

The Crossing - Community Plan

Amended 20 November 2015
19 October 2017
23 January 2018
20 February 2018
23 April 2018

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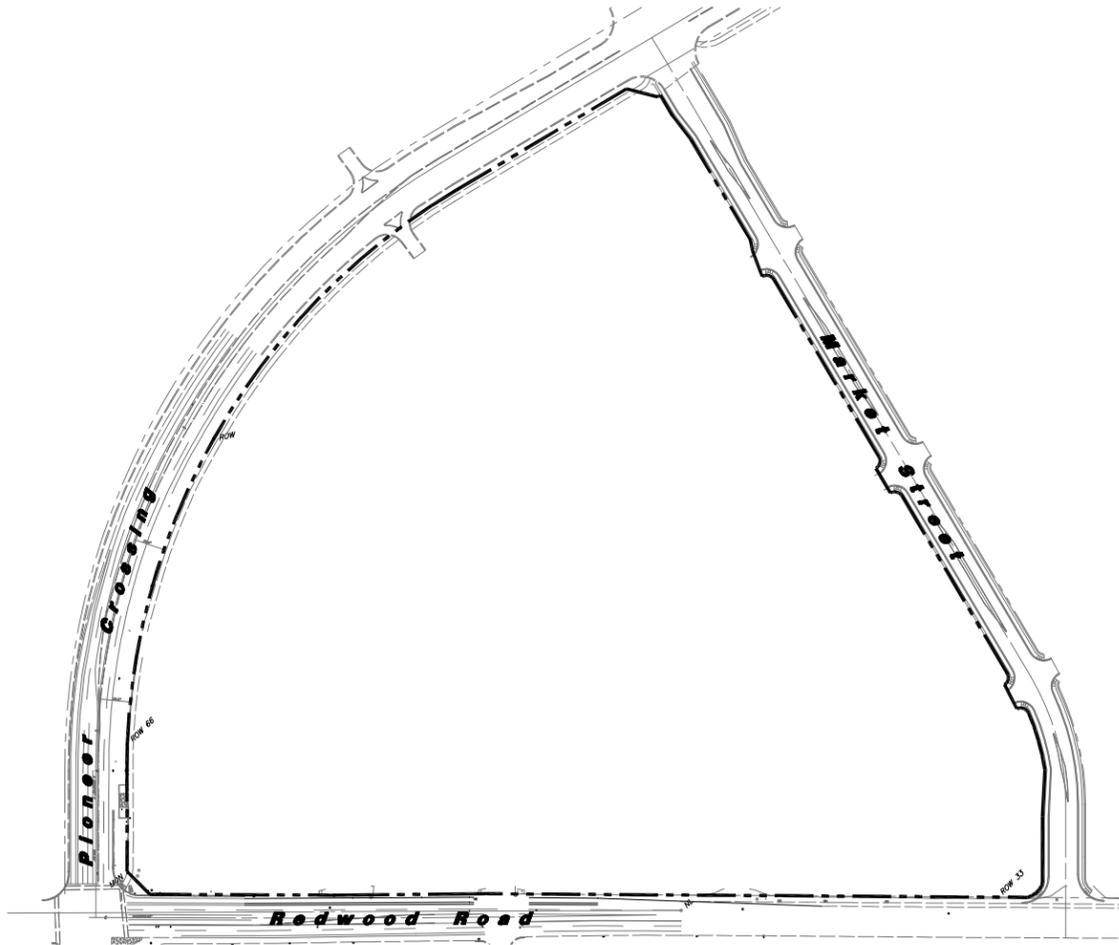
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Legal Description

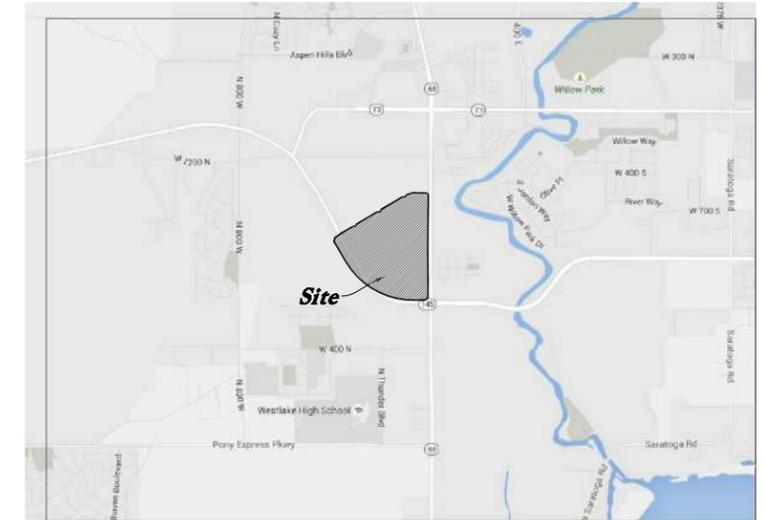
A part of the Southwest Quarter of Section 14, and the Northwest Quarter of Section 23, Township 5 South, Range 1 West, Salt Lake Base and Meridian, U.S. Survey in Utah County, Utah:

Beginning at an existing Right-of-Way monument on the West Line of Redwood Road as it exists at 56.0 foot half-width located 1269.25 feet South 0'05'22" West along the Section Line, and 2606.75 feet South 89'54'38" East from the Northwest Corner of said Section 23; and running thence South 44'56'27" West 76.93 feet to an existing Right-of-Way monument on the North Line of Pioneer Crossing; thence South 89'46'30" West 243.76 feet along said North Line; thence along the Northeasterly Line of said Pioneer Crossing as it will exist at 75.00 foot half-width the following two courses: Northwestery along the arc of a 1625.00 foot radius curve to the right a distance of 1681.26 feet (Center bears North 0'00'12" East, Central angle equals 59'16'46" and Long Chord bears North 60'21'25" West 1607.27 feet) to a point of tangency; and North 30'43'02" West 477.39 feet; thence North 14'16'58" East 77.78 feet; thence North 30'43'02" West 7.81 feet to the Southeasterly Line of future Market Street; thence along said Southeasterly Line the following nineteen courses: North 59'16'58" East 57.88 (57.91 feet record); North 52'09'24" East 70.71 feet; North 59'16'58" East 283.00 feet to a point of curvature; Easterly along the arc of a 20.50 foot radius curve to the right a distance of 32.20 feet (Central Angle equals 90'00'00" and Long Chord bears South 75'43'02" East 28.99 feet); North 59'16'58" East 69.00 feet; Northeasterly along the arc of a 20.50 foot radius curve to the right a distance of 32.20 feet (Center bears North 59'16'58" East, Central Angle equals 90'00'00" and Long Chord bears North 14'16'58" East 28.99 feet) to a point of tangency; North 59'16'58" East 496.30 feet to a point of curvature; Easterly along the arc of a 20.50 foot radius curve to the right a distance of 32.20 feet (Central Angle equals 90'00'00" and Long Chord bears South 75'43'02" East 28.99 feet); North 59'16'58" East 69.00 feet; Northeasterly along the arc of a 20.50 foot radius curve to the right a distance of 32.20 feet (Center bears North 59'16'58" East, Central Angle equals 90'00'00" and Long chord bears North 14'16'58" East 28.99 feet) to a point of tangency; North 59'16'58" East 496.29 feet to a point of curvature; Easterly along the arc of a 20.50 foot radius curve to the right a distance of 31.31 feet (Central Angle equals 87'30'03" and Long Chord bears South 76'58'00" East 28.35 feet); North 62'55'52" East 65.19 feet; Northeasterly along the arc of a 20.50 foot radius curve to the right a distance of 33.68 feet (Center bears North 62'30'06" East, Central Angle equals 94'08'30" and Long Chord bears North 19'34'06" East 30.02 feet); Northeasterly along the arc of a 555.50 foot radius curve to the right a distance of 143.01 feet; (Center bears South 23'21'38" East, Central Angle equals 14'45'04" and Long Chord bears North 74'00'53" East 142.62 feet); South 87'05'31" East 113.14 feet; East 157.18 feet to a point of curvature; Southeasterly along the arc of a 20.00 foot radius curve to the right a distance of 8.80 feet; (Central Angle equals 25'12'32" and Long Chord bears South 77'23'44" East 8.73 feet) to a point of compound curvature; and Southeasterly along the arc of a 51.50 foot radius curve to the right a distance of 46.10 feet (Central Angle equals 51'17'34" and Long Chord bears South 39'08'42" East 44.58 feet) to the West Line of Redwood Road; thence South 0'22'55" West 1313.12 feet along said West Line to an existing Right-of-Way monument at an angle point in said West Line; thence South 0'34'22" East 359.78 feet to an existing Right-of-Way monument; thence South 0'16'42" West 406.89 feet; thence Southerly along the arc of a 20,056.60 foot radius curve to the left a distance of 37.82 feet (Center bears South 89'37'21" East, Central Angle equals 0'06'29" and Long Chord bears South 0'19'25" West 37.82 feet) along the West Line of Redwood Road to the point of beginning.

Contains 2,997,857 sq. ft.
or 68.821 acres



Site Map



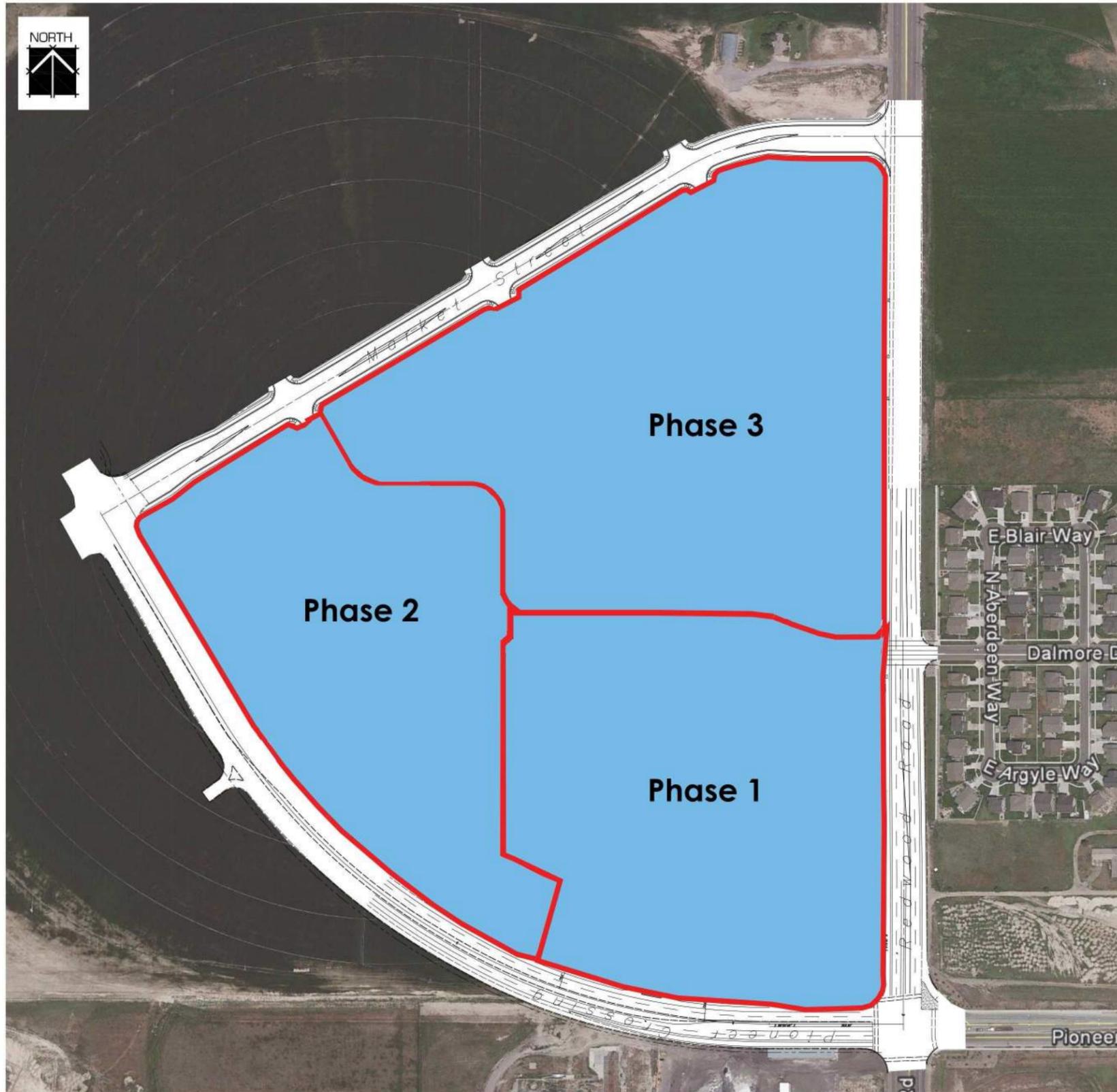
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USES



Future Phases - Regional Retail*

Regional Retail uses is defined generally by the District Area Plan as:

An agglomeration of large and small scale retail buildings. Some office buildings can also be found in regional retail areas. The retail serves a community that extends beyond the neighborhoods to the entire region. Regional retail provides adequate parking for the businesses in close proximity to the stores and the customers arriving via automobile. Regional retail is located at major intersections of highways and arterials and along key transit corridors in the region. Housing is not included in this place type, however neighborhoods may be located adjacent to regional retail. Nearby residential can be connected to regional retail centers by a grid street network that is walkable.

Specific uses shall comply with the Regional Commercial (RC) uses as permitted or conditionally permitted as outlined in Section 19.04 of the Saratoga Springs Municipal Code with the exceptions that Full Service Car Wash, Convenience Store/Fast Food Combination, Entertainment Centers, Movie Theaters, Bowling Alleys, Arcades, Fitness Center (5001 sq.ft. or larger), Refueling Stations, Retail (Big Box) shall be deemed permitted uses. Automotive Fueling Stations, however shall be prohibited from using sound boxes after 10:00 p.m.

Pedestrian connectivity will be provided within and between uses throughout all phases.

***Note: Phase plan is conceptual; actual phases may vary.**



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LOT BREAKDOWN

Phase #	Acres	Open Space %*	Maximum Building SF**	ERU Allocation
Phase 1	21.02	11-14% min.	430,347	198.82
Phase 2	17.67	11-14% min.	361,761	167.13
Phase 3	30.13	11-14% min.	616,858	284.99
Total	68.82	11-14% min.	1,408,966	650.94 max.

* Approximately 4.8% (145,000 sf) of open space will be provided in the buffer areas of the perimeter street frontage. Additional open space must be provided in each Phase to meet the minimum values listed in the table above.

** Based on a 0.47 FAR

Note: Phase breakdown is conceptual and actual phases may vary, however, the total values will not change.

FUTURE PROJECTIONS

Projected employment = 1,500 future employees (estimated)

EQUIVALENT RESIDENTIAL UNITS

District Area Plan:

Per the District Area Plan, 4,620 ERUs are allowed for every 10 Million square feet of commercial building area which is the equivalent of 2,164.5 square feet per ERU.

Community Plan:

A maximum of 1,408,966 square feet of building area is anticipated at the completion of all phases. Per the table above, the 68.82 acres included in this Community Plan translates to a total of 650.9 ERU's for the Community Plan.



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Perimeter Open Space

In addition to the perimeter open space shown in the diagram at the left, additional open spaces as outlined in the District Area Plan will be provided in each Village plan which may include:

Connector Trail, Plaza, Entrance Park, Pocket Park, Greenway Parkway (Boulevard), Park Lawns, etc.

The following elements shall also be considered open space:

1. Raised landscaped pedestrian walkways where required,
2. That portion of a sidewalk in excess of 8 feet in width that is located immediately in front of a primary building facade that includes sidewalk furnishings, outdoor seating and/or dining areas, and not used for display or merchandise,
3. General landscaped areas in compliance with this Community Plan with the exception of any landscape areas less than 300 contiguous square feet.

See Exhibits 3 and 6 of the Community Plan for additional information regarding open space and landscaping requirements. Refer to individual Village Plan exhibits for detailed information regarding each phase.



Existing trails



Conceptual Project Identification Sign

See Exhibit 6 in the Community Plan for conceptual information. Detailed information to be provided in future Village Plans.



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Community Plan Guiding Principles:

Saratoga Springs is the center point for transportation connections between Cedar Valley, Utah Valley and Salt Lake Valley. The project is at the intersection of two major arterials: Redwood Road and Pioneer Crossing.

The Saratoga Springs City Center District Area Plan (DAP) grants the right to develop, in accordance with Section 19.26 of the City Code, 16,000 housing units and 10 million gross square feet of non-residential uses, at the discretion of the land owner, which includes the right to develop a total maximum of 20,620 equivalent residential units. Buildout of all these uses would mean a population range of 43,000 to 59,000 and approximately 17,000 jobs in the DAP. Actual water needed to serve the development will be determined by applicable ordinances and engineering standards as development occurs. Open space will be provided within the ranges as set forth within this Plan.

The DAP was designed in collaboration with Saratoga Springs and in furtherance of the Saratoga Springs General Plan.

Type of Land Use	District Area Plan Quantity	This Community Plan
Residential Housing	16,000 Units	0
Non-residential Area	10 Million Square Feet	1,408,966 Square Feet
Equivalent Residential Units	20,620	650.9

Density

The DAP has a density range in the Regional Retail area of 0.36 to 0.47 FAR. Applied to the Crossing:

Development Area in Acres	Development Area in sq.ft.	FAR of 0.36 (in sq.ft.)	FAR of 0.47 (in sq.ft.)	Equivalent Residential Units (ERUs)	FAR of 0.36 (in ERUs)	FAR of 0.47 (in ERUs)
68.82 acres	68.82 x 43,560	2,997,799.2 x 0.36	2,997,799.2 x 0.47	1 ERU = 2164.5 sq.ft.	1,079,207.7	1,408,965.6
	=	=	=		=	=
	2,997,799.2 sq. ft.	1,079,207.7 sq. ft.	1,408,965.6 sq. ft.		498.6 ERUs	650.9 ERUs

Place Type

"Place Types" describe combinations of land uses in which the planning principles are applied in a certain way to achieve a particular community character. Place types are meant to be used as a guideline for future development. Each type covers a range of uses and building types that are described and illustrated by images taken from similar places throughout the country. The precise boundaries, locations, and mix of uses within each place type are allowed to be flexible.

This Community Plan a "Regional Retail" Place Type, described as follows in the District Area Plan:

"Regional retail includes an agglomeration of large and small scale retail buildings. Some office buildings can also be found in regional retail areas. The retail serves a community that extends beyond the neighborhoods to the entire region. Regional retail provides adequate parking for the businesses in close proximity to the stores and the customers arriving via automobile. Regional retail is located at major intersections of highways and arterials and along key transit corridors in the region. Housing is not included in this place type, however neighborhoods may be located adjacent to regional retail. Nearby residential can be connected to regional retail centers by a grid street network that is walkable."

Regional Retail	District Area Plan Quantity	This Community Plan
Dwelling Units/Acre	0 Dwelling Units/Acre	0 Dwelling Units/Acre
Range of Average FAR	0.36 -0.47	0.36-0.47
Range of Open Space	11 -14%	11 -14%

Compliance with Existing Title 19 Land Development Code: It is the intent of this Community Plan to conform to a large degree with Saratoga City Title 19 Land Development Code. However, as outlined in the Saratoga Springs District Area Plan, some deviations are needed and beneficial to the goals and objectives of the Community Plan. Slight modification from the code include Section 19.06 Landscaping and Fencing, Section 19.09 Off-Street Parking Requirements along with some clarification to setbacks and height limitations.

Pedestrian Connectivity:

Pedestrian connectivity will be provided within and between uses throughout all phases of the Community Plan.

Regional Commercial Code Requirements:

19.04. Regional Commercial (RC).

- Purpose.** The purpose of the Regional Commercial Land Use Zone is to allow, in appropriate areas, commercial businesses and shopping centers of a scale that will serve neighborhood, community-wide, and regional shopping needs. These regulations should preserve the existing quality and livability of the City while still assuring maximum efficiency of traffic circulation and convenience.



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2. **Permitted Uses.** Specific uses shall comply with the Regional Commercial (RC) uses as permitted or conditionally permitted as outlined in Section 19.04 of the Saratoga Springs Municipal Code with the exceptions that Full Service Car Wash, Convenience Store/Fast Food Combination, Entertainment Centers, Movie Theaters, Bowling Alleys, Arcades, Fitness Center (5001 sq.ft. or larger), Refueling Stations, Retail (Big Box) shall be deemed permitted uses.
3. **Conditional Uses.** The uses identified in the table in 19.04 as Conditional Uses in the Regional Commercial (RC) Zone allows the Conditional Uses with some uses as identified in the table only permitted outside the Gateway Area.
4. **Minimum Lot Size.** Minimum lot size for all uses is 20,000 square feet with the exception for small ancillary retail attached to a larger building.
5. **Setbacks and Yard Requirements.**
 - a. All buildings in this zone are required to maintain minimum setbacks as follows:
 - i. **Front:** As shown on Exhibit 6 – Landscape Buffer Sections.
 - ii. **Sides:** Thirty feet where adjacent to a residential or agricultural zone, twenty feet when adjacent to all other zones.
 - iii. **Rear:** Twenty feet for all uses except where a rear yard is located adjacent to a residential or agricultural zone. In those cases, the rear yard shall be increased to thirty feet. In the event that the rear of a building faces an arterial or collector street, there shall be a setback of forty feet.
 - iv. **Exceptions:** The City Council may reduce setback requirements by up to ten feet if in its judgment the reduction provides a more attractive and efficient use of the property.
 - v. **Other general requirements:** In addition to the specific setback requirements noted above, no building shall be closer than five feet from any private road, driveway, or parking space, except for drive thru facilities. No setback is required with the front, side or rear of building when lots are in the same zone.
6. **Structure Height.** No structure in this zone shall be taller than fifty feet with the exception of a Movie Theater which shall not exceed sixty feet and office buildings which shall not exceed one hundred and twenty-five feet (125').
7. **Maximum Lot Coverage.** The maximum lot coverage in this zone is fifty percent.
8. **Minimum Building Size.** Individual structures within this land use zone shall be a minimum of 1,000 square feet.
9. **Development Standards.** The following development standards shall apply to the Regional Commercial Zone:
 - a. **Architectural Review.** Provided the development plans are consistent with the Community Plan design guidelines, approvals shall be done on a staff level as outlined in the Guiding Development Standards on page 9.
 - b. **Landscaping.** As shown on the attached Exhibit 6.
10. **Uses Within Buildings.**
 - a. All uses in the Regional Commercial Zone shall be conducted entirely within a fully enclosed building except those uses deemed by the planning staff to be customarily and appropriately conducted outside.

- b. Such uses include, automobile refueling stations, gas pumps, plant nurseries, home improvement material yards, automobile sales, etc.
11. **Trash Storage.** All trash or garbage storage (other than individual garbage cans) shall comply with Section 19.14, which section is incorporated herein by this reference.
12. **Buffering/Screening Requirements.**
 - a. A wall, fencing, or landscaping of acceptable design shall effectively screen the borders of any commercial or industrial lot which abuts an agricultural or residential use. Such a wall, fence, or landscaping shall be at least six feet in height, unless a wall or fence of a different height is required by Staff as part of a Site Plan review. Such wall, fence, or landscaping shall be maintained in good condition with no advertising thereon, except as permitted by the Chapter 19.18.
13. **Landscaping Requirements.** As shown on attached Exhibit 6 and in compliance with the District Area Plan requirements.
14. **Sensitive Lands.** Sensitive lands shall not be included in the base acreage when calculating the number of ERUs permitted in any development and no development credit shall be given for sensitive lands. Sensitive lands shall be included in protected landscaping.

Off-Street Parking Requirements:

Parking requirements for the Community Plan are based on two factors: one the size of the development, and two the percentage of Restaurant, Entertainment and/or Cinema (REC) use. The matrix below illustrates how this is done. The first two columns are used when the total number of REC uses is below 20% of the total Gross Leasable Area (GLA) of the project. The third column is used when the total number of REC uses exceeds 20% of the project's GLA.

Project Size (GLA in SF)	Percentage of GLA in Restaurant, Entertainment, and/or Cinema Space		
	0-10%	10.1-20%	>20%
Less than 400,000	4.0 stalls per 1000 sq. ft.	4.0 stalls per 1000 sq. ft. *	Shared Parking
400,000 – 599,999	4.3 stalls per 1000 sq. ft.	4.3 stalls per 1000 sq. ft. *	Shared Parking
600,000 – 1,000,000	4.5 stalls per 1000 sq. ft.	4.4 stalls per 1000 sq. ft. *	Shared Parking
1,000,000- Larger	4.6 stalls per 1000 sq. ft.	4.6 stalls per 1000 sq. ft. *	Shared Parking

- If the combination of REC uses constitutes between 11% and 20% of the project's GLA, an adjustment is made to the required parking ratio by multiplying each 1,000 square feet of REC space over 10% by 0.03 and the percentage by which the REC uses exceed 10%. This ensures an adequate parking supply is provided for the combination of land uses.



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- By way of example, if the project has 500,000 square feet and 12% of REC space, the calculation would be as follows: $500,000/1000*4.3=2150$ stalls, plus $500,000/1000*.03*2=30$ for a total of 2180 stalls required.
- Once REC uses exceed 20% of the project's GLA, ratios are no longer applied since the combination of land uses is representative of an urban shared parking use.

General Land Use Classification	Shared Parking Use Matrix					
	Weekdays			Weekends		
	1:00 a.m. -7:00 a.m.	7:00 a.m. -6:00 p.m.	6:00 p.m. -1:00 a.m.	1:00 a.m.-7:00 a.m.	7:00 a.m. -6:00 p.m.	6:00 p.m. -1:00 a.m.
Office	5%	100%	5%	0%	15%	0%
Retail Sales and Service	0%	100%	80%	0%	100%	60%
Restaurant	20%	70%	100%	30%	75%	100%
Theater	0%	60%	100%	0%	80%	100%
Hotel	100%	55%	100%	100%	55%	100%
Conference rooms	0%	25%	50%	0%	100%	50%
Religions Institutions	0%	25%	50%	0%	100%	50%

If the combinations of restaurants, plus entertainment, plus cinema that constitute over 20% of center's GLA, the above table will be used to calculate the parking requirement so that it will produce a parking supply adequate to handle this combination of land uses. The square footage of each type of use is multiplied by the percentage factor in the table to compute the GLA requirement for each respective time of day. The minimum parking requirement is based on the maximum square footage for all time periods.

Example:

USE	SIZE	Weekday						Weekends					
		1-00 a.m.-7:00 a.m.	7:00 a.m. - 6:00 p.m.	6:00 p.m.-1:00a.m.	1-00 a.m.-7:00 a.m.	7:00 a.m. - 6:00 p.m.	6:00 p.m.-1:00a.m.	1-00 a.m.-7:00 a.m.	7:00 a.m. - 6:00 p.m.	6:00 p.m.-1:00a.m.	1-00 a.m.-7:00 a.m.	7:00 a.m. - 6:00 p.m.	6:00 p.m.-1:00a.m.
Office	100,000	5%	5,000	100%	100,000	5%	5,000	0%	-	15%	15,000	0%	-
Retail Sale and Services	600,000	0%	0	100%	600,000	80%	480,000	0%	-	100%	600,000	60%	360,000
Restaurant	50,000	20%	10,000	70%	35,000	100%	50,000	30%	15,000	75%	37,500	100%	50,000
Theater	130,000	100%	130,000	60%	78,000	100%	130,000	0%	-	80%	104,000	100%	130,000
Hotel	80,000	0%	0	55%	44,000	100%	80,000	100%	80,000	55%	44,000	100%	80,000
Conference Rooms	10,000	0%	0	25%	2,500	50%	5,000	0%	-	100%	10,000	50%	5,000
Religious Institutions	12,000	0%	0	25%	3,000	50%	6,000	0%	-	100%	12,000	50%	6,000
TOTAL	982,000		145,000		862,500		756,000		95,000		822,500		631,000

Parking requirements would be based on peak time of Weekdays between 7:00 a.m. and 6:00 p.m. based on a total square footage of 862,500 square feet.

Refer to Addendum #3: Traffic Study – Trip Generation Report for further information. In addition to the above requirements, there shall be a break in parking rows at a minimum of sixty parking stalls for each double row of parking for the purpose of facilitating traffic circulation on the site.

Signage Requirements:

Section 19.18 Sign Regulation shall govern with the exception that pylon signs consistent with the exhibits in this Community Plan shall be allowed or other signage as shown in a specific Village Plan. Two LED message center signs are allowed. The sign adjacent to Redwood Road shall not exceed 50 square feet and the sign adjacent to Pioneer Crossing shall not exceed 70 square feet. The LED signs shall only be used for on-premise advertising and have a refresh rate of 12 seconds.

Lighting Requirements:

Section 19.11 Lighting shall govern with the exception that parking lot light poles may include fixtures of the type and design shown in Figure 1. Parking light poles of 32 feet 6 inches in height are permitted provided such lighting poles are champagne color and designed to blend into existing backgrounds – See figure 2. Additional accent lighting may be provided with poles not to exceed 20'-6" in height as shown in Figure 3.

Lighting along public roads that will be maintained by the City, such as Redwood Road, shall be per City standard details and specifications.



Figure 1

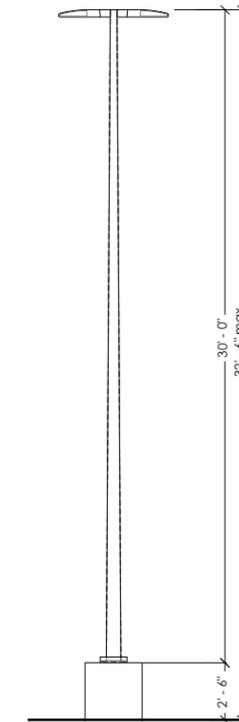


Figure 2



Figure 3

TYPICAL PARKING AREA AND DECORATIVE LIGHTING

All exterior lighting shall comply with the City of Saratoga Springs Dark Sky ordinance/requirements



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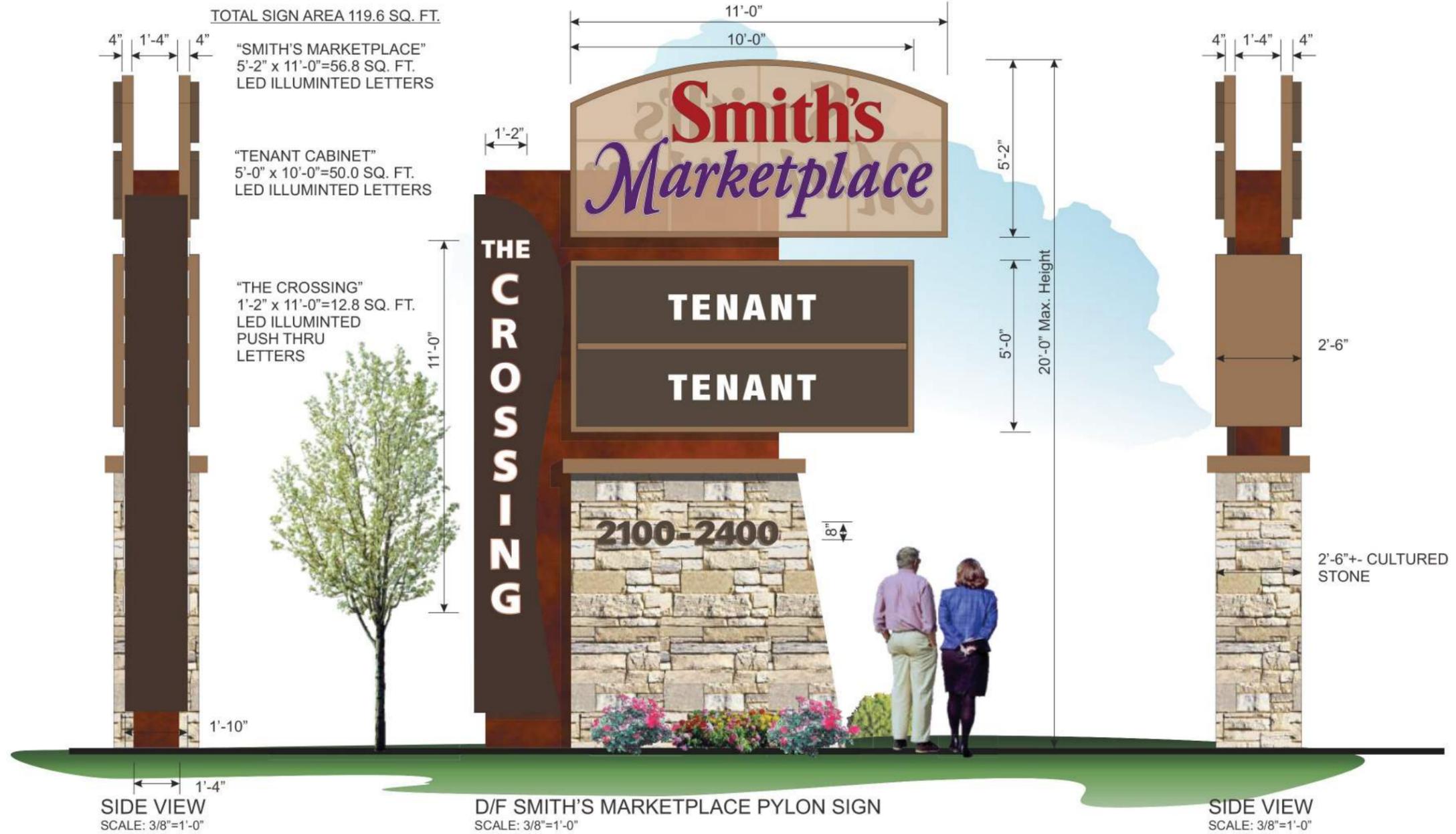


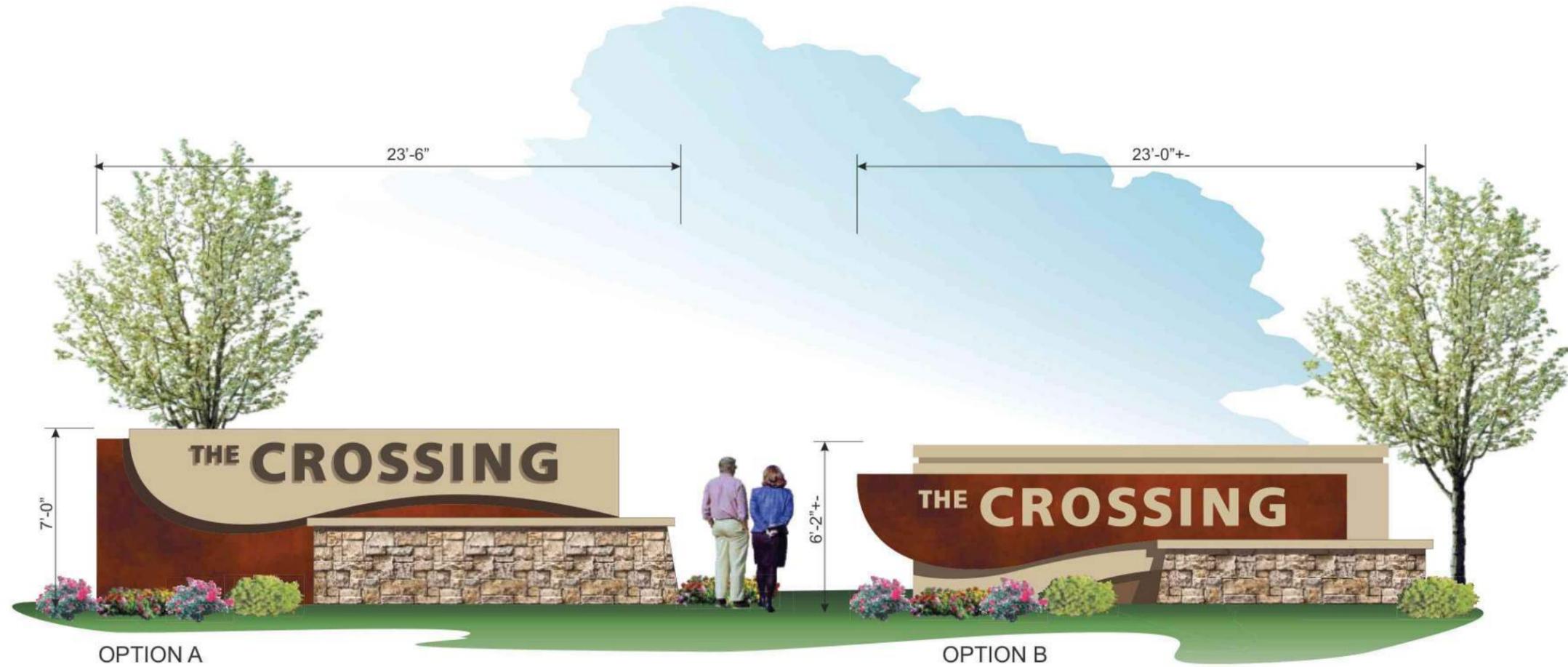
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Development Approval Processes for The Crossing

Application / Approval Type	Approval Process
New Village Plan	Process per Code Section 19.26.
Community and Village Plan Amendments	Minor changes to the approved Village or Community Plans may be approved by the Planning Director.
Site Plan Approval	Provided the application site plan complies with the Approved Village Plan, site plans may be approved by the Planning Director with consultation with the Development Review Committee.
Site Plan Amendment	Planning Director decision with consultation with the Development Review Committee. ¹
Lot Line Adjustments	Minor Lot Line Adjustment to the area controlled by a Community or Village Plan may be approved by the Planning Director with consultation with the Development Review Committee per Section 19.12.
Preliminary Plat	Planning Director approval provided the preliminary plat substantially conforms to the loting map in the Village Plan.
Minor Subdivision	Planning Commission Decision per Section 19.12.
Conditional Use	Planning Commission Decision per Section 19.15. ¹
Conditional Use – Existing Building or Site	Planning Director decision with consultation with the Development Review Committee.
Sign Permit	Per Planning Director approval process in Code Section 19.18.
Elevations	Building elevations are to be reviewed as part of the Site Plan Approval process. Provided the application with elevations is consistent with the Approved Village Plan, future site plan approvals may be reviewed by Planning Staff with consultation with the Design Review Committee if desired. ¹
Variances	Per Code Sections 19.03 and 19.26 as appropriate.
Tenant Improvement Plans	Building Department. ¹

¹ Staff may require full review and approval of any site plan by the Planning Commission should a proposal not meet the specified design requirements listed in the Community or Village Plans per the applicable section in the City code.

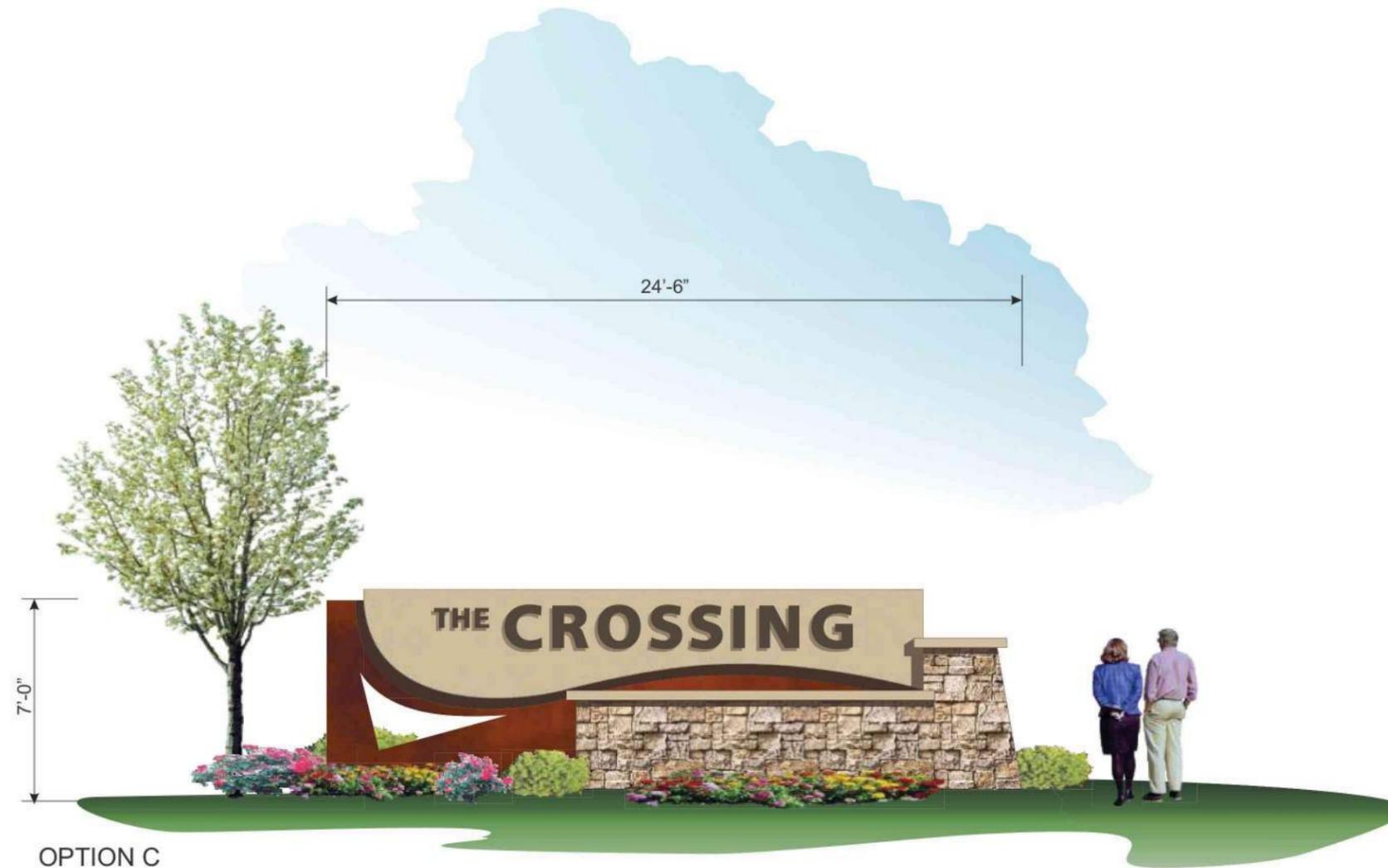




OPTION A

OPTION B

SINGLE FACE PROJECT IDENTIFICATION SIGN
SCALE: 1/4"=1'-0"



OPTION C

SINGLE FACE PROJECT IDENTIFICATION SIGN

SCALE: 1/4"=1'-0"



The following design criteria are established for each new building to help form a consistent theme for the Community Plan and within each future Village Plan.

Building Forms:

A mix of uses and building forms must be provided:

- a. Complimentary building materials and color schemes are required.
- b. Design latitude in building types, sizes, styles and massing will be permitted to ensure interest and variety through the project area.
- c. Large and monotonous wall and roof planes shall be avoided. Large expanses of a single material not to exceed 1,650 of contiguous square feet shall be allowed on sides and rear of big box structures. Smaller buildings shall comply with design guidelines.
- d. Roof mounted equipment must be screened from view from adjacent public and private streets as well as from adjacent properties per the City of Saratoga Springs Site and Architectural Design Standards.

Architectural Materials:

Acceptable building exterior finish materials include Glass, EIFS, integral-color CMU, brick, stone, pre-cast concrete, flat or ribbed metal panels, aluminum, steel and fiber-cement siding as shown on proposed color board. No more than six types of materials are permitted per building.

Buildings are encouraged to use a variety of materials with the suggested composition of one or two Preferred Primary Materials (70%-80% of exterior surface excluding windows) and one or two Preferred Accent Materials (20%-30% of exterior surfaces excluding windows.) Refer to the material table on the following page for a list of acceptable materials. Excluding glazing, each building elevation shall have a minimum of 25% non-EIFS materials. No fewer than 3 materials (combined between primary and accent materials) may be used on each building.

Architectural Colors:

In general, natural/earthy material finishes are preferred with materials with natural finishes being used where possible such as weathered steel, masonry, etc. Accent colors matching tenant standards may be used, however, dominant surface colors shall be in line with Community and Village standards as shown on the subsequent exhibits. All aluminum storefront shall be bronze colored, however additional colors may be used only where specific to tenant branding.

Preferred Primary Materials:	Preferred Accent Materials:
Colored CMU (Split-faced or honed)	Brick
EIFS	Stone
Brick	Pre-cast concrete
Stone	Metal
Flat or ribbed metal panels	Tile
Fiber-cement siding	Fiber-cement siding
	Wood

Primary Facades:

Primary facades are those sides of a building where the primary entrance(s) are located. It is possible for a building to have more than one primary facade.

Primary facades shall incorporate a building canopy, awning, or similar weather protection along the building's principal public entrance, projecting at least four feet from the facade. In addition, primary facades shall incorporate visually prominent building entrances through the use of at least one of the following features:



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- a. Secondary roof structures, or a parapet roof used to accent the principal public entrance, or
- b. Outdoor pedestrian features such as seat walls and landscaping, or permanent landscaped planters with integrated benches, or
- c. Architectural detailing such as tile, metal, stone, or cementitious fiber board integrated into the building structure.

Secondary Facades:

Secondary facades are those sides of a building in which the primary building entrances are not located. Secondary facades shall incorporate the following:

- a. Secondary facade walls shall include either a window, a functional doorway, or another architectural feature to match the architectural articulation of the primary facade.
- b. Secondary facades that face the public right-of-way shall include a similar level of architectural detail and treatment consistent with the primary facade.
- c. All secondary facades facing other access roads may include a reduced level of architectural detail and treatment consistent with the primary facade.

Facade Articulation:

Storefronts and side and rear walls on buildings with nonresidential uses on the ground floor shall include articulation features every 50 feet (maximum) to create a pattern of small storefronts. At least three of the following features shall be employed at intervals no greater than 50 feet.

- a. Window fenestration patterns and/or entries;
- b. Use of weather protection features;
- c. Use of vertical piers/columns;
- d. Change in roofline
- e. Change in building material or siding style;
- f. Vertical elements such as a trellis with plants, green wall, art element;
- g. Providing vertical building modulation of at least 8 inches in depth if tied to a change in roofline modulation per or a change in building material, siding style, or color;
- h. Other design techniques that effectively reinforce a pattern of small storefronts.

In addition, a 3 foot facade shift for buildings over 20,000 square feet shall be provided if not compliant with changes in color or roof line outlined above. A 2 foot facade shift shall be provided for buildings less than 20,000 square feet when not accompanying a change in roof line as outlined above.

Windows and Doors:

Buildings shall comply with the following requirements:

- a. All street level windows, adjacent to entry's, along the primary facade shall be visually permeable.
- b. Front facade walls shall include a window, functional general access doorway, or another architectural feature per the following standard:
 - 1. Every 24 feet for structures of 40,000 square feet or less in size; and
 - 2. Every 40 feet for structures larger than 40,000 square feet in size.

Roofs:

Parapet walls shall feature transitions and articulation to match the architectural articulation of the primary facade. Pitched or other roof forms are allowed for decorative roofs and for roof profiles that are required to be consistent with tenant branding. All rooftop equipment shall be screened from view from all adjacent public and private streets, parking areas, and drive approaches. A site line study shall be provided as necessary to graphically illustrate compliance or other site specific restrictions, limitations, etc. No roof access is permitted on the exterior of a building and is to be provided by an internal roof hatch or by other means not permanently attached to the building.

Side and Rear Loading and Service Areas:

Loading, service, and equipment areas shall be located in a manner that minimizes their visibility from drive approaches and streets. Loading, service, and equipment areas shall be screened through the use of architectural elements and materials that reduce their visibility.

Drive-Thru Facilities:

Drive-thru facilities shall include a canopy or roof that is architecturally integrated with the building and that is similar to or mirrors the roof form of the primary structure.

Site Furnishings:

Consistent site furnishings shall be provided to unify the pedestrian spaces. Acceptable furnishings include decorative street lamps, benches, bollards, trash receptacles, planters, bike racks, etc.

Landscaping:

A unified landscape theme must be provided that is designed to:

- a. Enhance compatibility of adjacent land uses and the visual appearance of streetscapes.
- b. Establish opportunities for sustainable storm water management.
- c. Encourage water conservation and use of plant material suited to conditions in Saratoga Springs.

See landscaping guidelines in Exhibit 6 for additional information including general landscape design guidelines, acceptable plant materials, etc.

Architectural Motif:

The "swoop" motif shall be incorporated as an accent into one or more of the following to further unify the Community and Village developments:

Building facade, landscaping, signage or site furnishings.

Refer to the conceptual examples on this sheet for potential ways to incorporate this motif.



Conceptual Site Furnishings Examples:
Bike racks, benches (actual site furnishings may vary)



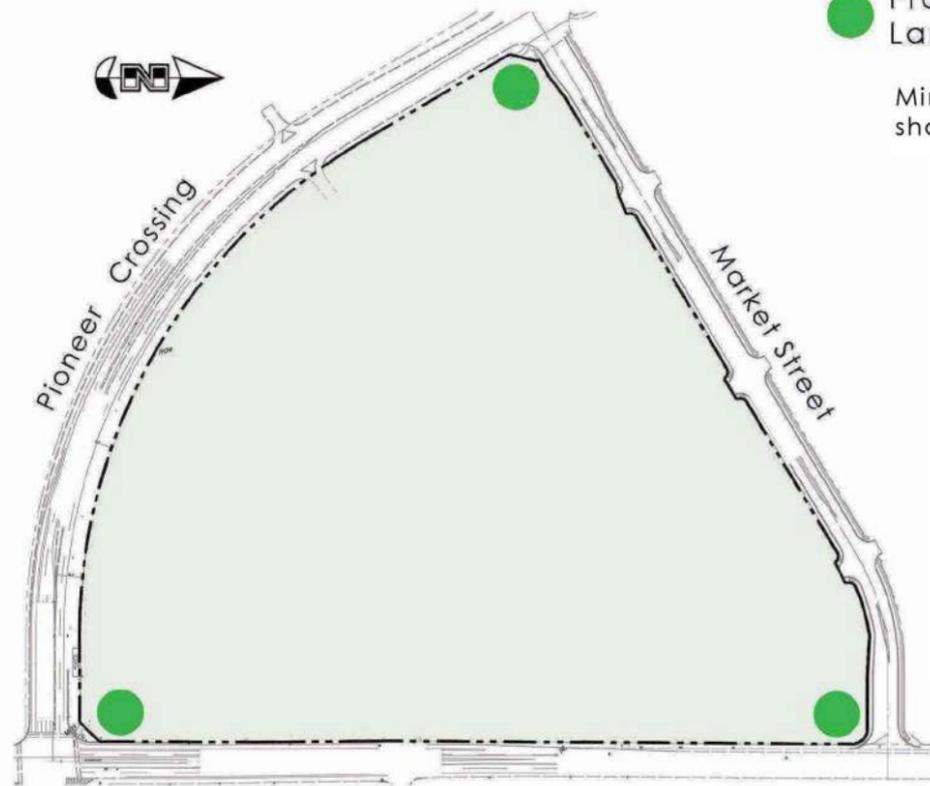
Conceptual Exterior Material Examples:
CMU, stone veneer, EIFS, pre-cast concrete, brick, steel shown in examples above - refer to materials list for other acceptable materials



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Project Street Corner Landscaping:

Minimum street corner enhancements shall including the following:

- 1) A colored concrete plaza (400 s.f.)
- 2) 1 or 2 decorative benches
- 3) "The Crossings" project sign incorporated into the landscape (400 s.f. of understory plantings)
- 4) Shrub and perennial plantings in parkstrip (500 s.f.)
- 5) "Swoop" logo shape incorporated into the landscape (See "The Crossings" Sign for swoop shape)
- 6) Usage of the plant material specified below

Note:
Refer to project street corner landscape concept.



Karl Forester Grass



Oregon Grape



Grow Low Sumac



Mugo Pine



Golden Privet



Catmint



Black-Eyed Susan

Plant List

(All plant material specified shall be adopted from this plant list)

Type	Botanical Name	Common Name	Minimum Plant Size	Height	Width	Special Instructions
Trees						
Deciduous	Zelkova s. 'Musashino'	Musashino Zelkova	2' Caliper & 10' Minimum Ht., B&B	45'	20'	Plant in Parking Lot & along Street
	Tilia c. 'Chancellor'	Chancellor Linden		25'	20'	Plant in Parking Lot & along Street
	Gleditsia t. 'Imperial'	Imperial Honeylocust		35'	35'	Plant in Parking Lot & along Street
	Acer miyabei	Miyabei Maple		40'	30'	Plant along Street & Open Space
	Acer t. a. p. 'Warrenred'	Pacific Sunset Maple		30'	25'	Plant along Street & Open Space
	Ulmus parvifolia	Lacebark Elm		50'	35'	Plant along Street & Open Space
Ornamental	Quercus r. l. 'Crimson Spire'	Columnar Oak	2' Caliper & 8' Minimum Ht., B&B	45'	15'	Plant in Open Space Areas
	Pyrus c. 'Chanticleer'	Chanticleer Pear		35'	15'	Plant in Parking Lot along Street
	Prunus s. 'Columaris'	Flowering Columnar Cherry		35'	15'	Plant in Parking Lot along Street
	Malus x 'Spring Snow'	Spring Snow Crabapple		25'	22'	Plant in Open Space Areas
	Prunus v. 'Canada Red'	Canadian Chokecherry		25'	20'	Plant in Open Space Areas
	Cercis c. 'Forest Pansy'	Forest Pansy Redbud		15'	15'	Plant in Open Space along Street
Evergreen	Koeleruteria paniculata	Goldenrain Tree	8-10' Minimum Ht., B&B	35'	18'	Plant in Parking Lot & in Open Space
	Picea p. g. l. 'Blue Tolem'	Columnar Blue Spruce		20'	6'	Plant adjacent to Bldg. Foundation
	Pinus f. g. 'Yanderwolfe'	Yanderwolfe Pine		25'	15'	Plant in Open Space
	Pinus nigra	Austrian Pine		50'	20'	Plant in Open Space
	Abies concolor	White Fir		40'	20'	Plant in Open Space
	Cedrus a. g. 'Fastigiata'	Columnar Blue Atlas Cedar		30'	15'	Plant adjacent to Bldg.
Pinus n. 'Arnold Sentinel'	Arnold Sentinel Pine	20'	12'	Plant in Open Space		
Shrubs						
Deciduous	Spiraea b. 'Anthony Waterer'	Anthony Waterer Spirea	5 Gal. Cont., 12-15" Ht.	3'	3'	Plant in all Landscape Areas
	Perovskia atriplicifolia	Russian Sage	5 Gal. Cont., 15-18" Ht.	4'	4'	Plant in Open Space Areas
	Potentilla f. 'Gold Finger'	Gold Finger Potentilla	5 Gal. Cont., 12-15" Ht.	3'	3'	Plant in all Landscape Areas
	Rhus a. 'Grow Low'	Grow Low Sumac	2 Gal. Cont., 12-15" Ht.	2'	6'	Plant in all Landscape Areas
	Physocarpus o. 'Summer Wine'	Summer Wine Ninebark	5 Gal. Cont., 24-30" Ht.	4'	4'	Plant in Open Space Areas
	Berberis t. c. 'Crimson Pygmy'	Crimson Pygmy Barberry	5 Gal. Cont., 18-24" Ht.	1.5'	2'	Plant in all Landscape Areas
	Spiraea j. 'Froebell'	Froebell Spirea	5 Gal. Cont., 18-24" Ht.	3'	3'	Plant in all Landscape Areas
	Chrysothamnus nauseosus	Rabbitbrush	5 Gal. Cont., 24-30" Ht.	3'	3'	Plant in Open Space Areas
	Forsythia x. 'Arnold's Dwarf'	Arnold's Dwarf Forsythia	5 Gal. Cont., 18-24" Ht.	4'	6'	Plant in Open Space Areas
	Rosa x 'Rainbow Knockout'	Knockout Shrub Rose	5 Gal. Cont., 15-18" Ht.	3'	3'	Plant in Open Space Areas
	Caryopteris x. clandonensis	Blue Mist Spirea	5 Gal. Cont., 18-24" Ht.	3'	3'	Plant in all Landscape Areas
	Berberis t. c. 'Rosy Glow'	Crimson Pygmy	5 Gal. Cont., 12-15" Ht.	2'	2'	Plant in all Landscape Areas
	Syringa p. 'Miss Kim'	Miss Kim Lilac	5 Gal. Cont., 18-24" Ht.	4'	4'	Plant in Open Space Areas
	Spiraea b. 'Limemound'	Limemound Spirea	5 Gal. Cont., 15-18" Ht.	3'	3'	Plant in all Landscape Areas
	Prunus cistena	Purple Leaf Sand Cherry	5 Gal. Cont., 24-30" Ht.	5'	5'	Plant in Open Space Areas
	Buddleia d. 'Black Knight'	Butterfly Bush	5 Gal. Cont., 24-30" Ht.	5'	4'	Plant in Open Space Areas
	Acer g. 'Flame'	Flame Maple (Clump)	15 Gal. Cont., 4-5" Ht.	16'	10'	Plant in Open Space Areas
	Viburnum Burkwood	Burkwood Viburnum	5 Gal. Cont., 24-30" Ht.	6'	6'	Plant in Open Space Areas
	Ribes alpinum	Alpine Currant	5 Gal. Cont., 24-30" Ht.	4'	5'	Plant in Open Space Areas
	Viburnum o. 'Nanum'	Dwarf European Cranberry	5 Gal. Cont., 24-30" Ht.	3'	3'	Plant in all Landscape Areas
Ligustrum v. 'Golden'	Golden Privet	5 Gal. Cont., 18-24" Ht.	5'	4'	Plant in Open Space Areas & Near Bldg.	
Evergreen	Taxus m. 'Dark Green Spreader'	Spreading Yew	5 Gal. Cont., 15-18" Ht.	3'	3'	Plant in all Landscape Areas
	Ephedra v. 'Coville'	Mormon Tea Plant	5 Gal. Cont., 24-30" Ht.	5'	5'	Plant in Open Space Areas
	Yucca f. 'Ivory Tower'	Adams Needle	5 Gal. Cont., 18-24" Ht.	3'	3'	Plant in all Landscape Areas
	Picea a. 'Nidiformis'	Nest Spruce	5 Gal. Cont., 24-30" Ht.	3'	4'	Plant in all Landscape Areas
	Mahonia a. 'Compacta'	Compact Oregon Grape	5 Gal. Cont., 18-24" Ht.	3'	3'	Plant in all Landscape Areas
	Pinus m. 'Slowmound'	Slowmound Mugo Pine	5 Gal. Cont., 18-24" Ht.	1.5'	6'	Plant in all Landscape Areas
	Pinus s. 'Hillside Creeper'	Creeping Scotch Pine	5 Gal. Cont., 12-14" Ht.	4'	4'	Plant in Open Space Areas & Near Bldg.
	Fallugia paradoxa	Apache Plume	5 Gal. Cont., 12-14" Ht.	5'	4'	Plant in Open Space Areas
Ornamental Grasses						
Ornamental Grasses	Helictotrichon sempervirens	Blue Oat Grass	1 Gal. Cont., 24-30" Ht.	2'	3'	Plant in all Landscape Areas
	Panicum v. 'Shenandoah'	Shenandoah Switch Grass	1 Gal. Cont., 24-30" Ht.	2'	3'	Plant in Open Space Areas
	Panicum v. 'Heavy Metal'	Heavy Metal Switch Grass	1 Gal. Cont., 24-30" Ht.	5'	3'	Plant in Open Space Areas
	Calamagrostis x. 'a. 'Karl Forester'	Karl Forester Grass	1 Gal. Cont., 24-30" Ht.	5'	3'	Plant in all Landscape Areas
	Miscanthus s. 'Little Zebra'	Maiden Grass	5 Gal. Cont., 24-30" Ht.	4'	3'	Plant in all Landscape Areas
	Pennisetum a. 'Hamein'	Dwarf Fountain Grass	1 Gal. Cont., 12-15" Ht.	2'	2'	Plant in all Landscape Areas
Perennials						
Perennials	Hemerocallis x. 'Stella de Oro'	Stella de Oro Daylily	1 Gal. Cont., 12-15" Ht.	18"	18"	Plant in Accent Areas
	Hemerocallis x. 'Baja'	Baja Daylily	1 Gal. Cont., 12-15" Ht.	18"	18"	Plant in Accent Areas
	Lavandula a. 'Munstead'	English Lavender	1 Gal. Cont., 12-15" Ht.	18"	24"	Plant in all Landscape Areas
	Rudbeckia f. 'Goldstrum'	Black Eyed Susan	1 Gal. Cont., 12-15" Ht.	24"	24"	Plant in all Landscape Areas
	Nepta f. 'Dropmore'	Catmint	1 Gal. Cont., 12-15" Ht.	18"	18"	Plant in all Landscape Areas
	Sorbaria sobifolia	False Spirea	1 Gal. Cont., 12-15" Ht.	4'	4'	Plant in Open Space Areas
	Salvia s. n. 'East Friesland'	East Friesland Salvia	1 Gal. Cont., 10-12" Ht.	1.5'	2'	Plant in Accent Areas
	Pastemon e. 'Firecracker'	Firecracker Penstemon	1 Gal. Cont., 12-15" Ht.	3'	2'	Plant in Accent Areas
	Artemisa frigida	Prairie Sagewort	1 Gal. Cont., 12-15" Ht.	1.5'	2'	Plant in all Landscape Areas
	Groundcover					
Lawn	Poa pratensis	Kentucky Blue Grass Blend	Sod			To be From a Local Source

These landscape standards shall be used in conjunction with the Saratoga City Chapter 19.06 and 19.09 landscape and off-street parking requirements.

Landscape / Open Space:

- 1. See page 5 Open Space Plan for open space definition.
- 2. Each phase shall have a minimum of 11% landscape / open space.

Parking Lot Raised Pedestrian Walkways:

1. Parking lots larger than 75,000 square feet shall provide raised or delineated pedestrian concrete walkways. Walkways shall be a minimum of seven feet wide and shall be placed through the center of the parking area and extend to the entrance of the building. Landscape planter widths along walkway shall be a minimum of three feet. Landscape islands along the center walkway shall be at a minimum interval of every twenty stalls on double stacked rows. A minimum three foot wide concrete pad shall be centered on parking stall striping and extend to main walkway.

(This shall not apply where parking stalls run parallel to the main building.)

Parking Islands:

- 1. Parking islands are not required on single stacked rows that abut eight feet of landscaping depth.

Parking Lot Screening:

- 1. Parking lot screening shall be accomplished by placing vegetation a minimum of seven feet wide along street fronts with parking areas. A mixture of three foot high deciduous and evergreen plant material shall be used for screening. A three foot high minimum berm or wall can be used, but are not required.

Landscape Retaining Walls:

- 1. If retaining is needed, landscape boulders, decorative concrete, and keystone style walls shall be used. Landscape shall be used to soften walls. Wall and boulder colors shall be consistent through all subsequent Village Plans.

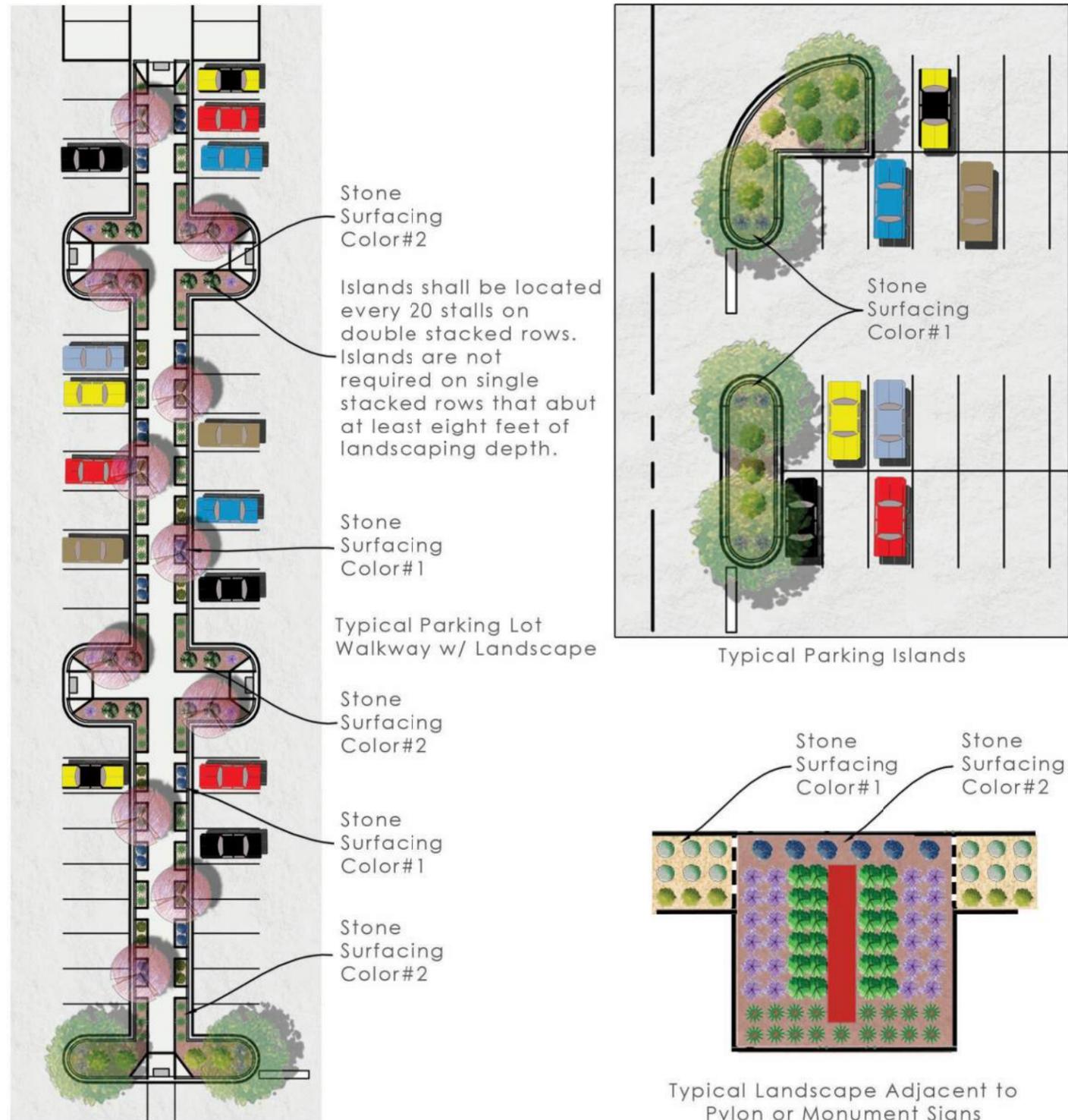
Landscape Adjacent to Building Walls:

- 1. Intermittant landscape shall be placed along long building walls.

Landscape Boulders, Decorative Stone and Edging:

- 1. All decorative stone surfacing shall be crushed and angular. No cobble stone. Carefully placed decorative stone shall be used under plant material. No wood mulch shall be used in landscape areas. Phase I colors, sizes, and sources of decorative surfacing shall be consistent through subsequent Village Plans.
- 2. 4-5' diameter decorative landscape boulders shall be incorporated into shrub areas. Boulders shall not be used in lawn areas. Landscape boulders shall be angular. Boulders shall be used in accent areas, high visibility areas, and shall not interfere with access to utilities and block signage. Phase I color and sizes shall be consistent through subsequent Village Plans.
- 3. 4" x 6" landscape concrete curbing shall be used to separate lawn from shrub areas.
- 4. A commercial grade 3/16" x 4" steel edging shall be used to separate different size and colored decorative stone surfacing. Phase I color shall be consistent through subsequent Village Plans.





1) Parking Island and Walkway Landscaping:

a. All parking islands shall receive plant material with decorative stone surfacing. Small narrow parking islands shall be planted with shrubs and perennials. Parking islands greater than 15 feet in width and 450 square feet may be planted with lawn. Hardy plant material shall be used in parking lot areas. Small colorful perennials and evergreen plants shall be planted between walkway and curb and gutter. One small deciduous tree shall be planted in walkway planters and alternate every other one on opposite sides of walkway. See plant list on community plan for a list of approved plant material. Upon completion of planting, decorative stone surfacing shall be installed. Phase I stone colors and sizes shall be consistent through all subsequent Village Plans.

b. Parking island shall be planted with two medium size deciduous trees. A mixture of medium size deciduous and evergreen shrubs shall be planted in parking islands. Plant material shall not obstruct views for cars and pedestrians entering and leaving the parking lot. Upon completion of planting, stone surfacing shall be installed. Phase I stone colors and sizes shall be consistent through all subsequent Village Plans.

2) Monument & Sign Landscaping:

a. All permanent business and project signage shall receive understory plantings. Plant material shall be a mixture of shrubs and colorful perennials. Shrubs shall be a combination of deciduous and evergreen to provide year round color. Lawn shall not be planted around signage. Plant material shall be low growing to not block signage. Incorporate massings of colorful plant material to draw attention to signage. Upon completion of planting, stone surfacing shall be installed. Phase I stone colors and sizes shall be matched through all subsequent Village Plans.

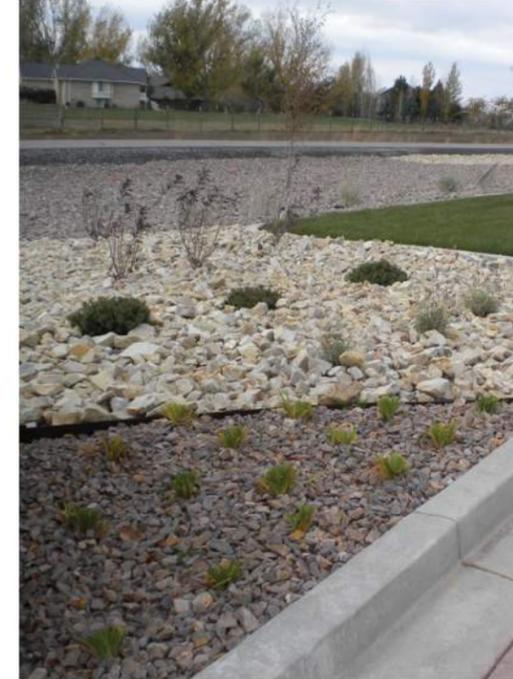




Parking Lot Walkway Landscaping



Parking Lot Island Landscaping



Parking Lot Perimeter Landscaping



Parking Lot Island Landscaping



Parking Lot Island Landscaping



Parking Lot Perimeter Landscaping



Drive Thru Landscaping



Parking Lot Diamond Planter Landscaping



Drive Thru Landscaping



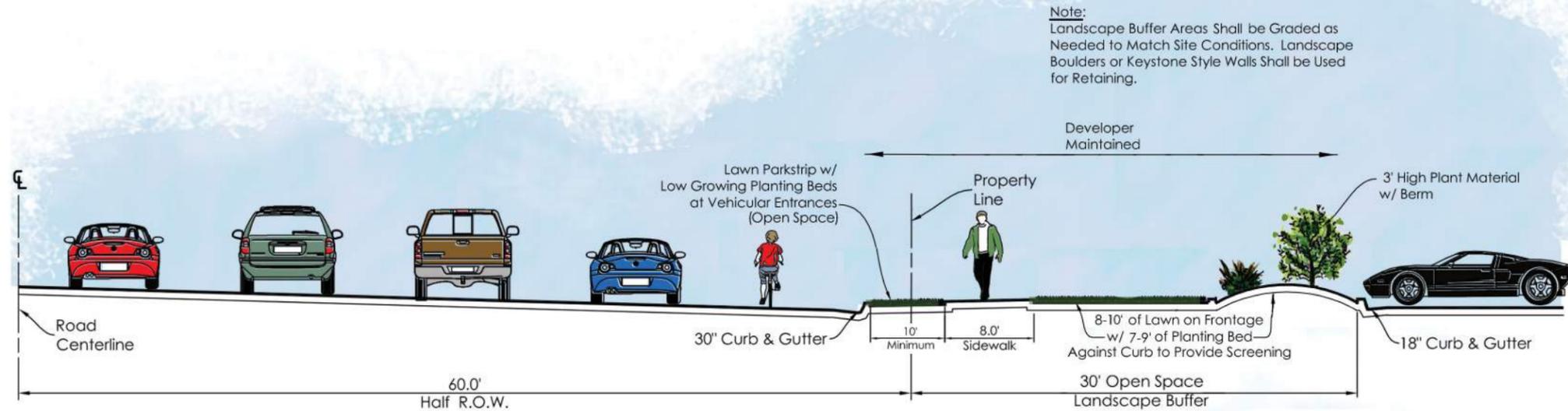
Parking Lot Entry Landscaping



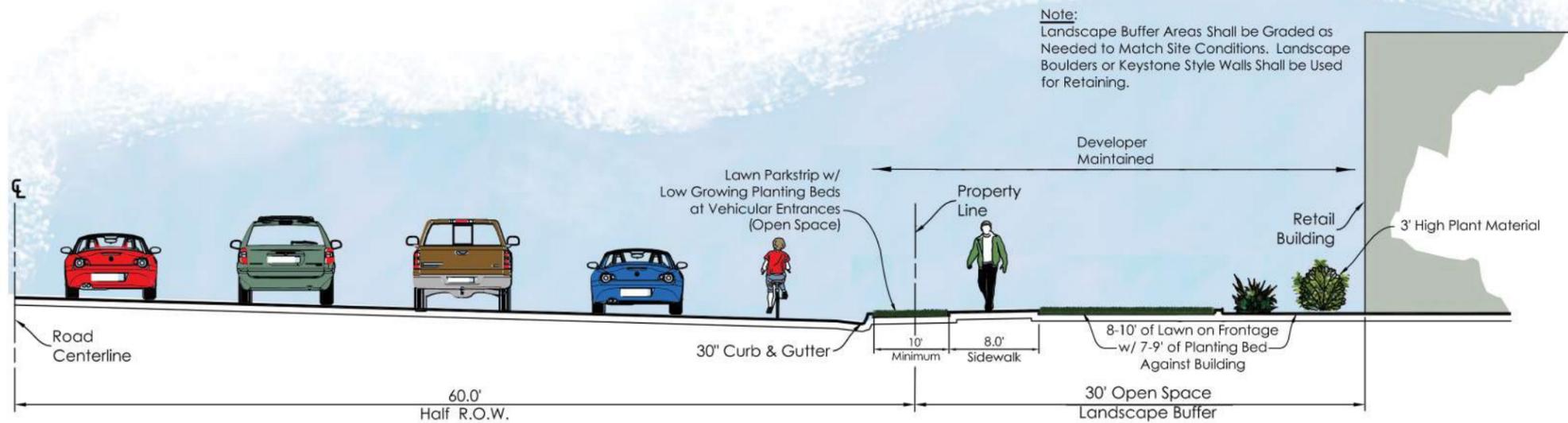
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Redwood Road Landscape Buffer with Parking Lot

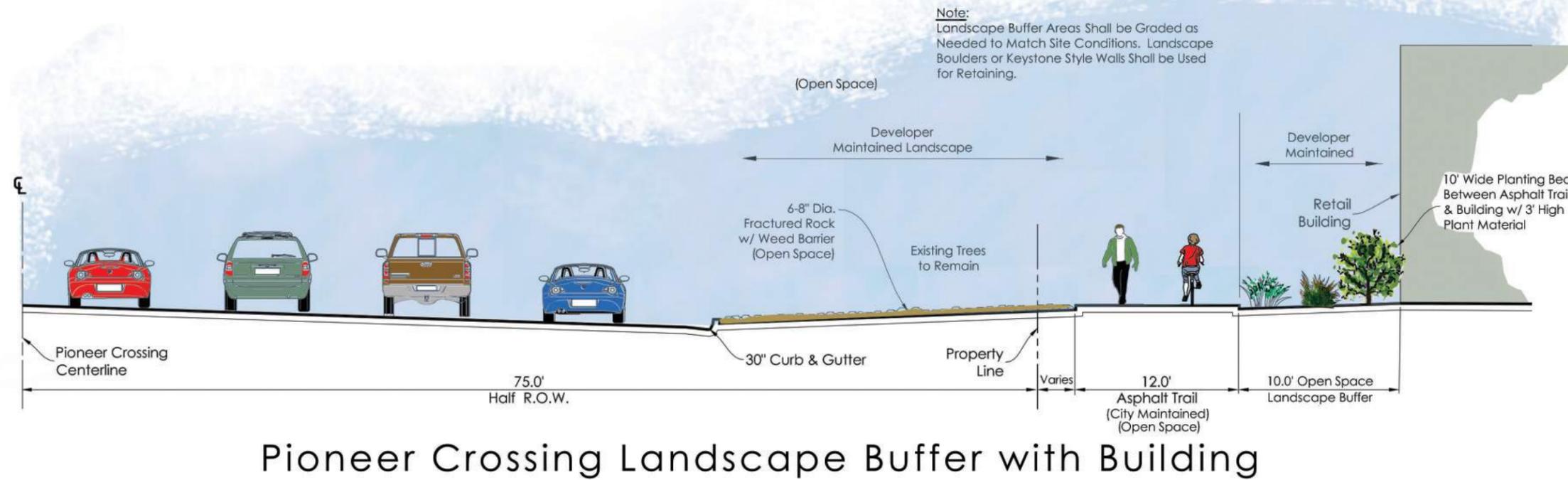
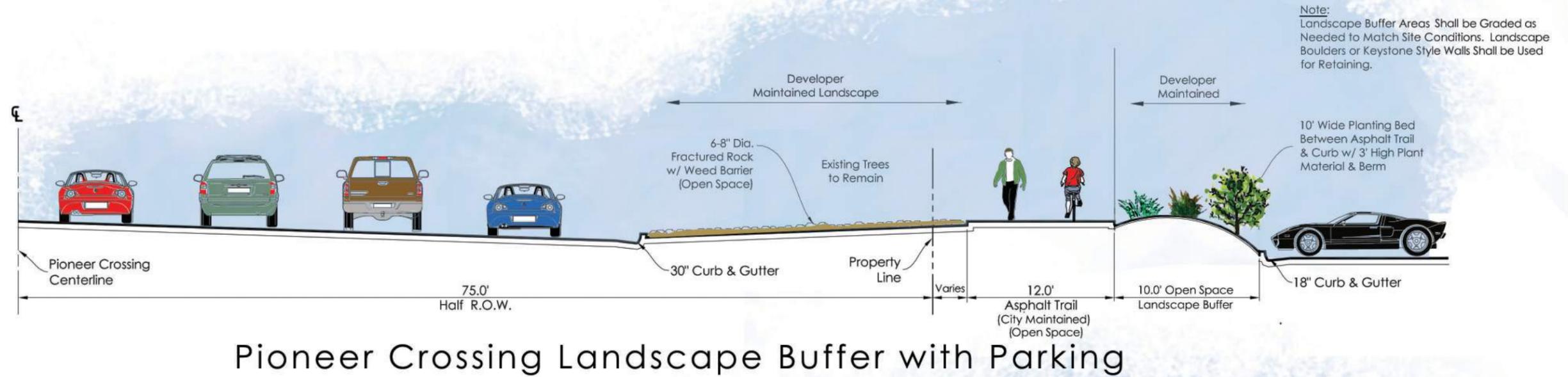


Redwood Road Landscape Buffer with Building



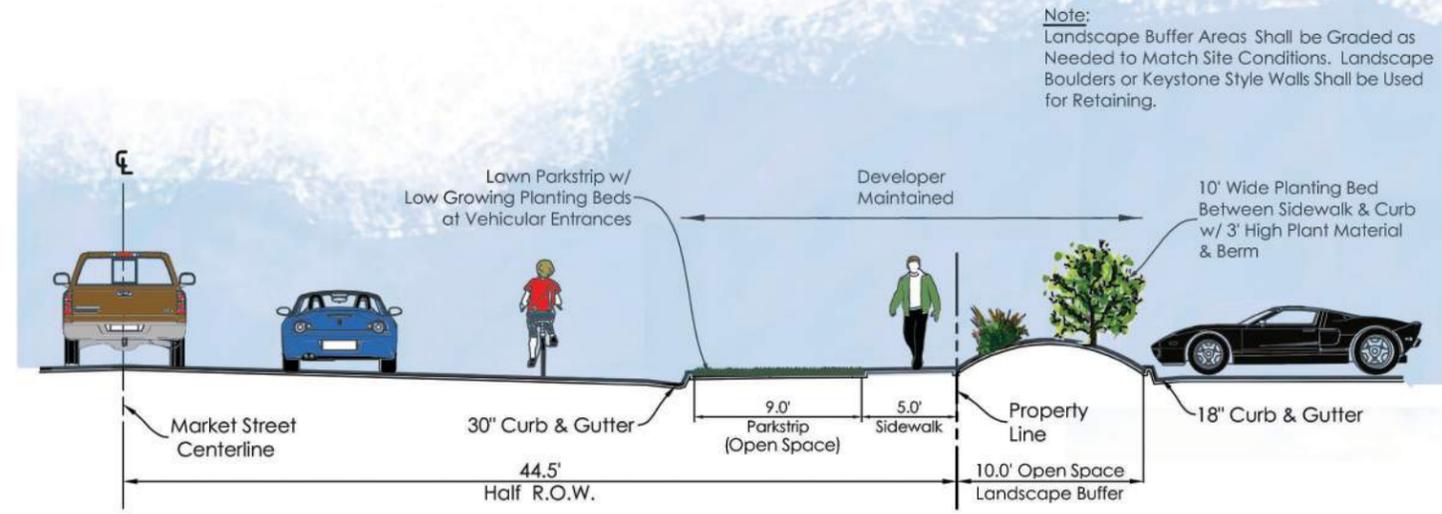
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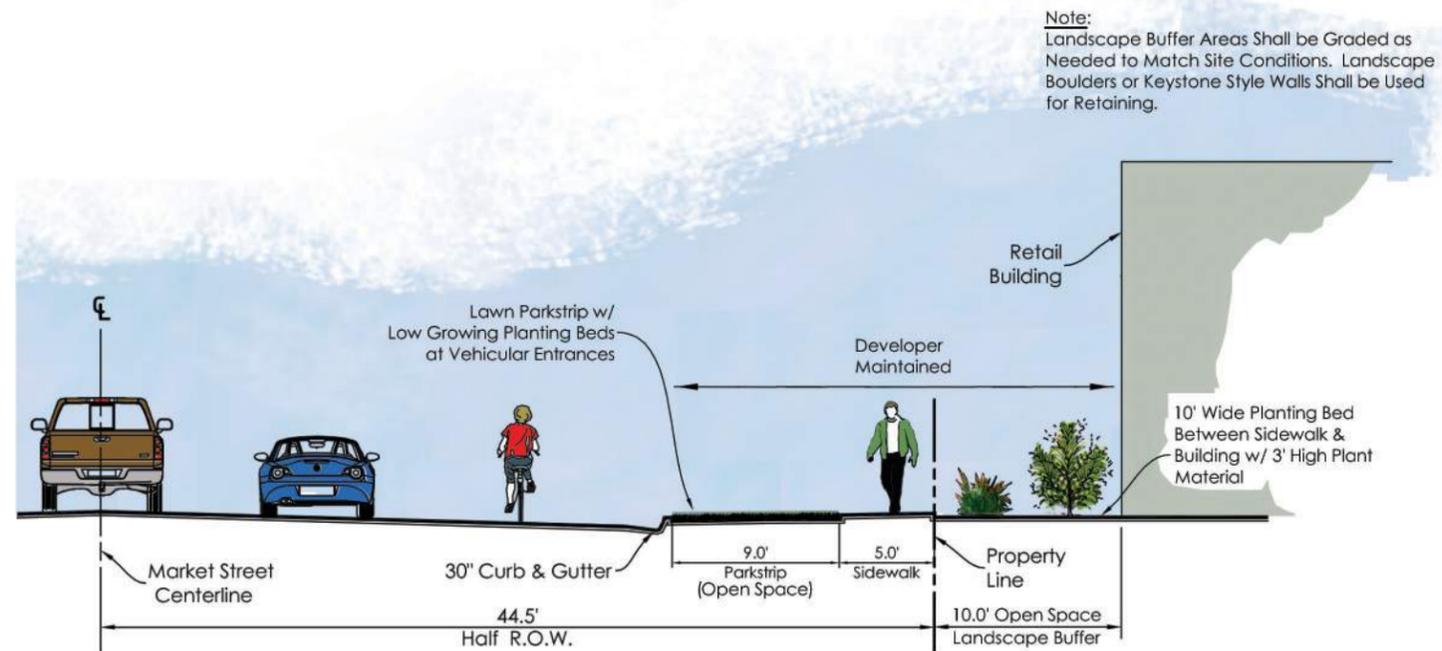


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Market Street Landscape Buffer with Parking



Market Street Landscape Buffer with Building

#6 UTILITY CAPACITIES

Utility Capacities. A general description of the current capacities of the existing on- and off-site backbone utility, roadway, and infrastructure improvements and a general description of the service capacities and systems necessary to serve the maximum buildout of the Community Plan. This shall be accompanied by a general analysis of existing service capacities and systems, potential demands generated by the project, and necessary improvements.

UTILITY INFRASTRUCTURE

The development and construction of The Crossing at Saratoga Springs will require design and construction of on-site and off-site utility infrastructure. The infrastructure anticipated for the build out of The Crossing at Saratoga Springs includes, but is not limited to, the following.

- Extension of a 48" +/- sanitary sewer line from the intersection at Pioneer & Redwood to the north boundary of the project.
- Extension of a 12" waterline from the intersection of Pioneer & Redwood to the boundary of the project and under Pioneer Crossing.
- Extension of a storm drain line from Market Street to Pioneer Crossing.

SANITARY SEWER

The Crossing at Saratoga Springs will gravity sewer to the existing 24" line located in Redwood Road. Several connections will be made to the existing line and then extended west through the development. Sanitary sewer main line through Phase 2 will be extended under Pioneer Crossing. Sanitary sewer will be 12" diameter and capable of providing capacity for 2.4 cfs of off-site flow in addition to the needs of the development.

STORM DRAINS

Storm drainage for the site will drain to a pipe that is currently being constructed at the New Market Street connection. A main line will be extended from this location to the South. Storm water shall be treated and detained prior to discharge per city standards.

CULINARY WATER

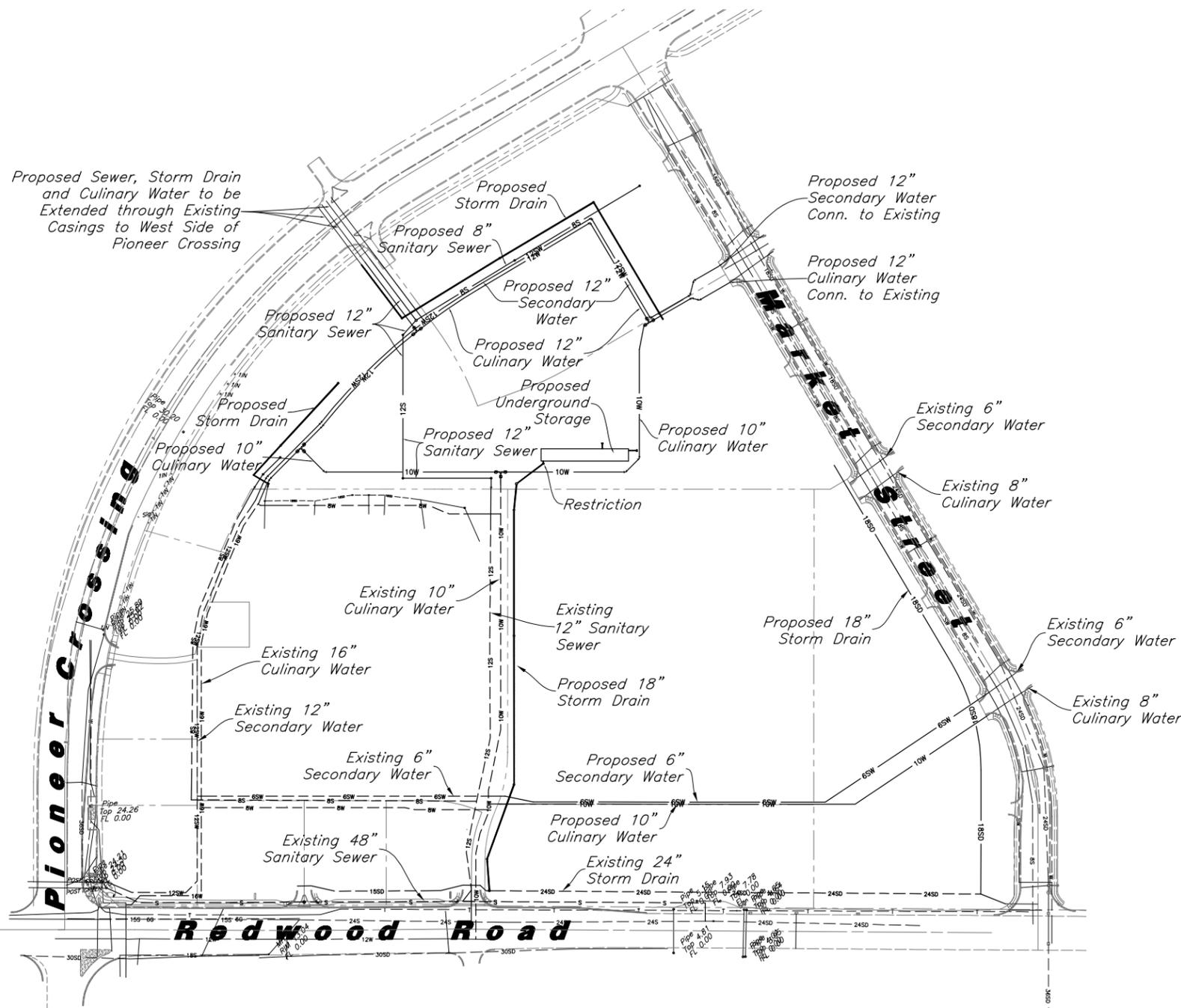
The City of Saratoga Springs has an existing 16" water main located at the intersection of Pioneer & Redwood and a 12" water main located in Redwood Road. The design of the initial phases of The Crossing at Saratoga Springs will include connections to the water main at two locations as well as

interior loops to provide redundancy and to meet City standards for minimum pressures and flows. Fire flow tests will be performed prior to sizing new culinary mains.

SECONDARY WATER

Secondary waterlines shall be installed within the project and fed through a cross connection until a secondary source is available. All sites shall have metered secondary water laterals.

Perimeter landscaping will be fed from an overall meter and maintained by the master developer. Interior landscaping will be fed by separate laterals and maintained by individual lot owners.



Scale: 1" = 100' (full size)
 100' 0 100' 200'
 (11"x17" Not to Scale)

Legend	
Proposed Fire Hydrant	⊕
Proposed Water Valve	⊕
Proposed Water Line	—W—
Proposed Sanitary Sewer	—S—
Proposed Storm Drain	—SD—
Proposed Conduit Line	—C—
Proposed Power Line	—P—
Proposed Gas Line	—G—
Proposed Secondary Water Line	—SW—
Proposed Roof Drain	—RD—
Existing Inlet Box	⊕
Existing Catch Basin	⊕
Existing Manhole	⊕
Existing Fire Hydrant	⊕
Existing Water Valve	⊕
Existing Overhead Power Line	—OP—
Existing Water	—W—
Existing Secondary Water	—SW—
Existing Sewer	—S—
Existing Storm Drain	—SD—
Existing Gas	—G—
Existing Power	—P—
Existing Telephone	—T—
Existing Telephone Box	⊕
Existing Power Meter	⊕
Existing Electrical Box	⊕
Existing Electrical Cabinet	⊕
Existing Gas Meter	⊕
Existing Water Meter	⊕
Existing Irrig. Control Box	⊕
Existing Bollard	⊕

Master Plan Culinary Water

1. Proposed 12" waterline to be Extended from Intersection of Pioneer Crossing and Redwood Road to West Side of Pioneer Crossing through Existing Casing. Connection will also be made to existing 16" line at Market Street.
2. Additional 8" Waterline to Loop through Sites where Necessary.
3. Proposed 10" waterline to connect to Redwood Road.
4. Locations are Approximate and will be determined at Site Plan approval.

Master Plan Secondary Water

1. Proposed 12" Secondary waterline to be constructed through site and connected to existing 12" line at Market Street.
2. Proposed 6" Secondary Waterlines to be Looped through site as required, Cross connection to be provided until Secondary Water is available.

Master Plan Sanitary Sewer

1. Saratoga City to Construct 42" Sanitary Sewer along Redwood Road.
2. Proposed 12" Sanitary Sewer line to connect to line in Redwood Road at Intersection with Dalmore Drive.
3. Proposed 12" Sanitary Sewer line to be Extended through Site to West Side of Pioneer Crossing.
4. Additional Connections to be made along Market Street if Required.

Master Plan Storm Drain

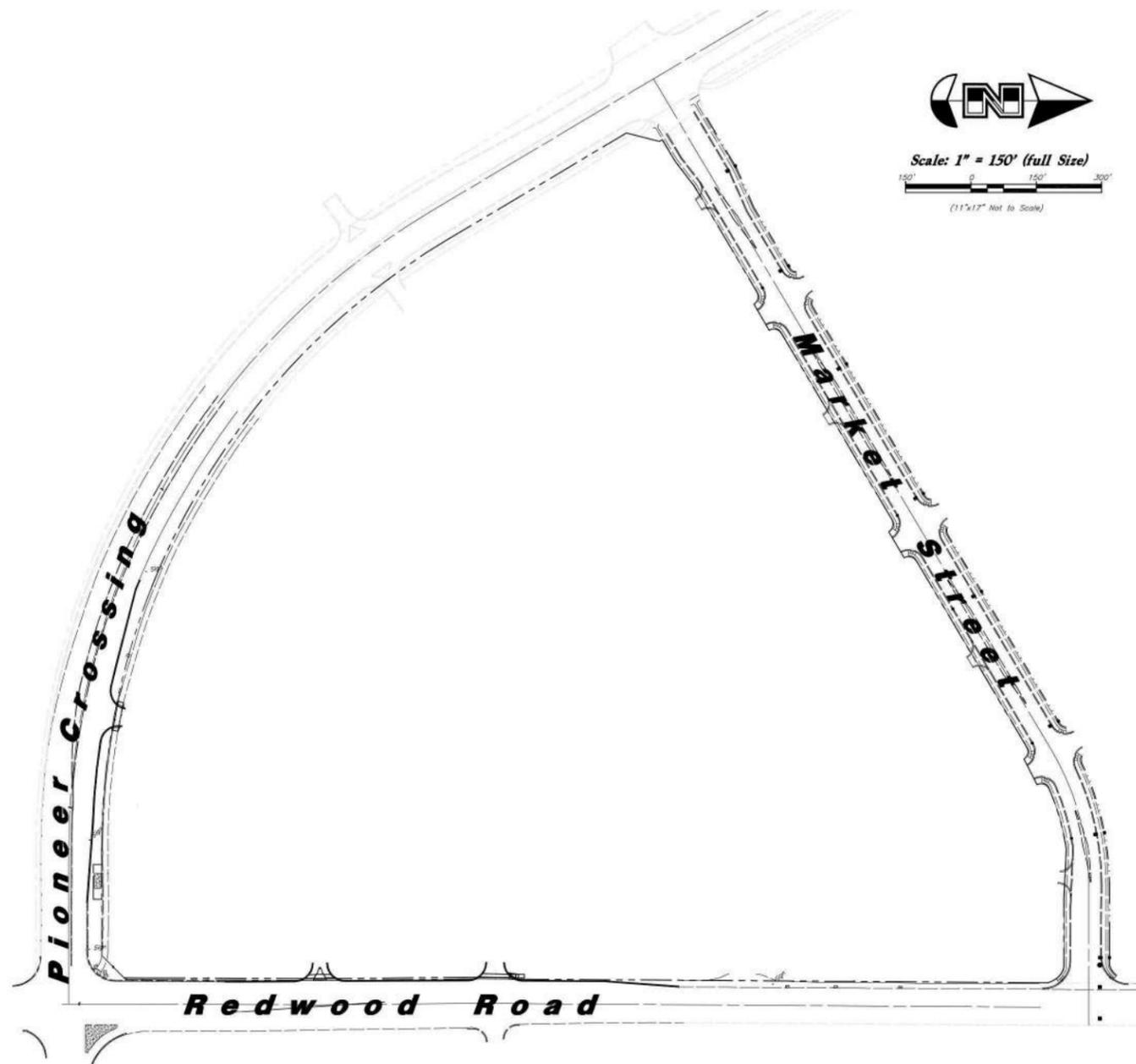
1. Proposed Storm Drain to be Connected to existing line at Intersection of Redwood Road and Market Street.
2. Proposed Storm Drain to be extended South along Redwood Road terminating at or before Pioneer Crossing.
3. All storm drain will be restricted and treated prior to connection to new line.
4. Proposed Storm Drain to be extended to the West Side of Pioneer Crossing.
5. New storm drain line locations will be determined at site plan approval.



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Fire Protection

This project lies entirely outside the City defined wildland/urban interface. At the time of development a fire protection plan will be prepared. Accesses will be from Pioneer Crossing and Redwood Road or Market Street.

Grading

The site will be regraded with each phase. Stormwater will be collected and discharged to a pipe on the south side of Market Street. Prior to discharge the water will be treated and detained per City Standards.

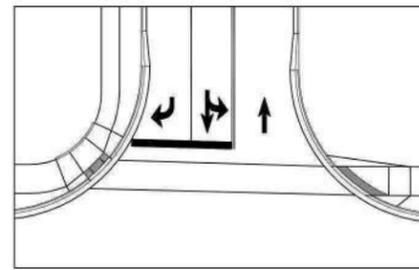
Each individual lot will be required to detain their storm water. Some crossover will be anticipated and designed into storage volumes.

Hazardous Materials Remediation Plans

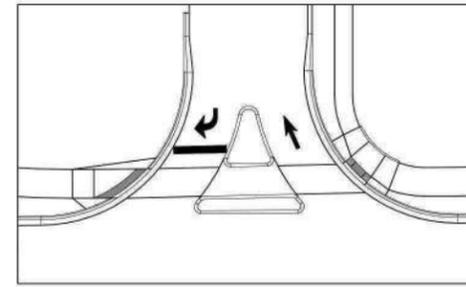
No hazardous materials exist on the site.

Open Space Management Plan

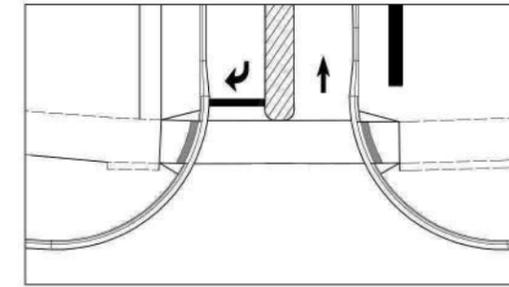
Open space plans will be developed at the Village Plan level. Open Space will range from 11%-14% per the District Area plan.



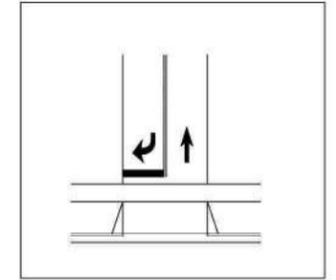
1 Conceptual 3 Lane Full Access



2 Conceptual Right In/Out with Concrete Island



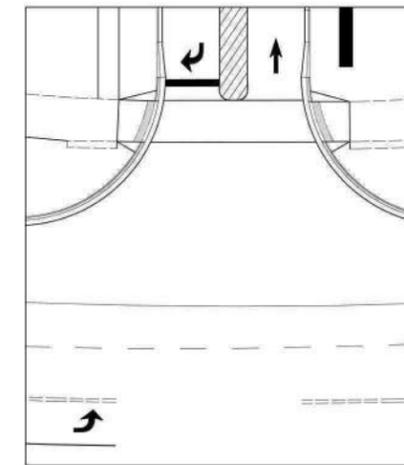
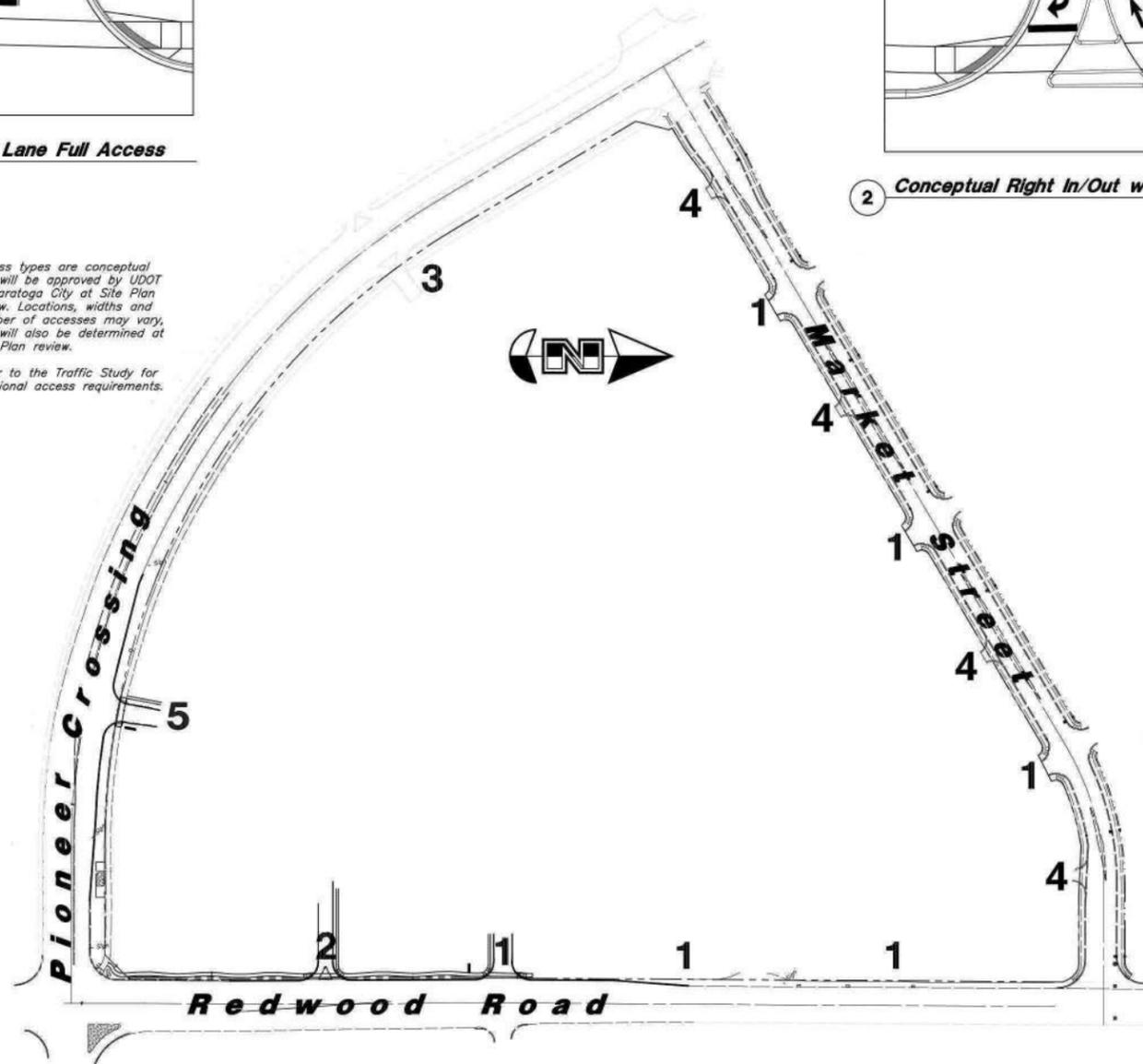
3 Conceptual Right In/Out with (Striping Only)



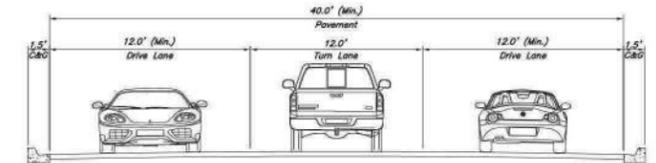
4 Conceptual Right In/Out

Note:

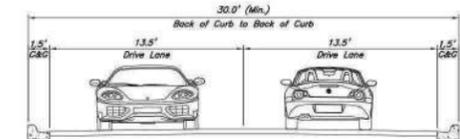
1. Access types are conceptual and will be approved by UDOT or Saratoga City at Site Plan review. Locations, widths and number of accesses may vary, and will also be determined at Site Plan review.
2. Refer to the Traffic Study for additional access requirements.



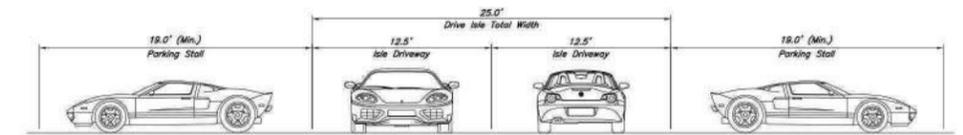
5 Conceptual 3/4 Move In/Out



A Main Drive with Turn Lane



B Two Way Drive without Parking



C Two Way Drive with Parking



SARATOGA SPRINGS



BOYER

Checklist Item 9b:

Findings for Community Plan per Section 19.26:

- a. The Community Plan is generally consistent with the goals, objectives, and policies of the General Plan. It meets or exceeds the goals for Commercial Development in the community including the followings goals outlined in the General Plan:
 - i. **GOAL: 1.0 ENCOURAGE ADEQUATE AND ACCESSIBLE COMMERCIAL SERVICES TO MAXIMIZE THE COMPATIBILITY OF COMMERCIAL AND RESIDENTIAL USES, TO INCREASE EMPLOYMENT OPPORTUNITIES WITHIN SARATOGA SPRINGS, AND PROVIDE A STABLE REVENUE SOURCE FOR THE CITY.** The Community Plan provides for the development of the property in a way that is harmonious with this goal and still preserves the architectural integrity of the area. It will create a strong tax base for the future and a stable source of revenue for the City.
 - ii. **GOAL: 2.0 IDENTIFY, DEFINE, AND ADOPT A HIERARCHY OF LEVELS OF RETAIL COMMERCIAL DEVELOPMENT FOR SARATOGA SPRINGS.** The Community Plan is meant to provide for the Regional Retail hierarchy of commercial development.
 - iii. **GOAL: 3.0 IMPLEMENT AND REVIEW ORDINANCES AND GUIDELINES TO ASSURE QUALITY OF DEVELOPMENT.** The combination of build out allocation, open space planning, guiding principles, landscape criteria and guidelines create a set of ordinance and guidelines to assure the quality of the development.
- b. The Community Plan creation of a “swoop” branding theme, signage, and the narrative and design exhibits contains sufficient standards to guide the creation of innovative design that responds to unique conditions.
- c. The Community Plan as proposed is compatible with surrounding development and properly integrates land uses and infrastructure with adjacent properties, including the design for utilities and other shares infrastructure. The road network also creates a buffer to all surrounding land uses.
- d. The Community Plan has taken into account the existing and proposed infrastructure and includes adequate provisions for utilities, services, roadway networks, and emergency vehicle access; and public safety service demands will not exceed the capacity of existing and planned systems without adequate mitigation;
- e. The Community Plan is consistent with the guiding standards listed in Section 19.26; including development intensity, ERU allocation and Development Standards.
- f. The Community Plan contains the required elements as dictated in Section 19.26.

Checklist Items 9a, 9c:

WATERWAYS

A man made ditch runs along Pioneer Crossing and does not affect the site. No other waterways exist on the site.

FAULT LINES & GEOLOGICAL INFORMATION

The proposed project site is located within the Intermountain Seismic Belt, a seismically active region that extends from Arizona to Montana (Smith and Arabasz, 1991). Biek (2004) has mapped traces of the Jordan Fault approximately 0.5 miles east of the site. Active faults in the region are potential sources for seismic loading hazards at the site. A fault is considered to be active if displacement has occurred within the past 10,000 years. Based on our soils investigation and subsequent analysis, the subsurface soils at the site correspond with a Site Class D. In conjunction with the ground shaking potential of large magnitude seismic events as discussed previously, the site also possess a high potential for liquefaction during a seismic event.

GENERAL SOILS DATA

A geotechnical investigation was performed by Kleinfelder. The report indicates that the site is suitable for construction. The soils consist of clays and silts overlain with topsoil. Groundwater was encountered 17 feet below the surface.

SLOPES

The site currently slopes from West to East at approximately 3%. No slopes greater than 30% exist on the site.

ENVIRONMENTAL REPORT

A Phase I Environment Site Assessment (ESA) was performed on 68.9 acres of land located on the northwest corner of Redwood Road and Pioneer Crossing in Saratoga Springs, Utah (Site).

The purpose of the Phase I ESA is to establish Landowner Liability Protection (“LLP”) under the Comprehensive Environmental Response, Compensation and Liability Act (“CERCLA”) for The Boyer Company and the Kroger Co and its subsidiaries and affiliates. This report was prepared consistent with the guidelines set forth in ASTM International (ASTM, formerly known as the American Society for Testing and Materials) Designation E 1527-13, Standard Practice for Environmental Site Assessments: Phase I Environmental Site Assessment Process (the “Standard Practice”), the All Appropriate Inquiry (AAI) section of the Small Business Liability Relief and Revitalization Act (the Federal Brownfields Law), and the Kroger Co. Environmental Site Assessment Specifications dated December, 2013 and Due Diligence Environmental Policy dated February 2015. The Phase I ESA findings include:

- The Site consists of 68.9 acres of agricultural land located on the northwest corner of Redwood Road and Pioneer Crossing in Saratoga Springs, Utah.
- The Site consisted of agricultural and undeveloped land as early as 1947. No evidence of structures was identified in the information reviewed until the early 1970’s, at which time, a shed was located on the northern portion of the Site. The shed was demolished prior to 1997. The Site was operated as a welfare farm from 1996 until 2014.

- Please note that based on the historical use of pesticides on the Site, it is possible that elevated pesticide concentrations in the upper soil (0 to 1-foot) are possible across the Site.
- The Site was not identified on the federal or state/tribal regulatory-agency database search provided by Environmental Data Resources Inc. (EDR)
- Two leaking underground storage tank (LUST) facilities were identified approximately 0.5 mile and 0.27 mile to the northwest and north of the Site, respectively, in a cross groundwater-gradient direction. The LUST incidents were associated with diesel releases associated with the adjacent Lehi Utah Welfare Farm, of which the Site was formerly included. The petroleum impacts were limited within the soil and both LUST incidents were subsequently closed. In our opinion, the LUST incidents are unlikely to have environmentally impacted the Site.
- No underground storage tanks or aboveground storage tanks were observed during the Site reconnaissance.
- Threatened and Endangered Species (T&ES) were listed in the T&ES databases as potentially located at, or in the vicinity of, the Site; however, no evidence of the listed T&ES were identified during our Site reconnaissance and it is considered unlikely that these T&ES are present at the Site.
- No wetlands were identified within the Site boundaries in the EDR report or during our Site reconnaissance. The nearest wetlands identified in the EDR report were approximately 0.35 miles to the east.
- Kleinfelder collected two soil samples and one groundwater sample from the location of the proposed underground storage tanks (USTs). The soil samples were collected from approximately 20 feet below the ground surface (bgs). Soil and groundwater samples were analyzed by ESC Lab Sciences (ESC) for petroleum constituents. The laboratory did not report detections of petroleum constituents at or above the laboratory reporting limit in any of the samples analyzed.

Based on information from the regulatory reviews, historical reviews, the Site reconnaissance, interviews with key personnel, and environmental sampling, Kleinfelder did not identify any Recognized Environmental Conditions (RECs) in relation to the Site.

Checklist Item 9d:

The development will be governed by agreements between the owner and tenants specifying responsibility for items such as maintenance, architectural standards and the time frame in which the various phases of the project will be developed for the project. Redacted copies of the agreements or sections of agreements relating to these responsibilities is attached as Exhibit #5 - Guiding Principles.

The following items are attached for reference as separate addenda documents:

1. Phase I Environmental Site Assessment
2. Geo-technical engineering report
3. Traffic Study - Trip generation report
4. Master Development Agreement