Planning Commission public hearing.
    - Mechanical Equipment: Complies. All mechanical equipment is located within the building.
    - Windows: Complies. All of the windows are rectangular and all appear to be treated.
    - Building lighting: Complies. Downward directed and shielded. The proposed building lighting is directed downward and shielded.
    - Trash enclosures: Complies. The surround is split face block to match the color of the Denny's building. The gates is opaque, no chain link is proposed, and there is a 3' landscape buffer between the nearest parking space and the enclosure.
    - Exterior Materials: Complies. A materials board was provided and the DRC reviewed the materials and elevations on February 4, 1016.

- Landscape Requirements: See analysis above.
    - Parking lot, building, and street lighting: See analysis above.
  - Special Provisions: **Complies**. No outdoor uses are proposed.
  - Maps and Drawings Required: **Can comply**. Provided.
  - Bond: Complies. A bond will be required.
- 19.18, Signs: **Can comply**.
  - Permanent
  - General Standards: **Complies**.
    - Sign Design and Materials: Complies.
      - Landscaping: Complies. 3' of landscaping beyond the base of the sign in all direction is required. The proposed monument sign is proposed on the landscaping plans with shrubs around the base of the sign.
    - Sign Placement: Complies.
      - General Location: Complies. The proposed signs will not interfere with doorways, exits, sidewalks, etc. The proposed monument sign does not appear to be in the PUE.
      - Clear Sight Triangle: Complies. No sign is proposed within the clear sight triangle.
      - Traffic safety: Complies. No sign is placed that may be confused with traffic signals, etc.
      - Right-of-way: Complies. The proposed monument sign is not within the right-of-way.
      - Setbacks: Complies. The proposed monument sign is 25' from the side property line and 4' away from the driveway for the parking lot.
    - Sign Illumination: Complies. The proposed signs are internally illuminated. The illuminated signs do not face residentially zoned property.
    - Sign and Building Maintenance: Complies. All signs shall be maintained in good condition.
    - Sign Construction: To be reviewed at time of building permit.
    - Monument and Pedestal signs: Complies.
      - Multiple Faces: Complies. There are two sign faces; however, the angle between the two is less than 15 degrees so only one sign face shall be counted.
      - Monument sign base: Complies. The sign base is 3'6" and runs the full horizontal length of the sign.
      - Changeable copy: Complies. No changeable copy is proposed.
      - Address: Complies. Provided.
    - Building Signs: Complies. On the north elevation of the building the Denny's sign is just below the highest point of the façade on which it is mounted.
  - Building signs in the RC zone: **Can comply**.
    - Number: Complies. One primary sign and two secondary signs are permitted. One primary sign is proposed and two secondary signs are proposed.





CITY OF  
SARATOGA SPRINGS

## Planning Commission Staff Report

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### Code Amendment

#### General

Tuesday, March 24, 2016

#### Public Hearing

Report Date:	Thursday, March 17, 2016
Applicant:	Staff Initiated
Previous Meetings:	N/A
Previous Approvals:	N/A
Type of Action:	Legislative
Land Use Authority:	City Council
Future Routing:	City Council
Author:	Kara Knighton, Planner I

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#### A. Executive Summary:

Staff has been working on the next round of code cleanups, amendments, and clarifications. The current packet proposes changes to the following sections:

##### CODE

- 19.06 - Landscaping and Fencing
- 19.09 - Off Street Parking Requirements

##### Recommendation:

**Staff recommends that the Planning Commission conduct a public hearing, take public comment, review and discuss the proposed amendments, and vote to forward a positive recommendation to the City Council on all or some of the amendments with or without modifications, as outlined in Section H of this report.** Alternatives include continuance to a future meeting or a negative recommendation for all or some of the amendments.

#### B. Background:

The City has been working for the last several years to adopt amendments to the Land Development Code to improve transparency, increase consistency, close loopholes, increase standards, and remove contradictions.

Additionally, the business community, development community, staff, Planning Commission, and City Council have expressed concern over the often lengthy application review process, and have set a goal of streamlining the application review process as the Code is improved. Other issues have been identified through the application of the Code to development applications.

**C. Specific Request:** The proposed amendments are summarized below, with details outlined in Exhibits 1-2.

- 19.06, multiple –
  - 19.06.03 – Replacing low flow sprinkler heads with water-conserving sprinkler heads.
  - 19.06.06 – Clarifying that if a mature tree is preserved the roots shall not be disturbed.
  - 19.06.08 – Including ornamental fruit bearing trees in the list of prohibited vegetation in park strips.
  - 19.06.11 – Allowing exceptions to the clear sight triangle.
- 19.09, Clear sight triangle
  - 19.09.08 – Remove the possibility of contradictions by referencing the clear sight triangle section back to 19.06.11.

**D. Process:** Section 19.17.03 of the Code outlines the process and criteria for an amendment:

1. The Planning Commission shall review the petition and make its recommendation to the City Council within thirty days of the receipt of the petition.
 

**Complies.** *There is no application as this is Staff initiated, and is being presented to the Commission for a recommendation.*
2. The Planning Commission shall recommend adoption of proposed amendments only where it finds the proposed amendment furthers the purpose of the Saratoga Springs Land Use Element of the General Plan and that changed conditions make the proposed amendment necessary to fulfill the purposes of the Title.
 

**Complies.** *Please see Sections F and G of this report.*
3. The Planning Commission and City Council shall provide the notice and hold a public hearing as required by the Utah Code. For an application which concerns a specific parcel of property, the City shall provide the notice required by Chapter 19.13 for a public hearing.
 

**Complies.** *Please see Section E of this report. After the Planning Commission recommendation, a public hearing will be held with the City Council.*
4. For an application which does not concern a specific parcel of property, the City shall provide the notice required for a public hearing except that notice is not required to be sent to property owners directly affected by the application or to property owners within 300 feet of the property included in the application.
 

**Complies.** *Please see Section E of this report.*

**E. Community Review:**

Per Section 19.17.03 of the City Code, this item has been noticed as a public hearing in the *Daily Herald*; as these amendments affect the entire City, no mailed notice was required. A public hearing with the City Council will be scheduled and noticed prior to final action.

**F. General Plan:****Land Use Element – General Goals**

The General Plan has stated goals of responsible growth management, the provision of orderly and efficient development that is compatible with both the natural and built environment, establish a strong community identity in the City of Saratoga Springs, enhance economic development, and implement ordinances and guidelines to assure quality of development.

**Staff conclusion: consistent**

The proposed changes help to improve transparency and consistency by continuing to clarify standards and removing ambiguity. The changes also help to enhance economic development by allowing a development to continue that otherwise could not.

**G. Code Criteria:**

**Code amendment are a legislative decision; therefore the City Council has significant discretion when considering changes to the Code.**

The criteria for an ordinance (Code) change are outlined below, and act as guidance to the Council, and to the Commission in making a recommendation. Note that the criteria are not binding.

**19.17.04 Consideration of General Plan, Ordinance, or Zoning Map Amendment**

The Planning Commission and City Council shall consider, but not be bound by, the following criteria when deciding whether to recommend or grant a general plan, ordinance, or zoning map amendment:

1. The proposed change will conform to the Land Use Element and other provisions of the General Plan;  
*Consistent. See Section F of this report.*
2. the proposed change will not decrease nor otherwise adversely affect the health, safety, convenience, morals, or general welfare of the public;  
*Consistent. The amendments enable more economic growth in the city, while both keeping and enhancing regulations that protect the health, safety, convenience, morals, or general welfare of the public.*
3. the proposed change will more fully carry out the general purposes and intent of this Title and any other ordinance of the City; and

**Consistent.** *The stated purposes of the Code are found in section 19.01.04: 1.*

1. The purpose of this Title, and for which reason it is deemed necessary, and for which it is designed and enacted, is to preserve and promote the health, safety, morals, convenience, order, fiscal welfare, and the general welfare of the City, its present and future inhabitants, and the public generally, and in particular to:
  - a. encourage and facilitate the orderly growth and expansion of the City;
  - b. secure economy in governmental expenditures;
  - c. provide adequate light, air, and privacy to meet the ordinary or common requirements of happy, convenient, and comfortable living of the municipality's inhabitants, and to foster a wholesome social environment;
  - d. enhance the economic well-being of the municipality and its inhabitants;
  - e. facilitate adequate provisions for transportation, water, sewer, schools, parks, recreation, storm drains, and other public requirements;
  - f. prevent the overcrowding of land, the undue concentration of population, and promote environmentally friendly open space;
  - g. stabilize and conserve property values; Page 3 of 13 Page 4 of 5
  - h. encourage the development of an attractive and beautiful community; and
  - i. promote the development of the City of Saratoga Springs in accordance with the Land Use Element of the General Plan.

*The amendments help to clarify the process and improve efficiency and consistency, thus ensuring economy in government expenditures by lessening the cost of application review, and maintaining a high standard of review by ensuring existing requirements are still met.*

4. in balancing the interest of the petitioner with the interest of the public, community interests will be better served by making the proposed change.

**Consistent.** *The amendments will better protect the community through more efficient process, clarity and consistency in development review, and maintenance of high standards.*

#### **H. Recommendation / Options:**

Staff recommends that the Planning Commission conduct a public hearing, take public comment, discuss the proposed amendments, and vote to forward a positive recommendation to the City Council on the amendment with or without modifications, or choose from the alternatives below.

**Staff Recommended Motion – Positive Recommendation**

The Planning Commission may choose to forward a **positive recommendation** on all or some of the amendment, as proposed or with modifications:

Motion: “Based upon the evidence and explanations received today, I move to forward a **positive recommendation** to the City Council for the proposed amendments to Sections [19.08] with the Findings and Conditions below:

**Findings**

1. The amendments are consistent with Section 19.17.04.1, General Plan, as outlined in Sections F and G of this report and incorporated herein by reference.
2. The amendments are consistent with Section 19.17.04.2 as outlined in Section G of this report and incorporated herein by reference.
3. The amendments are consistent with Section 19.17.04.3 as outlined in Section G of this report and incorporated herein by reference.
4. The amendments are consistent with Section 19.17.04.4 as outlined in Section G of this report and incorporated herein by reference.

**Conditions:**

1. The amendments shall be edited as directed by the Planning Commission:
  - a. \_\_\_\_\_
  - b. \_\_\_\_\_
  - c. \_\_\_\_\_

**Alternative A - Continuance**

Vote to continue all or some of the Code amendments to the next meeting, with specific feedback and direction to Staff on changes needed to render a decision.

Motion: “I move to continue the amendment to Section [19.06, 19.09] of the Code to the April 14, 2016 meeting, with the following direction on additional information needed and/or changes to the draft:

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**Alternative B – Negative Recommendation(s)**

Vote to forward a **negative recommendation** to the City Council for all or some of the proposed Code amendments.

Motion: “Based upon the evidence and explanations received today, I move to forward a negative recommendation to the City Council for the proposed amendments to Section [19.06 and 19.09] of the Code with the Findings below:

1. The amendment do not comply with Section 19.17.04(1), General Plan, as articulated by the Commission:

2. The amendments do not comply with Section 19.17.04, sub paragraphs 2, 3, and/or 4 as articulated by the Commission: \_\_\_\_\_

3. \_\_\_\_\_

4. \_\_\_\_\_

5. \_\_\_\_\_

**I. Exhibits:**

1. 19.06 (pages 7-10)

2. 19.09 (pages 11)

**Chapter 19.06. Landscaping and Fencing.**

**Sections:**

- 19.06.01. Purpose.**
- 19.06.02. Required Landscaping Improvements.**
- 19.06.03. General Provisions.**
- 19.06.04. Landscaping Plan.**
- 19.06.05. Completion of Landscape Improvements; Adequate Assurances.**
- 19.06.06. Planting Standards and Design Requirements.**
- 19.06.07. Amount of Required Landscaping.**
- 19.06.08. Additional Landscaping Requirements.**
- 19.06.09. Screening and Fencing Requirements and Restrictions.**
- 19.06.10. Screening at Boundaries of Residential Zones.**
- 19.06.11. Clear Sight Triangle.**

\* \* \* \* \*

**19.06.03. General Provisions.**

1. Park strips shall be landscaped and maintained by the property owner who abuts the park strip, unless otherwise noted on an approved and recorded subdivision plat or site plan.
2. Automated water-conserving irrigation systems, including water-conserving sprinkler heads and rain sensors, ~~low-flow sprinkler heads and rain sensors~~, shall be required for all new landscaping in nonresidential developments as well as for all irrigated open spaces that are held in common or in Homeowner’s Association ownership in residential developments.
3. All landscaped areas shall be maintained by watering, weed removal, lawn mowing, or any other activity required to maintain healthy and well-manicured landscaping.

\* \* \* \* \*

**19.06.06. Planting Standards and Design Requirements for Nonresidential and Common Open Space.**

\* \* \* \* \*

3. The following design requirements will be used when reviewing landscaping plans in the City of Saratoga Springs:
  - a. **Selection of Plants.** Plants shall be selected for texture, form, color, pattern of growth, and adaptability to local conditions.
  - b. **Evergreens.** Evergreens shall be incorporated into landscaped treatment of sites where screening and buffering are required.

- c. **Softening of Walls and Fences.** Plants shall be placed intermittently against long expanses of building walls, fences, and barriers to create a softening effect.
- d. **Planting and Shrub Beds.** Planting and shrub beds are encouraged to be used in order to conserve water. Planting and shrub beds shall meet the requirements in subsection 19.06.06(2)(g) above.
- e. **Water Conservation.** While irrigation systems are required for all landscaped areas, all systems shall be efficient in the use of water such as the installation of drip lines for shrubs and trees.
- f. **Energy Conservation.** Placement of plants shall be designed to reduce energy consumption. Deciduous trees are encouraged to be planted on the south and west sides of structures to provide shade over the structures in the summer months. Evergreens trees are encouraged to be planted on the north side of structures when feasible to dissipate the effects of winter winds.
- g. **Preservation of Existing Vegetation.** Where possible and appropriate, existing native vegetation must be incorporated into the landscape treatment of the proposed site.
- h. **Tree Preservation.** Existing mature evergreen trees of 16 feet in height or greater, and existing mature deciduous or decorative trees of more than four inches (4”) in caliper, shall be identified on the landscape plan and preserved if possible. If a mature tree is preserved, an area around the roots as wide as the existing canopy shall not be disturbed.
  - i. If preservation is not possible, the required number of trees shall be increased by double the number of such trees removed.
  - ii. The replacement trees for evergreen trees shall be evergreens, and for deciduous shall be deciduous.
  - iii. Trees smaller than four inches in caliper that are removed shall be replaced on a one to one ratio.
  - iv. Replacement trees shall be in addition to the minimum tree requirements of this Chapter, and shall comply with minimum sizes as outlined in the Chapter.
- i. **Placement.** Whenever possible, landscaping shall be placed immediately adjacent to structures, particularly where proposed structures have large empty walls.

\* \* \* \* \*

**19.06.08. Single Family Residential and Park Strip Landscaping Requirements.**

\* \* \* \* \*

- 2. Park strips.
  - a. Park strips shall be landscaped when the front yard is landscaped for a residential dwelling, or when site improvements are completed for a non-residential project, and shall thereafter be perpetually maintained by the property owner who abuts the park strip. Only the following shall be installed in park strips: turf, trees, shrubs or other plants, mulch, live plant vegetation (other than trees) below three feet in height, landscape rock, cobble, and removable pavers. When landscape

rock, cobble, or pavers are used, at least thirty percent of each park strip shall contain plantings.

- b. Weeds, dead vegetation, fruit trees including ornamental fruit bearing trees, fruit and vegetable gardens, gravel, asphalt, concrete, and large boulders are prohibited in park strips.
- c. Four foot wide concrete walkways are allowed in the park strip when the walkway lines up with the main walkway to the front door.

(Ord. 15-29, Ord. 14-23)

\* \* \* \* \*

**19.06.11. Clear Sight Triangle.**

A. To allow for clear sight as shown in the graphic below, ~~At~~ at all intersections of streets, driveways, or sidewalks, for a distance of twenty feet back from the point of curvature of curved ROWs and property lines or thirty feet back from the intersection of straight ROWs and property lines, whichever is greater, and fifteen feet back from edge of driveways:

- a. all landscaping, berms, and fencing shall be limited to a height of not more than three feet, and
- b. the grade at such intersections shall not be bermed or raised, ~~and for a distance of twenty feet back from the point of curvature of curved ROWs and property lines or thirty feet back from the intersection of straight ROWs and property lines, whichever is greater, and fifteen feet back from edge of driveways to allow for clear sight as shown in the graphic below.~~
- c. tree canopies are not permitted to encroach along public rights of way or City maintained rights of way

B. Exceptions:

- a. Deciduous tree canopies may be located in the clear sight triangle of privately owned and maintained streets only if at maturity the distance between the ground and base of the canopy is maintained at no less than eight feet, and
- b. any other exception outlined in the Code.

\* \* \* \* \*

## Chapter 19.09. Off-Street Parking Requirements.

### Sections:

- 19.09.01. Purpose.
- 19.09.02. Required Parking.
- 19.09.03. General Provisions.
- 19.09.04. Submittal and Approval of Parking Areas.
- 19.09.05. Parking Requirements.
- 19.09.06. Dimensions for Parking Stalls.
- 19.09.07. Accessible Parking.
- 19.09.08. Landscaping in Parking Areas.
- 19.09.09. Pedestrian Walkways and Accesses.
- 19.09.10. Shared Parking and Curb Cuts.
- 19.09.11. Required Parking.

\* \* \* \* \*

### 19.09.08. Landscaping in Parking Areas.

In addition to the planting standards in Chapter 19.06, the following requirements shall apply to all landscaping of off-street parking areas:

1. **Parking Areas Adjacent to Public Streets.** All parking areas (not including a driveway for an individual dwelling) for non-residential or multi-family residential uses that are adjacent to public streets shall have landscaped strips of not less than ten feet in width placed between the sidewalk and the parking areas, containing a berm or screen wall with a minimum height of three feet to minimize intrusion of lighting from headlights and other lighting on surrounding property. Trees, both deciduous and evergreen, shall be placed in the strip with spacing of no more than thirty feet between trees except in the clear sight triangle. The standards of section 19.06.06, Planting Standards and Design Requirements, shall apply for the minimum size of vegetation.
2. **Curbs.** All landscaped areas abutting any paved surface shall be curbed (not including a driveway for an individual dwelling). Boundary landscaping around the perimeter of the parking areas shall be separated by a concrete curb six inches higher than the parking surface.
3. **Clear Sight.** ~~At intersections of streets, driveways, and sidewalks all landscaping shall be limited to a height of not more than three feet. The grade at such intersections shall not be bermed or raised for a distance of thirty feet at intersections and fifteen feet back from driveways to allow for sight distance as detailed in~~ See Chapter 19.06.11, Clear Sight Triangles.

\* \* \* \* \*



**Site Plan and Conditional Use Permit**  
**Murphy Express**  
**Thursday, March 24, 2016**  
**Public Hearing**

Report Date:	Thursday, March 17, 2016
Applicant:	Greenberg Farrow, Murphy Express
Owner:	Stations West Saratoga LLC
Location:	NE Corner Commerce Drive & Redwood Road
Major Street Access:	Redwood Road
Parcel Number(s) & Size:	66:268:0004, 1.033 acres
Parcel Zoning:	Regional Commercial (RC)
Adjacent Zoning:	RC, Vacant
Current Use of Parcel:	Vacant
Adjacent Uses:	Commercial, Vacant, Agricultural
Previous Meetings:	None
Previous Approvals:	None
Type of Action:	Administrative
Land Use Authority:	City Council
Future Routing:	City Council
Author:	Kimber Gabryszak, AICP

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**A. Executive Summary:**

The applicant is requesting approval of a Site Plan and Conditional Use Permit for a Murphy Express automobile refueling station on Lot 3 of the Saratoga Town Center Plat 2, located across the street from Autozone on Commerce Drive.

**Recommendation:**

**Staff recommends that the Planning Commission conduct a public hearing on the Site Plan and Conditional Use Permit, take public comment, review and discuss the proposal, and choose from the options in Section H of this report.** Options include a positive recommendation with or without modification, a negative recommendation, or continuation.

- B. Background:** The Saratoga Town Center Plat 2 was approved in 2012 and recorded on April 10, 2013, which created the lot on which the Murphy Express proposal is located. The lot is zoned Regional Commercial, which lists Automobile Refueling Station as a Conditional Use.

- C. **Specific Request:** The proposal is for an automobile refueling station, consisting of a small building with eight refueling pumps. The application does not include a full convenience store, but only includes limited related retail sales in a ~1200 sq.ft. building. An outdoor ice machine is included.
- D. **Process:** Code Sections 19.13 and 19.14 outline the process and criteria for a Site Plan, and Section 19.15 outlines the process for a CUP. The City Council is the land use authority, and will make a decision at a public meeting after a public hearing and recommendation by the Planning Commission.
- E. **Community Review:** This item has been noticed as a public hearing in the *Daily Herald* and posted on the City website and State public noticing website; and mailed notice sent to all property owners within 300 feet. As of the date of this report, no public input has been received.
- F. **General Plan:** The property is designated Regional Commercial on the Future Land Use Map, which has the goals stated below:

g. **Regional Commercial.** Regional Commercial areas shall be characterized by a variety of retail users including big box retail configured in developments that provide excellent vehicular access to and from major transportation facilities. Developments located in Regional Commercial areas shall be designed so as to create efficient, functional conglomerations of commercial activities.

As Regional Commercial areas are to be located in close proximity to substantial roadways, careful consideration shall be given to the arrangement of structures and other improvements along those corridors. Consideration shall also be given to the existing or potential availability of mass transit facilities as sites in this designation are designed.

Among the many tenants anticipated in these areas are large destination oriented businesses. With that in mind, individual sites shall be designed so as to make automobile access a priority. Even so, specific areas for pedestrian activity shall be designated and appropriately improved. Plazas and other features shall be provided as gathering places which should be incorporated so as to make each site an inviting place to visit.

Developments in these areas shall contain landscaping and recreational features as per the City's Parks, Recreation, Trails, and Open Space Element of the General Plan. In this land use designation, it is estimated that a typical acre of land may contain 5 equivalent residential units (ERU's).

**Staff conclusion:** consistent. The use is automobile oriented, provides vehicular access to and from Redwood Road, and is located on a lot that was approved for commercial development under the RC zone. Sidewalks and trail connections are included. The lot is also part of an overall development which, in the future, is intended to provide a mixture of office and retail and gathering places, and which will be automobile oriented while including considerations for pedestrians.

- G. **Code Criteria:**  
Staff has reviewed the proposed automobile refueling station for compliance with multiple sections of Code. Detailed review and analysis are contained in Exhibit 4, Planning Checklist, and a summary provided below:

- 19.04, Land Use Zones – **complies**
  - Density, height, lot coverage, allowed use, setbacks, landscaping, trash enclosure, buffers - all meet or exceed the minimum
- 19.05, Supplemental Regulations – **complies**
  - Property access meets requirements as recommended by the City Engineer
- 19.06, Landscaping and Fencing – **complies with conditions**
  - Plant types, percentages, numbers, sizes, and sight triangle - comply
  - Verification of low-flow sprinklers and rain sensors - pending
- 19.09, Off Street Parking – **complies**
  - Dimensions, location, striping - comply
  - Required: 12 spaces, provided: 17 spaces
  - ADA space location is appropriate
- Section 19.11, Lighting – **complies with conditions**
  - Pole height, design, and cut-off - comply
  - Hours of operation and any building lighting must be condition of approval
- 19.14, Site Plans – **complies with conditions**
  - Access requirements, interconnection, loading space, architectural standards - complies with conditions. Recommended condition to install driveway stub and access easement to the north, in lieu of the proposed rock wall, for future connectivity.
- 19.15, Conditional Use Permit – **complies**
  - Typical standards: health, safety, welfare, zone district goals, character, cost impacts to City, and General Plan - complies.
  - Special standards: location, zone, pedestrian connectivity, nuisance, hazards, lot frontage, pump and canopy setbacks, distance from a school/park/playground, and outdoor storage - complies
  - Traffic congestion and driveway spacing have been of concern, and the original application included multiple accesses onto Commerce and Redwood Road. The Commerce accesses did not comply with City minimum spacing requirements, and also for spacing requirements, UDOT denied access onto Redwood. After thorough review, the best solution to minimize traffic impacts and enhance safety has been recommended by the City Engineer and forwarded to the Planning Commission, which consists of a single full-movement access onto Commerce, secondary access onto the adjacent commercial property, and a stub to the northern property line for future connectivity. If the Planning Commission chooses, an additional optional condition to prohibit truck access during peak traffic hours may be added to minimize vehicular conflict and traffic congestion.
- 19.18, Signs – **complies with condition of approval**
  - Monument sign size, materials, location - complies
  - Canopy signs exceed allowable size and must be reduced

**H. Recommendation and Alternatives:**

Staff recommends that the Planning Commission conduct a public hearing, take public input, discuss the application, and choose from the following options.

**Option 1 – Staff Recommended, Positive Recommendation**

“I move to forward a **positive recommendation** to the City Council for the Murphy Express Site Plan and Conditional Use Permit located on parcel 66:268:0004 as outlined in Exhibit 3 with the Findings and Conditions in the Staff Report dated March 24, 2016:

**Findings**

1. The application is consistent with the General Plan, as articulated in Section F of the staff report, which section is incorporated by reference herein.
2. The application complies with the criteria in Section 19.04, Land Use Zones, of the Development Code, as articulated in Section G of the staff report, which section is incorporated by reference herein.
3. With conditions, the application complies with the criteria in Section 19.05, Supplementary Regulations, of the Development Code, as articulated in Section G of the staff report, which section is incorporated herein.
4. With conditions, the application complies with the criteria in Section 19.06, Landscaping and Fencing, of the Development Code, as articulated in Section G of the staff report, which section is incorporated by reference herein.
5. The application complies with the criteria in Section 19.09, Parking, of the Development Code, as articulated in Section G of the staff report, which section is incorporated by reference herein.
6. With conditions, the application complies with the criteria in Section 19.11, Lighting, of the Development Code, as articulated in Section G of the staff report, which section is incorporated by reference herein.
7. The application complies with the criteria in Section 19.14, Site Plan Review, of the Development Code, as articulated in Section G of the staff report, which section is incorporated by reference herein.
8. The application complies with the criteria in Section 19.15, Conditional Use Permit, of the Development Code, as articulated in Section G of the staff report, which section is incorporated by reference herein.
9. With conditions, the application complies with the criteria in section 19.18, Sign Regulations, of the Development Code, as articulated in Section G of the staff report, which section is incorporated by reference herein.

**Conditions:**

1. All conditions of the City Engineer shall be met, including but not limited to those in the Staff report in Exhibit 1.
2. The Site Plan and Conditional Use Permit are recommended as shown in the attachment to the Staff report in Exhibit 3.
3. All lighting shall comply with design standards, color ranges, and hours of operation as outlined in Section 19.11.
4. Fire flows shall be met for this development as well as future development in the area. All IFC 2012 Edition requirements shall be met.

5. All other conditions of the Fire Department shall be met.
6. An updated signage plan shall be provided to staff prior to building permit issuance and shall be reviewed and approved administratively by staff per Section 19.18 of the Code. Canopy signs shall be reduced in size to comply with allowable square footage.
7. Water conserving sprinklers and rain sensors shall be included in the landscaping.
8. A driveway connection shall be stubbed to the north and an access easement recorded, in lieu of the proposed rock wall, to ensure future connectivity.
9. [Delivery trucks shall not access the site during peak traffic periods to minimize potential for vehicular conflict and traffic congestion.]
10. All other code requirements shall be met.
11. Any other conditions or changes as articulated by the Planning Commission: \_\_\_\_\_”

**Alternative 1 - Continuance**

The Planning Commission may also choose to continue the applications. “I move to **continue** the Murphy Express Site Plan and Conditional Use Permit to another meeting on [April 7, 2016], with direction to the applicant and Staff on information and / or changes needed to render a decision, as follows:

1. \_\_\_\_\_
2. \_\_\_\_\_
3. \_\_\_\_\_”

**Alternative 2 – Negative Recommendation**

The Planning Commission may also choose to forward a negative recommendation on the application. “I move to forward a **negative recommendation** for the Murphy Express Site Plan and Conditional Use Permit with the Findings below:

1. The applications are not consistent with the General Plan, as articulated by the Planning Commission: \_\_\_\_\_, and/or
2. The applications are not consistent with Section [19.04, 19.06, 19.09, 19.11, 19.14, 19.15, 19.18] of the Code, as articulated by the Planning Commission: \_\_\_\_\_.”

**I. Exhibits:**

- |                           |               |
|---------------------------|---------------|
| 1. City Engineer’s Report | (pages 6-7)   |
| 2. Location & Zone Map    | (page 8)      |
| 3. Site Plan              | (pages 9-15)  |
| a. Site Plan              | (pages 9-10)  |
| b. Truck Radius           | (page 11)     |
| c. Landscape Plan         | (page 12)     |
| d. Misc. Items            | (page 13)     |
| e. Lighting               | (page 14)     |
| f. Elevations             | (page 15)     |
| 4. Planning Checklist     | (pages 16-20) |

## City Council Staff Report

**Author:** Janelle Wright, EIT  
**Subject:** Murphy Express  
**Date:** March 15, 2016  
**Type of Item:** Site Plan Approval



### Description:

**A. Topic:** The Applicant has submitted a Site Plan application. Staff has reviewed the submittal and provides the following recommendations.

### B. Background:

*Applicant:* Greenberg Farrow, Murphy Express  
*Request:* Site Plan Approval  
*Location:* NE Corner Commerce Drive and Redwood Road  
*Acreage:* 1.033 Acres

**C. Recommendation:** Staff recommends the approval of Site Plan subject to the following conditions:

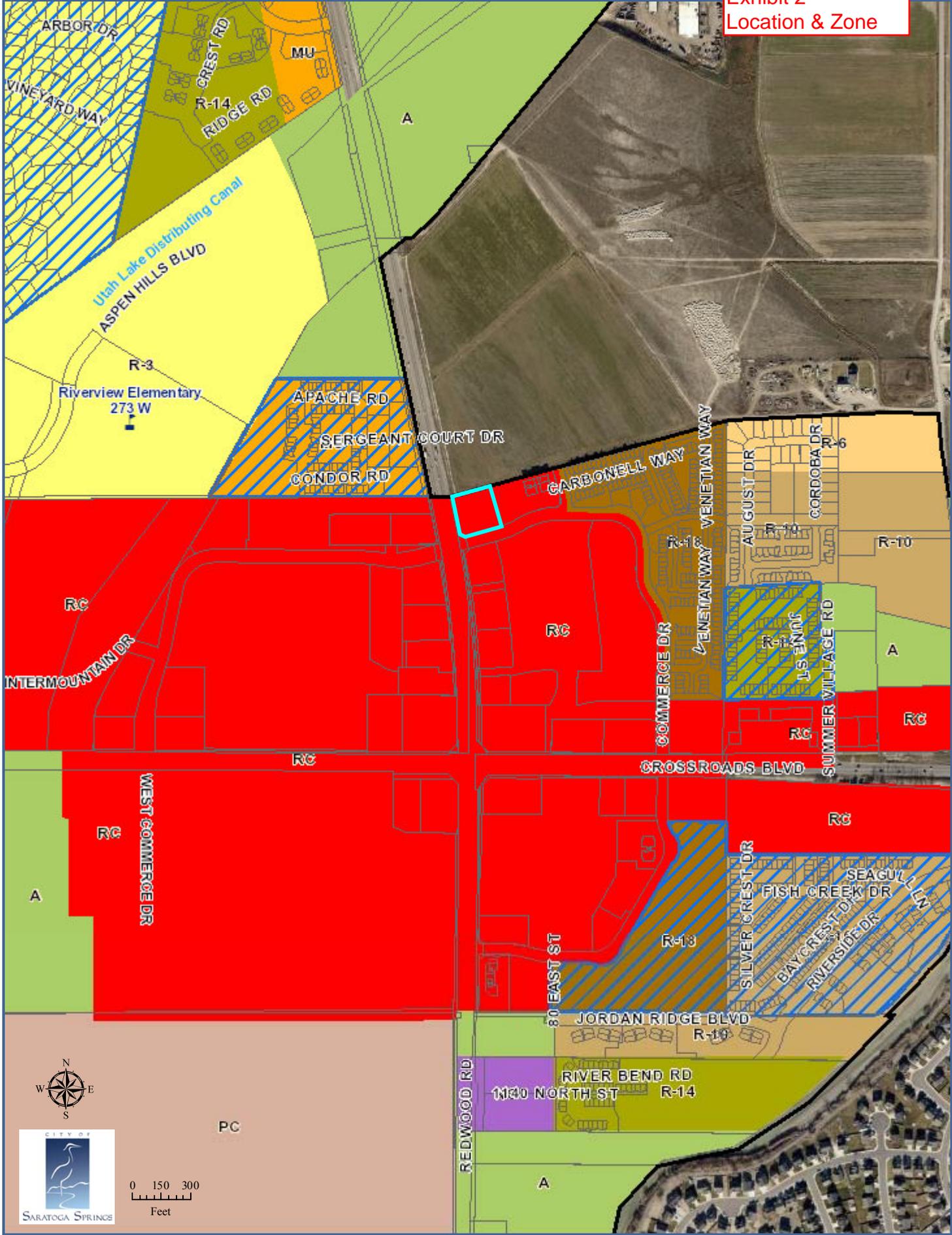
### D. Conditions:

- A. Meet all engineering conditions and requirements in the construction of the project. Review and inspection fees must be paid and a bond posted as per the City's Development Code prior to any construction being performed on the project. Impact and water fees are due when pulling the building permit.
- B. All review comments and redlines provided by the City Engineer are to be complied with and implemented with the approved construction drawings.
- C. Developer must secure water rights as required by the City Engineer, City Attorney, and development code.
- D. Submit easements for all public utilities not located in the public right-of-way.
- E. Developer is required to ensure that there are no adverse effects to adjacent properties due to the grading practices employed during construction of these plats.
- F. Project must meet the City Ordinance for Storm Water release (0.2 cfs/acre for all developed property) and all UPDES and NPDES project construction requirements.

- G. Final plans shall include an Erosion Control Plan that complies with all City, UPDES and NPDES storm water pollution prevention requirements.
- H. All work to conform to the City of Saratoga Springs Standard Technical Specifications, most recent edition.
- I. Developer may be required by the Saratoga Springs Fire Chief to perform fire flow tests prior to final plat approval and prior to the commencement of the warranty period.
- J. Submittal of a Mylar and electronic version of the as-built drawings in AutoCAD format to the City Engineer is required prior acceptance of site improvements and the commencement of the warranty period.
- K. Developer shall provide an emergency shut-off to the City's storm drain system in case of a spill.
- L. A right-of-way encroachment permit shall be obtained prior to any work being done in the right-of-way.

# Murphys Location - Zone

Exhibit 2  
Location & Zone



# SITE DEVELOPMENT PLANS

# MURPHY EXPRESS

# SARATOGA SPRINGS, UT

## 42 EAST COMMERCE DRIVE

**GENERAL NOTES:**

- A. CONTRACTOR SHALL BE RESPONSIBLE FOR RAZING AND REMOVAL OF THE EXISTING STRUCTURES, RELATED UTILITIES, PAVING, UNDERGROUND STORAGE TANKS AND ANY OTHER EXISTING IMPROVEMENTS AS NOTED.
- B. CONTRACTOR IS TO REMOVE AND DISPOSE OF ALL DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM PREVIOUS AND CURRENT DEMOLITION OPERATIONS. DISPOSAL WILL BE IN ACCORDANCE WITH ALL LOCAL, STATE AND/OR FEDERAL REGULATIONS GOVERNING SUCH OPERATIONS.
- C. THE GENERAL CONTRACTOR WILL BE HELD SOLELY RESPONSIBLE FOR AND SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION PHASES OF THIS PROJECT.
- D. **WARRANTY/DISCLAIMER:**  
THE DESIGNS REPRESENTED IN THESE PLANS ARE IN ACCORDANCE WITH ESTABLISHED PRACTICES OF CIVIL ENGINEERING FOR THE DESIGN FUNCTIONS AND USES INTENDED BY THE OWNER AT THIS TIME. HOWEVER, NEITHER THE ENGINEER NOR ITS PERSONNEL CAN OR DO WARRANT THESE DESIGNS OR PLANS AS CONSTRUCTED EXCEPT IN THE SPECIFIC CASES WHERE THE ENGINEER INSPECTS AND CONTROLS THE PHYSICAL CONSTRUCTION ON A CONTEMPORARY BASIS AT THE SITE.
- E. **SAFETY NOTICE TO CONTRACTOR:**  
IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. ANY CONSTRUCTION OBSERVATION BY THE ENGINEER OF THE CONTRACTOR'S PERFORMANCE IS NOT INTENDED TO INCLUDE REVIEW OF THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES, IN, ON OR NEAR THE CONSTRUCTION SITE.
- F. ALL CONSTRUCTION WITHIN STATE HIGHWAY DEPARTMENT RIGHT-OF-WAY SHALL BE COORDINATED WITH THE HIGHWAY DEPARTMENT RESIDENT MAINTENANCE ENGINEER.
- G. ALL SITE WORK FOR THIS PROJECT SHALL MEET OR EXCEED THE SPECIFICATIONS OF THE RELEVANT UTILITY COMPANY OR REGULATORY AUTHORITY, AND THE SPECIFICATIONS FOR THE CONSTRUCTION OF THE EXISTING IMPROVEMENTS WHICH ARE BEING ALTERED OR REPLACED. CONTRACTOR SHALL CONTACT THE ENGINEER FOR SPECIFICATION SECTIONS FOR ITEMS SUCH AS LANDSCAPING AND IRRIGATION THAT ARE AFFECTED BY THE WORK BUT NOT COMPLETELY DETAILED OR SPECIFIED ON THESE PLANS.
- H. CONSTRUCTION AND INSTALLATION OF A 1200 S.F. C-STORE, ALL UTILITY ENTRANCES, (1)25,000 GAL-REGULAR, (1)8,000 GAL-PREMIUM, (1)10,000 GAL-DIESEL, AND (1)8,000 GAL-E-85 UNDERGROUND TANKS SHALL BE IN ACCORDANCE WITH ASSOCIATED PLANS.
- I. THE GENERAL CONTRACTOR TO FIELD COORDINATE THE CANOPY SIGN LOCATION WITH MURPHY'S CONSTRUCTION SUPERVISOR.
- J. STAGE II VAPOR RECOVERY SYSTEM IS NOT REQUIRED.
- K. CONTRACTOR REQUIRED TO PROVIDE REDLINE AS-BUILTS AND PROVIDE THOSE TO MURPHY UPON COMPLETION.
- L. CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTION STAKING AND LAYOUT

**NOTES TO CONTRACTOR**

- A. THE CONTRACTOR SHALL PROVIDE THE ENGINEER OF RECORD WITH THE DATE WHEN CONSTRUCTION IS TO BEGIN.
- B. THE CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTION STAKING AND LAYOUT
- C. THE CONTRACTOR IS RESPONSIBLE FOR KEEPING THE ENGINEER OF RECORD INFORMED OF ANY DEVIATIONS DURING CONSTRUCTION AND SHALL REPORT THEM IMMEDIATELY
- D. CONTRACTOR IS REQUIRED TO KEEP REDLINE AS-BUILTS AND TO PROVIDE THOSE TO MURPHY UPON COMPLETION.
- E. CONTRACTOR IS RESPONSIBLE FOR UNDERSTANDING THE AS-BUILT AND CERTIFICATE OF OCCUPANCY (C.O.) REQUIREMENTS FROM THE ISSUING AUTHORITY.
- F. IF AN AS-BUILT SURVEY IS REQUIRED BY THE ISSUING AUTHORITY, THE CONTRACTOR SHALL BE RESPONSIBLE OBTAINING THE AS-BUILT SURVEY, PREPARED BY A LICENSED SURVEYOR, AND SUBMITTING THE AS-BUILT SURVEY TO ISSUING AUTHORITY AND THE ENGINEER OF RECORD

**WETLANDS NOTE:**

ANY DEVELOPMENT, EXCAVATION, CONSTRUCTION, OR FILLING IN A U.S. ARMY CORPS OF ENGINEERS DESIGNATED WETLAND IS SUBJECT TO LOCAL, STATE AND FEDERAL APPROVALS. THE CONTRACTOR SHALL COMPLY WITH ALL PERMIT REQUIREMENTS AND/OR RESTRICTIONS AND ANY VIOLATION WILL BE SUBJECT TO FEDERAL PENALTY. THE CONTRACTOR SHALL HOLD THE OWNER/DEVELOPER, THE ENGINEER AND THE LOCAL GOVERNING AGENCIES HARMLESS AGAINST SUCH VIOLATION.

**FLOOD CERTIFICATION:**

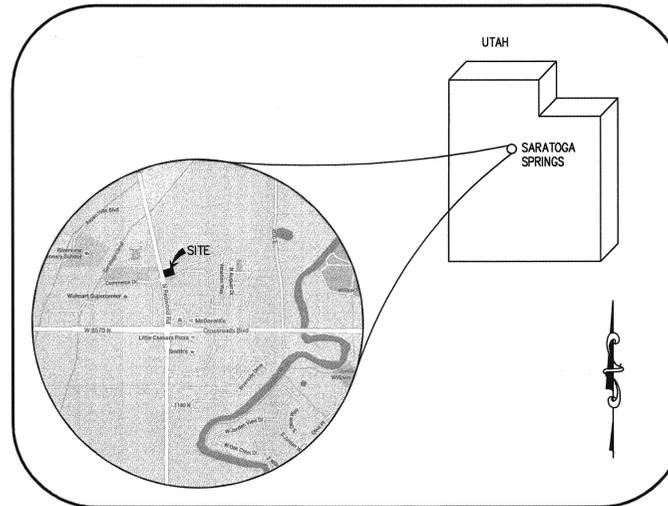
THIS PROPERTY IS NOT LOCATED WITHIN ANY PRESENTLY ESTABLISHED 100-YEAR FLOOD PLAIN, AS SHOWN BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, FLOOD INSURANCE RATE MAP FOR THE CITY OF LEHI, COMMUNITY PANEL NUMBER 4902090115 DATED JULY 17, 2002.

**NOTICE TO BIDDERS:**

ALL QUESTIONS REGARDING THE PREPARATION OF THE GENERAL CONTRACTOR'S BID SHALL BE DIRECTED TO THE OWNER'S CONSTRUCTION DEPARTMENT AT (870) 862-6411 SUBCONTRACTORS MUST DIRECT THEIR QUESTIONS THROUGH THE GENERAL CONTRACTOR. THE CONSULTING ARCHITECT AND/OR THE CONSULTING ENGINEER SHALL NOT BE CONTACTED DIRECTLY WITHOUT PRIOR AUTHORIZATION FROM THE OWNER/DEVELOPER.

**CITY STANDARD NOTES:**

- A. CONTRACTOR SHALL FIELD VERIFY LOCATIONS AND INVERT ELEVATIONS OF EXISTING MANHOLES AND OTHER UTILITIES BEFORE STAKING OR CONSTRUCTING ANY NEW SEWER LINES.
- B. CONTRACTOR SHALL FIELD VERIFY LOCATIONS AND INVERT ELEVATIONS OF EXISTING STORM DRAIN STRUCTURES AND OTHER UTILITIES BEFORE STAKING OR CONSTRUCTION ANY NEW STORM DRAIN LINES.
- C. ALL CONSTRUCTION SHALL COMPLY TO THE STANDARD TECHNICAL SPECIFICATIONS AND DRAWINGS FOR THE CITY OF SARATOGA SPRINGS, UTAH.
- D. EXISTING UTILITIES HAVE BEEN NOTED TO THE BEST OF THE ENGINEERS KNOWLEDGE, IT IS THE OWNERS AND CONTRACTORS RESPONSIBILITY TO LOCATE UTILITIES IN THE FIELD AND NOTIFY ENGINEER AND CITY IF DISCREPANCIES EXIST.
- E. POST-APPROVAL ALTERATIONS TO LIGHTING PLANS OR INTENDED SUBSTITUTIONS FOR APPROVED LIGHTING EQUIPMENT SHALL BE SUBMITTED TO THE CITY FOR REVIEW AND APPROVAL.
- F. THE CITY RESERVES THE RIGHT TO CONDUCT POST-INSTALLATION INSPECTIONS TO VERIFY COMPLIANCE WITH THE CITY'S REQUIREMENTS AND APPROVED LIGHTING PLAN COMMITMENTS, AND IF DEEMED APPROPRIATE BY THE CITY, TO REQUIRE REMEDIAL ACTION AT NO EXPENSE TO THE CITY.
- G. ALL EXTERIOR LIGHTING SHALL MEET IESNA FULL-CUTOFF CRITERIA UNLESS OTHERWISE APPROVED BY THE CITY.



**Vicinity Map**  
NOT TO SCALE

**PLAN INDEX:**

**ENGINEER (CIVIL)**

- C-0 COVER SHEET
- C-1 SITE PLAN
- C-3 GRADING PLAN
- C-3.1 STORM SEWER PLAN
- C-3.2 TRENCH DRAIN PLAN
- C-3.3 STORM SEWER PROFILES
- C-3.4 STORM SEWER PROFILES
- C-4.0 EROSION CONTROL PLAN PHASE 1
- C-4.1 EROSION CONTROL PLAN PHASE 2
- C-4.2 E&S CONTROL DETAILS
- C-4.3 E&S CONTROL DETAILS
- C-5 DEMOLITION PLAN
- C-6 UTILITY PLAN
- C-6.1 UTILITY PROFILES
- C-7 PAVING PLAN
- C-8 JOINT LAYOUT PLAN
- C-9 TRUCK ROUTE PLAN
- C-10 LANDSCAPE PLAN
- C-11 IRRIGATION PLAN
- C-12 DETAIL SHEET
- C-13 DETAIL SHEET
- C-14 DETAIL SHEET
- C-15 DETAIL SHEET
- C-16 DETAIL SHEET
- C-17 DETAIL SHEET
- C-18 DETAIL SHEET
- C-19 DETAIL SHEET
- RW-1 RETAINING WALL PLAN
- L-1.0 PHOTOMETRIC PLAN
- L-1.1 PHOTOMETRIC DETAILS

**GALLOWAY (TANK/PIPING)**

- COVER COVER SHEET
- FS-1 SPECIFICATIONS
- FS-2 SPECIFICATIONS
- FS-3 SPECIFICATIONS
- F-1 NOTES AND PART LIST
- F-1.1 NOTES AND PART LIST
- F-2 TANK INSTALLATION AND RISER DETAILS
- F-3 TANK SUMP AND VENTING DETAILS
- F-4 TANK RISER, OBSERVATION WELL AND VENTING DETAILS
- F-5 PRODUCT PIPING PLAN
- F-6 DUALOY PIPING SOLUTION
- F-7 STANDARD YARD AND DRIVE DETAILS
- F-8 PARTIAL PAVING PLAN
- FD-1 DISPENSER DETAILS
- FE-1 CONDUIT PLAN, PUMPS AND DISPENSER WIRING DIAGRAM
- FE-2 PUMPS AND DISPENSER CONTROL WIRING
- FE-3 CANOPY WIRING LAYOUT, ELEVATIONS AND DETAILS
- FE-4 SITE MONITORING DIAGRAM
- FL-1 LABELING PLACEMENT STANDARDS
- FL-2 STANDARD LABELING DETAILS

**GREENBERGFARROW (BUILDING)**

- CS1 COVER SHEET
- A1 ACCESSIBILITY STANDARDS NOTES & DETAILS
- A2 EGRESS/ACCESSIBILITY FLOOR PLAN
- S1 STRUCTURAL GENERAL NOTES
- E1 EXTERIOR ELEVATIONS
- E2 EXTERIOR ELEVATIONS
- E3 FLOOR PLAN
- E4 FLOOR FRAMING PLAN
- E5 ROOF FRAMING PLAN
- E6 SECTION
- E7 SECTION
- E8 INTERIOR ELEVATIONS
- E9 INTERIOR ELEVATIONS
- E10 FLOOR FINISH PLAN
- EL1 ELECTRICAL PLAN
- EL2 LIGHTING PLAN
- EL3 ELECTRICAL DETAILS
- EL4 ELECTRICAL PANEL SCHEDULE
- P1 PLUMBING PLAN
- M2 PLUMBING & WATER RISER
- M1 MECHANICAL PLAN
- M2 MECHANICAL ROOF PLAN
- F1 FOUNDATION PLAN
- F2 FOUNDATION DETAILS
- GC1 GC SCOPE OF WORK FLOOR PLAN

**GREENBERGFARROW (CANOPY)**

- CS1 COVER SHEET
- S1 STRUCTURAL GENERAL NOTES
- E1 FRAMING PLAN
- E2 ELEVATIONS
- E3 LIGHTING AND SOFFIT PLAN
- E4 SECTION
- E5 SECTION
- E6 SECTION
- F1 FOUNDATION PLAN

SITE SUMMARY TABLE			
	S.F.	ACRES	% OF TOTAL
TOTAL SITE AREA	45,003	1.03	100.00
- TOTAL IMPERVIOUS AREA	28,496	0.65	63.32
- TOTAL LANDSCAPE AREA	16,507	0.38	36.68
TOTAL DISTURBED AREA	47,690	1.09	100.00
- ON-SITE DISTURBANCE	44,918	1.03	94.19
- ROW DISTURBANCE	2,772	0.06	5.81

SITE DATA TABLE	
TOTAL SITE AREA	1.03 ACRES
NUMBER OF BUILDINGS	1
BUILDING AREA	208 S.F.
# OF SURFACE PARKING SPACES	9
SENSATIVE LANDS AREA	0
LANDSCAPE AREA	16,507 S.F.

**RESOURCE LIST:**

- |   |   |   |
|---|---|---|
| <b>ZONING</b><br>CITY OF SARATOGA SPRINGS<br>1307 N. COMMERCE DR.<br>SUITE 200<br>SARATOGA SPRINGS, UT 84045<br>CONTACT: SARAH CARROLL<br>PHONE: (801) 766-9793 EXT. 106    | <b>BUILDING</b><br>CITY OF SARATOGA SPRINGS<br>1307 N. COMMERCE DR.<br>SUITE 200<br>SARATOGA SPRINGS, UT 84045<br>CONTACT: MARK CHELSEY<br>PHONE: (801) 766-9793 EXT. 102 FAX: (770) 582-2900 | <b>GEOTECH</b><br>UNITED CONSULTANTS INC.<br>625 HOLCOMB BRIDGE ROAD<br>NORCROSS, GA 30071<br>CONTACT: CHRIS ROBERTS<br>PHONE: (770) 209-0029                           |
| <b>STORMWATER</b><br>CITY OF SARATOGA SPRINGS<br>1307 N. COMMERCE DR.<br>SUITE 200<br>SARATOGA SPRINGS, UT 84045<br>CONTACT: JEREMY LAPIN<br>PHONE: (801) 766-9793 EXT. 137 | <b>FIRE PREVENTION</b><br>SARATOGA SPRINGS FIRE DEPT.<br>995 WEST 1200 NORTH<br>SARATOGA SPRINGS, UT 84045<br>PHONE: (801) 766-6505   | <b>SEWER</b><br>TIMPANOGOS SPECIAL SERVICE DISTRICT<br>CONTACT: DAVID BARLOW<br>6400 NORTH 5050 WEST<br>UTAH COUNTY, UT<br>PHONE: (801) 756-5231<br>FAX: (801) 756-1472 |
| <b>WATER</b><br>CITY OF SARATOGA SPRINGS<br>1307 N. COMMERCE DR.<br>SUITE 200<br>SARATOGA SPRINGS, UT 84045<br>CONTACT: JEREMY LAPIN<br>PHONE: (801) 766-9793 EXT. 137      | <b>ELECTRIC</b><br>ROCKY MOUNTAIN POWER<br>70 NORTH 200 EAST<br>AMERICAN FORK, UT 84003<br>CONTACT: MARK STEELE<br>PHONE: (801) 756-1220  |   |
| <b>TELEPHONE</b><br>CENTURYLINK<br>75 E 100 NORTH<br>PROVO, UT 84606<br>CONTACT: RYAN ALLRED<br>PHONE: (385) 223-0084   | <b>MURPHY</b><br>CONTACT: GAVEN BALLINGER<br>422 N. WASHINGTON<br>EL DORADO, AR 71780<br>PHONE: (870) 866-7176  |   |

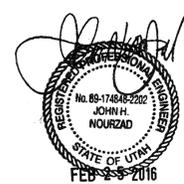
**AGENCY**

**DATE**

PLANNING & ZONING (SARATOGA SPRINGS)	_____
STORMWATER (SARATOGA SPRINGS)	_____
BUILDING (SARATOGA SPRINGS)	_____
NPDES	_____
ROCKY MOUNTAIN POWER	_____

BASED ON A SURVEY BY:  
PEPG CONSULTING, LLC  
8805 S. SANDY PARKWAY  
SANDY, UT 84070  
PHONE: (801) 562-2521  
FAX: (801) 562-2551  
OCTOBER 29, 2015

REVISION	DATE	DESCRIPTION
REV-0	11-06-15	REVIEW SET
REV-1	11-24-15	INITIAL CITY SUBMITTAL
REV-2	02-25-16	CITY RESUBMITTAL

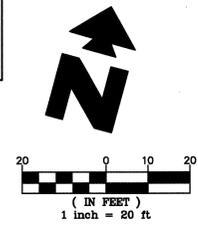


**GreenbergFarrow**  
CONTACT: GRANT DENNIS  
1430 W. PEACHTREE ST., STE. 200  
ATLANTA, GA 30309  
(404) 601-3928

ZONING:  
RC (REGIONAL COMMERCIAL)

1200SF-8(S)-2015v2

SHEET NO.  
**C-1**



- EXISTING**
- SURVEY BOUNDARY
  - EASEMENT
  - EXIST. CURB & GUTTER
  - EXIST. STORM DRAIN
  - EXIST. GAS LINE
  - EXIST. WATER LINE
  - EXIST. SEWER LINE
  - EXIST. TELEPHONE
  - EXIST. ELECTRIC
  - EXIST. 4" CONTOUR
  - EXIST. 5" CONTOUR
  - EXIST. STORM MANHOLE
  - EXIST. CATCH BASIN
  - EXIST. SEWER MANHOLE
  - EXIST. SIGN
  - EXIST. LIGHT POLE
  - EXIST. FIRE HYDRANT
  - EXIST. WATER VALVE
- PROPOSED**
- BOUNDARY LINE
  - CONCRETE INTEGRAL CURB
  - CF CONSTRUCTION FENCE (SEE DETAIL SHEETS)
  - CFP CONSTRUCTION FENCE ON PAVEMENT (SEE DETAIL SHEETS)
  - BUILDING/CANOPY CONTROL POINT

FEB 25 2016

- GENERAL SITE NOTES**
- A. ALL DIMENSIONS SHOWN ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
  - B. ALL CURB RETURN RADI SHALL BE 2', AS SHOWN TYPICAL ON THIS PLAN, UNLESS OTHERWISE NOTED.
  - C. UNLESS OTHERWISE SHOWN, CALLED OUT OR SPECIFIED HEREON:
    - ALL CURB ADJACENT TO CONCRETE PAVING SHALL BE INSTALLED PER DETAIL 1A.
    - PAVEMENT SHALL BE INSTALLED IN ACCORDANCE WITH THE PAVING PLAN OVER THE ENTIRE PARKING LOT AREA AND ALL APPROACH DRIVES.
    - SEE ASSOCIATED PLANS FOR CANOPY, COLUMN, PUMP ISLAND DETAILS AND LAYOUT.
  - D. CONTRACTOR SHALL BEGIN CONSTRUCTION OF ANY LIGHT POLE BASES FOR RELOCATED LIGHT FIXTURES AND RELOCATION OF ELECTRICAL SYSTEM AS SOON AS DEMOLITION BEGINS. CONTRACTOR SHALL BE AWARE THAT INTERRUPTION OF POWER TO ANY LIGHT POLES OR SIGNS SHALL NOT EXCEED 24 HOURS.
  - E. THE LOCATION OF THE CONSTRUCTION FENCE ON THE DRAWINGS IS FOR GRAPHICAL REPRESENTATION ONLY. THE CONTRACTOR IS TO ENSURE THAT THE CONSTRUCTION FENCE ENCOMPASSES THE ENTIRE WORK AREA.
  - F. ALL SLOPES AND AREAS DISTURBED BY CONSTRUCTION SHALL BE GRADED SMOOTH AND FOUR INCHES OF TOPSOIL APPLIED. IF ADEQUATE TOPSOIL IS NOT AVAILABLE ON SITE, THE CONTRACTOR SHALL PROVIDE TOPSOIL, APPROVED BY THE OWNER, AS NEEDED. THE AREA SHALL THEN BE SEED/SOODED, FERTILIZED, MULCHED, WATERED AND MAINTAINED UNTIL HARDY GRASS GROWTH IS ESTABLISHED IN ALL AREAS. ANY AREAS DISTURBED FOR ANY REASON PRIOR TO FINAL ACCEPTANCE OF THE PROJECT SHALL BE CORRECTED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
  - G. CONTRACTOR SHALL PURCHASE AND INSTALL A MAILBOX, AND SHALL COORDINATE LOCATION OF MAILBOX WITH MURPHY CONSTRUCTION MANAGER AND/OR ON-SITE REPRESENTATIVE AND LOCAL POSTMASTER.
  - H. ALL PROPOSED PAVEMENT STRIPING OR MARKINGS SHALL FOLLOW THE SPECIFICATIONS FOR PAINT INCLUDED IN DETAIL 10A.
  - I. BUSINESS OPEN FOR 24 HOURS MUST TURN OFF 50% OF THEIR OUTDOOR AND PARKING LOT LIGHTING BY 11:00PM AND MUST KEEP THEM OFF UNTIL ONE HALF HOUR BEFORE SUNRISE. HOWEVER, THOSE LIGHTING FIXTURES TURNED OFF MAY BE SET TO FUNCTION UTILIZING A MOTION DETECTOR SYSTEM.

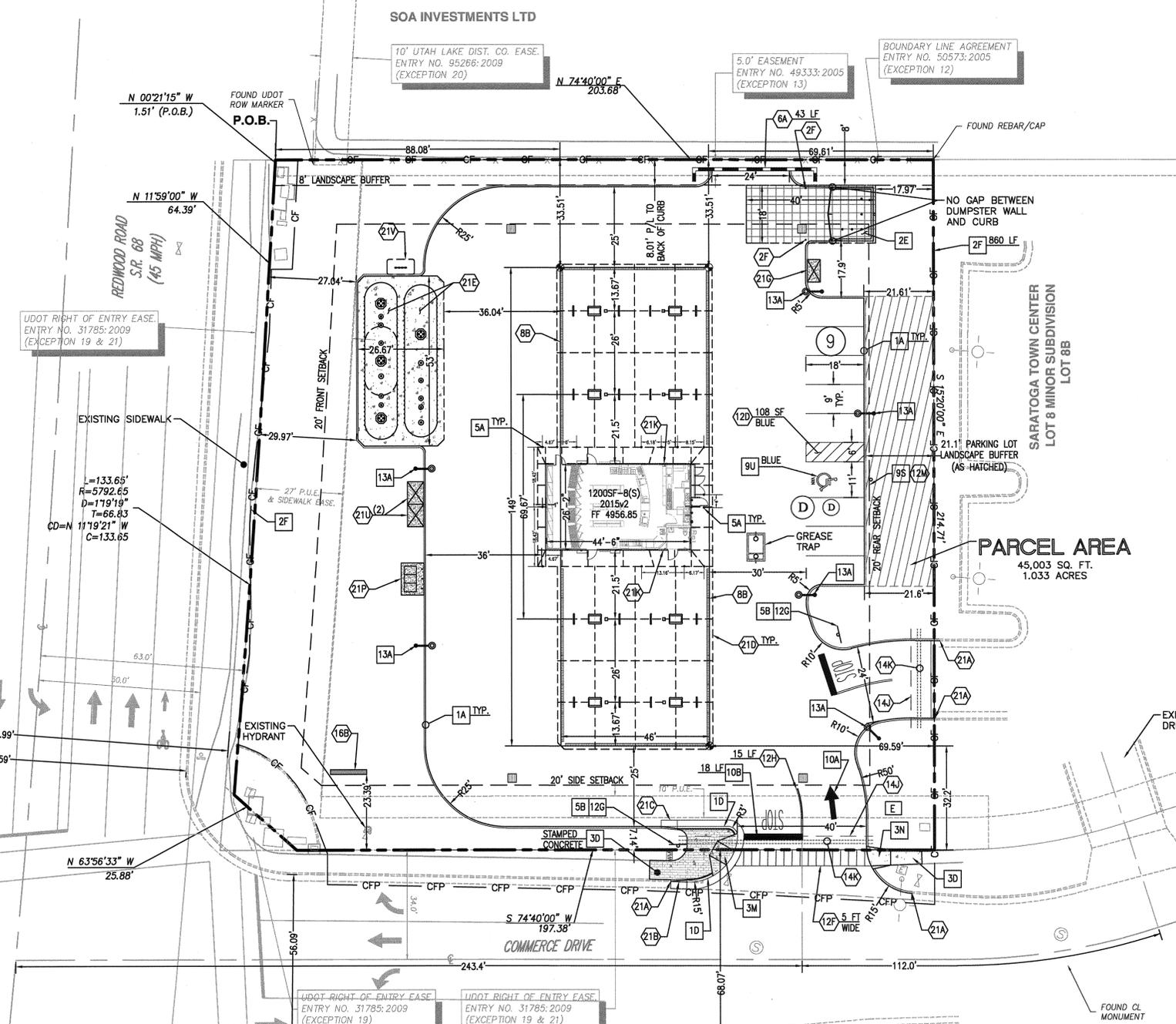
REV-2  
DATE 02-25-16  
PRN HW  
PM CD  
DES CB  
DRW CB

**SITE PLAN**  
MURPHY EXPRESS  
42 EAST COMMERCE DRIVE  
SARATOGA SPRINGS UT

**Greenbergfarrow**  
1450 W. PEACHTREE, SUITE 200  
ATLANTA, GA 30309  
PHONE: (404) 601 4000  
FAX: (404) 601 3970  
DWG NAME: SARATOGA SPRINGS, UT  
JOB NO.: 20150400

**MURPHY OIL USA, INC.**  
422 NORTH WASHINGTON  
EL DORADO, AR 71730

**MURPHY USA**

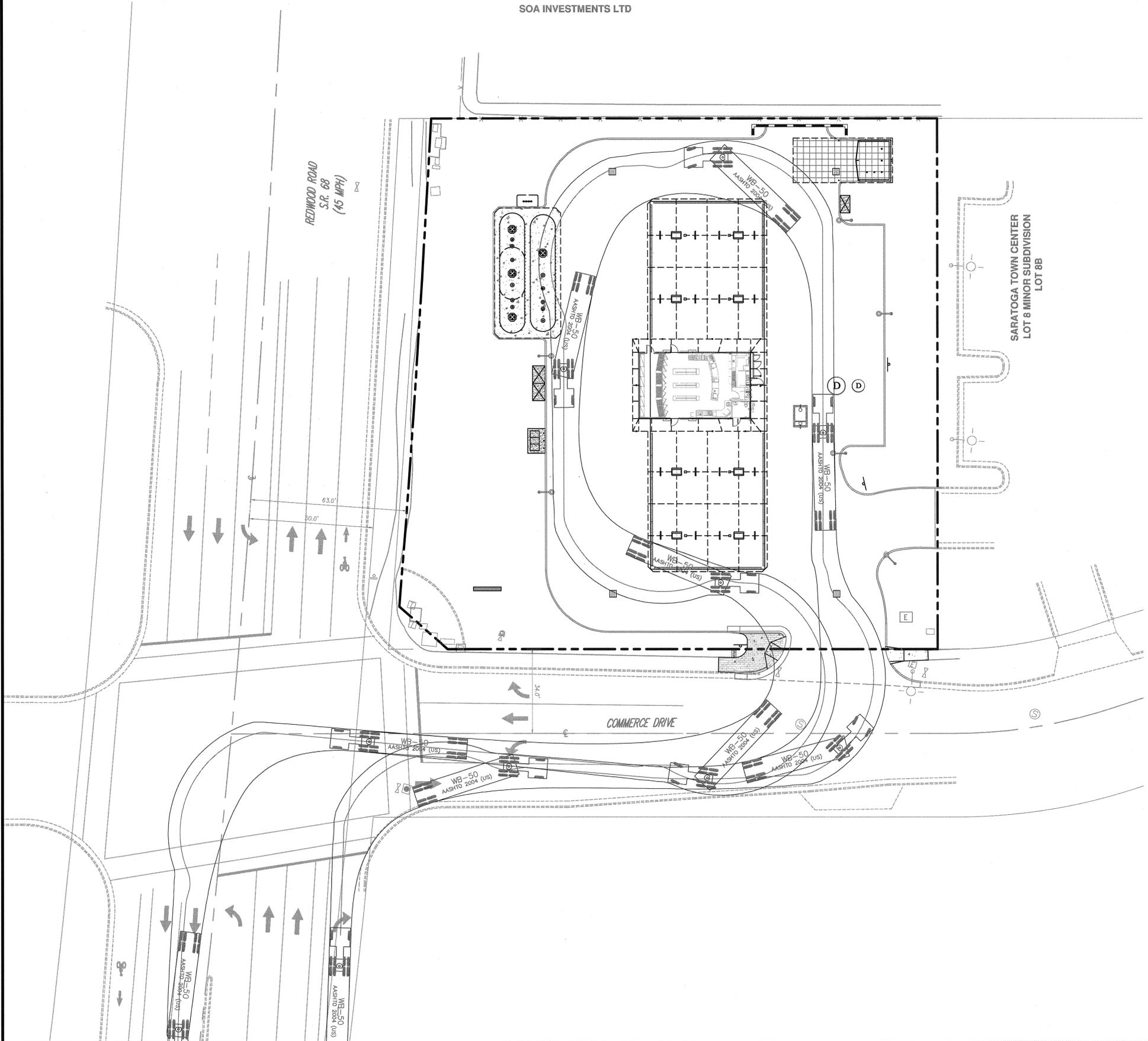
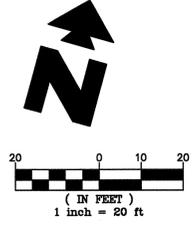


**PARKING INFORMATION: MURPHY**

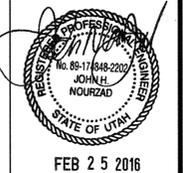
DESCRIPTION	BUILDING AREA (S.F.)	REQUIRED:			
		RATIO /1000 S.F.	REGULAR	ACCESSIBLE	VAN ACCESSIBLE
MURPHY EXPRESS	1200	5	5	1	6
STALL DIMENSIONS: 9'x18'		PROVIDED:			
		RATIO /1000 S.F.	REGULAR	ACCESSIBLE	VAN ACCESSIBLE
		7.5	8	1	9

- SITE NOTES**
- 2F DRILL (2) 3/4" X 5/8" DIA. HOLES (1) EACH FOR OPEN POSITION & CLOSED POSITION OF GATES. TO BE USED ON BOTH SIDES OF GATE. SEE DUMPSTER DETAIL.
  - 6A CONCRETE RETAINING WALL (SEE WALL PLANS)
  - 8B OVERHEAD CANOPY - (TYP - PER CANOPY PLANS)
  - 12D 4" WIDE PAINTED STRIPES, 2.0' O.C. @ 45' (SEE SIZE COLOR INDICATED AT SYMBOL)
  - 12F PEDESTRIAN CROSSING - 4" WIDE PAINTED YELLOW STRIPES, 2.0' O.C. @ 45' (SEE SIZE COLOR INDICATED AT SYMBOL)
  - 12H 4" DOUBLE TRAFFIC YELLOW LANE STRIPE (SEE LENGTH INDICATED AT SYMBOL)
  - 12M CONTRACTOR TO ENSURE THAT ANY LIGHT POLES OR HANDICAP PARKING SIGNS ARE AT LEAST 2' FROM THE BACK OF CURB TO PREVENT VEHICLES FROM STRIKING THESE ITEMS.
  - 14J GC TO INSTALL (1) 4" PVC SLEEVE FOR IRRIGATION LINE. SEE UTILITY PLAN FOR INSTALLATION REQUIREMENTS.
  - 14K GC TO INSTALL (2) 4" PVC SLEEVES FOR FUTURE USE. SEE UTILITY PLAN FOR INSTALLATION REQUIREMENTS.
  - 16B MURPHY OIL MONUMENT SIGN, PER APPROVED ELEVATION.
  - 21A TAPER CURB TO MATCH EXISTING CURB
  - 21B 5" TAPER OF CURB FROM EXISTING CURB AND GUTTER (TYPE B1-A) TO PROPOSED CURB AND GUTTER (TYPE M1-A)
  - 21C 5" TAPER OF CURB FROM PROPOSED CURB (DETAIL 1A) TO PROPOSED CURB AND GUTTER (TYPE M1-A)
  - 21D EDGE OF CONCRETE SLAB, PER TANK/PIPING PLANS.
  - 21E UNDERGROUND STORAGE TANKS (1) 25,000 GAL-REGULAR, (1) 8,000 GAL-PREMIUM, (1) 10,000 GAL-DIESEL, (1) 8,000 GAL-E-85.
  - 21G AIR VACUUM UNIT WITH 4' x 7" CONCRETE SLAB
  - 21K MURPHY EXPRESS ID SIGN, PER APPROVED ELEVATION.
  - 21P 5' x 10' CONCRETE PAD FOR PROPANE TANKS.
  - 21U 5' x 7" CONCRETE SLAB FOR ICE UNIT. SEE NUMBER INDICATED AT SYMBOL.
  - 21V CONCRETE PAD FOR VENT RISERS, PER TANK & PIPING PLANS.
- SITE DETAILS -- SEE DETAIL SHEETS**
- 1A INTEGRAL CONCRETE CURB
  - 1D UTAH DOT CONCRETE CURB AND GUTTER (TYPE M1)
  - 2E DUMPSTER ENCLOSURE
  - 2F CONSTRUCTION SAFETY FENCE
  - 3D CONCRETE SIDEWALK (CITY OF SARATOGA SPRINGS STANDARD ST-1)
  - 3M PERPENDICULAR PEDESTRIAN RAMP
  - 3N CORNER PEDESTRIAN RAMP
  - 5A GUARD POST (SINGLE)
  - 5B TRAFFIC SIGN IN BOLLARD
  - 9S ACCESSIBLE / VAN ACCESSIBLE PARKING SIGN (TYP.)
  - 9U ACCESSIBLE PARKING SYMBOL (SEE PAINT COLOR INDICATED AT SYMBOL)
  - 10A TRAFFIC FLOW ARROW (TYP.)
  - 10B STOP BAR (TYP.)
  - 12G "STOP" SIGN
  - 13A SITE LIGHT POLE. SEE PHOTOMETRIC PLANS FOR POLE BASE DETAIL, FIXTURE TYPE, AND MOUNTING DETAILS.

Exhibit 3.b  
Truck Radius



SHEET NO.  
**C-9**



FEB 25 2016

REV-2    02-25-16    HW    GD    CB    CB    CB    DRW  
 DATE    PRN    PM    DES    DES    DES  
**TRUCK ROUTE PLAN**  
**MURPHY EXPRESS**  
**42 EAST COMMERCE DRIVE**  
**SARATOGA SPRINGS    UT**

**GreenbergFarrow**  
 1430 W. PEACHTREE ST. NW SUITE 200  
 ATLANTA, GA 30340  
 PHONE: (404) 601-4000  
 FAX: (404) 601-3970  
 DWG NAME: SARATOGA SPRINGS, UT  
 JOB NO.: 20150400

**MURPHY OIL USA, INC.**  
**MURPHY USA**  
 422 NORTH WASHINGTON  
 EL DORADO, AR 71730



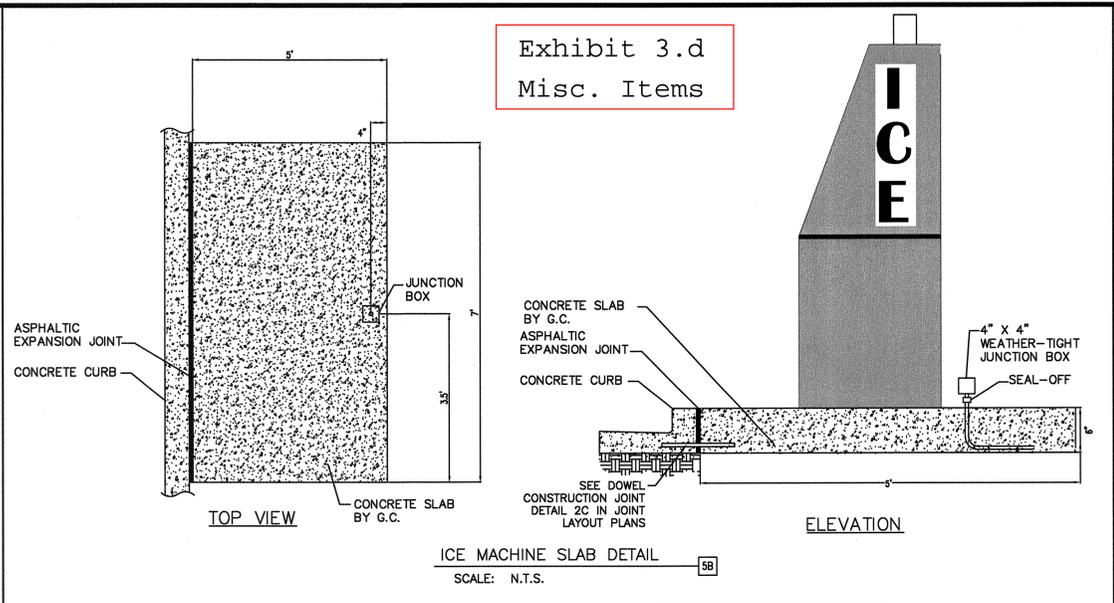
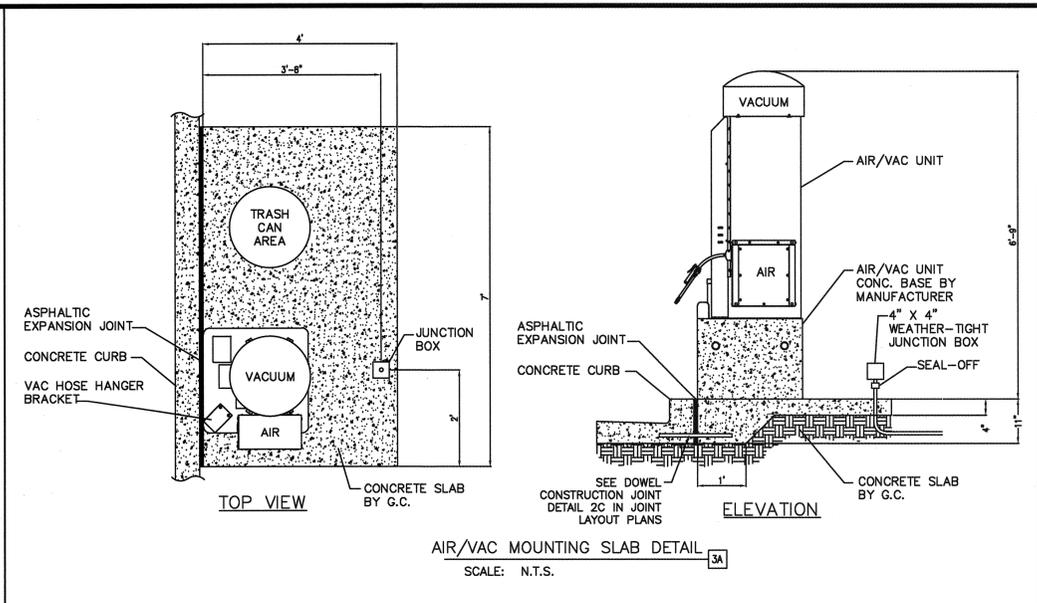
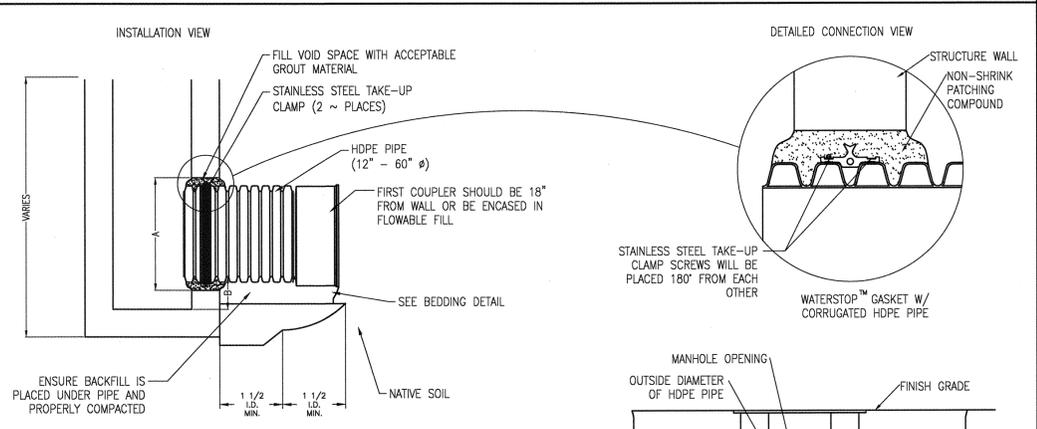
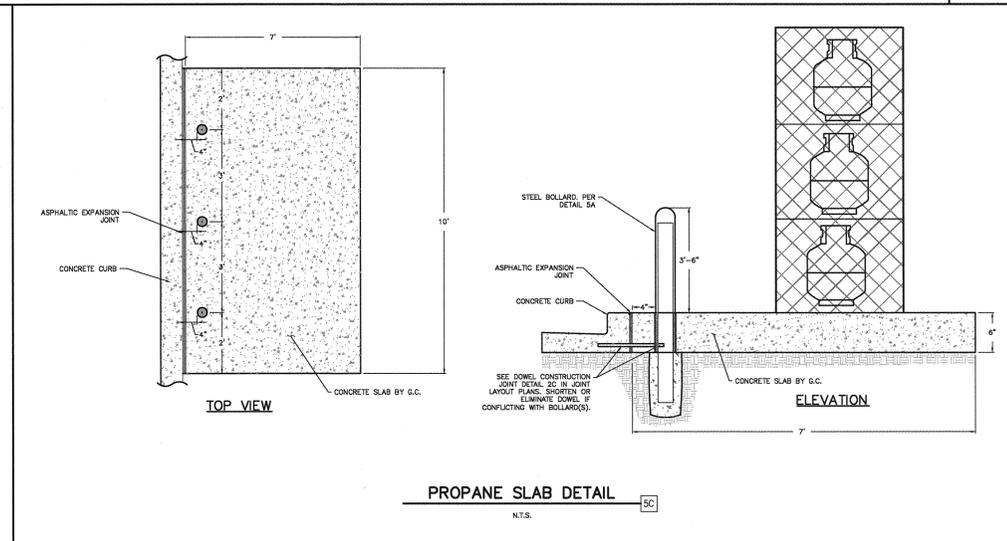


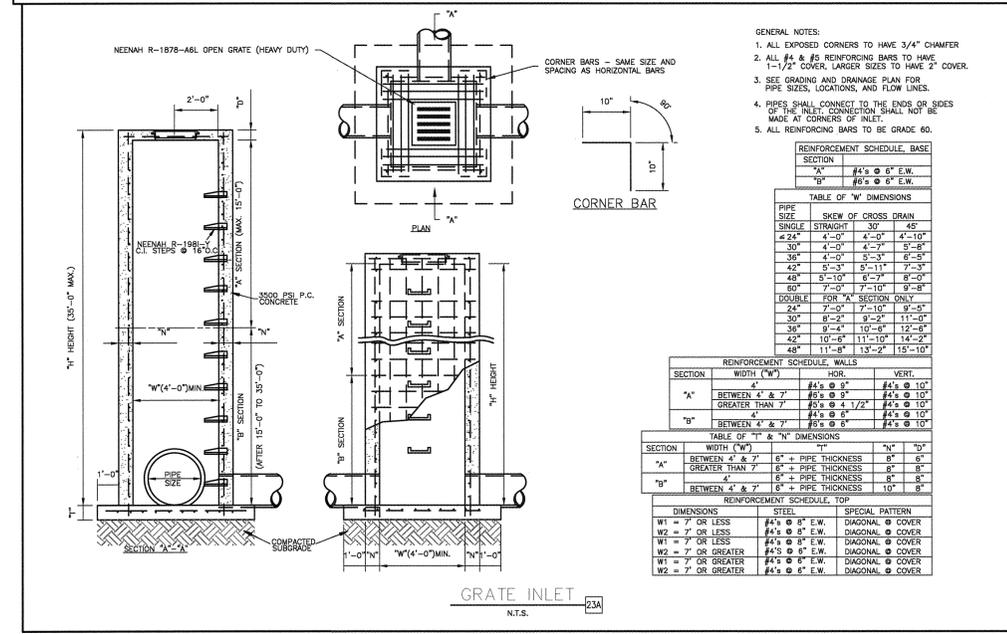
Exhibit 3.d  
Misc. Items

SHEET NO. **C-14**  
FEB 25 2016

REV-2  
DATE 02-25-16  
HW PRN  
CD PM  
CB DES  
DRW  
**DETAILS**  
MURPHY EXPRESS  
42 EAST COMMERCE DRIVE  
SARATOGA SPRINGS UT



PIPE SIZE (IN)	PIPE OD (IN)	"A" MIN. HOLE $\phi$ (IN)	"B" MIN. DISTANCE PIPE INVERT TO STRUCTURE INVERT (IN)
6	6.9	11.90	4.0
8	9.1	13.10	4.0
10	11.4	16.40	4.0
12	14.5	19.50	4.0
15	18.0	23.00	4.0
18	22.0	27.00	4.2
24	28.0	33.00	4.5
30	36.0	41.00	5.2
36	42.0	47.00	5.7
42	48.0	53.00	5.7
48	54.0	59.00	5.7
60	67.0	72.00	6.4



**Greenbergfarrow**  
1480 W. PRAIRIE BLVD., SUITE 200  
KATY, TEXAS 77450  
PHONE: (409) 601-4000  
FAX: (409) 601-3970  
DWG NAME: SARATOGA SPRINGS, UT  
JOB NO.: 20150400

MURPHY OIL USA, INC.  
422 NORTH WASHINGTON  
EL DORADO, AR 71730  
**MURPHY USA**

Exhibit 3.e  
Lighting

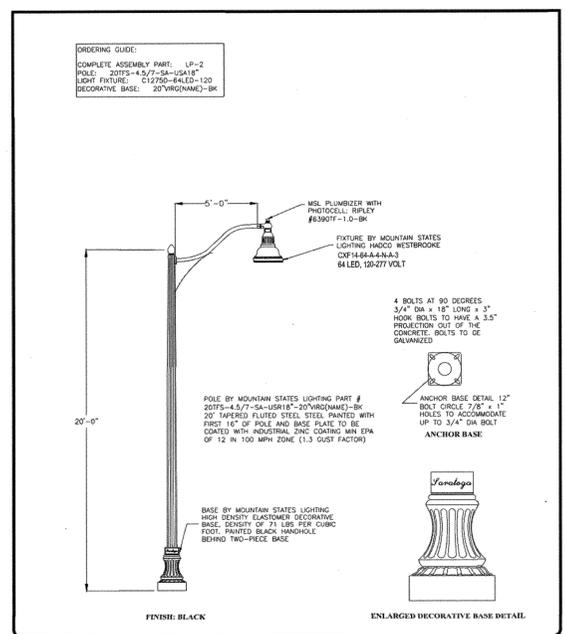
DATE	2/25/2016
DESIGN BY	JMG
DRAWN BY	JMG
REVISION	REVERSE PER SITE CHANGES
No.	1

**Galoway**  
Planning, Architecture, Engineering,  
6162 S. Willow Drive, Suite 320  
Greenwood Village, CO 80111  
303.770.3636 F  
www.galowayus.com

**MURPHY EXPRESS**

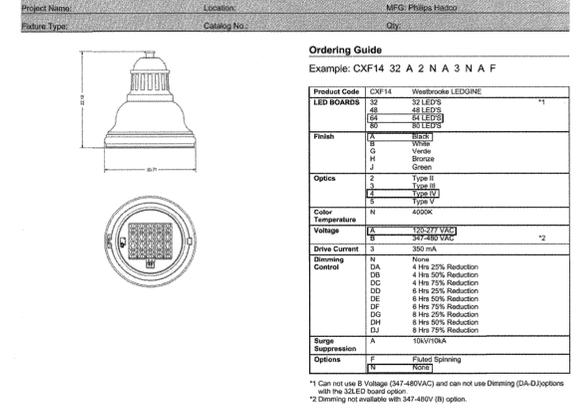
**MURPHY EXPRESS**  
SARATOGA SPRINGS, UTAH

Project No: MOC9397  
Sheet Scale: 1"=30'-0"  
Designed By: JMG  
Drawn By: JMG  
Date: November, 2015  
Link File: Photometric Site Plan-Saratoga Springs, UT  
**PHOTOMETRIC DETAILS**



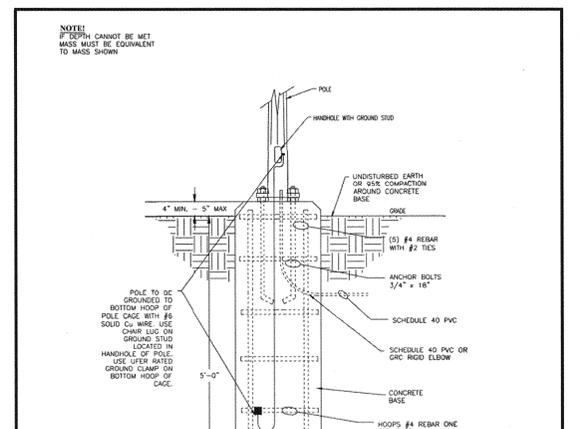
DATE	APRIL 2014
DESIGNED BY	JMG
DRAWN BY	JMG
PROJECT	SARATOGA SPRINGS CITY
LOCATION	SPRINGS CITY
PROJECT NO.	LP-2

**Westbrooke LEDGINE (CXF14) Specification Sheet**



**Specifications**  
**APPLICATIONS:** The CXF14 is the perfect LED solution for decorative street lighting and is the ideal luminaire for both new and retrofit installations. Other application locations include: residential streets, city streets, campuses and parking lots. The performance, energy savings, and uniformity of this luminaire make it an ideal pendant LED solution.  
**CONSTRUCTION:** Consisting of many or other hazardous chemicals, the CXF14 is fully recyclable. The housing is constructed of low copper die-cast aluminum and 0.090" thick spun aluminum. The fixture lens frame is cast aluminum with a stainless steel spring latch for tool-less lamp access. All non-ferrous fasteners prevent corrosion and ensure longer life. Mounting options include side arm, top arm and wall mount.  
**LED SPECIFICATIONS:** Refer to LED files for energy consumption and delivered lumens for each option. Based on in-lab thermal testing and data from Philips Lumileds and Philips Advance. Before can be expected to reach 65,000 hours (at 1.70 lumen maintenance @ 25°C). The Philips LEDGINE uses Philips Lumileds LEDs. Color temperatures available are ANSI Bin 5000KCT. Flux distributions are available including Type 2, 3, 4 and 5.  
**ELECTRONIC DRIVER:** The driver included in the LEDGINE Pendant is the Philips Advance XTANALUM LED driver. Standard driver offers 0-10V dimming capability and universal voltage input from 120-277VAC or 347-480VAC. 32 LED options are not available with 0-10V dimming or 347-480V. Input frequency is 50-60Hz and an XTANALUM driver are both constant. The driver has 15kV surge suppression built in, additional 15kV/100A surge suppressor supplied.  
**FINISH:**

DATE	APRIL 2014
DESIGNED BY	JMG
DRAWN BY	JMG
PROJECT	SARATOGA SPRINGS CITY
LOCATION	SPRINGS CITY
PROJECT NO.	LP-2B



**CONCRETE BASE DETAIL FOR COLLECTOR ROADS, COMMERCIAL AREAS, & PARKING LOT LIGHTS**

DATE	APRIL 2014
DESIGNED BY	JMG
DRAWN BY	JMG
PROJECT	SARATOGA SPRINGS CITY
LOCATION	SPRINGS CITY
PROJECT NO.	LP-2B

MANUFACTURER SPECIFICATION SHEET FOR SITE FIXTURE 'S', DECORATIVE POLES, ARMS AND POLE BASE

**LR6-18L**  
6" LED Downlight

**Product Description**  
The LR6-18L LED downlight delivers 1800 lumens of exceptional 90-CRI light while achieving 90 lumens per watt. This breakthrough performance is achieved by combining the high efficiency and high quality light of Cree's TrueWhite™ Technology with an integrated driver and thermal management design. The LR6-18L is available in warm or neutral color temperatures and has a variety of beam options. It easily installs into one six-inch G24 housings or may be retrofit with a G24 with adapter.  
**Applications:** Commercial new construction and retrofit.

**Performance Summary**  
Utilizes Cree TrueWhite™ Technology  
Active Color Management  
Delivered Light Output: 1800 lumens  
Input Power: 20 watts  
CRI: 90  
 CCT: 2700K, 3000K, 3500K, 4000K  
 Lifetime: Designed to last 50,000 hours  
 Dimming: Dimmable to 5%  
 Suitable for non-insulated ceilings only

**Housing & Accessories**  
Reference Housing & Accessory documents for more details.

Item	Part Number	Description
LR6-18L	2700-01	Black anodized finish
LR6-18L	3500-01	Black anodized finish
LR6-18L	4000-01	Black anodized finish
LR6-18L	5000-01	Black anodized finish
LR6-18L	6000-01	Black anodized finish
LR6-18L	7000-01	Black anodized finish
LR6-18L	8000-01	Black anodized finish
LR6-18L	9000-01	Black anodized finish

**Ordering Information**  
Example: LR6-18L-3500-01-20-A-GH

Part	Series	Beam Output	Color Temperature	Voltage	Wattage	Options
LR6-18L	TML	1800 lumens (90-180°)	2700K, 3000K, 3500K, 4000K, 5000K, 6000K, 7000K, 8000K, 9000K	120V, 277V, 300V, 347V	20W	None, Dimming, Fluxed Spinning

**CREE**  
www.cree.com/lighting

**XSP Series**  
XSP™ Wall Mount Luminaire

**Product Description**  
The XSP™ LED wall mount luminaire has a slim, low profile design intended for outdoor wall mounted applications. The rugged lightweight aluminum housing and mounting base are designed for installation over standard and mud ring galleys. The luminaire allows for through-wired or conduit entry from the top, bottom, sides and rear. The housing design is intended specifically for LED technology including a weatherlight LED driver compartment and thermal management. Optic design features industry leading NanoOptic™ Precision Delivery Grid™ system in multiple distributions.  
**Applications:** General area and security lighting.

**Performance Summary**  
Utilizes NanoOptic™ Technology  
Made in the U.S.A. of U.S. and imported parts  
CRI: Minimum 70 CRI  
 CCT: 4000K (A), 5000K (B), 5700K (C), 6000K (D)  
 Limited Warranty: 10 years on luminaire/10 years on Colorfast DeltaGuard™ finish

**Accessories**  
Flux Filter  
Conduit holder kit for standard wall packs  
MSP-P12-14 (2000lm) Square  
MSP-P12-18 (2700lm) Square  
MSP-P12-24 (3600lm) Square

**Ordering Information**  
Example: XSPW-2000-02

Part	Series	Beam Output	Color Temperature	Voltage	Wattage	Options
XSPW	2000	2000 lumens (120°)	4000K, 5000K, 5700K, 6000K	120V, 277V, 300V, 347V	20W	None, Dimming, Fluxed Spinning

**BetaLED TECHNOLOGY**  
www.betaled.com/lighting

**LED CANOPY LIGHT - LEGACY™ (CRU)**

**HOUSING - Low profile, durable die-cast, aluminum construction, providing a reliable weather-tight seal.**  
**LEDS - Select, mid-power, high brightness, LED chips, Cool White 5000K color temperature, 70 CRI (minimum).**  
**DRIVE CURRENT - Choice of High Output (HO) or Very High Output (VHO).**  
**OPTICS / DISTRIBUTION - Choice of Symmetrical or Asymmetrical, which directs light through a clear tempered glass lens, to provide a uniform distribution of light to vertical and horizontal surfaces.**  
**OPTICAL UNIT - Features an ultra-slim 3/4" profile die cast housing, with a flat glass lens. Unit is water resistant, sealed to an IP67 rating. Integral designed heat sink does not trap dirt and grime, ensuring cool running performance over the life of the fixture.**  
**PRESSURE STABILIZING VENT - Luminaire assembly incorporates a pressure stabilizing vent together to prevent seal fatigue and failure.**  
**HAZARDOUS LOCATION - Designed for lighter than air fuel applications. Product is suitable for Class 1 Division 2 only when properly installed per LSI installation instructions.**  
**DRIVER - State-of-the-art driver technology superior energy efficiency and optimum light output. LSI driver components are fully enclosed in potting for IP65 moisture resistance. Complies with IEC and FCC standards. Surge protected at 10kV, 0-10 V dimming supplied standard with all drive currents.**  
**DRIVER HOUSING - Die cast aluminum, wet location rated driver/electrical enclosure is elevated above canopy deck to prevent water entry, provide easy "knock-out" connection of primary wiring and contributes to attaining the lowest operating temperatures available. Seals to optical housing via one-piece molded silicone gasket.**  
**OPERATING TEMPERATURE - 40°C to 50°C (104°F to 122°F)**  
**ELECTRICAL - Universal voltage power supply, 120-277 VAC, 50/60 Hz input. LSI drivers feature two-stage surge protection (including separate surge protection built into electronic driver) meets IEEE C82.41.2-2002, Scenario 1, Location Category C.**  
**FINISH - Standard color is white and is finished with LSI's Duragrip polyester powder coat process. Duragrip withstands extreme weather changes without cracking or peeling.**  
**INSTALLATION - One person installation. No additional sealant required. Installs in a 12" or 16" deck pan. Deck penetration consists of a 4" hole, simplifying installation and water sealing. Unit is designed to quickly retrofit into existing Scottsdale 4" hole as well as openings for Encore and Encore Top Access and to accommodate wiring for the SCICTA without having to relocate the conduit. Retrofit panels are available for existing Encores (see back page) as well as kits for recessed and 2x2 installations (see separate spec sheets). Support brackets are provided standard, to prevent sagging of deck.**  
**SHIPPING WEIGHT - 25 pounds (single pack), 50 pounds (double pack).**  
**EXPECTED LIFE - Minimum 60,000 to 100,000 hours depending upon the ambient temperature of the installation location. See LSI web site for specific guidance.**  
**WARRANTY - Limited 5-year warranty.**  
**LISTING - UL and ETL listed in U.S., UL 1598, UL 8750 and other U.S. and International safety standards. Suitable for wet locations.**  
**PHOTOMETRICS - Applications layouts are available upon request. Contact LSI Petroleum Lighting or petroleum.apps@lsindustries.com**

**Class 1, Division 2 - Standard on HO only**  
**TS Temperature Classification - The surface temperature of this product will not rise above 100°C, within a 40°C ambient.**  
**Gas Groups A, B, C, and D - Group A: Acetylene / Group B: Hydrogen / Group C: Propane and Ethylene / Group D: Benzene, Butane, Methane & Propane.**

**CRU FXI (for double deck applications)**

Beam Output	Lumens	Watts	LPW
HO - High Output	18,000	140	129
VHO - Very High Output	21,900	164	134

**Light Output - CRU**

**LSI INDUSTRIES INC.**

**LED CANOPY LIGHT - LEGACY™ (CRU)**

**LUMINAIRE ORDERING INFORMATION**  
TYPICAL ORDER EXAMPLE: CRU SC LED HO CW UE WHT

Part	Series	Beam Output	Color Temperature	Voltage	Wattage	Options
CRU	SC	LED HO	CW	UE	WHT	

**PHOTOMETRIC**  
1 - AC distribution utilizes a reflector which alters the beam from a standard S distribution.  
2 - VHO only available in HO drive current.  
3 - B-Level available on "HO" drive current only. It provides a manually operated, 2 position toggle switch to permit switching from "HO" (high) to 50% of power (low) drive currents.

**ACCESSORY ORDERING INFORMATION** (Accessories are sold separately)

Accessory	Order Number	Description	Order Number
Retrofit Panel - 12" (12" x 12" x 1/2") for 12" Deck Panel	50564	12" Hole Plug and Silicone (enough for 25 retrofits)	130540
Retrofit Panel - 16" (16" x 16" x 1/2") for 16" Deck Panel	50501	CSU FPC - Flange Ring	1333680
Retrofit Kit - 12" (12" x 12" x 1/2")	34702	1 - 1/2" x 1/2" x 1/2" Plug and (1) 1/2" x 1/2" x 1/2" Plug	
Retrofit Kit - 16" (16" x 16" x 1/2")	34702	2 - Flange Kit used to mount CRU in double deck applications	

**DIMENSIONS**

**CRU FXI (for double deck applications)**

**Light Output - CRU**

Beam Output	Lumens	Watts	LPW
HO - High Output	18,000	140	129
VHO - Very High Output	21,900	164	134

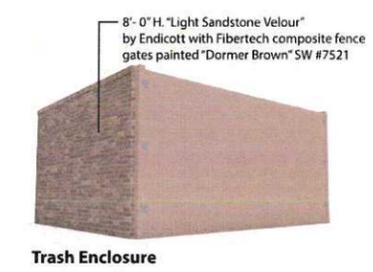
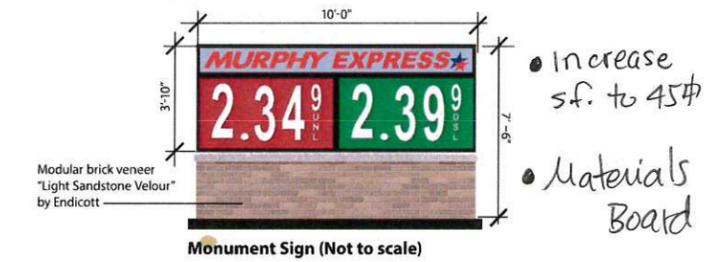
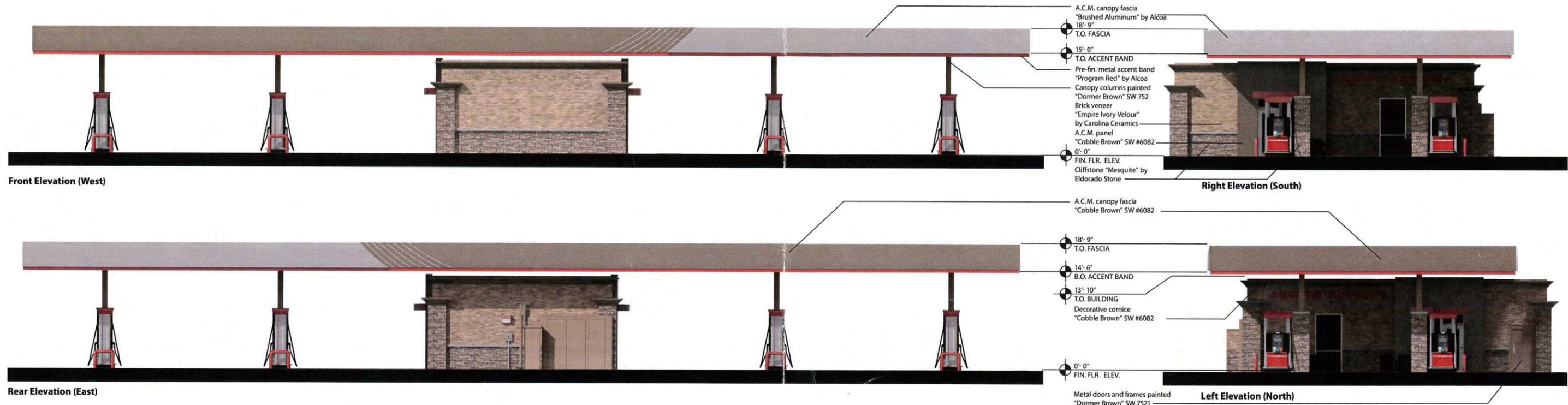
**LSI INDUSTRIES INC.**

MANUFACTURER SPECIFICATION SHEET FOR SOFFIT FIXTURE 'M'

MANUFACTURER SPECIFICATION SHEET FOR WALL FIXTURE 'WALL'

MANUFACTURER SPECIFICATION SHEET FOR CANOPY FIXTURE 'CANOPY'

Exhibit 3.f  
Elevations



RECEIVED FEB 29 2016

Sign	Qty.	Height	Width	Area	Total S.F.
Murphy Express canopy logo sign	2		Graphic Area	24.00	48.00
Monument Sign	1	46.00"	120.00"	38.33	38.33
<b>Total Signage</b>					<b>86.33</b>

APPLICATION REVIEW CHECKLIST

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**Application Information**

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<b>Date Received:</b>	Original: December 10, 2015 Concept plan: February 2016 Complete Resubmittal: February 29, 2016
<b>Project Name:</b>	Murphy Express
<b>Project Request / Type:</b>	Concept Plan, Site Plan, Conditional Use
<b>Body:</b>	Planning Commission; City Council
<b>Meeting Type:</b>	Public Hearing
<b>Applicant:</b>	GreenbergFarrow, Murphy Express
<b>Owner (if different):</b>	Stations West Saratoga LLC
<b>Location:</b>	NE Corner of Commerce Drive and Redwood (North of Autozone)
<b>Major Street Access:</b>	Redwood Road
<b>Parcel Number(s) and size:</b>	66:268:0004, 1.033 acres
<b>General Plan Designation:</b>	Regional Commercial
<b>Zone:</b>	Regional Commercial (RC)
<b>Adjacent Zoning:</b>	RC, Lehi
<b>Current Use:</b>	Vacant
<b>Adjacent Uses:</b>	Commercial, Vacant, Agricultural
<b>Previous Meetings:</b>	None
<b>Land Use Authority:</b>	City Council
<b>Future Routing:</b>	City Council
<b>Planner:</b>	Kimber Gabryszak, AICP

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**Section 19.13 – Application Submittal**

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- Application Complete: **yes**
  - Missing: Concept plan application was missing originally; provided February 2016
- Rezone Required: **no**
- General Plan Amendment required: **no**
- Additional Related Application(s) required: **none**

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**Section 19.13.04 – Process**

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- DRC:
  - 1/11/2016 and 2/1/2016
- Neighborhood Meeting: not required
- PC: 3/24/2016
- CC: Tentatively 4/19/2016

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**General Review**

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## Fire Department

- Second access and turning radius concerns – resolved through modification to entrance
- Fire flows shall be met for this development as well as future development in the area. All IFC 2012 Edition requirements shall be met.

## Architectural and Urban Design – 19.14.04, Complies

- Mechanical Equipment – screened
- Windows – n/a
- Building Lighting – minimal and appropriate
- Trash Enclosures, Storage Areas, and External Structures – provided and screened appropriately
- Exterior Materials – provides a mixture of materials and colors
- Landscape Requirements – minimum 20% required
- Parking Lot and Street Lighting – Parking located both in front of and behind structure
- Design Standards – see 19.14 below

## Additional Recommendations:

- Staff supports applicant's suggestion to comply with 40' access width, while providing mountable curb for delivery trucks with additional width. Staff suggests contrasting color and / or stamping to ensure automobiles remain inside the primary access.

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## Code Review

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- 19.04, Land Use Zones – **complies**
  - Zone – RC, 19.04.22.
  - Use – Automobile Refueling Station, CUP required
  - Density – n/a
  - Setbacks – **complies**
    - Front: 20'
    - Rear: 20' (30' against ag or residential zone)
    - Side: 20' (30' against ag or residential zone)
    - One 10' exception may be granted – none requested
    - Building must be 5' from any road, driveway, or parking space
  - Lot width, depth, size, coverage – **complies**
    - Minimum size 20,000 sq.ft. Lot is 45,003 sq.ft. (1.033 acres)
  - Dwelling/Building size
    - Minimum 1000 sq.ft.
    - Proposed 1200 sq.ft.
  - Lot Coverage – 50%, complies
  - Height – max 50', complies
  - Open Space / Landscaping – **complies**
    - $20\% \text{ of } 45,003 * 0.2 = 9000.6 \text{ sq.ft.}$ ; provided: 16,507 sq.ft.
    - Front yard area 20' – provided
    - 10' between parking areas and side or rear property lines adjacent to ag or residential, provided
  - Sensitive Lands – n/a
  - Trash – provided
  - Wall or fence to screen boundary against ag or residential – n/a
- 19.05, Supplemental Regulations

- Property access – **complies**, property has required frontage and access
- 19.06, Landscaping and Fencing
  - General Provisions – low-flow sprinklers and water conserving devices required – rain sensor provided, low-flow to be verified, **condition of approval**
  - Landscaping Plan – provided
  - Planting Standards & Design
    - Caliper (deciduous 2", evergreen 6' height) – **complies**
    - Tree base clearance – **complies**
    - Shrubs, 255 at 5 gal, remainder at 1gal – **complies**, all 5 gallon
  - Amount – **complies**
    - Deciduous required: 6, provided: 8
    - Evergreen required: 3, provided: 10
    - Shrubs required: 17, provided: 292
    - Turf minimum 35%, maximum 65%, provided 39%
    - Shrub bed maximum: 65%, provided: 41%
  - Clear Sight Triangle – **complies**
- 19.09, Off Street Parking – **complies**
  - Parking Requirements / Design – materials, striping, and access complies
  - Dimensions – 9'x18', complies
  - Accessible – provided 1 van accessible
  - Landscaping – **complies** (not enough stalls to require islands)
  - Minimum Requirements:
    - Required: 1:100 = 12 spaces
    - Provided: 7.5:1000 = 9 spaces, plus 8 fueling spaces, exceeds requirement
- Section 19.11, Lighting – **complies with conditions**
  - Pole height: 20' max, complies
  - Design: metal, black, decorative base, arm and bell shade, complies
  - Dark sky: downward directed and fully shielded, complies
  - No building lighting proposed
  - Color unclear; cannot exceed 4000, condition of approval
  - Hours of operation: 50% turned off by 11pm, may use motion sensor, condition of approval
- Section 19.13, Process
  - Notice / Land Use Authority – PC hearing, CC decision
- 19.14, Site Plans – **complies with conditions**
  - Site plan contents: provided
  - Screening: n/a
  - Access requirements:
    - Maximum width of 40' – complies
    - Interconnection – required to provide an access easement and stub to the north, and connect to existing development to the east, complies with condition to replace rock wall with stub & easement
    - Truck loading – complies; utilization of a fueling space
  - Architectural standards
    - Mechanical equipment shielded: complies

- Building lighting: shielded and downward directed
- Trash enclosure: treated to match the main building, and 3' landscaped buffer provided
- Canopies and islands must be compatible with main structure: complies
- All building elevations treated to avoid appearance of "back of building": complies
- Canopy light fixtures fully recessed or fully shielded by soffit to avoid light spill: complies

- 19.15, Conditional Use Permit

**19.15.05.**

4. The Conditional Use shall meet the following standards:

- a. the use will not, under the circumstances of the particular case, be detrimental to the health, safety, or general welfare of persons residing or working in the vicinity, or injurious to property or improvements in the vicinity;  
**Complies – traffic flow and accesses have been limited to minimize potential conflicts**
- b. the use will be consistent with the intent of the land use ordinance and comply with the regulations and conditions specified in the land use ordinance for such use;  
**Complies – see special standards, and General Plan analysis in staff report**
- c. the use will be consistent with the character and purposes stated for the land use zone involved and with the adopted Land Use Element of the General Plan;  
**Complies – see General Plan analysis in staff report**
- d. the use will not result in a situation which is cost ineffective, administratively infeasible, or unduly difficult to provide essential services by the City, including roads and access for emergency vehicles and residents, fire protection, police protection, schools and busing, water, sewer, storm drainage, and garbage removal; and  
**Complies – applicants are responsible for installation and maintenance of mountable curb for delivery truck access, and repair of damage from truck traffic**
- e. the proposed use will conform to the intent of the City of Saratoga Springs General Plan.  
**Complies – see General Plan analysis in staff report**

**19.05.06 – Special Standards and Considerations Governing Particular Uses**

**1. Automobile refueling stations and car wash operations.** As Conditional Uses, automobile refueling stations and car wash (self-serve) operations may be permitted under the following conditions:

- a. The proposed location of the Conditional Use is in accord with the Land Use Ordinance and land use zone in which the site is located. – **complies**; the property is zoned RC
- b. They do not break up contiguity for pedestrians of retail store frontage. – **complies**; no retail store frontage exists in this location and pedestrian connectivity is provided
- c. They will not be a nuisance to residences and other surrounding uses. – **complies with conditions**; conditions to comply with light, traffic, and architectural standards will ensure that the use will not be a nuisance
- d. They will not cause traffic hazards or undue traffic congestion. – **complies with conditions**; the City Engineer has recommended modifications to minimize congestion and ensure adequate traffic flow.
- e. For automobile refueling stations or free standing car washes, the lot frontage, if located on a major street, shall not be less than 125 feet. – **complies**; both lot frontages are over 200', thus exceeding 125'

- f. For automobile refueling stations or car wash operations with gasoline, diesel, or natural gas pumps shall have buildings of the type of construction as required in applicable building codes, and are to be located at a distance of not less than twenty-five feet from property or building setback lines, whichever is greater. – **complies**; the pump setbacks are a minimum of 25’
- g. Gasoline pumps and pump islands for car wash operations or automobile refueling stations shall have a canopy and the setback, measured from the edge of the canopy, shall be not less than twenty-five feet from any property lines or shall be in conformity with the building setback lines of the zone, whichever is greater. – **complies**; the canopy setback is a minimum of 25’
- h. Driveway design and spacing for automobile refueling stations or car wash operations shall be reviewed by the City Engineer, whose recommendation will be forwarded to the Planning Commission. – **complies**; the site has been reviewed, and the driveway design and spacing modified to meet Engineering requirements
- i. The minimum closest distance from the automobile refueling stations or car wash with gas pumps site to an existing school, park, playground, museum, or place of public assembly shall not be less than 500 feet. – **complies**; the nearest park, school, or public assembly is more than 500’ from the site
- j. No outdoor storage of rental trucks or trailers, stacks of tires, or other merchandise will be provided by the automobile refueling stations or car wash operation except when such equipment or merchandise is screened by an approved fence not less than six feet in height. – **complies**; no outdoor storage is proposed

- 19.18, Signs – **can comply – condition of approval**

- 2 Canopy logo signs, 24 sq.ft. ea (total 48), and 4 Canopy price signs, 17.54 sq.ft. ea (total 70.16)
  - Maximum size 10% of canopy or 15 sq.ft., whichever is less
  - Size exceeds maximum of 15 sq.ft. and must be reduced
  - Signage resubmittal not yet provided
- Maximum of two freestanding canopies may be used: complies
- 1 Monument sign, 38.33 sq.ft., height 7’6”, base exceeds 2’ & extends full width: **complies** (option is to increase size of monument sign to 45 sq.ft. to make up for reduced canopy signage)



## Planning Commission Memorandum

**Author:** Kara Knighton, Planner I  
**Memo Date:** Thursday, March 17, 2016  
**Meeting Date:** Thursday, March 24, 2016  
**Meeting Type:** Work Session  
**Re:** ABC Great Beginnings Rezone, and Concept Plan

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### Background & Request

The applicant is requesting approval of a Rezone to change the zone of the property from Agriculture (A) to Mixed Use (MU) to match the Land Use Plan designation of Mixed Use in the General Plan.

The applicant is requesting the MU zone for the entire 3.63 acres at the northwest corner of Redwood Road and Aspen Hills Boulevard for a development consisting of residential, retail, and office space. The proposal includes 4,200 sq. ft. of future office space, 3,800 sq. ft. for a future restaurant, and two 11,400 sq. ft. buildings each consisting of three stories. The southern 11,400 sq. ft. buildings proposes child care on the first floor with the top two floors as residential. The eastern 11,400 sq. ft. building proposes retail on the first floor with the top two floors as residential. A landscaped fenced play area is proposed on the south end of the child care building.

### Density

The project proposes 41 apartments on the 3.63 acre lot, at approximately 1,112 sq. ft. per unit. Section 19.04.21 requires dwelling sizes to be a minimum of 1,000 sq. ft.; the dwelling size complies with Code.

Section 19.04.21 (1) (c) states that the residential densities in this zone shall not exceed fourteen residential Equivalent Residential Units (ERUs) per acre. The project proposes 41 units on the 3.63 acre parcel ( $41 / 3.36 = 11.29$  ERUs per acre). The commercial and office densities are approximately 3 ERUs ( $3 / 3.63 = 0.82$  ERUs per acre). The total requested density of 11.29 ERUs per acre, or 12.11 when combined with the non-residential density, complies with the maximums in the requested MU zone.

### General Plan

The parcel is designated as MU on the Land Use Map. The General Plan states the following concerning the MU Land Use designation.

*e. Mixed Use. The Mixed Use designation is designed to provide for developments that have a combination of well integrated residential, professional office and commercial uses. It is expected that developments in the Mixed Use areas will be among the most difficult in the City to design. As such, it is also expected that teams of highly sophisticated design and marketing professionals will be involved in the preparation of development plans in the Mixed Use areas.*

*In addition to the residential and retail based commercial uses, the Mixed Use district is intended to accommodate professional office space in the City. Office components should*

*be included as an integral part of developments in this district so as to capitalize on the benefits that can be enjoyed with a mixture of distinct but complimentary land-uses.*

*The residential component shall be designed and integrated so as to complement the surrounding commercial activity. While not required, it is anticipated that dwelling units will be located in shared residential/commercial structures so as to preserve first-floor and other prime commercial spaces for retail activities. Open spaces and recreational features shall be designed for the use and enjoyment of both the commercial patrons and the development's residents.*

*A mix of approximately 1/3 residential, 1/3 commercial and 1/3 professional office use in the Mixed Use designation is the goal. The City will review each proposal on an individual basis to determine an acceptable ratio for the residential, commercial and professional office components.*

*Developments in these areas shall contain landscaping and recreational features as per the City's Parks, Recreation, Trails, and Open Space Element of the General Plan. In this land use designation, it is estimated that a typical acre of land may contain 6 equivalent residential units (ERU's).*

The proposed development is generally consistent with the General Plans vision for the MU zone. As the General plan anticipates, the project proposes “residential/ commercial structures so as to preserve first-floor and other prime commercial spaces for retail activities.” The project is currently heavy on the residential side with the overall building square footage at 59% with commercial, office, and retail taking the remaining 41%. Overall, however, the concept embodies what a mixed use development should be.

Note that Proposition 6 placed a 2% cap on the City's apartments. The City is currently exceeding the 2% cap due to projects with Vested Rights prior to the adoption of Proposition 6. As the General Plan also explicitly encourages mixed commercial/residential structures, however, this topic is up for discussion.

### **Landscaping**

The overall project is 158,097 sq. ft. with 52,785 sq. ft. proposed as landscaping.  $52,785 / 158,097 = 33.3\%$ . As proposed the project meets the minimum 25% landscaping requirement in Section 19.04.21. As proposed, the recreational amenities are limited to use by the childcare facility; staff recommends that additional amenities such as a fitness room or similar for the shared use of the residential and non-residential users.

### **Parking**

The current proposal requires 243 parking stalls to comply with Code; the applicant is requesting a 25% shared parking allotment. The site currently proposes 174 parking stalls which is only 71% of the required parking; the applicant overlooked the requirements for 0.25 guest stalls per unit. As such the applicant understands that the number of units would have to be decreased to meet the parking requirements. The breakdown is as follows:

- Dwelling, Multi-Family: Can comply.
  - Requirement: 1 stall per bedroom or 2 stalls per unit, whichever is lower, one of which must be covered, plus 0.25 guest stalls per unit. 41 units requiring 93 parking stalls of which 41 need to be covered. Can comply with provisions of covered parking and reduction of units.
- Restaurant, Sit Down: Complies.

- Requirement: The project anticipates a sit down restaurant which requires 1 stall per 100 sq. ft. for a total of 38 parking stalls.
- Child Care: Can comply.
  - Requirement: Child care centers require 1 parking stall per staff member and 1 stall per every 5 children. The child care center anticipates needing 45 parking stalls which would include 15 staff members and 150 children.
- Retail: The project proposes 11,400 sq. ft. of retail space.
  - Requirement: 4 stalls per 1,000 sq. ft. for a total of 46 stalls.
- Office: Can comply.
  - Requirement: 4,200 sq. ft. of professional office/ medical office space at 5 stalls per 1,000 sq. ft. for a total of 21 stalls. Professional office space only requires 4 stalls per 1,000 sq. ft.; however, as the use is currently unknown the applicant calculated the parking based upon the higher requirement.

### **Traffic**

The proposal includes full access from Aspen Hills Boulevard, and potential full access on Redwood Road pending UDOT approval. A traffic study will be provided with any future plat and site plan applications, and other traffic mitigation may be required.

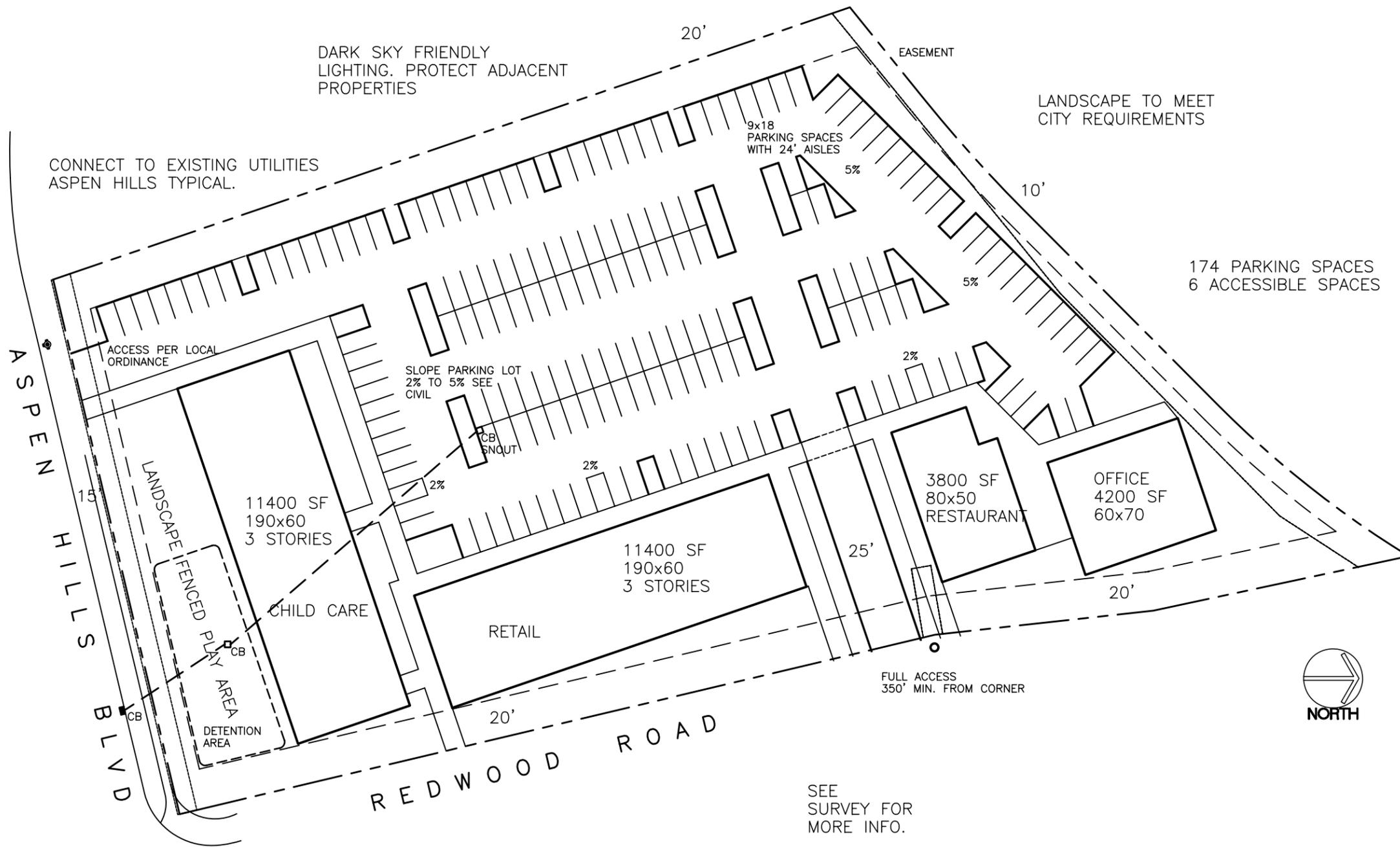
### **Recommendation**

Staff recommends that the Planning Commission review and discuss the proposal and give the applicant informal feedback on the proposed rezone and concept plan in preparation for a future public hearing. A work session has also been scheduled with the City Council, and future public hearings will be scheduled and noticed following these meetings.

### **Attachments**

A. Related Exhibits

PROJECT SUMMARY	
GROSS LAND AREA	158,097 SF 3.63 ACRES
GROSS BUILDING AREA FOOTPRINT	30,800 SF
LAND TO BUILDING RATIO	5.13
NO. OF PARKING SPACES	174
BUILDING TO PARKING RATIO FOOT PRINT	174
NO. OF PARKING SPACES PER 1000 SF.	5.65
NO. OF PARKING FOR OFFICE 4,200 SF	21
NO. OF PARKING RESTAURANT 3,800 SF	38
NO. OF PARKING RETAIL 11,400 SF	46
NO. OF PARKING CHILDCARE 150C/15S	45
NO. OF PARKING MULTIFAMILY 41 UNITS 2ND AND 3RD FLOORS	82
TOTAL PARKING REQ. 25% SHARED PARKING PROVIDED	232 174 174
COMMERCIAL/CHILDCARE MULTIFAMILY 44 UNITS TOTAL GROSS SF	30,800 SF 45,600 SF 76,400 SF
LANDSCAPE RATIO (IN PROPERTY)	52,785 SF 33.3%



Fred C. Cox, Architect

4466 Early Duke St.  
West Valley City,  
Utah 84120-5723

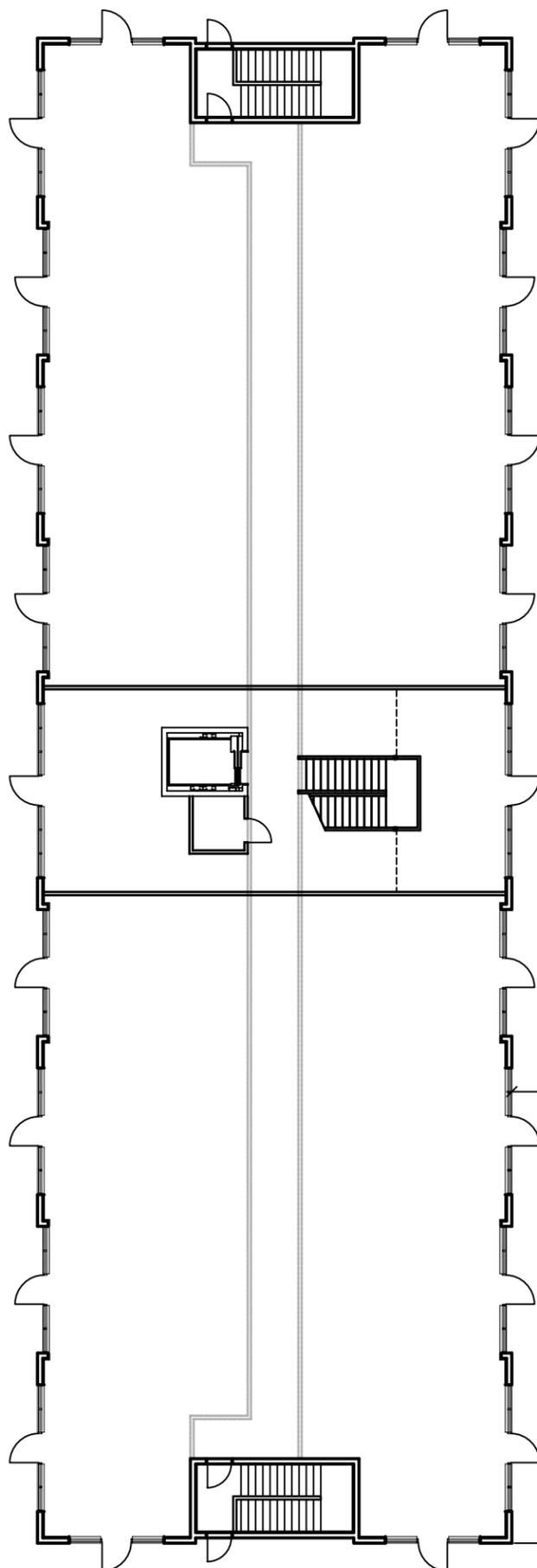
Phone: 801-968-3733  
Fax: 801-966-3778  
Email: fcc@fredccox.com

THIS DOCUMENT IS FOR CITY APPROVAL OF THE PROJECT NOTED AND IS ALSO FOR CONSTRUCTION. ACTUAL SITE DIMENSIONS COULD VARY. USE OF THIS DOCUMENT FOR ANY OTHER PROJECT IS NOT PERMITTED.



ABC GREAT BEGINNINGS  
  
UTAH COUNTY PARCEL  
580230168  
  
ASPEN HILLS BLVD AND  
REDWOOD ROAD  
SARATOGA SPRINGS, UTAH  
  
SITE PLAN

SCALE: 1" = 30'-0"  
MARCH 8, 2016  
152401-A01-C605a

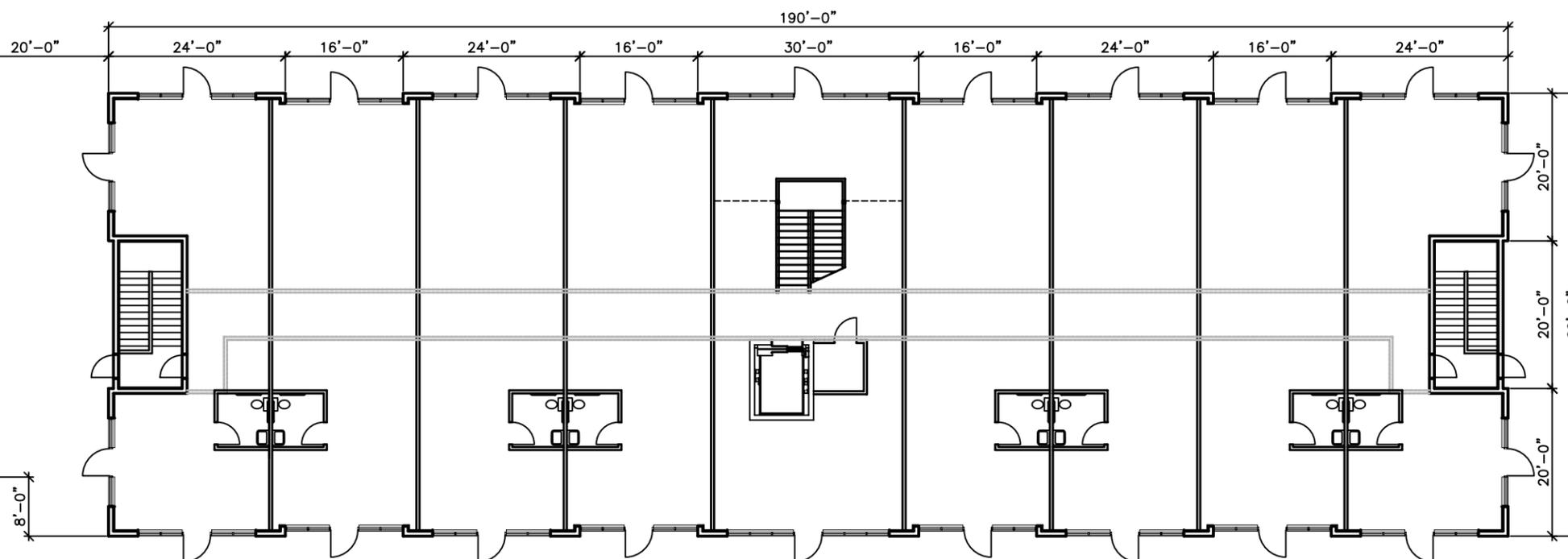


WALL TYPES

- 
 8" SPLIT/SMOOTH-FACED COLORED CMU/BRICK  
 W/ R-7.5 MIN INSULATION AND 5/8" GYP.  
 BD. WITH METAL FURRING, CONT. TO DECK  
 USE DRY-BLOCK OR CLEAR SEAL CMU -  
 INCLUDING BACK OF PARAPET. PROVIDE  
 PERLITE TYPE INSULATION IN EMPTY CELLS.  
 R-10 FOUNDATION INSULATION WITH  
 1/2" R-3 THERMAL BREAK AT SLAB  
 R-30 ABOVE DECK INSULATION AT ROOF
- 
 NEW 3-5/8" METAL STUDS @ 24" O.C.  
 W/ 5/8" 'X' GYPSUM BOARD EACH SIDE  
 STUDS @ 16" O.C. WHERE FULL HT.  
 6" STUDS WHERE PLUMBING AND/OR SHOWN.

NOTE  
 BUILD ALL INTERIOR WALLS JUST ABOVE  
 THE NEW CEILING (EXCEPT STAIR WALLS) U.N.O.  
 CEILING HT. CAN BE LOWERED UP TO 2".

GENERAL CONTRACTOR SHALL CHALK-LINE ALL  
 NEW WALLS FOR ARCHITECT'S APPROVAL, PRIOR  
 TO ANY NEW CONSTRUCTION, TO INSURE THAT  
 SPACE BUILD-OUT MEETS TENANT REQUIREMENTS.



ABC GREAT BEGINNINGS

UTAH COUNTY PARCEL  
580230168

ASPEN HILLS BLVD AND  
REDWOOD ROAD  
SARATOGA SPRINGS, UTAH

MAIN FLOOR PLAN  
OVERALL

SCALE: 1" = 10'-0"

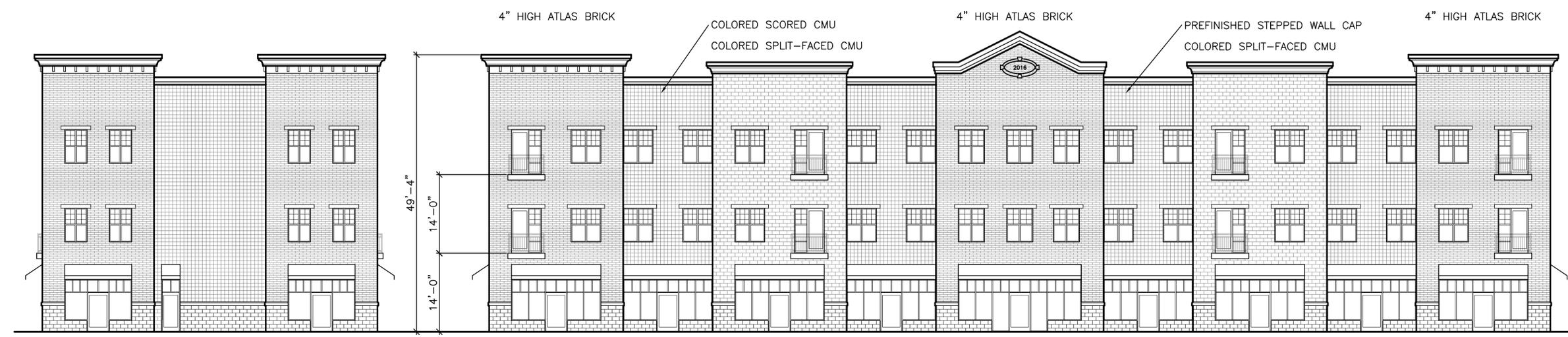
MARCH 5, 2016  
152401-A11-C605

**Fred C. Cox,  
Architect**

4466 Early Duke St.  
West Valley City,  
Utah 84120-5723

Phone: 801-968-3733  
Fax: 801-966-3778  
Email: fcc@fredccox.com

THIS DOCUMENT IS FOR CITY APPROVAL  
OF THE PROJECT NOTED AND IS ALSO FOR  
CONSTRUCTION. ACTUAL SITE DIMENSIONS  
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ANY OTHER PROJECT IS NOT PERMITTED.



SEE GRADING. FOOTINGS TO BE BELOW FROST DEPTH  
STEP FOOTINGS AND/OR FOUNDATION WHERE REQUIRED

E A S T / W E S T / N O R T H / S O U T H E L E V A T I O N S

6' TALL  
MATCHING  
DUMPSTER  
SCREEN  
WHERE  
OCCURS

DARK BRONZE ANOD. ALUMINUM  
1" INSULATED LOW-E STOREFRONT  
SYSTEM WITH MED. STYLE DOORS.  
TEMPER DOORS AND ANY WINDOW  
WITHIN 24" TO THE SIDE OF A  
CLOSED DOOR OR 18" OFF FLOOR  
SINGLE HUNG WINDOWS TO MATCH

BLADE AND PAINTED SHOP ENTRANCE  
TRADITIONAL SIGNAGE

PREFINISHED METAL  
BALCONIES/RAILING/FLOWER BOXES

PREFINISHED PAINTED  
SINGLE HUNG WINDOWS

"SUNBRELLA" CANVAS TYPE  
AWNINGS

ANTIQUÉ STYLE ACCENT  
LIGHTING (DARK SKY)

E.I.F.S. CORNICE TO MATCH  
PALE YELLOW SPLIT-FACED CMU  
MOUNTAIN RED ATLAS BRICK OR  
SIERRA MIST BLOCK AT ENDS  
AND MIDDLE BAYS

PALE YELLOW SPLIT-FACED  
CONCRETE BLOCK WAINSCOT

ALTERNATE COLORED SCORED  
WALL MATERIAL AT 2, 4, 6, AND 8  
BAYS WITH ACCENT BASE BELOW.

ALTERNATE COLORED SPLIT-FACED  
WALL MATERIAL AT 3 AND 7  
BAYS WITH ACCENT BASE BELOW.

DARK BRONZE STORE FRONT  
SYSTEM WITH LOW-E GLASS

PALE YELLOW SPLIT-FACED  
CONCRETE BLOCK WAINSCOT  
BASE ACCENT MATERIAL WITH  
BEVELED SMOOTH CAP

**ABC GREAT BEGINNINGS**

**UTAH COUNTY PARCEL  
580230168**

**ASPEN HILLS BLVD AND  
REDWOOD ROAD  
SARATOGA SPRINGS, UTAH**

**ELEVATIONS  
OVERALL**

SCALE: 1" = 10'-0"

MARCH 5, 2016  
152401-A31-C605

**A3.1**

**City of Saratoga Springs**  
**Planning Commission Meeting**  
**February 25, 2016**

Regular Session held at the City of Saratoga Springs City Offices  
1307 North Commerce Drive, Suite 200, Saratoga Springs, Utah 84045

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**Minutes**

**Present:**

Commission Members: Kirk Wilkins, Sandra Steele, Hayden Williamson, David Funk, Ken Kilgore, Troy Cunningham

Staff: Kimber Gabryszak, Sarah Carroll, Kevin Thurman, Nicolette Fike, Jamie Baron, Mark Christensen, Gordon Miner, Kara Knighton

Others: Jerome Baily, Stan Steele

**Excused:** Brandon MacKay

**Call to Order** - 6:30 p.m. by Chairman Kirk Wilkins

1. **Pledge of Allegiance** - led by Jerome Bailey
2. **Roll Call** – A quorum was present
3. **Swearing in of Reappointed Commissioners, Sandra Steele and Troy Cunningham.**  
Commissioners were sworn in by the Deputy City Recorder.
4. **Public Input – Time has been set aside for any person to express ideas, concerns, comments, questions or issues that are not listed on the agenda. Comments are limited to three minutes.**

**Public Input Open** by Chairman Kirk Wilkins

No public input was given.

**Public Input Closed** by Chairman Kirk Wilkins

5. **Public Hearing: Rezone, General Plan Amendment, Concept Plan for Cowboys - Commercial, located at 431 South Redwood Road, White Elk Frontiers applicant.**

Jamie Baron presented the plans. The applicant requests a rezone from Agriculture to Regional Commercial and a General Plan Amendment from Planned Community to Regional Commercial for the purpose of building a Convenience Store with fuel services, retail stores, professional offices, and restaurants. Staff finds that the proposed site is not consistent with the current land use designation of Planned Community. There are two concept plans tonight depending on the widening of Redwood Road. The first has a 30' right-of-way owned and maintained by the property owner. Staff recommends this first plan over plan 2. Plan 2 would have the 30' right-of-way dedicated to and maintained by the City. There are fewer buildings on Plan 2 but they have a larger sq. footage. Plan 1 would require a 10' building setback from the ROW and shifting buildings. Plan 2 adds a 30' setback from the ROW and with the proposed parking does not meet the 20' front yard requirement.

Jerome Bailey, for applicant, commented that both concepts worked but the question is how UDOT would widen the road and how it would be factored in.

**Public Hearing Open** by Chairman Kirk Wilkins

No public input was given.

**Public Hearing Closed** by Chairman Kirk Wilkins

Sandra Steele noted that option 1 is the only one she could support because of City design standards which call for parking in the back. There can be reductions to get it closer to the street. They do need to provide some kind of walk for disabled to get in to the building. This appears to be a good use of this property as it wouldn't fit residential.

David Funk thought the area just north would be a similar situation. It seems to have put the owners in a tight position, They can't qualify for a larger area so it would either need to be residential or commercial and as it's too small for residential and is on a corner and well-used road area, it leans toward commercial. It appears both lots would need to be rezoned to commercial type areas so they can do something with it. His comment would be that this meets the requirements for a rezone.

Hayden Williamson believes it's great to have a gas station here, and when people move in they will already know what they are getting. He asked if it would need a setback reduction either way.

Kimber Gabryszak replied they would present it to City Council; it would probably be a better development with a reduction.

Hayden Williamson asked about the difference between parking stalls. Option 2 may make more sense with more parking, the advantage to the city with option 1 is the parking is behind the building.

Ken Kilgore commented that the amount of parking in option 1 is more than adequate.

Hayden Williamson asked if the applicant had a preference in the options.

Jerome Bailey said he likes both, and commented that it is important to have the ADA compliance and they could shift things in either option at this point.

Troy Cunningham asked about the Tickville Wash mitigation.

Mark Christensen mentioned that they did get the LOMR paperwork this week for review, the CLOMAR has been done and at some point it is something they would abandon on that property. The removal of this from the flood plain will be taking place as part of the Legacy Farms Project. He noted that previous applicants and owners didn't want to be part of the zoning changes so the zoning sort of occurred around them. The whole area will be benefitting from Legacy Farms improvements in the area.

Troy Cunningham noted that the City owned a large easement here and asked for clarification.

Jamie Baron said it was for the previous alignment of Tickville wash.

Troy Cunningham voiced a concern about the distance between alcohol sales and proximity to the school across the street.

Kimber Gabryszak remarked that the code stated within *proximity* with no specific distance, they will make sure it's a fair distance.

Troy Cunningham noted that the high school kids would come here, which could be good and bad, he is concerned about traffic flows. He prefers plan 1, he feels it's a better look from the main road.

Ken Kilgore noted it didn't have areas for plazas and gathering spaces and wondered if the applicant would make it more pedestrian friendly with some of those spaces.

Jerome Bailey said they wanted it to have more of a feel of a plaza, if it could be a little more distant from the main road that would help with that. He asked what would happen with the flood plain if it would need to be filled in or who would do that.

Mark Christensen noted that they would work with the City Engineer on that. There will need to be construction standards to work out later.

Jerome Bailey noted there were thoughts of a future stoplight and how it could eventually give another connection to the high school so they wouldn't always need to go onto Redwood Road.

Ken Kilgore asked who is responsible for extending the road to the west.

Mark Christensen noted there were a few property owners in the vicinity and they would need to work though it in more detail.

Ken Kilgore noted that we need to make sure there are no negative consequences to any homes in the area; there have been a number of residents that have commented that during grading their homes get flooded so he wanted to make sure they helped mitigate potential problems

Jerome Bailey said they would consult their engineer, so far the ground has been fairly clean from tests done on it.

Mark Christensen noted they will work with them as well so there were no negative impacts. It is part of the requirements.

Ken Kilgore thanked him and said he is also in favor of plan 1.

Kirk Wilkins asked about a traffic study.

Kimber Gabryszak said it will be required for their site plan.

Kirk Wilkins said he is leaning toward option 1 as well. He asked how far UDOT would widen the road.

Mark Christensen said we don't know the answer to that yet. They are currently looking at the expansion and the edge of asphalt would probably be pretty close to their western boundary.

Jerome Bailey said he talked to UDOT on that and heard it was 20ft. but they added another 10 ft. to the concepts to be safe.

Kimber Gabryszak said from everything they know that 30' should stay as landscaping and be fine but they want to be safe down the road and not have something 3 feet off the right-of-way.

Sandra Steele asked what would happen with the box culvert.

Mark Christensen said likely they would want to preserve access to that for any possible future access needed.

There should still be some open channel on the north to use and they would like to keep this open.

Kevin Thurman noted the City is interested in keeping our easement.

Sandra Steele asked if there were plans to put gates on it.

Mark Christensen said they would work towards that and keep in mind that it could be an attractive nuisance.

**Motion made by Troy Cunningham to forward a Positive recommendation to the City Council for the Cowboys - Commercial Rezone and General Plan Amendment with the Findings and Conditions in the staff report dated 2-18-2016. Seconded by Hayden Williamson. Aye: Sandra Steele, David Funk, Hayden Williamson, Kirk Wilkins, Ken Kilgore, Troy Cunningham. Motion Passed.**

#### **6. Training - Utah League of Cities and Towns**

Meg Ryan from Utah League of Cities and Towns (ULCT) went over a few concepts with the Planning Commission. She was asked to review some basic powers and duties. She noted that Planning Commission is a face of the City and how we listen and respond to public is important. Land use is planning for the future. You need to know your limitations and your possibilities. Know what you are really allowed to do and not to do. Zoning is not static. This is your community, collective, not individuals – your strength is working together for collective goals.

Meg Ryan reviewed the Land Use Development and Management Act and where to find it. It Respects Local Control. City Council is the Legislative body of the City, they may delegate some things. Planning Commission is a Land Use Authority. UCA 10-9A-102. She reviewed basic themes of the LUDMA. Private property rights, Must clearly write it down, Must abide by it, and Must act with reasonable diligence. She went over Land Use Tools, the General Plan and the Land Use Code.

Meg Ryan advised that Ordinances should be clearly written and be objective, not subjective. There should be due process and regulations, equitable treatment. Planning Commission recommends to the City Council. City Council takes final action and appoints. She noted what is required from the Utah State Statute. She said they should be familiar with their duties and reviewed the City Code on that.

Mark Christensen noted we are working with City Council on what duties they are comfortable with delegating.

Meg Ryan reviewed the role of the City Council. She advised on the different roles of legislative, administrative and quasi-judicial. She reviewed Public Hearing practices and notices at the different levels. Findings of Fact are the reasons why decisions were made. Planning Commission is not an appeal authority. She talked about appeals and variances and their criteria.

A short break was taken at this time.

#### **7. Work Session: Discussion of Code and Vision.**

Kimber Gabryszak said they were taking the Home Occupation changes to the City Council next week and will have a new round of clean-ups coming through later.

#### **8. Approval of Minutes:**

##### **a. February 11, 2016**

Sandra Steele noted a few errors to the minutes. Those were noted and changes were made.

**Motion made by Hayden Williamson to approve the minutes of February 11, 2016 as corrected. Seconded by David Funk. Aye: Sandra Steele, David Funk, Hayden Williamson, Kirk Wilkins, Ken Kilgore, Troy Cunningham. Motion passed.**

**9. Reports of Action.** There were no Reports of Action tonight.

**10. Commission Comments.** There were no Comments.

**11. Director's Report:**

**a. Council Actions**

- Kimber Gabryszak apprised Planning Commission of actions taken at the previous City Council meeting.

**b. Applications and Approval**

**c. Upcoming Agendas**

- Cancelling March 10<sup>th</sup> meeting but have joint training meeting on March 8<sup>th</sup> with City Council.

**d. Other**

**12. Motion to enter into closed session.** No closed session was held.

**13. Meeting Adjourned without objection at 9:08 p.m. by Chairman Kirk Wilkins**

\_\_\_\_\_  
Date of Approval

\_\_\_\_\_  
Planning Commission Chair  
Kirk Wilkins

\_\_\_\_\_  
Nicolette Fike, Deputy City Recorder



## Memo

**To:** Mayor, City Council and/or Planning Commission  
**From:** Planning Department  
**Date:** March 16, 2016  
**Meeting Date:** March 24, 2016  
**Re:** New Applications & Resubmittals

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### **New Projects:**

- 2.18.16 Mountain View Estates II Rezone & Concept (400 N. 700 W.)
- 2.22.16 Catalina Bay Phase 1 Final Plat (McGregor Lane & Harbor Bay Dr.)
- 2.29.16 Smith's Marketplace Permanent Sign Permit (1320 Redwood Rd.)
- 3.1.16 Hillcrest Condominium Phase 3 Bldg P, Q, R & S Final Plat (Crest Rd. & Ridge Rd.)
- 3.7.16 ABC Great Beginnings Rezone & Concept ( NW Corner of Redwood Rd & Aspen Hills Blvd)
- 3.11.16 Saratoga Walmart Sub Plat Amendment (Corner of Commerce Way & Crossroads Blvd)
- 3.14.16 Pro Split Pea-Verizon Conditional Use Permit (1461 North 400 East)

### **Resubmittals & Supplemental Submittals:**

- 2.16.16 Riverbend Phase 3B Condominium Project Final Plat (150 E. River Bend Rd.)
- 2.17.16 Legacy Farms Elementary School Site Plan (S. Redwood Rd & E. 400 South)
- 2.22.16 Riverbend Phase 3A Condominium Project Final Plat (Approx. 130 E. Riverbend Rd)
- 2.24.16 Times Square at Saratoga Site Plan (1160 North Redwood Rd.)
- 2.25.16 Denny's Site Plan (1516 N. Redwood Dr.)
- 2.29.16 Murphy Express Site Plan (42 E. Commerce Dr.)
- 3.1.16 Legacy Farms Plat 2C Final Plat (400 S. Redwood Rd.)
- 3.8.16 Denny's Site Plan Resubmittal & Supplemental (1516 N. Redwood Dr)
- 3.9.16 Western Hills Phase 2 & 3 Final Plat (350 W. Aspen Hills Blvd)

### **Staff Approvals & Actions:**

- 2.29.16 Smith's Marketplace Permanent Sign Permit (1320 Redwood Rd.)
- 2.22.16 Riverbend Phase 3A Condominium Project Final Plat (Approx. 130 E. Riverbend Rd)
- 3.1.16 Hillcrest Condominium Phase 3 Bldg P, Q, R & S Final Plat (Crest Rd. & Ridge Rd.)
- Lakeside 27 Temporary Sales Trailer
- Dozens of architectural reviews for Legacy Farms building permits
- Code Enforcement for signage at Legacy Farms, trailer signs, wind signs, and more