



AGENDA – Planning Commission Meeting

Planning Commissioner Bryan Chapman, Chair
Planning Commissioner Troy Cunningham, Vice Chair
Planning Commissioner Bryce Anderson
Planning Commissioner Audrey Barton
Planning Commissioner Ken Kilgore
Planning Commissioner Reed Ryan
Planning Commissioner Josh Wagstaff

CITY OF SARATOGA SPRINGS

Thursday, February 13, 2020 @ 6:00 pm

City of Saratoga Springs Council Chambers

1307 North Commerce Drive, Suite 200, Saratoga Springs, UT 84045

1. Pledge of Allegiance.
2. Roll Call.
3. Public Input: Time has been set aside for any person to express ideas, concerns, comments, questions, or issues that are not listed as a public hearing on the agenda. Comments are limited to three minutes.
4. Business Item: Site Plan for Pony Express Dental, located at 2253 S. Redwood Rd., Vincent Design Group, applicant.
5. Public Hearing: Rezone, and General Plan amendment for Fox Hollow neighborhoods 4 & 13 and Master Development Agreement amendment for neighborhoods 4, 12, 13. Chad Bessinger SCP Fox Hollow, applicant.
6. Public Hearing: Major Amendment for Jordan Promenade (Wander) Village Plan 1, located approximately Riverside Dr. and 400 South. Oakwood homes, applicant.
7. Public Hearing: Updates to the Standard Technical Specifications and Drawings Manual for the City of Saratoga Springs.
8. Work Session: Title 19 Code amendments - Conditional Use Permits, City initiated.
9. Approval of Minutes: January 23, 2019.
10. Reports of Action.
11. Commission Comments.
12. Director's Report.
13. Possible motion to enter into closed session for the purchase, exchange, or lease of property; pending or reasonably imminent litigation; the character, professional competence, or the physical or mental health of an individual; or the deployment of security personnel, devices, or systems.
14. Adjourn.

PLEASE NOTE: The order of items may be subject to change with the order of the planning commission chair. One or more members of the Commission may participate electronically via video or telephonic conferencing in this meeting.

In compliance with the Americans with Disabilities Act, individuals needing special accommodations (including auxiliary communicative aids and services) during this meeting should notify the City Recorder at 801.766.9793 at least one day prior to the meeting.



Site Plan
Pony Express Dental
February 13, 2020
Public Meeting

Report Date: February 6, 2020
Applicant: Ivy Turnow
Owner: Triple S Land Development, LLC
Location: 2253 South Talons Cove Drive
Major Street Access: Redwood Road
Parcel Number(s) & size: 53:584:0001, 1.04 acres
Land Use Designation: Regional Commercial
Parcel Zoning: Regional Commercial
Adjacent Zoning: RC, R1-10, MF-10
Current Use of Parcel: Vacant
Adjacent Uses: Residential, Vacant
Previous Approvals: Talons Cove Drive Subdivision, 2018
Type of Action: Administrative
Land Use Authority: Planning Commission
Planner: David Stroud, Planning Director

A. Executive Summary:

This is a request for site plan approval of Pony Express Dental at 2253 South Talons Cove Drive in the Regional Commercial (RC) zone. The site plan includes one building at 8,660 square feet with the dental office occupying the north end unit. Associated parking and landscaping complies with the minimum requirements of the zone. A dental practice is a permitted use in the RC zone.

Recommendation:

Staff recommends the Planning Commission conduct a public meeting on the proposed site plan, review and discuss the proposal, and select from the motions in Section H of this report. The actions available to the Planning Commission include approval with conditions, continuation, or denial. The Planning Commission is the Land Use Authority of this site plan.

B. Background:

The lot on which the proposed site plan is located was created when the Talons Cove Drive Plat A was recorded in 2019. The subject lot is 1.04 acres or 45,423 square feet. The minimum lot size in the RC was 20,000 square but was changed to 30,000 square feet 2017. The subject lot is legal conforming as to lot size.

C. Specific Request:

The applicant requests review and approval of the proposed site plan to locate a dental practice in the end unit of a single building at 2253 South Talons Cove Drive in the RC zone.

D. Process:

Section 19.13 summarizes the process of site plan approval. The Planning Commission is the Land Use Authority of new site plans. This item is scheduled to be discussed in a public meeting and a public hearing is not required.

E. Community Review:

Public notices are not required for this type of application. However, the proposed site plan is noticed on the City website and the state public notice website. As of the date of this report no public input has been received.

F. General Plan:

The site is designated as Regional Commercial on the Land Use Map of the General Plan. The General Plan describes the general characteristics of the Regional Commercial land use designation as follows:

These areas generally should include a variety of retail uses including big box retail configured in developments that provide excellent vehicular access to and from major transportation facilities. They should include special urban improvements to make rich and enjoyable public spaces. To promote foot traffic, these areas should be compact and include a safe pedestrian environment and access to a multi-modal transportation network.

Staff conclusion: Consistent. A dental practice is a permitted use in the Regional Commercial zone and is formally classified as "Office, Medical and Health Care." Adjacent properties are zoned RC and remain vacant. Nearby commercial uses and high density housing exist. Sidewalks and pathways are provided for pedestrian access in and around the parcel as well as access to the Redwood Road trail.

G. Code Criteria:

For full analysis please see the attached Planning Review Checklist.

- 19.04, Land Use Zones: **Complies.**
- 19.05, Supplemental Regulations: **Complies.**
- 19.06, Landscaping and Fencing: **Complies.**

- 19.09, Off Street Parking: **Complies.**
- 19.11, Lighting: **Complies.**
- 19.13, Process: **Complies** and scheduled for PC.
- 19.14, Site Plans: **Complies.**
- 19.16, Site and Architectural Design Standards: **Complies.**

H. Recommendation and Alternatives:

Staff recommends that the Planning Commission discuss this request in a public meeting and choose from the options below.

Staff Recommended Motion – approval and positive recommendation

“I move to **approve** the proposed site plan of Pony Express Dental at 2253 South Talons Cove Drive in the RC zone with the findings and conditions below:”

Findings

1. The application is consistent with the General Plan, as articulated in Section “F” of the staff report, which section is incorporated by reference herein.
2. The application complies with the Land Development Code as articulated in Section “G” of the staff report, which section is incorporated by reference herein.

Conditions:

1. All conditions of the City Engineer shall be met, including but not limited to those in the attached staff report.
2. All requirements of the Fire Chief shall be met.
3. Future tenants of the other units will be limited to uses that only require 4 parking stalls per 1,000 square feet in order to meet parking requirements for the site.
4. All other Code requirements shall be met.
5. A separate sign permit is required for any exterior signs.
6. Any other conditions or changes as articulated by the Planning Commission:

Alternative 1 – Continuance

The Planning Commission may also choose to continue the item. “I move to **continue** the Pony Express Dental site plan to another meeting on [DATE], with direction to the applicant and Staff on information and/or changes needed to render a decision, as follows:

1. _____
2. _____

Alternative 2 – Denial

The Planning Commission may also choose to deny the site plan. “I move to **deny** the proposed site plan of Pony Express Dental at 2253 South Talons Cove Drive in the RC zone, based on the following findings:”

1. The site plan is not consistent with the General Plan, as articulated by the Planning Commission: _____, and/or, _____,
2. The Site Plan is not consistent with Section [19.04, 19.05, 19.06, 19.09, 19.11, 19.13, 19.14, 19.16, 19.18] of the Code, as articulated by the Planning Commission: _____.

I. Exhibits:

1. City Engineer's Report
2. Location Map
3. Planning Review Checklist
4. Site Plan
5. Landscape Plan
6. Elevations
7. Photo of Colors and Materials Board
8. Photometric Plan
9. Light Fixture Details

Staff Report

Author: Gordon Miner, City Engineer
Subject: Pony Express Dental Office – Site Plan
Date: February 13, 2020
Type of Item: Site Plan Approval



SARATOGA
SPRINGS

Description:

A. Topic: The Applicant has submitted a Site Plan application. Staff has reviewed the submittal and provides the following recommendations.

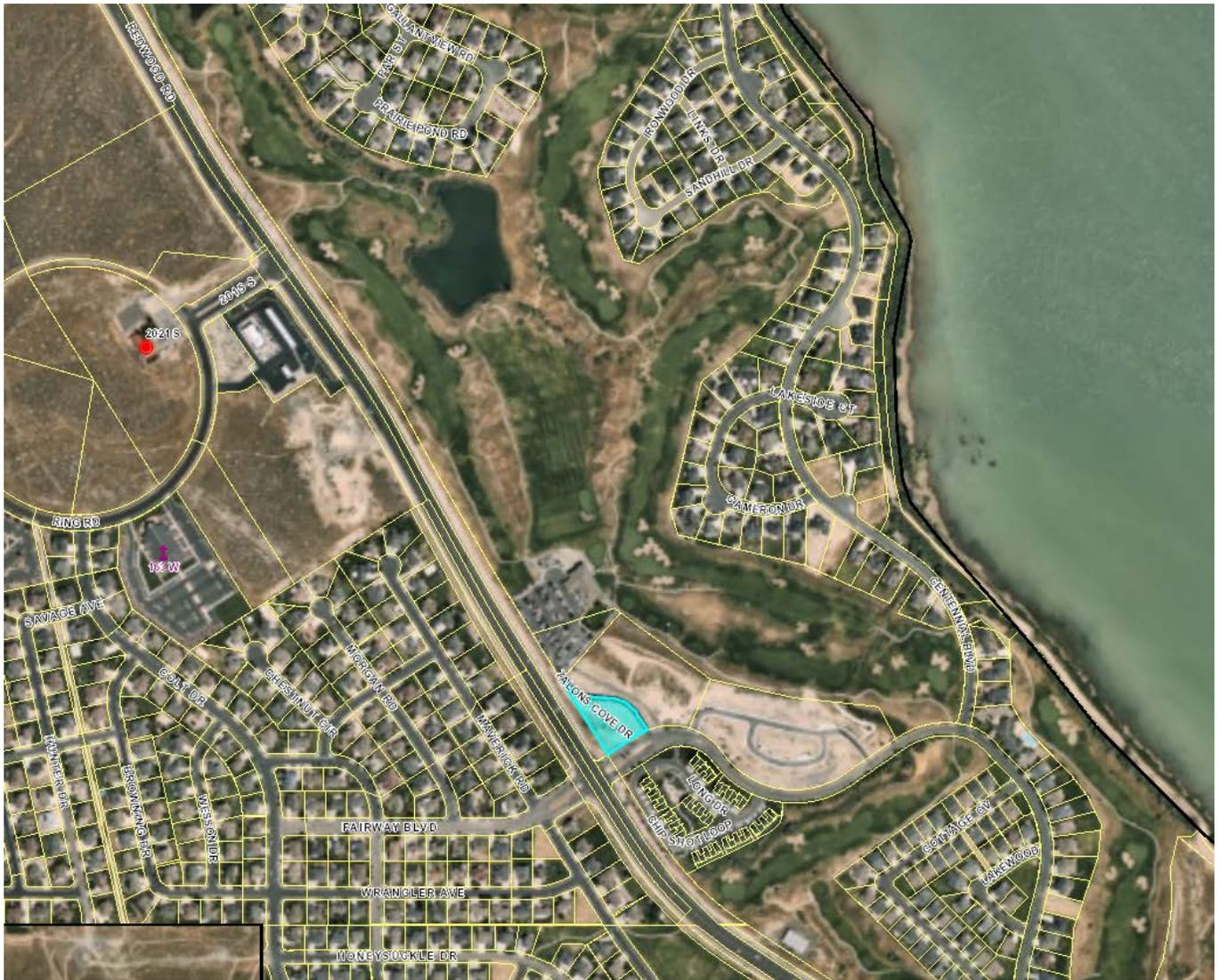
B. Background:

Applicant: Ivy Turnow
Request: Site Plan Approval
Location: 2253 South Talons Cove Drive
Acreage: 1.004 Acres - 1 Lots

C. Recommendation: Staff recommends the approval of Site Plan subject to the following conditions:

1. All review comments and redlines provided by the City Engineer are to be complied with and implemented with the approved construction drawings.
2. Provide a Storm Water Pollution Prevention Plan (SWPPP) following the State template, prior to the pre-construction meeting.
3. Owner to record a Long-Term Storm Water Management Agreement and provide a Long-Term Storm Water Management Plan for the project.
4. Developer must secure water rights as required by the City Engineer, City Attorney, and development code.
5. Provide easements for all public utilities not located in the public right-of-way.
6. Developer is required to ensure that there are no adverse effects to adjacent properties due to the grading practices employed during construction of these plats.
7. Developer may be required by the Saratoga Springs Fire Chief to perform fire flow tests prior to the issuance of certificate of occupancy or prior to the commencement of the warranty period.
8. Submittal of as-built drawings in pdf format to the City Engineer is required prior to acceptance of site improvements and the commencement of the warranty period.
9. A level 1 traffic impact study and necessary mitigation measures incorporated into the plans are required before this project can be placed on the City Council Agenda.

Exhibit 2





APPLICATION REVIEW CHECKLIST

Application Information

Date Received:	1/3/2020, 2/3/2020
Date of Review:	1/6/2020, 2/3/2020
Project Name:	Pony Express Dental
Project Request / Type:	Site Plan
Meeting Type:	Public
Applicant:	Ivy Tornow
Owner:	Triple S Land Development, LLC
Location:	2253 South Talons Cove Drive
Major Street Access:	Redwood Road
Parcel Number(s) and size:	53:584:0001, 1.04 acres
Land Use Designation:	Regional Commercial
Parcel Zoning:	Regional Commercial
Adjacent Zoning:	RC, R1-10, MF-10
Current Use:	Vacant
Adjacent Uses:	Residential, Vacant
Previous Meetings:	None
Previous Approvals:	Talons Cove Drive Subdivision, 2018
Type of Action:	Administrative
Land Use Authority:	Planning Commission
Future Routing:	Planning Commission
Planner:	David Stroud, Planning Director

Section 19.13 – Application Submittal

- Application Complete: **Yes.**
- Rezone Required: **No.**
- General Plan Amendment required: **No.**
- Additional Related Application(s) required: **No.**

Section 19.13.04 – Process

- DRC: January 6, 2020
 - Neighborhood Meeting: N/A
 - PC: TBD
 - CC: N/A
-

General Review

Building Department

- Setback detail
- Lot numbering – per phase (i.e. Phase 1: 100, 101, 102. Phase 2: 200, 201, 202, etc.)
- True buildable space on lots (provide footprint layout for odd shaped lots)
- Lot slope and need for cuts and fills

Fire Department

- Plans need to indicate hydrant(s) location(s) 300' max spacing. Should a hydrant need to be added, it will be added to the building side of the street. Building shall be either prepared to have fire sprinklers added if applicable, or, none of the occupancy's in the future may be permitted if sprinklers are required by occupancy type. Fire detection systems shall be installed and monitored by 24/7 365 third party monitoring company.
- Commercial:
 - Fire flows shall meet existing needs as well as future development in the area.
 - Hydrant spacing shall not exceed 300'.
 - Buildings shall be fire sprinkled and meet NFPA 13 requirements and all applicable IFC 2015 edition requirements and appendices.
 - Alarm system and notification systems shall all be tied together with the fire sprinkler system and monitored 24/7, 365 by a third party monitoring company.
 - This same system and / or monitoring company shall also be able to notify UVSSD 911 dispatch center 24/7 365.
 - All sprinkler plans and alarm plans shall be third party reviewed by PCI in Centerville, Utah, Attn: Bob Goodloe.

GIS / Addressing

- comments

Code Review

- 19.04, Land Use Zones
 - Zone: RC
 - Use: RC

19.04.01 Requirements		Regional Commercial	
Category To Be Reviewed	Regulation	Determination	How
Development Size (Minimum)			
Lot Size (Minimum)	30,000 sq. ft.	Complies	<i>1.04 acres</i>
Front/Corner Side Setback (Minimum)	10'	Complies	<i>10'</i>
Interior Side Setback (Minimum)	10'	Complies	<i>100'</i>
Rear Setback (Minimum)	30'	Complies	<i>96'</i>
Building Separation (Minimum)			
Lot Width (Minimum)			
Lot Frontage (Minimum)			
Building Height (Maximum)	50'	Complies	<i>25 feet</i>

Lot coverage (Maximum)	50%	Complies	<i>19 percent</i>
Building Size (Minimum)	1,000 sq. ft.	Complies	8,660
Building Size (Maximum)			

19.05 Supplemental Regulations

Regulation	Compliance	Findings
Flood Plain: Buildings intended for human occupancy shall be constructed at least one foot above the base flood elevation.	N/A.	
Water & Sewage: Each lot shall be connected to City water and sewer.	Complies.	
Transportation Master Plan: Lots shall not interfere with the Transportation Master Plan.	Complies.	
Property Access - All lots shall abut a dedicated public or private road.	Complies.	

19.06 Landscaping and Fencing

Landscape Plans

Regulation	Compliance	Findings
Landscape Architect: Landscaped plans shall be prepared by a licensed landscape architect.	Complies.	<i>Stamped.</i>
Existing Conditions: Show the location and dimension of all existing and proposed structures, property lines, easements, parking lots, power lines, rights-of-way, ground signs, refuse areas, and lighting.	Complies.	
Planting Plan: Show location and planting details for all proposed vegetation and materials. Indicate the size of the plant material at maturation. All existing vegetation that will be removed or remain must be identified.	Complies.	<i>No existing trees to replace.</i>
Plants: The name (both botanical and common name), quantity, and size of all proposed plants.	Complies.	
Topography: Existing and proposed grading of the site indicating contours at two feet intervals.	Complies.	<i>Provided.</i>
Irrigation: Irrigation plans showing the system layout and details.	Complies.	<i>Provided.</i>
Fencing: Location, style, and details for proposed and existing fences and identification of the fencing materials.	Complies.	<i>No fencing proposed</i>
Data Table: Table including the total number of each plant type, and total square footage and percentage of landscaped areas, domestic turf grasses, decorative rock, mulch, bark, and drought tolerant plant species.	Complies.	<i>Provided.</i>
Completion of Landscape Improvements: All required landscaping improvements shall be completed in accordance with the approved landscape plans.	Can Comply.	<i>Condition of Approval.</i>

Planting Standards

Deciduous Trees: 2" in caliper.	Complies.	
Evergreen Trees: 6' in height.	Complies.	
Tree Base Clearance: 3' diameter around every tree must be kept clear of turf and rock mulch	Complies.	<i>Indicated on plans.</i>
Shrubs: 25% of required shrubs must be a minimum of 5 gallons in size.	Complies.	
Turf: No landscaping shall be comprised of more than seventy percent turf, except within landscaped parks.	Complies.	<i>Meets requirements.</i>
Artificial Turf : Not allowed	N/A.	
Drought Tolerant Plants: 50% of all plants shall be drought tolerant.	Complies.	<i>Meets requirements.</i>

Rock Mulch: Rock mulch shall be two separate colors and separate sizes and must be contrasting in color from the pavement and other hard surfaces. All colors used must be earth tones.	Complies.	<i>Details provided.</i>
Design Requirements		
Evergreens: Evergreens shall be incorporated into landscaped treatment of sites where screening and buffering are required.	Complies.	
Softening of Walls and Fences: Plants shall be placed intermittently against long expanses of building walls, fences, and barriers to create a softening effect.	Complies.	
Planting and Shrub Beds: Planting and shrub beds are encouraged to be used in order to conserve water.	Complies.	
Water Conservation: Water-conserving sprinkler heads and rain sensors are required. Drip lines should be used for shrubs and trees.	Complies.	<i>Rain sensors and bubblers provided.</i>
Energy Conservation: Placement of plants shall be designed to reduce energy consumption. Deciduous trees are encouraged to be planted on the south and west sides of structures. Evergreens are encouraged to be planted on the north side of structures.	Complies.	
Placement: Whenever possible, landscaping shall be placed immediately adjacent to structures, particularly where proposed structures have large empty walls.	Complies.	
Trees and Power Poles: No trees shall be planted directly under or within ten feet of power lines, poles, or utility structures unless: <ul style="list-style-type: none"> • The City Council gives its approval. • The Power Company or owner of the power line gives written consent. • The maximum height or width at maturity of the tree species planted is less than 5 feet to any pole, line, or structure. 	Complies.	
Preservation of Existing Vegetation		
Where possible and appropriate, existing native vegetation must be incorporated into the landscape treatment of the proposed site.	Complies.	
Tree Preservation: Existing mature evergreen trees of 16 feet in height or greater, and existing mature deciduous or decorative trees of more than four inches (4") in caliper, shall be identified on the landscape plan and preserved if possible. If a mature tree is preserved, an area around the roots as wide as the existing canopy shall not be disturbed.	N/A.	<i>No existing trees to preserve.</i>
Planter Beds		
Weed Barrier: A high quality weed barrier or pre-emergent shall be used.	Complies.	
Materials: High quality materials such as wood chips, wood mulch, ground cover, decorative rock, landscaping rocks, or similar materials shall be used, and materials must be heavy enough to not blow away in the wind	Complies.	<i>Thick rock mulch provided.</i>
Edging: Edging must be used to separate planter and turf areas.	Complies.	<i>Concrete edging provided.</i>
Drip Lines: Drip lines must be used in planter beds.	Complies.	
Fencing and Screening		
Front Yards: Fences exceeding three feet in height shall not be erected in any front yard space of any residential lot.	N/A.	
Clear Sight Triangle: All landscaping and fencing shall be limited to a height of not more than three feet and the grade at such intersections shall not be bermed or raised. Clear sight is located at all intersections of streets, driveways, or sidewalks, for a distance of twenty feet back from the point of curvature of curved ROWs and property lines or thirty feet back from the intersection of straight ROWs and property lines,	Complies.	<i>CSTs on plans. Condition of approval that trees are maintained to ensure that it stays open.</i>

whichever is greater landscaping shall not exceed 3' in height and the area shall not be bermed or raised within clear sight triangles.		
Amount of Required Landscaping		
Portions of the property that are not developed with structures, rights of ways, or parking areas shall be landscaped.	Complies.	
Multi-family, common space not including parks, and nonresidential development in all Zones shall be required to adhere to the minimum landscaped standards in 19.06.07 of the Land Development Code.	Complies.	<i>Meets requirements.</i>
At least 50% of the landscaped area shall be covered with live vegetation at maturity. The percentage may be reduced to 40% in areas where bark mulch, wood or plant fiber mulch, or rubber mulch is used instead of rock mulch.	Complies.	

Landscape Amount			
Category To Be Reviewed	Regulation	Compliance	Findings
Total Square Footage	45,302		
Required Landscaping	9,060	Complies	Provided.
Required Deciduous Trees	6	Complies	27
Required Evergreen Trees	4	Complies	8
Required Shrubs	19	Complies	72
Drought Tolerant Plants	15	Complies	21+

19.09 Off Street Parking		
General Provisions		
Regulation	Compliance	Findings
Materials: Parking areas shall consist of concrete, asphalt, or other impervious materials approved in the City's adopted construction standards	Complies.	
Parking Area Access: Common Access: Parking areas for one or more structures may have a common access so long as the requirements of all City ordinances, regulations, and standards are met. The determination of the locations for a common access shall be based upon the geometry, road alignment, and traffic volumes of the accessed road per the Standard Technical Specifications and Drawings.	Complies.	
Sidewalk Crossing: All non-residential structures are required to provide parking areas where automobiles will not back across a sidewalk to gain access onto a public or private street.	Complies.	
Cross Access: Adjacent non-residential development shall stub for cross-access. Developers must provide the City with documentation of cross-access easements with adjacent development.	N/A.	
Lighting: Parking areas shall have adequate lighting to ensure the safe circulation of automobiles and pedestrians. Lighting shall be shielded and directed downward.	Complies.	
Location of Parking Areas: Required off-street parking areas for non-residential uses shall be placed within 600 feet of the main entrance to the building. Unenclosed parking for residential areas shall not be provided in rear yards, unless said yard abuts an alley-type access or is fenced with privacy fencing	Complies.	
Curb Cuts and Shared Parking: In most cases, shared parking areas shall share ingress and egress. This requirement may be waived when the City Engineer believes that shared accesses are not feasible. In reviewing the site plans for the shared parking areas, the City Engineer shall evaluate the need for limited access, appropriate number of curb	Complies.	

cuts, shared driveways, or other facilities that will result in a safer, more efficient parking and circulation pattern.		
Parking Requirements and Shared Parking		
Available on-street parking shall not be counted towards meeting the required parking stalls.	N/A.	
When a parking requirement is based upon square footage, the assessed parking shall be based upon gross square footage of the building or use unless otherwise specified in the requirement.	Complies.	<i>Medical 5/1,000 and vacant RC 4/1,000</i>
When parking requirements are based upon the number of employees, parking calculations shall use the largest number of employees who work at any one shift. Where shift changes may cause substantial overcrowding of parking facilities, additional stalls may be required.	N/A.	
When a development contains multiple uses, more than one parking requirement may be applied.	Complies.	
Tandem parking spaces will not be counted as parking spaces for non-residential uses except for stacking spaces where identified.	N/A.	
Any fraction obtained when calculating the parking requirement shall be rounded up to the next whole number to determine the required number of parking stalls.	Complies.	
Any information provided by the developer relative to trip generation, hours of operation, shared parking, peak demands, or other information relative to parking shall be considered when evaluating parking needs.	Complies.	<i>Memo provided.</i>
Parking requirements may deviate from the standards contained in Section 19.09.10, Required Minimum Parking, when the City Council determines that the deviation meets the intent of this Chapter. Reductions may not exceed 25% of the parking requirements and shall be based on the following criteria: a. the intensity of the proposed use; b. times of operation and use; c. whether the hours or days of operation are staggered thereby reducing the need for the full amount of required parking; d. whether there is shared parking agreement in accordance with Section 19.09.05.10 below; e. trip generation; and f. peak demands.	Complies.	
Up to twenty-five percent of the required parking may be shared with an adjacent use upon approval by the City Council. The developer must provide: a. an agreement granting shared parking or mutual access to the entire parking lot; and b. peak demand data by a professional traffic engineer showing that shared parking will accommodate the uses.	N/A.	
Parking lots larger than 75,000 square feet shall provide raised or delineated pedestrian walkways. Walkways shall be a minimum of ten feet wide and shall be placed through the center of the parking area and extend to the entrance of the building. Landscaped islands along the center walkway shall be placed at a minimum interval of every thirty feet. Landscaped islands are encouraged to be offset from one another to create a feeling of greater coverage. Pedestrian covered walkways may be substituted for tree-lined walkways. Where the developer desires to have a driveway access at the center of the parking area, a pedestrian access shall be placed on either side of the driveway.	N/A.	
Landscaping in Parking Areas		
All parking areas (not including a driveway for an individual dwelling) for non-residential or multi-family residential uses that are adjacent to	Complies.	

public streets shall have landscaped strips of not less than ten feet in width placed between the sidewalk and the parking areas, containing a berm, hedge, or screen wall with a minimum height of three feet to minimize intrusion of lighting from headlights and other lighting on surrounding property. Trees, both deciduous and evergreen, shall be placed in the strip with spacing of no more than thirty feet between trees except in the clear sight triangle, and except where located beneath powerlines. The standards of section 19.06.06, Planting Standards and Design Requirements, shall apply for the minimum size of vegetation. Within regional parks this requirement may be met through the use of intermittent planter beds rather than a berm, hedge, or screen wall; trees or shrubs may be clustered in the planter beds where necessary to shield light spillage.		
All landscaped areas abutting any paved surface shall be curbed (not including a driveway for an individual dwelling). Boundary landscaping around the perimeter of the parking areas shall be separated by a concrete curb six inches higher than the parking surface.	Complies.	
Clear Sight Triangles must be followed.	Complies.	<i>CSTs on plans. Condition of Approval to maintain trees.</i>
All landscaped parking areas shall consist of trees, shrubs, and groundcover. Areas not occupied by structures, hard surfaces, vehicular driveways, or pedestrian walkways shall be landscaped and maintained. All landscaped areas shall have an irrigation system.	Complies.	
On doubled rows of parking stalls, there shall be one 36-foot by 9-foot landscaped island on each end of the parking rows, plus one 36-foot by 9-foot landscaped island to be placed at a minimum of every twenty parking stalls. Each island on doubled parking rows shall include a minimum of two trees per planter.	N/A.	
On single rows of parking or where parking abuts a sidewalk, there shall be one 18-foot by 9-foot landscaped island a minimum of every ten stalls. Islands on a single parking row shall have a minimum of one tree per island. <ul style="list-style-type: none"> Exception: Landscaped islands are not required in single rows of parking that abut or are no farther than 6 feet from a landscaped area containing an equal or greater number of trees as would have been provided in islands, in addition to trees required for the landscaped area. Such trees shall be located within 9 feet of the edge of parking area, and shall have a canopy width that, at maturity, will extend into the parking area. 	Complies.	
Landscaped islands at the ends of parking rows shall be placed and shaped in such a manner as to help direct traffic through the parking area.	Complies.	

19.11 Lighting		
General Standards		
Regulation	Compliance	Findings
Material: All Lighting Fixtures and assemblies shall be metal.	Complies.	<i>On cut sheets.</i>
Base: All lighting poles shall have a 16" decorative base.	Complies.	<i>WA17AC.</i>
Type: All lighting fixtures shall be of the full cutoff variety. Shoebox fixtures are prohibited.	Complies.	<i>Bell shades provided.</i>
Angle: Shall be directed downward.	Complies.	<i>Downward bell shades provided.</i>
Lamp: Bulbs may not exceed 4000K	Complies.	<i>Indicated at 3000K.</i>
Drawings: Design and location of fixtures shall be specified on the plans	Complies.	<i>Cut sheets provided.</i>

Flags: The United States flag and the state flag shall be permitted to be illuminated from dusk till dawn. All other flags shall not be illuminated past 11:00 p.m. Flag lighting sources shall not exceed 10,000 lumens per flagpole. The light source shall have a beam spread no greater than necessary to illuminate the flag.	Complies.	
Prohibited Lighting: Searchlights, strobe lights and any laser source light or any similar high intensity light.	Complies.	
Descriptions: Descriptions of the illuminating devices, fixtures, lamp supports, and other devices. This description may include, but is not limited to, manufacturers' specifications, drawings, and sections.	Complies.	<i>Cut sheets provided.</i>
Nonresidential Lighting		
All wall-mounted fixtures shall not be mounted above 16'. The exception shall be those instances where there is a second story access directly from the outdoors, and under-eave lighting. Wall-mounted lighting shall be only for the illumination of vertical surfaces such as building facades and signs, and shall not cast illumination beyond the surface being illuminated.	Complies.	<i>Photometric page demonstrates type and location of all lighting.</i>
Intermittent lighting must be of the "motion sensor" type that stays on for a period of time not to exceed ten (10) minutes and has a sensitivity setting that allows the lighting fixture to be activated only when motion is detected on the site.	Complies.	<i>Will have motion sensor lighting during night hours.</i>
All trespass lighting shall not exceed one foot-candle measured at the property line, except that trespass lighting into residential development shall not exceed 1.0 foot-candle measured at the property line.	Complies.	
Service station canopies must utilize canopy lights that are fully recessed into the canopy or are fully shielded by the canopy.	N/A.	
All freestanding lighting fixtures and assemblies shall be black. Regional Parks may include theme lighting fixtures in colors other than black. The color shall enhance the theme of the park and shall be approved during the site plan review process.	Complies.	
Pole design shall include an arm and bell shade. Regional Parks may include theme lighting fixtures that do not include an arm and bell shade. The design shall enhance the theme of the park and shall be approved during the site plan review process.	Complies.	<i>Meets requirements.</i>
Parking lot poles shall be limited to a height of 16' when in or within 200' of a residential zone; all other locations shall have a height limit of 20'.	Complies.	<i>16' in height.</i>
All lighting fixtures in surface parking lots and on the top decks of parking structures shall be fitted to render them full cutoff.	Complies.	<i>Meets requirements.</i>
One hour after closing or by 11:00pm, whichever is earlier, businesses must turn off at least fifty percent (50%) of building lighting and lighting fixtures in surface parking lots and on top decks of parking structures; however, those lighting fixtures turned off may be set to function utilizing a motion detector system. Lights may be turned back on one half hour prior to the first employee shift.	Complies.	
Business open for 24 hours must turn off 50% of their outdoor and parking lot lighting by 11:00pm and must keep them off until one half hour before sunrise, however, those lighting fixtures turned off may be set to function utilizing a motion detector system.	N/A.	
Walkway Lighting		
Lighting of all pedestrian pathways is recommended.	Complies.	<i>Lighting provided.</i>
All pathway, walkway, and sidewalk lighting fixtures shall be mounted at a height not to exceed 10 feet. i. Themed walkway lighting within Regional Parks shall not exceed a height of 25 feet. Such lighting within 200 feet of residential development shall not exceed 16 feet.	Complies.	<i>9' in height.</i>

Bollard lighting shall be limited to a height of 4 feet.	Complies.	<i>No bollard lighting.</i>
Lighting Plan		
Plans indicating the location and types of illuminating devices on the premises.	Complies.	
Descriptions of the illuminating devices, fixtures, lamp supports, and other devices. This description may include, but is not limited to, manufacturers' specifications, drawings, and sections.	Complies.	<i>Cut sheets provided.</i>
Photometric sheet showing measurement of light intensity across the site and onto adjacent property in terms of candela, lumens, and foot-candles.	Complies.	
Plans providing information required in the Technical Standards and Specifications Manual.	Complies.	<i>Cut sheets provided.</i>

19.13 Process	
Regulation	Findings
Neighborhood Meeting.	<i>N/A</i>
Notice / Land Use Authority.	<i>Planning Commission</i>
Master Development Agreement.	<i>N/A</i>
Phasing Improvements.	<i>N/A</i>
Payment of Lieu of Open Space.	<i>N/A</i>

19.16 Site and Architectural Design Standards		
General Site Design Standards		
Regulation	Compliance	Findings
Pedestrian Connectivity: All buildings and sites shall be designed to be pedestrian friendly by the use of connecting walkways.	Complies.	
Safe pedestrian connections shall be made between buildings within a development, to any streets adjacent to the property, to any pedestrian facilities that connect with the property, when feasible between developments, and from buildings to the public sidewalk to minimize the need to walk within the parking lot among cars.	Complies.	<i>Connection provided.</i>
All pedestrian connections shall be shown on the related site plan or plat.	Complies.	
Parking Areas: On-site parking shall be located primarily to the sides or rear of the building. Variations may be approved by the Land Use Authority, subject to the following criteria: <ul style="list-style-type: none"> i. The use is a big box with outparcels helping to screen parking, or ii. At least 50% of the parking is located to the side or rear of the building, or iii. A safety issue is created by locating parking to the side or rear as verified and documented by the Saratoga Springs Police Department. For example, the parking will be entirely concealed from view by existing walls or buildings. 	Complies.	
Parking lots shall be designed with a hierarchy of circulation: major access drives with no parking; major circulation drives with little or no parking; and then parking aisles for direct access to parking spaces.	Complies.	
Parking lots adjacent to, and visible from, public streets shall be screened from view through the use of earth berms, screen walls, landscape hedges or combinations thereof with a minimum height of three feet as measured from the parking surface. Within regional parks this requirement may be met through the use of intermittent planter	Complies.	<i>Shrubs added by parking along Fairway.</i>

beds rather than a berm, hedge, or screen wall; trees and shrubs may be clustered in the planter beds where necessary to avoid light spillage.		
Acceleration and Deceleration Lanes: Acceleration and deceleration lanes shall be required on major arterials when deemed necessary by the City Engineer.	Complies.	
Trash Enclosures, Storage Areas, and External Structures: Landscaping, fencing, berms, or other devices integral to overall site and building design shall screen trash enclosures, storage areas, and other external structures.	Complies.	<i>Wall and trees around dumpster.</i>
All trash dumpsters shall be provided with solid enclosures. Enclosures shall be composed of 6-foot-high solid masonry or decorative precast concrete walls, with opaque gates and self-latching mechanisms to keep gates closed when not in use. Bollards are required at the front of the masonry walls to protect the enclosure from trash collection vehicles. Gates shall be made of opaque metal for durability. Chain link gates with or without opaque slats are not acceptable. Colors and materials shall be consistent with the main building or use.	Complies.	<i>Bollards added.</i>
Where trash enclosures, storage areas, or other external structures are adjacent to parking areas, a three foot landscaped buffer shall be provided that does not impede access into and out of vehicles.	N/A.	
These areas shall be well maintained and oriented away from public view. The consolidation of trash areas between buildings is encouraged.	Complies.	
Utility Boxes: Dense vegetative buffers which include an evergreen variety of plant materials shall be placed where appropriate to screen all utility boxes and pedestals in order to remain attractive during the winter months.	Complies.	<i>Vegetation provided.</i>
Site Design Standards: Non-Residential Development		
Uses Within Buildings: All uses established in any commercial, office warehouse, business park, or industrial zone shall be conducted entirely within a fully enclosed approved building except those uses deemed by the City Council to be customarily and appropriately conducted in the open. Uses which qualify for this exception include vegetation nurseries, home improvement centers with lumber, outdoor cafes, outdoor retail display, car wash vacuums, auto dealerships, and similar uses	Complies.	
Outdoor Display: All retail product displays shall be located under the buildings' permanent roof structure or on designated display pads within front landscape areas.	N/A.	
All display areas shall be clearly defined on the approved Site Plan and designated on the site with a contrasting colored, painted, or striped surface.	N/A.	
Display areas shall not block building entries or exits, pedestrian walks, or parking spaces in front of the building. Outdoor display areas shall not spill into walkways or any drive aisle adjacent to a building.	N/A.	
Access Requirements: Each roadway shall not be more than forty feet in width, measured at right angles to the center line of the driveway except as increased by permissible curb return radii; and b. the entire flare of any return radii shall fall within the right-of-way.	Complies.	
Buffers: A wall and landscaping, fencing, or landscaping of acceptable design shall effectively screen the borders of any commercial or industrial lot which abuts an existing agricultural or platted residential use. Such a wall, fence, or landscaping shall be at least six feet in height, unless a wall or fence of a different height is required by the Land Use Authority as part of a site Plan review.	N/A.	
No chain link or wood fences are permitted as buffering or screening between commercial and residential. Masonry and solid vinyl are	N/A.	

suggested types of fences, and as circumstances require, one or the other may be required.		
Unless otherwise required by this Title, walls or fences used as a buffer or screen shall not be less than six feet in height.	N/A.	
Parking Lot Buffers: There shall be a minimum of 10 feet of landscaping between parking areas and side and rear property lines adjacent to agricultural and residential land uses.	Complies.	
Building Buffer: No building shall be closer than five feet from any private road, driveway, or parking space. The intent of this requirement is to provide for building foundation landscaping and to provide protection to the building. Exceptions may be made for any part of the building that may contain an approved drive-up window.	Complies.	
Interconnection: All parking and other vehicular use areas shall be interconnected with adjacent non-residential properties in order to allow maximum off-street vehicular circulation.	Complies.	
General Architectural Design Standards		
Building Articulation: Building elevations exceeding 40 feet in length shall incorporate a minimum of one horizontal elevation shift or combination of vertical and horizontal elevation shifts, stepping portions of the elevation to create shadow lines and changes in volumetric spaces of at least five feet, and a minimum of two of the following, all spaced at intervals of 20 to 50 feet of horizontal width: <ul style="list-style-type: none"> i. A combination of vertical and horizontal elevation shifts that together equal at least five feet. ii. Addition of horizontal and vertical divisions by use of textures or materials. iii. Primary material change. iv. Addition of projections such as balconies, cornices, covered entrances, porte-cocheres, trellis', pergolas, arcades, and colonnades. Such trellis' and awnings extend outward from the underlying wall surface at least 36-inches. v. Variation in the rooflines by use of dormer windows, overhangs, arches, stepped roofs, gables or other similar devices. 	Complies.	
Roof Treatment: Sloped roofs shall provide articulation and variations in order to break up the massiveness of the roof. Sloped roofs shall include eaves which are proportional to the roofs slope and scale of the building.	N/A.	
Flat roofs shall be screened with parapets on all sides of the building. If no roof top equipment exists or is proposed, the parapet shall be a minimum of 12 inches in height above the roof	Complies.	
Roof mounted equipment shall not be visible from adjacent public and private streets as well as from adjacent properties, unless grade differences make visibility unavoidable.	Complies.	<i>5' parapet to screen utilities.</i>
Screening shall be solid and shall be consistent with the material and color of exterior finishes of the building through the use of at least two out of three of the exterior finishes of the building.	Complies.	<i>Screening provided.</i>
Windows: Windows, other than rectangular windows, may be used as accents and trim. Untreated aluminum or metal window frames are prohibited.	Complies.	
Awnings, Canopies, Trellises, Pergolas, and Similar Features: All such features must be attached to a vertical wall.	Complies.	
All such features shall project at least 4 feet from the building when located over a pedestrian traffic area and no less than 2 feet otherwise.	Complies.	<i>Note added that all entrances include 4' awning.</i>

All such features shall maintain a minimum clearance above sidewalk grade of 8 feet to the bottom of the framework when located over a pedestrian traffic area.	Complies.	
Backlighting is not permitted.	Complies.	<i>Meets requirements.</i>
Mechanical Equipment: All mechanical equipment shall be located or screened and other measures shall be taken so as to shield visibility of such equipment from any public or private streets.	Complies.	<i>Shielded on roof.</i>
Wing walls, screens, or other enclosures shall be shall be integrated into the building and landscaping of the site, whether located on the ground or roof.	Complies.	<i>Shielded on roof.</i>
Rooftops of buildings shall be free of any mechanical equipment unless completely screened from all horizontal points of view.	Complies.	<i>Shielded on roof.</i>
Screening materials shall conform to the color scheme and materials of the primary building.	Complies.	<i>Provided.</i>

Non-Residential Architectural Design Standards

Four Sided Architecture: All sides of a building that are open to public view (including views from adjacent residential dwellings or probable location of residential dwellings) shall receive equal architectural design consideration as the building front.	Complies.	
Color and Materials: Exterior Building Materials shall be considered any materials that make up the exterior envelope of the building and shall be limited to no more than four and no less than two types of materials per building, window and door openings excluded.	Complies.	
Color of exterior building materials (excluding accent colors) shall be limited to no more than four and no less than two major colors per development.	Complies.	
Bright colors, such as neon or fluorescent colors, bright orange or yellow, and primary colors, are only permitted as accent colors.	Complies.	
No more than 75% of any building elevation shall consist of any one material or color. i. No more than 50% of any front or street side building elevation shall consist of CMU, except in the Office Warehouse and Industrial zones.	Complies.	<i>Meets requirements.</i>
Prohibited Materials: Tiles. Full veneer brick and tiles exceeding ½ inch in thickness is permitted, however veneer tile is prohibited. Stucco stone patterns and stucco brick patterns. Wood as a primary exterior finish material. Plain, grey, unfinished CMU block except as an accent material.	Complies.	
Stairways: All stairways to upper levels shall be located within the building unless otherwise approved by the Land Use Authority for secondary access to outdoor patio decks or other usable outdoor area.	Complies.	<i>Noted on plans.</i>
Roof Drains: All roof drains, conduit and piping, maintenance stairs and ladders, and other related services shall be located on the interior of the building.	Complies.	
Electrical Panels: To the extent possible, all electric panels and communication equipment should be located in an interior equipment room.	Complies.	<i>Noted on plans.</i>
Street Orientation: All Retail or Commercial buildings shall have expansive windows, balconies, terraces, or other design features oriented to the street or adjacent public spaces.	Complies.	

Fiscal Impact

Regulation	Findings
Is there any City maintained open space?	<i>No</i>

What is the anticipated cost to the City?	<i>Installation of landscaping between trail and Redwood Road</i>
When will City maintenance begin?	<i>N/A, adjacent property owner to maintain</i>

SPECIFICATION AND GENERAL NOTES:

SECTION 01

CONTRACTOR IS TO SIGN AN AIA CONTRACT OR SIMILAR TO THE AIA CONTRACT. RETENTION OF 5% WILL BE REQUIRED BY CONTRACT. ALL PAY REQUESTS ARE TO BE ACCOMPANIED BY LIEN WAIVERS FOR THAT PARTICULAR PAY REQUEST. NO PAY REQUESTS WILL BE ACCEPTED WITHOUT LIEN WAIVERS.

CONTRACTOR IS TO PROVIDE OWNER WITH A COMPLETE SCHEDULE OF THE PROJECT AND IS TO PLACE OWNER SUBCONTRACTOR DATES ON THIS SCHEDULE TO ALLOW COORDINATION OF ALL PROJECT INSTALLS.

FIELD VERIFY ALL EXISTING CONDITIONS AND NOTIFY ARCHITECT OF ANY INCONSISTENCIES DURING THE BID PROCESS. SUBS MAY VISIT SITE AT ANY TIME DURING BUSINESS HOURS BUT MUST NOTIFY MANAGER AT ENTRY TO BUILDING.

CONTRACTOR TO PROVIDE WRITTEN WARRANTIES FOR ALL WORK FOR THE PERIOD OF ONE YEAR UNLESS OTHERWISE SPECIFIED.

CONTRACTOR TO PROVIDE O&M MANUAL AT END OF PROJECT WHICH CONTAINS ALL WARRANTIES, USERS MANUALS, INSTRUCTION BOOKLETS ...ETC. FOR PRODUCTS INSTALLED IN THE PROJECT.

ALL WORK IS TO BE IN ACCORDANCE WITH ALL LATEST APPLICABLE CODES AND ORDINANCES.

CONTRACTOR IS RESPONSIBLE FOR TURNING PLANS IN FOR PERMITTING AND PLAN CHECK. FEES TO BE BILLED AS REIMBURSABLE TO THE OWNER WITH NO OVERHEAD ATTACHED.

SECTION 02

CONSTRUCTION VEHICLES, TRAILERS AND DUMPSTERS ARE TO BE PLACED SET PER BUILDING OWNER/ PROPERTY MANAGER APPROVED LOCATION. ANY DAMAGE CAUSED BY DUMPSTERS, OR TRAILERS IS TO BE REPAIRED.

SECTION 03

NEW CONCRETE FLATWORK IS TO BE 4000 PSI.

NEW FORMED CONCRETE IS TO BE PER STRUCT. DRWGS

SECTION 04

MASONRY TO MATCH EXISTING ON SITE

MORTAR TO BE COLORED TO MATCH EXISTING MATCH JOINT FINISH

NO SPECIAL INSPECTION REQUIRED.

4" CMU IS TO BE PLACED AS VENEER WITH GALVANIZED ANCHORS AT 16" O.C. E.W. TO FRAMED WALL

PROVIDE DRAINAGE SPACE BEHIND VENEERS CLEAR FOR WATER DRAINAGE AND FLASH X CONT. WITH DRIP ALONG BOTTOM. PROVIDE WEEPS AT 32" O.C.

SECTION 05

METAL STUDS TO BE 20GA. FOR NON-STRUCTURAL USES. FOR STRUCTURAL USE GAUGE IS TO BE INDICATED ON THE DRAWINGS AND SPECS.

ALL PAINTED STEEL IS TO BE SHOP WELDED, GROUND SMOOTH AND SHOP PRIMED.

SECTION 06

ALL WOOD TO BE AS SPECIFIED IN THE STRUCTURAL NOTES FOR SPECIES AND GRADE OF STRUCTURAL WALLS

ALL WOOD IN CONTACT WITH CONCRETE TO BE PRESSURE TREATED FOR CONTACT WITH WET SURFACES.

ALL EXTERIOR PLYWOOD IS TO BE APA RATED FOR EXTERIOR USE.

SECTION 07

CAULK AND SEAL ALL CRACKS. PLACE BACKER RODS IN CRACKS 1/4". CAULK TO SMOOTH AND CONCAVE FINISH.

CAULK IS TO MATCH ADJOINING SUBSTRATE

SECTION 08

ALUMINUM STOREFRONT IS TO BE ANODIZED TO MATCH EXISTING FINISH AND COLOR. TEMPER GLASS PER IBC. SEE DOOR AND WINDOW TYPES. SEE WINDOW TYPES & DETAILS

DOOR LOCKSETS TO BE HEAVY DUTY BY CORBIN, SCHLAGE OR BEST OR APPROVED EQUAL.

DOOR HARDWARE OTHER THAN LOCKSET TO BE BY STANLEY, DORMA, LCN, OR APPROVED EQUALS AND ARE TO BE HEAVY DUTY COMMERCIAL TYPE HARDWARE. US26 FINISH

ALL NEW GLASS IS TO MATCH EXISTING TINT AND FINISH FOR EXISTING WINDOWS IN BUILDING

PLACE WEATHERSTRIP AND THRESHOLD ON ALL EXTERIOR TYPE DOORS.

NEW HINGES ARE TO BE BALL BEARING HEAVY DUTY TYPE US26D FINISH.

SECTION 09

FINISH ALL GYP BRD SMOOTH AND PREP FOR PAINTED FINISH - SEE SCHEDULE FOR FINISHES.

ALL EDGES ARE TO HAVE METAL CORNER BEADS AND BE MUDDED AND FINISHED INTO WALL.

ALL GYPSUM BOARD IS TO BE 5/8" UNLESS OTHERWISE NOTED ON PLANS.

DEMISING WALLS ARE TO PART OF FUTURE T.I.

PAINT GYP. BRD. OF UTILITY ROOM

PROTECT CONCRETE FLOOR FROM DAMAGE OR STAINING TO ALLOW FOR SEALED CONCRETE FINISH IF DESIRED BY FUTURE TENANTS

SECTION 15

ALL PLUMBING WORK IS TO BE DONE IN ACCORDANCE WITH ALL CODES AND ORDINANCES.

PROVIDE SLEEVE FOR GAS SERVICE TO BUILDING - SEE CIVIL PLANS.

ROOF DRAIN SYSTEM IS TO BE INCLUDED IN BUILDING - SEE ROOF PLAN FOR MAIN AND SECONDARY DRAIN LOCATIONS. THE ROOF DRAINS INTO STORM SYSTEM ON SITE. COORDINATE WITH CIVIL

INSULATE ROOF DRAIN LINE TO PREVENT CONDENSATE BUILD-UP.

ALL SUPPLY LINES ARE TO BE MALLEABLE COPPER. SEWER TO BE ABS.

SECTION 16

SEE ELECTRICAL PLANS FOR PANEL AND SUPPLY PLACEMENT

ALL ELECTRICAL LINES TO BE RUN IN CONDUIT. CONDUIT TO BE 3/4" MINIMUM CONNECT HOUSE POWER TO EXTERIOR LIGHTING. SEE ELECTRICAL

PLACE NEW PHONE BRD AT LOCATION SHOWN ON PLANS AND RUN 1" CONDUIT

ALL WORK IS TO MEET ALL APPLICABLE CODES AND ORDINANCES

NEW BUILDING FOR: PONY EXPRESS DENTAL

2253 SOUTH TALONS COVE DRIVE
SARATOGA SPRINGS, UTAH

VINCENT DESIGN GROUP INC.

401 EAST 1700 SOUTH
SALT LAKE CITY, UTAH
(801) 484-2046

CONSULTING ENGINEERS :

CIVIL: WARD ENGINEERING (801) 487-8040

STRUCTURAL : WARD ENGINEERING (801) 487-8040

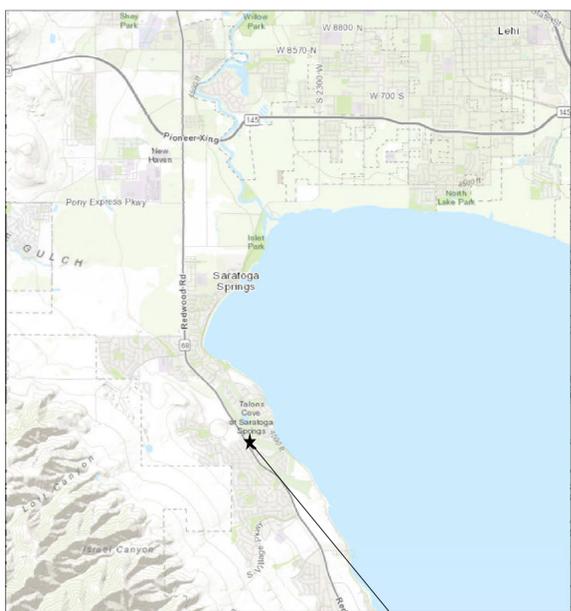
MECHANICAL : ADVANCED CONCEPT ENGINEERING (801) 572-3055

ELECTRICAL : EPIC ENGINEERING (801) 955-5605



CONTEXT PLAN

SCALE: 1/16" = 1'-0"



VICINITY MAP

SCALE: 1/16" = 1'-0"

DATA TABLE

I.	TOTAL SITE AREA:	45,421 SF = 1.04 ACRES
II.	TOTAL LOTS/ DWELLING UNITS:	1 BUILDING
III.	TOTAL BUILDING AREA:	8,585 SF
IV.	PARKING CALC:	
	DENTAL OFFICE: 4815 SF X 5/1000 =	24.1 STALLS
	RENTAL SPACE (B/M) 3845 SF X 4/1000 =	15.4 STALLS
	TOTAL REQUIRED STALLS	39.5 STALLS
	SHOWN STALLS:	40 STALLS (ALL SURFACE)
	ADA STALLS:	2 STALLS
V.	BUILDING PERCENTAGE OF LAND:	19% OF SITE
VI.	SENSITIVE LANDS:	NONE
VII.	TOTAL LANDSCAPE AREA:	9293 SF = 20% OF SITE
VIII.	AREA DEDICATED TO ROW:	NONE REQ
IX.	DENSITY OF DWELLING UNIT PER ACRE	N/A, 1 BUILDING ACRE
X.	TOTAL OFF STREET PARKING SPACES:	40 STALLS

THIS PROJECT INCLUDES ONLY ONE LOT AND ONE PHASE. NO ROW ARE INCLUDED INTERIOR TO THIS LOT. SEE CIVIL SITE PLAN FOR OTHER AREAS AND PERCENTAGES

LIST OF SPECIAL INSPECTIONS:

STRUCTURAL:

- HIGH STRENGTH WOOD SHEAR WALLS - PROVIDE INSPECTION FOR ALL SHEAR WALLS WITH NAILING OF 4" O.C. OR LESS
- WELDED COLUMN, COLUMN BRACKETS OR FLANGES, SADDLES AND ANY OTHER PREFABRICATED STRUCTURAL COMPONENTS.

NON STRUCTURAL:

- ENVELOPE AIR LEAKAGE FOR ALL ENVELOPE COMPONENTS PER IECC.

DEFERRED SUBMITTALS:

- TRUSSES ARE DESIGN BUILD AND STAMPED PLANS ARE TO BE SUBMITTED TO ENGINEER OF RECORD FOR REVIEW AND APPROVAL

NOTES:

- THIS PROJECT CONTAINS SOME SHELL STRUCTURE ONLY.
- MECHANICAL DUCT DESIGN IN THOSE AREAS IS TO BE BY TENANTS.
- PLUMBING DESIGN IN THOSE AREAS IS TO BE BY TENANTS.
- INTERIOR FINISH PLANS IN THOSE AREAS ARE TO BE BY TENANTS.
- LOCATIONS FOR ANY FUTURE ROOFTOP MECHANICAL EQUIPMENT ARE SHOWN ON ROOF & FRAMING PLANS
- ALL UTILITIES ARE TO BE STUBBED INTO EACH TENANT SPACE AS NOTED ON PLANS.
- DEIGN OF SEPARATIONS, BARRIERS, VESTIBULES ...ETC IS TO BE PART OF THE TENANT DESIGN TO BE PERMITTED SEPARATELY

CODE ANALYSIS

NEW BUILDING SQUARE FOOTAGES:

- TOTAL SF: 8,111 SF

CONSTRUCTION TYPE: VB
OCCUPANCY CLASSIFICATION B
OCCUPANTS

- RECEPTION LOBBY (UNCONCENTRATED TABLES & CHAIRS) $\frac{610}{190}$ = 40.7 OCC
- DENTAL OFFICE - BUSINESS $\frac{3900}{150}$ = 26.1 OCC
- ASSUME B USE ON LEASE SPACE $\frac{4500}{150}$ = 23.9 OCC

TOTAL OCCUPANT LOAD: = 91 OCC

** NO SEPARATIONS REQUIRED **

FIRE SPRINKLING NONE - NOT REQUIRED

CALCULATIONS:

- ALLOWABLE SQUARE FOOTAGE: 9000 SF/ FLOOR - OK
(NO AREA INCREASES TAKEN)
- ALLOWABLE STORIES ABOVE GRADE: 2 - OK

- EXITS
REQUIRED EXITS 2 (10 SHOWN) OK
WIDTH - 0.2 X 113 - OK

- EXIT DISTANCE: 200' OK
- MAX EXIT SHOWN: OK

- PLUMBING FIXTURES (DENTAL OFFICE):
-WC = $\frac{1}{25}(50) + \frac{1}{50}(17) = 3$ OK
-LAVS = $\frac{1}{40}(67) = 2$ OK
-DF = $\frac{1}{100}(67) = 1.0$ OK
(2 TIER TYPE REQ.)
-SS = 1 OK

APPLICABLE CODES

	Year		Year
International Building Code	2018	National Electrical Code	2017
International Mechanical Code	2018	Uniform Code for Building Conservation	N/A
International Fuel Gas Code	2018		
International Plumbing Code	2018	ANSI Guidelines	ICC A117.1
International Fire Code	2018		
International Energy Conservation Code	2018		2009

LEGEND & SYMBOLS

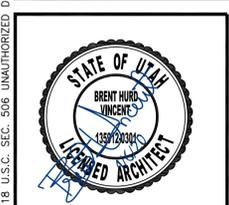
ACQUST.	ACOUSTIC	SPEC.	SPECIFICATION
ADJ.	ADJUSTABLE	STL.	STEEL
ALUM.	ALUMINUM	TJL.	TRUSS JOIST
CER.TILE	CERAMIC TILE	REQ.	REQUIRED
CONC.	CONCRETE	W.C.	WATER CLOSET
CONT.	CONTINUOUS	U.N.O.	UNLESS NOTED OTHERWISE
DET.	DETAIL		
ELEV.	ELEVATION		
EXIST/EX.	EXISTING		
EXP.	EXPANSION		
FLR.	FLOOR	P/L	PROPERTY LINE
F.D.	FLOOR DRAIN	FGE.	FINISH GRADE ELEVATION
GALV.	GALVANIZED	TBC.	TOP OF CURB ELEVATION
GA.	GAUGE	TCE.	TOP OF CONCRETE ELEVATION
GYP. BD.	GYPSUM BOARD	FFE.	FINISH FLOOR ELEVATION
INSUL.	INSULATION	-G-	GAS LINE
MAX.	MAXIMUM	-SS-	SANITARY SEWER LINE
MM	MINIMUM	-W-	WATER LINE
MTL.	METAL	-T-	TELEPHONE LINE
N. I. C.	NOT IN CONTRACT	-P-	POWER LINE
OPN'G	OPENING		
REINF.	REINFORCED		
SHT.	SHEET		
O.C.	ON CENTER		

	WOOD FRAMED WALLS		WINDOW NUMBERS
	CONCRETE		DOOR NUMBERS
	ACOUSTIC TILE		DETAIL
	GYPSUM BOARD		DETAIL
	MASONRY WALLS		SECTION LETTER
	RIGID INSULATION		SECTION OR ELEVATION
	WOOD DIMENSIONAL LUMBER		SHEET NUMBER

DRAWING INDEX

NUMBER	TITLE
T-1.00	TITLE SHEET
G-1.00	GENERAL ADA DETAILS AND EXIT PLAN
C-001	PROJECT NOTES
C-002	NOTES AND ABBREVIATIONS
-	ALTA SURVEY
-	ALTA SURVEY
C-100	DEMO PLAN
C-200	SITE PLAN
C-300	UTILITY PLAN
C-400	GRADING PLAN
C-500	TYPICAL SECTIONS
C-600	TYPICAL DETAILS
C-601	TYPICAL DETAILS
C-602	TYPICAL DETAILS
C-603	TYPICAL DETAILS
LA-100	LANDSCAPE & IRRIGATION NOTES
LA-200	LANDSCAPE PLAN
LA-300	LANDSCAPE DETAILS
IR-100	IRRIGATION SLEEVING PLAN
IR-200	IRRIGATION PLAN
IR-201	ROOT ZONE IRRIGATION PLAN
IR-300	IRRIGATION DETAILS
IR-301	LANDSCAPE DETAILS
SD-1.00	TRASH ENCLOSURE DETAILS
A-1.00	PROPOSED FLOOR PLAN
A-1.01	OVERALL FLOOR PLAN
A-1.10	CEILING PLAN
A-1.20	ENLARGED PLAN
A-1.30	FLOOR PLAN
A-2.00	ELEVATIONS
A-3.00	BUILDING SECTION
A-3.10	BUILDING SECTIONS
A-3.20	WALL SECTION
A-4.00	SCHEDULES AND DETAILS
A-4.10	WINDOWS AND DOOR TYPES
A-5.00	INTERIOR ELEVATIONS
A-5.10	RESTROOM AND MOUNTING DETAILS
A-6.00	ROOF PLANS
1 OF 10	BURKHART EQUIPMENT DRAWINGS
2 OF 10	BURKHART EQUIPMENT DRAWINGS
3 OF 10	BURKHART EQUIPMENT DRAWINGS
4 OF 10	BURKHART EQUIPMENT DRAWINGS
5 OF 10	BURKHART EQUIPMENT DRAWINGS
6 OF 10	BURKHART EQUIPMENT DRAWINGS
7 OF 10	BURKHART EQUIPMENT DRAWINGS
8 OF 10	BURKHART EQUIPMENT DRAWINGS
9 OF 10	BURKHART EQUIPMENT DRAWINGS
10 OF 10	BURKHART EQUIPMENT DRAWINGS
S-1.00	FOOTING AND FOUNDATION
S-2.00	FRAMING PLANS
S-3.00	ENLARGED WALL SECTIONS
S-3.10	WALL SECTIONS
S-4.00	SECTIONS AND DETAILS
S-5.00	STRUCTURAL NOTES
M-1.01	GENERAL MECHANICAL FLOOR PLAN
M-2.01	MECHANICAL FLOOR PLAN
M-5.01	MECHANICAL SCHEDULES AND DETAILS
P-0.10	GENERAL PLUMBING FLOOR PLAN
P-1.02	ROOF PLUMBING PLAN
P-2.01	TENANT PLUMBING FLOOR PLAN
P-5.01	PLUMBING SCHEDULES AND DETAILS
E0.1	ELECTRICAL SYMBOLS AND NOTES
E0.2	ELECTRICAL GENERAL NOTES
E1.1	ELECTRICAL SITE PLAN
E1.2	PHOTOMETRIC LIGHTING PLAN
E2.1	OVERALL ELECTRICAL PLAN
E2.2	DENTAL OFFICE ELECTRICAL PLAN
E2.3	ELECTRICAL ROOF PLAN
E3.1	LIGHTING PLAN
E4.1	PANEL SCHEDULES
E4.2	PANEL SCHEDULES
E5.1	ELECTRICAL DETAILS

VINCENT DESIGN GROUP, INC.
ARCHITECTS AND PLANNERS



PROPOSED NEW DENTAL OFFICE FOR:
PONY EXPRESS DENTAL
SARATOGA BRANCH
2253 SOUTH TALONS COVE DRIVE
SARATOGA SPRINGS, UTAH

TITLE SHEET AND CODE ANALYSIS

ARCH. PROJECT NO:	19-67
DATE:	11/13/19
DRAWN BY:	BRENT
CHECKED BY:	
DESIGNED BY:	
© COPYRIGHT VDG ARCHITECTS	
DATE	REVISION
3/8/19	UPDATED PLANS

SHEET TITLE
T-1.00
COVER 1 of 1

ALL IDEAS, DESIGNS, ARRANGEMENTS, AND PLANS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY AND THE PROPERTY OF VINCENT DESIGN GROUP, INC. AND WERE CREATED, EVOLVED, AND DEVELOPED WITH THIS SPECIFIED PROJECT. NONE OF THE IDEAS, DESIGNS, ARRANGEMENTS, OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY PERSON, FIRM, OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT WRITTEN CONSENT OF VINCENT DESIGN GROUP, INC. WARNINGS: REPRODUCTION HEREOF IS A CRIMINAL OFFENSE UNDER 18 U.S.C. SEC. 506 UNAUTHORIZED DISCLOSURE MAY CONSTITUTE TRADE SECRET, MISAPPROPRIATION, IN VIOLATION OF I.C. 24-2-2-31 ET. SEC. AND OTHER LAWS.

CIVIL PROJECT NOTES

GENERAL NOTES

- ALL MATERIALS AND CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH ALL AND CURRENT APPLICABLE LAWS, RULES, REGULATIONS, ORDINANCES, OSHA REQUIREMENTS, STANDARDS AND SPECIFICATIONS WHETHER OR NOT ANY SPECIFIC REFERENCE IS MADE TO SUCH IN THESE PLANS. THE CONTRACTOR SHALL BE PROPERLY LICENSED IN THE STATE OF UTAH TO PERFORM ALL OF THE WORK DESCRIBED IN THE CONTRACT DOCUMENTS. SUCH LICENSING SHALL REMAIN IN EFFECT CONTINUOUSLY THROUGHOUT THE ENTIRETY OF THIS PROJECT INCLUDING FROM TIME OF BID SUBMISSION THROUGH PROJECT COMPLETION AND WARRANTY PERIOD. THE CONTRACTOR SHALL CARRY APPROPRIATE INSURANCE, PERFORMANCE AND PAYMENT BONDS AS REQUIRED.
- ALL WORK SHALL CONFORM TO THESE PLANS AND TO THE REQUIREMENTS OF THE PROJECT SPECIFICATIONS. IN THE EVENT THAT ANY CONFLICTS ARE DISCOVERED, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING, AND THE ENGINEER, AT HIS SOLE DISCRETION, SHALL DETERMINE WHICH REQUIREMENTS GOVERN. THE CONTRACTOR SHALL KEEP ONE RECORD COPY OF ALL SPECIFICATIONS, DRAWINGS, ADDENDA, MODIFICATIONS, AND SHOP DRAWINGS AT THE SITE IN GOOD ORDER AND ANNOTATED TO SHOW ALL CHANGES MADE DURING THE CONSTRUCTION PROCESS. THESE SHALL BE AVAILABLE TO THE ENGINEER AND SHALL BE DELIVERED TO HIM FOR THE OWNER UPON COMPLETION OF THE PROJECT.
- THE CONTRACTOR SHALL THOROUGHLY FAMILIARIZE HIMSELF WITH ALL ASPECTS OF THE PLANS AND DOCUMENTS, PERFORM A SITE VISIT TO SATISFY HIMSELF AS TO THE SITE CONDITIONS, ATTEND ALL PRECONSTRUCTION AND CONSTRUCTION MEETINGS, AND THOROUGHLY SATISFY HIMSELF AS TO THE TRUE MEANING AND INTENTION OF THIS CONTRACT. THE CONTRACTOR SHALL BE COMPETENT AND EXPERIENCED TO PERFORM ALL WORK REQUIRED. ALL WORK SHALL BE SUBJECT TO THE APPROVAL OF THE ENGINEER.
- THE CONTRACTOR SHALL INDEMNIFY AND HOLD HARMLESS THE OWNER AND THE ENGINEER AND THEIR AGENTS AND EMPLOYEES FROM AND AGAINST ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES INCLUDING ATTORNEY'S FEES ARISING OUT OF OR RESULTING FROM THE PERFORMANCE OF THE WORK, PROVIDED THAT ANY SUCH CLAIM, DAMAGE, LOSS OR EXPENSES IS ATTRIBUTABLE TO BODILY INJURY, SICKNESS, DISEASE OR DEATH, OR TO INJURY TO OR DESTRUCTION OF TANGIBLE PROPERTY (OTHER THAN THE WORK ITSELF) INCLUDING THE LOSS OF USE RESULTING THERE FROM; AND IS CAUSED IN WHOLE OR IN PART BY ANY NEGLIGENT ACT OR OMISSION OF THE CONTRACTOR, ANY SUBCONTRACTOR, ANYONE DIRECTLY OR INDIRECTLY EMPLOYED BY ANY OF THEM OR ANYONE FOR WHOSE ACTS ANY OF THEM MAY BE LIABLE, REGARDLESS OF WHETHER OR NOT IT IS CAUSED IN PART BY A PARTY INDEMNIFIED HEREUNDER. IN ANY AND ALL CLAIMS AGAINST THE OWNER OR THE ENGINEER OR ANY OF THEIR AGENTS OR EMPLOYEES BY ANY EMPLOYEE OF THE CONTRACTOR, AND SUBCONTRACTOR, ANYONE DIRECTLY OR INDIRECTLY EMPLOYED BY ANY OF THEM OR ANYONE FOR WHOSE ACTS ANY OF THEM MAY BE LIABLE, SAID INDEMNIFICATION OBLIGATION SHALL NOT BE LIMITED IN ANY WAY BY ANY LIMITATION ON THE AMOUNT OR TYPE OF DAMAGES, COMPENSATION OR BENEFITS PAYABLE BY OR FOR THE CONTRACTOR OR ANY SUBCONTRACTOR UNDER WORKMEN'S COMPENSATION ACTS, DISABILITY BENEFIT ACTS OR OTHER EMPLOYEE BENEFIT ACTS.
- THE CONTRACTOR WARRANTS AND GUARANTEES TO THE OWNER AND ENGINEER THAT ALL MATERIAL AND EQUIPMENT USED IN THE PERFORMANCE OF THIS WORK SHALL BE NEW UNLESS OTHERWISE SPECIFIED AND THAT ALL WORK SHALL BE OF GOOD QUALITY AND FREE FROM FAULTS OR DEFECTS FOR A PERIOD OF ONE YEAR FROM THE DATE OF SUBSTANTIAL COMPLETION. IF REQUIRED BY THE ENGINEER, THE CONTRACTOR SHALL FURNISH SATISFACTORY EVIDENCE AS TO THE KIND AND QUALITY OF MATERIALS AND EQUIPMENT. ALL MATERIALS AND EQUIPMENT SHALL BE APPLIED, INSTALLED, CONNECTED, ERECTED, USED, CLEANED AND CONDITIONED IN ACCORDANCE WITH THE INSTRUCTIONS OF THE APPLICABLE MANUFACTURER, FABRICATOR OR PROCESSOR, EXCEPT AS OTHERWISE PROVIDED IN THE PLANS AND DOCUMENTS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PERMITS, LICENSES AND FEES REQUIRED FOR THE PERFORMANCE AND COMPLETION OF THE WORK AND SHALL ENSURE THAT ALL WORK IS PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF SAID PERMITS AND LICENSES. THE CONTRACTOR SHALL PROVIDE ALL CONSTRUCTION SIGNAGE, BARRICAADING AND TRAFFIC CONTROL, IN CONFORMANCE TO THE UTAH DEPARTMENT OF TRANSPORTATION TRAFFIC CONTROL STANDARDS AND TO THE MOST RECENT EDITION OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES. THE CONTRACTOR SHALL FURNISH ALL MATERIALS, EQUIPMENT, LABOR, TRANSPORTATION, CONSTRUCTION EQUIPMENT AND MACHINERY, TOOLS, APPLIANCES, FUEL, POWER, LIGHT, HEAT, TELEPHONE, WATER, SANITARY FACILITIES, AND ALL OTHER FACILITIES AND INCIDENTALS NECESSARY FOR THE EXECUTION, TESTING, INITIAL OPERATION AND COMPLETION OF THE WORK.
- THE CONTRACTOR SHALL AT ALL TIMES BE RESPONSIBLE FOR PROVIDING DUST, MUD, AND EROSION CONTROL, AND PROPER DRAINAGE. THE CONTRACTOR SHALL BE RESPONSIBLE TO PROPERLY HANDLE AND DISPOSE OF ALL CONSTRUCTION WATER. THE CONTRACTOR SHALL LIMIT TRAVEL ON THE PROJECT SITE TO ROADWAYS ONLY, EXCEPT WHERE CONSTRUCTION SPECIFICALLY REQUIRES TRAVEL ELSEWHERE. ANY DAMAGE CAUSED BY SUCH UNAUTHORIZED TRAVEL SHALL BE CORRECTED AT THE CONTRACTOR'S EXPENSE AND TO THE SATISFACTION OF THE OWNER OF THE PROPERTY PARCEL. THE CONTRACTOR SHALL AT ALL TIMES KEEP THE PREMISES FREE FROM ACCUMULATIONS OF WASTE MATERIAL, RUBBISH AND OTHER DEBRIS RESULTING FROM THE WORK. EQUIPMENT AND CONSTRUCTION MATERIALS, ETC., SHALL BE STORED ONSITE ONLY AT THE SATISFACTION OF THE OWNER OF THE PROPERTY PARCEL WHEREON THEY ARE STORED. AT THE COMPLETION OF THE WORK, ALL WASTE MATERIALS, RUBBISH AND DEBRIS SHALL BE REMOVED FROM THE PREMISES AS WELL AS ALL TOOLS, CONSTRUCTION EQUIPMENT AND MACHINERY, AND SURPLUS MATERIALS. THE CONTRACTOR SHALL RESTORE TO THEIR ORIGINAL CONDITION THOSE PORTIONS OF THE SITE NOT DESIGNATED FOR ALTERATION BY THE PLANS AND DOCUMENT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATELY SCHEDULING ALL REQUIRED TESTING AND INSPECTIONS A MINIMUM OF 48 HOURS IN ADVANCE. IN THE EVENT THAT TESTING AND INSPECTION SERVICES ARE FURNISHED BY THE OWNER, SUCH SERVICES SHALL BE PAID FOR BY THE OWNER; HOWEVER, ANY RETESTING/REINSPECTION THAT IS REQUIRED AS A RESULT OF INSUFFICIENT OR DEFECTIVE WORK SHALL BE CONDUCTED AT THE CONTRACTOR'S EXPENSE. NEITHER OBSERVATIONS BY THE ENGINEER NOR INSPECTIONS, TESTS OR APPROVALS BY PERSONS OTHER THAN THE CONTRACTOR SHALL RELIEVE THE CONTRACTOR FROM HIS OBLIGATIONS TO PERFORM THE WORK IN ACCORDANCE WITH THE REQUIREMENTS OF THE PLANS AND DOCUMENTS.
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR JOBSITE CONDITIONS THROUGHOUT THE PROJECT, INCLUDING SUBSURFACE CONDITIONS AND UTILITY LOCATION. WARD ENGINEERING GROUP ASSUMES NO RESPONSIBILITY FOR EXISTING UTILITY LOCATIONS. ANY EXISTING UTILITIES OR OTHER IMPROVEMENTS SHOWN ON THE PLANS HAVE BEEN DERIVED FROM FIELD INVESTIGATIONS AND/OR AVAILABLE RECORD INFORMATION. THE CONTRACTOR SHALL FIELD VERIFY EXISTING UTILITY LOCATIONS AND INVERT ELEVATIONS OF EXISTING MANHOLES PRIOR TO CONSTRUCTING ANY NEW UTILITY. THE CONTRACTOR SHALL TAKE ALL PRECAUTIONARY MEASURES NECESSARY TO PROTECT EXISTING IMPROVEMENTS WHICH ARE TO REMAIN IN PLACE. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ANY DAMAGE TO EXISTING FACILITIES RESULTING DIRECTLY OR INDIRECTLY FROM HIS OPERATIONS, WHETHER OR NOT SUCH FACILITIES ARE SHOWN IN THESE PLANS. ALL IMPROVEMENTS DAMAGED BY THE CONTRACTOR'S OPERATION SHALL BE EXPEDITIOUSLY REPAIRED OR RECONSTRUCTED TO THE ENGINEER'S SATISFACTION AT THE CONTRACTOR'S EXPENSE WITHOUT ADDITIONAL COMPENSATION. NO EXCAVATION OF ANY NATURE SHALL BE PERFORMED WITHOUT FIRST CONTACTING "BLUE STAKES" AT LEAST 48 HOURS PRIOR TO SUCH EXCAVATION.
- THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO ASSURE SOUND EXCAVATION AND GRADING PRACTICES. FOR ALL EXCAVATIONS EXCEEDING A DEPTH OF 4 FEET, THE CONTRACTOR SHALL PROVIDE APPROPRIATE SHORING, BRACING, SLOPING OR OTHER APPROPRIATE PROVISIONS AS SPECIFIED BY OSHA THAT ARE NECESSARY TO PROTECT THE SAFETY OF THOSE AT THE SITE. ALL OPEN TRENCHES MUST BE PROPERLY COVERED AT THE END OF WORK EACH DAY. HARD HATS SHALL BE WORN BY ALL PERSONS AT THE SITE. ALL SPECIFICATIONS, DRAWINGS AND COPIES THEREOF FURNISHED BY THE ENGINEER SHALL REMAIN HIS PROPERTY. THEY SHALL NOT BE USED ON ANOTHER PROJECT AND, WITH EXCEPTION OF THOSE SETS WHICH HAVE BEEN SIGNED IN CONNECTION WITH THE EXECUTION OF THE AGREEMENT, SHALL BE RETURNED TO THE ENGINEER UPON REQUEST AT COMPLETION OF THE PROJECT.
- CONTRACTOR SHALL UTILIZE "BEST MANAGEMENT" PRACTICES FOR STORM WATER POLLUTION PREVENTION. CONTRACTOR SHALL BE RESPONSIBLE FOR THE DEVELOPMENT AND COMPLIANCE TO AN APPROVED STORM WATER POLLUTION PREVENTION PLAN (SWPPP).
- CONTRACTOR TO OBTAIN STATE ENCROACHMENT PERMIT FOR WORK DONE IN US 89/91. A WORK IN RIGHT OF WAY PERMIT FOR WORK DONE IN 700 SOUTH RIGHT OF WAY.

CONSTRUCTION NOTES

GENERAL REQUIREMENTS

- CONTRACTOR SHALL STERILIZE THE SUBGRADE BENEATH PROPOSED NEW PAVING AND WALKWAYS. CONTRACTOR SHALL SUBMIT MEANS AND METHODS FOR APPROVAL PRIOR TO IMPLEMENTATION.
- THE CONTRACTOR IS RESPONSIBLE FOR INDEPENDENT QUALITY CONTROL TESTING OF THE PROPOSED IMPROVEMENTS. THE CONTRACTOR SHALL RETAIN THE SERVICES OF AN INDEPENDENT QUALITY CONTROL AGENCY FOR ALL TESTING AS REQUIRED IN THESE PLANS. THE NUMBER AND TYPE OF TESTS SHALL BE PER THESE DRAWINGS, THE PROJECT SPECIFICATIONS AND BALLARD CITY DEVELOPMENT STANDARDS AND SPECIFICATIONS. THE OWNER RESERVES THE RIGHT TO CONDUCT ADDITIONAL TESTING FOR QUALITY ASSURANCE OF THE INFRASTRUCTURE INSTALLED.
- ALL UTILITY PIPING SHALL HAVE WARNING TAPE INSTALLED 12" MIN. ABOVE AND ALONG THE ENTIRE LENGTH, INCLUDING SERVICE LATERAL. TAPE SHALL BE LABELED ACCORDING TO UTILITY.
- THE OPEN ENDS OF ALL PIPELINES UNDER CONSTRUCTION SHALL BE COVERED AND EFFECTIVELY SEALED AT THE END OF EACH DAY'S WORK.
- THE LOCATION OF THE STUB ENDS OF ALL LATERALS SHALL BE MARKED IN THE FIELD USING A 2" X 4" POST EXTENDING FROM THE END OF THE LATERAL TO A MINIMUM OF THREE FEET ABOVE THE GROUND SURFACE. THE 2" X 4" POST SHALL BE PAINTED USING GREEN PAINT FOR SEWER, BLUE PAINT FOR WATER, RED FOR POWER, YELLOW FOR GAS, AND ORANGE FOR COMMUNICATIONS. RECORD DRAWINGS SHALL BE MAINTAINED AT THE PROJECT SITE SHOWING ACCURATE LOCATIONS OF ALL LATERAL CONNECTIONS MEASURED FROM THE NEAREST MANHOLE AND ALL LATERAL STUBS MEASURED FROM THE NEAREST PROPERTY LINE.
- THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE DIRMATMATIC ONLY, AND ALL UTILITIES MAY NOT BE SHOWN. THE CONTRACTOR SHALL CONTACT THE PROPER LOCAL AUTHORITIES OR UTILITY COMPANY TO CONFIRM THE LOCATION OF ALL EXISTING UTILITIES BEFORE BEGINNING WORK. ANY DAMAGE DUE TO FAILURE OF THE CONTRACTOR TO CONTACT THE PROPER AUTHORITIES SHALL BE BORNE BY THE CONTRACTOR.
- CAUTION & CARE SHOULD BE TAKEN DURING ALL EXCAVATIONS DUE TO POSSIBLE EXISTENCE OF UNRECORDED UTILITY LINES.
- EXCAVATION REQUIRED WITHIN CLOSE PROXIMITY OF EXISTING UTILITY LINES SHALL BE DONE ONLY BY HAND. CONTRACTOR SHALL REPAIR AND REPLACE ANY DAMAGE TO EXISTING UTILITY LINES OR STRUCTURES INCURRED DURING CONSTRUCTION OPERATIONS AT NO COST TO OWNER.

CLEARING AND GRUBBING

- REMOVE AND DISPOSE OF TREES, STUMPS, LOGS, LIMBS, STICKS, VEGETATION, DEBRIS, AND OTHER MATERIAL ON THE NATURAL GROUND SURFACE.
- DISPOSE OF ALL MATERIAL OFF THE PROPERTY TO A FACILITY LICENSED TO ACCEPT THE MATERIAL TYPE.
- CONTRACTOR SHALL REMOVE ALL TOP SOIL WITHIN THE AREA OF CONSTRUCTION. STOCKPILE OR REMOVE FROM SITE PER OWNER INSTRUCTIONS.

WATER IMPROVEMENT REQUIREMENTS

- ALL WATER MAINS AND APPURTENANCES SHALL BE DESIGNED, CONSTRUCTED, DISINFECTED, TESTED, AND PLACED IN SERVICE IN ACCORDANCE WITH THIS PLAN, ALL APPLICABLE LAWS, RULES, REGULATIONS, ORDINANCES, AND REQUIREMENTS INCLUDING, BUT NOT LIMITED TO, THE REQUIREMENTS OF OSHA, THE STATE DIVISION OF DRINKING WATER, AND SARATOGA SPRINGS CITY WATER AND SEWER IMPROVEMENT DISTRICT.
- ALL MATERIALS WHICH MAY CONTACT THE DRINKING WATER, INCLUDING PIPES, GASKETS, LUBRICANTS, AND O-RINGS SHALL BE ANSI CERTIFIED AS MEETING NSF STANDARD 61, DRINKING WATER SYSTEM COMPONENTS - HEALTH EFFECTS. TO PERMIT FIELD VERIFICATION OF THIS CERTIFICATION, ALL SUCH COMPONENTS SHALL BE APPROPRIATELY STAMPED WITH THE NSF LOGO.
- ALL PIPES, JOINTS, FITTINGS, VALVES, AND FIRE HYDRANTS SHALL CONFORM TO NSF STANDARD 61 OR STANDARD 14, AND APPLICABLE SECTIONS OF ANSI/AWWA STANDARDS C104-A21.4-03 THROUGH C550-05 AND C900-07 THROUGH C950-07.
- WATER MAINS SHALL BE PVC PIPE AND SHALL MEET ALL THE REQUIREMENTS FOR AWWA C900, PRESSURE CLASS 235, DR-18 PIPE, UNLESS CALLED OUT OTHERWISE. INSTALLATION AND TESTING SHALL BE PERFORMED IN ACCORDANCE WITH AWWA C605. DISINFECTION SHALL BE PERFORMED IN ACCORDANCE WITH AWWA C651.
- ALL BURIED DI (DUCTILE IRON) PIPES, VALVES AND FITTINGS SHALL BE POLY-WRAPPED AND THE NUTS GREASED IN ACCORDANCE WITH AWWA C105.
- ALL WATER DUCTILE (IRON) PIPES, VALVES AND FITTINGS SHALL HAVE PORTLAND CEMENT MORTAR LINING, OR ENGINEER APPROVED EQUAL.
- WATER LATERALS SHALL BE COPPER-TYPE K UP TO THE METER VAULTS UNLESS OTHERWISE INDICATED ON THE PLANS. INSTALLATION AND TESTING SHALL BE PERFORMED IN ACCORDANCE WITH AWWA M55. DISINFECTION SHALL BE PERFORMED IN ACCORDANCE WITH AWWA C651.
- WATER LATERALS SHALL BE BLUE POLY AFTER THE METER VAULTS UNLESS OTHERWISE INDICATED ON THE PLANS.
- WATER MAINS AND LATERALS SHALL BE TESTED ACCORDING TO SARATOGA SPRINGS CITY DEVELOPMENT STANDARDS AND SPECIFICATIONS TO INCLUDE, PRESSURE TESTING AND DISINFECTION; AND IN ACCORDANCE WITH THE REQUIREMENTS OF SARATOGA SPRINGS CITY, OSHA, AND THE UTAH DIVISION OF DRINKING WATER.
- CONTRACTOR SHALL NOTIFY SARATOGA SPRINGS CITY 48 HOURS IN ADVANCE OF MAKING ANY CONNECTIONS TO WATER LINES.
- IF POOR SOILS WITH A BEARING CAPACITY OF LESS THAN 1,500 PSF ARE ENCOUNTERED WHERE A THRUST BLOCK IS REQUIRED, THEN THE THRUST BLOCK SHALL BE REDESIGNED BY THE ENGINEER. THE REDESIGNED THRUST BLOCK SHALL NOT BE PLACED UNTIL THE ENGINEER HAS APPROVED OF THE REDESIGN.
- ANY PROPOSED CONNECTION TO EXISTING PIPELINES, OR ANY NON-FLANGED FITTING OR VALVE IS REQUIRED TO BE RESTRAINED OR THRUST BLOCKED.
- ALL WATER LINES SHALL BE CONSTRUCTED TO A DEPTH AS TO MAINTAIN 48"-72" MIN GROUND COVER. ALL SECONDARY WATER LINES SHALL BE CONSTRUCTED TO A DEPTH SO AS TO MAINTAIN 48"-72" IN GROUND COVER.
- PIPE BEDDING INSTALLATION AND BACKFILL SHALL BE PER MANUFACTURER'S RECOMMENDATIONS. ALL BURIED WATER PIPELINES SHALL HAVE TRACER WIRE (12 GAUGE) DIRECTLY ABOVE PIPE WHICH SHALL BE TIED TO ALL VALVES REFER TO TRENCH DETAIL FOR COMPACTION DENSITY REQUIREMENTS. COMPACTION TESTING SHALL BE A MINIMUM OF 1 PER LIFT FOR EVERY 200 FEET OF TRENCH LENGTH.

SEWER IMPROVEMENT REQUIREMENTS

- ALL SEWER MAINS AND APPURTENANCES SHALL BE DESIGNED, CONSTRUCTED, TESTED, AND PLACED IN SERVICE IN ACCORDANCE WITH ALL APPLICABLE LAWS, RULES REGULATIONS, ORDINANCES, AND REQUIREMENTS INCLUDING, BUT NOT LIMITED TO, THE REQUIREMENTS OF OSHA, THE STATE DIVISION OF WATER QUALITY, AND SARATOGA SPRINGS CITY WATER AND SEWER IMPROVEMENT DISTRICT.
- ALL CONSTRUCTION WITHIN PUBLIC RIGHTS-OF-WAY SHALL COMPLY WITH REQUIREMENTS ESTABLISHED BY THE SARATOGA SPRINGS CITY WATER AND SEWER IMPROVEMENT DISTRICT.
- ANY FLUSHING INTO THE EXISTING SANITARY SEWER SYSTEM IS STRICTLY PROHIBITED.
- GRAVITY SEWER MAINS AND LATERALS SHALL BE PVC, SDR 35 PIPE WITH INTEGRAL BELL AND SPIGOT, AND GASKETED JOINTS.
- SEWER FORCE MAINS SHALL BE PE (POLYETHYLENE) PIPE AND SHALL MEET THE REQUIREMENTS FOR AWWA C906/PE3408, MINIMUM PRESSURE CLASS 150 (DR-11 MINIMUM). INSTALLATION SHALL BE PER ASTM D 2321 AND ASTM F 1668.
- GRAVITY SEWER MAINS AND LATERALS SHALL BE TESTED ACCORDING TO SARATOGA SPRINGS CITY WATER AND SEWER IMPROVEMENT DISTRICT STANDARDS AND SPECIFICATIONS. TO INCLUDE, ALIGNMENT AND GRADE TESTING, OBSTRUCTIONS AND DEFLECTION TESTING, INFILTRATION TESTING OR GRAVITY PIPELINES, PRESSURE TESTING FOR PRESSURE PIPELINES, AND VIDEO INSPECTION. DEFLECTION TESTING SHALL BE PERFORMED NO SOONER THAN 30 DAYS AFTER THE FINAL BACKFILL HAS BEEN PLACED. TESTING SHALL BE PERFORMED USING A MANDREL WITH A DIAMETER EQUAL TO 95 PERCENT OF THE INSIDE DIAMETER OF THE PIPE.
- THE LOCATION OF THE STUB ENDS OF ALL LATERALS SHALL BE MARKED IN THE FIELD USING A 2"x4" POST EXTENDING FROM THE END OF THE LATERAL TO A MINIMUM OF THREE FEET ABOVE THE GROUND SURFACE. THE 2"x4" POST SHALL BE PAINTED USING GREEN PAINT. RECORD DRAWINGS SHALL BE MAINTAINED AT THE PROJECT SITE SHOWING ACCURATE LOCATIONS OF ALL LATERAL CONNECTIONS MEASURED FROM THE NEAREST MANHOLE AND ALL LATERAL STUBS MEASURED FROM THE NEAREST PROPERTY LINE. NO LATERALS SHALL BE DIRECTLY CONNECTED TO MANHOLES.
- FOLLOWING PLACEMENT OF ASPHALT, ALL SEWER LINES SHALL BE FLUSHED, AND CLEANED, AND ALL MANHOLES LIDS ADJUSTED TO 3/8 INCH BELOW FINISHED GRADE AND IN ACCORDANCE WITH THE REQUIREMENTS HEREIN.
- SARATOGA SPRINGS CITY WATER AND SEWER IMPROVEMENT DISTRICT RESERVES THE RIGHT TO TELEVIEW, AT THE DEVELOPERS EXPENSE PER DEVELOPMENT AGREEMENT, ANY OR ALL PORTIONS OF THIS WORK PRIOR TO PLACING SUCH FACILITIES IN SERVICE, AND THE CONTRACTOR SHALL GIVE THE OWNER SUFFICIENT ADVANCE NOTICE OF THEIR INTENT TO PLACE THESE FACILITIES IN SERVICE AS WILL ALLOW THE OWNER TO SCHEDULE SUCH FILLING.
- ALL CONSTRUCTION SHALL COMPLY WITH SARATOGA SPRINGS CITY WATER AND SEWER IMPROVEMENT DISTRICT'S DESIGN STANDARDS AND CONSTRUCTION SPECIFICATIONS.
- CONTRACTOR SHALL FIELD VERIFY LOCATIONS AND INVERT ELEVATIONS OF EXISTING MANHOLES AND OTHER UTILITIES BEFORE STAKING OR CONSTRUCTING ANY NEW SEWER LINES.
- FOUR FEET OF COVER IS REQUIRED OVER ALL SEWER LINES.

STORM DRAINAGE IMPROVEMENTS

- ALL STORM DRAIN MAINS AND APPURTENANCES SHALL BE DESIGNED, CONSTRUCTED, TESTED, AND PLACED IN SERVICE IN ACCORDANCE WITH ALL APPLICABLE LAWS, RULES REGULATIONS, ORDINANCES, AND REQUIREMENTS INCLUDING, BUT NOT LIMITED TO, THE REQUIREMENTS OF OSHA, THE STATE DIVISION OF WATER QUALITY, AND SARATOGA SPRINGS CITY.
- ALL CONSTRUCTION WITHIN PUBLIC RIGHTS-OF-WAY SHALL COMPLY WITH SARATOGA SPRINGS CITY.
- ANY FLUSHING INTO THE EXISTING SANITARY SEWER SYSTEM IS STRICTLY PROHIBITED.
- GRAVITY STORM DRAIN LINES WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE RE-INFORCED CONCRETE PIPE (RCP) WITH INTEGRAL BELL AND SPIGOT, AND GASKETS JOINTS. ALL TEMPORARY CULVERT ARE TO BE ADS-W12 HDPE PIPE.
- GRAVITY STORM DRAIN LINES SHALL BE TESTED ACCORDING TO SARATOGA SPRINGS CITY DEVELOPMENT STANDARDS AND SPECIFICATIONS. TO INCLUDE, ALIGNMENT AND GRADE TESTING, OBSTRUCTIONS AND DEFLECTION TESTING, INFILTRATION TESTING OR GRAVITY PIPELINES, PRESSURE TESTING FOR PRESSURE PIPELINES, AND VIDEO INSPECTION. DEFLECTION TESTING SHALL BE PERFORMED NO SOONER THAN 30 DAYS AFTER THE FINAL BACKFILL HAS BEEN PLACED. TESTING SHALL BE PERFORMED USING A MANDREL WITH A DIAMETER EQUAL TO 95 PERCENT OF THE INSIDE DIAMETER OF THE PIPE.
- FOLLOWING PLACEMENT OF ASPHALT, ALL STORM LINES SHALL BE FLUSHED, AND CLEANED, AND ALL MANHOLES LIDS ADJUSTED TO 3/8 INCH BELOW FINISHED GRADE AND IN ACCORDANCE WITH THE REQUIREMENTS HEREIN.
- THE OWNER RESERVES THE RIGHT TO TELEVIEW, AT THEIR EXPENSE, ANY OR ALL PORTIONS OF THIS WORK PRIOR TO PLACING SUCH FACILITIES IN SERVICE, AND THE CONTRACTOR SHALL GIVE THE OWNER SUFFICIENT ADVANCE NOTICE OF THEIR INTENT TO PLACE THESE FACILITIES IN SERVICE AS WILL ALLOW THE OWNER TO SCHEDULE SUCH FILLING.

GRADING NOTES

- SURFACE DRAINAGE TO BE ONE (1%) PERCENT MINIMUM TO APPROVED DRAINAGE FACILITIES, EXCEPT AS WAIVED BY THE BUILDING OFFICIAL, OR DIRECTED BY THE ENGINEER.
- ALL FILL EXCEPT THAT UNDERNEATH PAVED SURFACES, WITHIN ROAD RIGHT OF WAY OR UNDERNEATH BUILDING SLABS, SIDEWALKS & FOOTINGS, SHALL BE COMPACTED TO A MINIMUM OF EIGHTY-FIVE (85%) PERCENT MAXIMUM DENSITY AND ± 2% OPTIMUM MOISTURE CONTENT AS DETERMINED BY ASTM D 1557 AND CERTIFIED BY TESTS AND REPORTS FROM SOILS ENGINEER.
- ALL FILL UNDERNEATH PATHWAYS AND CONCRETE SHALL BE CLASSIFICATION A/1-A THROUGH A/4 AS DEFINED BY ASHTO M 145 AND COMPACTED TO A MINIMUM OF NINETY-FIVE (95%) PERCENT MAXIMUM DRY DENSITY AND ± 2% OPTIMUM MOISTURE CONTENT AS SPECIFIED BY ASTM D 1557. FOR ALL FILL UNDERNEATH BUILDING SLABS AND FOOTINGS, REFER TO STRUCTURAL PLANS AND GEOTECHNICAL REPORT.
- FILL MATERIAL SHALL BE PLACED IN LAYERS NOT EXCEEDING SIX (6) INCHES IN COMPACTED THICKNESS AND COMPACTED AT OPTIMUM MOISTURE CONTENT TO THE REQUIRED MAXIMUM DRY DENSITY.
- ALL FILL AREAS TO BE CLEARED OF ALL VEGETATION AND OTHER UNSUITABLE MATERIALS AND THE AREA SCARIFIED TO A DEPTH OF SIX (6) INCHES, OR TO A DEPTH TO REMOVE TOP SOIL, REFER TO GEOTECHNICAL REPORT.
- CONTRACTOR SHALL REMOVE ALL TOPSOIL AND ORGANIC MATERIALS FROM STRUCTURALLY LOADED EMBANKMENTS AND BUILD FOOTPRINT LOCATION ACCORDING TO THE RECOMMENDATIONS OF THE GEOTECHNICAL REPORT.

CONCRETE

- ALL CONCRETE WORK SHALL BE NORMAL WEIGHT CONCRETE WITH A COMPRESSIVE STRENGTH EQUAL TO AT LEAST 4,000 PSI WITHIN 28 DAYS AFTER POURING. THE WATER CEMENT RATIO SHALL BE NO GREATER THAN 0.45 AND SLUMP SHALL BE 3.5" OR LESS. MINIMUM CEMENT CONTENT SHALL BE 6.5 SACKS PER CUBIC YARD. PROVIDE 5.5%-7.5% AIR ENTRAINMENT FOR CONCRETE OF THIS CLASS USED IN SLABS AND WALLS. PER REQUIREMENT LISTED IN THE BALLARD CITY DEVELOPMENT STANDARDS AND SPECIFICATIONS.
- UNLESS OTHERWISE NOTED, ALL CONSTRUCTION JOINTS SHALL BE KEPT WITH A KEY 1-1/2 IN. DEEP, A LENGTH 2 IN. LESS THAN THE MEMBER, AND A WIDTH 1/2 OF THE MEMBER. REINFORCING SHALL BE CONTINUOUS THROUGH THE JOINT.
- ALL CONCRETE WORK SHALL BE PLACED, CURED, STRIPPED, AND PROTECTED AS DIRECTED BY THE PROJECT AND APWA SPECIFICATIONS (03 30 10).
- BEFORE CONCRETE IS POURED CHECK WITH ALL TRADES TO INSURE PROPER PLACEMENT OF ALL OPENINGS, SLEEVES, CURBS, CONDUITS, BOLTS, INSERTS, ETC. RELATIVE TO WORK.
- CONTRACTOR IS RESPONSIBLE FOR ALL SHORING AND FORMWORK.
- REFER TO ARCHITECTURAL DRAWINGS FOR MOLDS, GROOVES, ORNAMENT, CLIPS AND GROUNDS REQUIRED TO BE ENCASED IN CONCRETE SLAB AND SLAB FINISHES, COLOR, PATTERNS, AND DEPRESSIONS.
- REFER TO SLAB JOINT LAYOUT PLAN FOR CONTROL AND CONSTRUCTION JOINT LOCATIONS.
- CONCRETE TESTING SHALL BE PER PROJECT SPECIFICATIONS AND APWA 03 30 05. TESTING SHALL COMPRISE OF TEMPERATURE, AIR, SLUMP AND STRENGTH TESTING. THE FOLLOWING TABLE SUMMARIZES REQUIRED TESTING FREQUENCY.

Rate of Placement (cy/day)	Temperature	Air	Slump	Strength
0-8	1	1	1	1
0-50	1	1	1	1
Each additional 50 cy or fraction thereof	1	1	1	1

CONCRETE REINFORCEMENT

- ALL METAL REINFORCEMENT SHALL BE DEFORMED TYPE BARS (EXCEPT #2 BARS) AND SHALL CONFORM TO THE REQUIREMENTS OF THE STANDARD SPECIFICATIONS ASTM A615 GRADE 60.
- ALL SPLICES IN CONTINUOUS CONCRETE REINFORCING BARS SHALL LAP 36 BAR DIAMETER OR PER THE LATEST EDITION OF ACI 318. ALL SUCH SPLICES SHALL BE MADE IN A REGION OF COMPRESSION UNLESS OTHERWISE SHOWN. ALL CONTINUOUS REINFORCEMENT SHALL TERMINATE WITH A 90° TURN OR A SEPARATE CORNER BAR.
- ALL REINFORCEMENT BARS SHALL BE SECURELY ANCHORED AND HELD IN PLACE AND SHALL BE SPACED FROM ADJACENT SURFACES (UNLESS SHOWN OTHERWISE) AS FOLLOWS:
 - FORMED SURFACES IN CONTACT WITH THE GROUND OR EXPOSED TO WEATHER, AND SLABS ON GRADE - 2 IN.
 - UNFORMED SURFACES CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH (BOTTOM AND SIDES OF FOOTINGS)-3 IN.
- WELDED WIRE FABRIC SHALL CONFORM TO ASTM A 185 AND SHALL HAVE A MINIMUM SIDE LAP OF 8 IN.
- ALL REINFORCEMENT SHALL BE DETAILED AND PLACED IN ACCORDANCE WITH THE LATEST EDITION OF ACI DETAILING MANUAL 315-77 AND ACI STANDARD 318.

ASPHALT

- ALL ASPHALT SHALL BE PLACED AS DIRECTED BY SARATOGA SPRINGS CITY AND UDOT STANDARDS AND SPECIFICATION.
- BASE COURSE SHALL BE COMPACTED TO NOTHING LESS THAN 95% MAXIMUM DRY DENSITY AS DETERMINED BY AASHTO T-180.
- SURFACES SHALL BE TRUE TO THE ESTABLISHED GRADE WITH A THICKNESS BEING NO LESS THAN ONE-FOURTH INCH FROM THE REQUIRED LAYER THICKNESS AND WITH THE SURFACE ELEVATION VARYING NO MORE THAN THREE-EIGHTHS INCH IN TEN FEET FROM THE TRUE PROFILE AND CROSS-SECTION.
- THE SURFACE COURSE SHALL CONSIST OF A MINERAL AGGREGATE AND BINDER AS DIRECTED BY SARATOGA SPRINGS CITY AND UDOT STANDARDS AND SPECIFICATIONS.
- THE CONTRACTOR SHALL ESTABLISH A MIX GRADATION AND THE AMOUNT OF BITUMINOUS MATERIAL SHALL BE SUBJECT TO THE APPROVAL OF THE CITY ENGINEER AND SHALL MEET THE REQUIREMENTS OF THE GRADATION SELECTED.
- THE BITUMINOUS MATERIAL FOR THE SURFACE COURSE SHALL BE PG64-22 ASPHALT CONCRETE (AC-10 EQUIVALENT) CONFORMING TO THE REQUIREMENTS OF AASHTO-M-226.
- REGARDLESS OF BITUMINOUS CONTENT AND THERE SHALL NOT BE MORE THAN THREE PERCENT VOIDS IN THE AGGREGATE.
- THE CONTRACTOR SHALL NOT INSTALL BITUMINOUS SEAL COAT UNLESS THE AIR TEMPERATURE IS 70 DEGREES FAHRENHEIT OR HIGHER. SEAL COAT IS NOT TO BE PLACED WITHIN TEN CALENDAR DAYS OF THE PLACEMENT OF NEW SURFACE COURSE. ALL MATERIALS AND WORKMANSHIP SHALL CONFORM TO SECTION 405 IF THE UTAH DEPARTMENT OF TRANSPORTATION (UDOT) STANDARD SPECIFICATIONS.
- THE CONTRACTOR SHALL ENSURE THAT ALL MATERIALS AND WORKMANSHIP SHALL CONFORM TO SECTION 406 OF UDOT STANDARD SPECIFICATIONS.
- NO BITUMINOUS SURFACE COURSE SHALL BE PLACED WHEN THE TEMPERATURE OF THE AIR OR ROAD BED IS 50 DEGREES FAHRENHEIT OR BELOW, DURING RAINY WEATHER, WHEN THE BASE IS WET OR DURING OTHER UNFAVORABLE WEATHER CONDITIONS AS APPROVED BY THE CITY ENGINEER. AIR TEMPERATURE IS TO BE MEASURED IN THE SHADE.
- SEAL COATS SHALL BE APPLIED ONLY BETWEEN JUNE 01 AND SEPTEMBER 15.

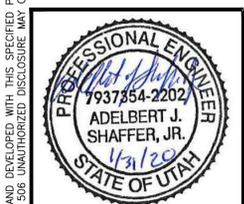
Sheet List Table	
Sheet Number	Sheet Title
C-001	NOTES AND ABBREVIATIONS
C-002	NOTES AND ABBREVIATIONS
ALTA 1	SARATOGA SPRINGS- ALTA
ALTA 2	SARATOGA SPRINGS- ALTA
C-100	DEMO PLAN
C-200	SITE PLAN
C-300	UTILITY PLAN
C-400	GRADING AND DRAINAGE PLAN
C-600	TYPICAL DETAILS
C-601	TYPICAL DETAILS
C-602	TYPICAL DETAILS
C-603	TYPICAL DETAILS
LA-100	LANDSCAPE & IRRIGATION NOTES
LA-200	LANDSCAPE PLAN
LA-300	LANDSCAPE DETAILS

IR-100	IRRIGATION SLEEVING PLAN
IR-200	IRRIGATION PLAN
IR-201	ROOT ZONE IRRIGATION
IR-300	IRRIGATION DETAILS
IR-301	LANDSCAPE DETAILS



VINCENT DESIGN GROUP, INC. ARCHITECTS AND PLANNERS

401 EAST 1700 SOUTH, SALT LAKE CITY, UTAH - (801-484-2046)



FAIRWAY OFFICE PARK BUILDING 1

2232 SOUTH TALONS COVE DR. SARATOGA SPRINGS, UTAH

PROJECT NOTES

ARCH. PROJECT NO: XX-XXX
DATE: 10/29/19
DRAWN BY: SK
CHECKED BY:
DESIGNED BY:

© COPYRIGHT VDG ARCHITECTS

DATE	REVISION

SHEET TITLE

C-001

CIVIL 1 of 13

ABBREVIATIONS AND LEGEND

ABBREVIATIONS

ABUT.	=	ABUTMENT
AGG.	=	AGGREGATE
APPROX.	=	APPROXIMATE
A.S.	=	AS SHOWN
AUX.	=	AUXILIARY
AVG.	=	AVERAGE
BCR	=	BEGIN OF CURB RETURN
BOW	=	BACK OF WALK
BRG.	=	BEARING
¢/C.L.	=	CONTROL LINE/CENTER LINE
CATV	=	CABLE TELEVISION
CI	=	CAST IRON
CLR.	=	CLEAR/CLEARANCE
CMP	=	CORRUGATED METAL PIPE
COL	=	COLUMN
CONC.	=	CONCRETE
CONN	=	CONNECTION
CONST.	=	CONSTRUCTION
CONT.	=	CONTINUOUS
COR.	=	CORNER
CP	=	CONTROL POINT
C.F.	=	CUBIC FEET
DI	=	DUCTILE IRON
DIA./Ø	=	DIAMETER
DIP	=	DUCTILE IRON PIPE
DIM.	=	DIMENSION
DR	=	DIMENSION RATIO
DWG.	=	DRAWING
E	=	EAST
EA	=	EACH
ECR	=	END OF CURB RETURN
EL./ELEV.	=	ELEVATION
ELEC	=	ELECTRIC
EO	=	EDGE OF OIL
EST.	=	ESTIMATED
EXIST	=	EXISTING
F.F.	=	FINISHED FLOOR
F.G.	=	FINISHED GRADE
FL/FL	=	FLOW LINE
FT.	=	FEET
FLG.	=	FLANGE
GA.	=	GAUGE
G	=	GALLON
GALV.	=	GALVANIZED
GMH	=	GAS MANHOLE
GV	=	GAS VALVE
HA	=	HECTARE
HDPE	=	HIGH DENSITY POLYETHYLENE
HGL	=	HYDRAULIC GRADE LINE
HMA	=	HOT MIX ASPHALT
HORIZ.	=	HORIZONTAL
HP	=	HIGH PRESSURE/HIGH POINT
HWY	=	HIGHWAY
I.D.	=	INSIDE DIAMETER
INCL.	=	INCLUDES
INT	=	INTERSECTION
INV	=	INVERT
IRRIG	=	IRRIGATION
L	=	LENGTH
LIN. FT.	=	LINEAR FEET
LOC	=	LIP OF CURB
LOC.	=	LOCATION
LP	=	LIGHT POLE/LOW POINT
LT	=	LEFT
M.J.	=	MECHANICAL JOINT FITTING
MISC.	=	MISCELLANEOUS
MPa	=	MEGAPASCAL
MAX.	=	MAXIMUM
MG	=	MEGRAM

MH	=	MANHOLE
MIN.	=	MINIMUM
N/NO.	=	NORTH
NO./#	=	NUMBER
N.T.S.	=	NOT TO SCALE
O.C.	=	ON CENTER
O.D.	=	OUTER DIAMETER
OHP	=	OVER HEAD POWER
PC	=	POINT OF CURVATURE
PED	=	PEDESTRIAN
PI/P.I.	=	POINT OF INTERSECTION
PIP	=	PLASTIC IRRIGATION PIPE
PL	=	PROPERTY LINE
POC	=	POINT ON CURVE
PP	=	POWER POLE
PT	=	POINT
PT	=	POINT OF TANGENCY
PVC	=	POLYVINYL CHLORIDE PLASTIC
PVC	=	POINT OF VERTICAL CURVATURE
PVT	=	POINT OF VERTICAL TANGENCY
PVI	=	POINT OF VERTICAL INTERSECTION
PVMNT	=	PAVEMENT
PVRC	=	POINT OF VERTICAL REVERSE CURVE
R/RAD.	=	RADIUS
R/C	=	REBAR AND CAP
Rd.	=	ROAD
RCP	=	REINFORCED CONCRETE PIPE
R/W	=	RIGHT OF WAY
REINF.	=	REINFORCING
REQ'D	=	REQUIRED
RET.	=	RETAINING
R.P.	=	REFERENCE POST
RT	=	RIGHT
S	=	SLOPE
S/SO.	=	SOUTH
SCH	=	SCHEDULE
SD	=	STORM DRAIN
SDMH	=	STORM DRAIN MANHOLE
SDR	=	STANDARD DIMENSION RATIO
SDWLK	=	SIDEWALK
SECT./SECT.	=	SECTION
SHLD	=	SHOULDER
SHT	=	SHEET
SPA.	=	SPACING/SPACES
SQ.	=	SQUARE
STA.	=	STATION
STD.	=	STANDARD
STD.	=	STANDARD DRAWING
STR.	=	STRUCTURE
SS	=	SANITARY SEWER
SSMH	=	SANITARY SEWER MANHOLE
T	=	TANGENT DISTANCE
T.B.	=	THRUST BLOCK
TBC	=	TOP BACK OF CURB
TBW	=	TOP BACK OF WALK
TEL	=	TELEPHONE
TEMP	=	TEMPORARY
TMH	=	TELEPHONE MANHOLE
TOW	=	TOP OF WALL
TYP.	=	TYPICAL
UG	=	UNDERGROUND
UTIL.	=	UTILITY
VC	=	VERTICAL CURVE
VERT.	=	VERTICAL
W	=	WEST
W/	=	WITH
WC	=	WITNESS CORNER
WMH	=	WATER MANHOLE
WV	=	WATER VALVE
YD 2YD2	=	SQUARE YARD
YD 3YD3	=	CUBIC YARD

LEGEND

EXISTING

	BOUNDARY LINE
	EASEMENT LINE
	EDGE OF ASPHALT
	WATER LINE
	10" WATER LINE
	WATER VALVE
	WATER METER
	SECONDARY WATER VALVE
	SECONDARY WATER LINE
	8" SEWER LINE
	12" SEWER LINE
	SEWER MANHOLE
	12" STORM DRAIN LINE
	15" STORM DRAIN LINE
	STORM DRAIN MANHOLE
	STORM DRAIN CATCHBASIN
	COMMUNICATION LINE
	POWER LINE
	TRANSFORMER
	JUNCTION BOX
	LIGHTPOLE
	POWER POLE
	GAS LINE
	SECONDARY WATER LINE
	SIGN

PROPOSED

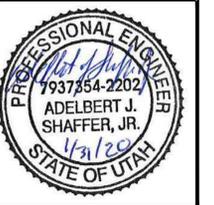
	1.5" WATER LINE
	6" FIRE SERVICE LINE
	4" SEWER LATERAL
	15" HDPE STORM DRAIN LINE
	12" HDPE STORM DRAIN LINE
	4" HDPE STORM DRAIN LINE
	FIRE HYDRANT
	CATCH BASIN/ CURB INLET
	STORM TECH SC-740 CHAMBER
	ADA PARKING SIGN
	ADA RAMP

ALL IDEAS, DESIGNS, ARRANGEMENTS, AND PLANS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY AND THE PROPERTY OF VINCENT DESIGN GROUP, INC. AND WERE CREATED, EVOLVED, AND DEVELOPED WITH THIS SPECIFIED PROJECT. NONE OF THE IDEAS, DESIGNS, ARRANGEMENTS, OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY PERSON, FIRM, OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT WRITTEN CONSENT OF VINCENT DESIGN GROUP, INC. WARNINGS: REPRODUCTION HEREOF IS A CRIMINAL OFFENSE UNDER 18 U.S.C. SEC. 506 UNAUTHORIZED DISCLOSURE MAY CONSTITUTE TRADE SECRET, MISAPPROPRIATION, IN VIOLATION OF I.C. 24-2-31 ET. SEQ. AND OTHER LAWS.

VINCENT DESIGN GROUP, INC.
ARCHITECTS AND PLANNERS

VDG

401 EAST 1700 SOUTH, SALT LAKE CITY, UTAH - (801-484-2046)



FAIRWAY OFFICE PARK
BUILDING 1

2232 SOUTH TALONS COVE DR.
 SARATOGA SPRINGS, UTAH

NOTES & ABBREVIATIONS

ARCH. PROJECT NO: XX-XXX
DATE: 10/29/19
DRAWN BY: SK
CHECKED BY:
DESIGNED BY:

DATE	REVISION

SHEET TITLE

C-002

CIVIL 2 of 13



VINCENT DESIGN GROUP - SARATOGA SPRINGS

ALTA/NSPS LAND TITLE SURVEY

SITUATE IN THE SOUTHWEST QUARTER OF SECTION 1, TOWNSHIP 6 SOUTH, RANGE 1 WEST, SALT LAKE BASE & MERIDIAN. LOCATED WITHIN TALONS COVE SUBDIVISION "PLAT A". 2253 SOUTH TALONS COVE DRIVE, SARATOGA SPRINGS, UTAH

SURVEYORS NARRATIVE:

THIS ALTA/NSPS LAND TITLE SURVEY WAS PREPARED AT THE REQUEST OF VINCENT DESIGN GROUP FOR THE PURPOSE OF RETRACING THE HEREON DESCRIBED PARCEL OF LAND WITH IMPROVEMENTS AND EVALUATING SCHEDULE B SECTION 2 EXCEPTIONS TO COVERAGE LISTED IN THE COMMITMENT FOR TITLE INSURANCE.

THE BASIS OF BEARING FOR THIS SURVEY IS NORTH 89°58'36" EAST 1819.10 FEET ALONG THE SECTION LINE, THENCE NORTH 834.13 FEET TO THE FOUND MONUMENT AT THE INTERSECTION OF FAIRWAY BLVD AND SOUTH TALONS COVE DRIVE. AS SHOWN HEREON.

THIS SURVEY WAS PREPARED BASED UPON THE COMMITMENT FOR TITLE INSURANCE ISSUED BY OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY ORDER NO. 7-043013 (REVISED #2) WITH AN EFFECTIVE DATE OF JUNE 27, 2019 AT 7:45 AM. THE FOLLOWING NOTES PERTAIN TO SCHEDULE "B" SECTION 2 EXCEPTIONS FROM COVERAGE LISTED IN SAID COMMITMENT:

EXCEPTIONS 1-10 ARE NOT PLOTTABLE, OR NOT ADDRESSED BY THIS MAP.

11. THE LAND DESCRIBED HEREIN IS LOCATED WITHIN THE BOUNDARIES OF SARATOGA SPRINGS CITY AND IS SUBJECT TO ANY ASSESSMENTS LEVIED THEREBY. FOR CURRENT STATUS, PLEASE CALL (801) 768-9793. MAIL PAYMENTS TO: 1307 NORTH COMMERCE DRIVE, SUITE 200, SARATOGA SPRINGS, UTAH 84045.

(NO PLOTTABLE DESCRIPTION PROVIDED)

12. THE LAND DESCRIBED HEREIN IS LOCATED IN THE BOUNDARIES OF THE CENTRAL UTAH WATER CONSERVANCY DISTRICT, AND THE UTAH VALLEY DISPATCH SPECIAL SERVICE DISTRICT AND IS SUBJECT TO ANY ASSESSMENTS LEVIED THEREBY.

(NO PLOTTABLE DESCRIPTION PROVIDED)

13. THE TERMS AND CONDITIONS OF THAT CERTAIN NOTICE OF IMPENDING BOUNDARY ACTION - CREATION OF THE SARATOGA SPRINGS COMMUNITY DEVELOPMENT AND RENEWAL AGENCY:

RECORDED: MAY 2, 2012

ENTRY NO.: 36809:2012

(DOCUMENT CONTAINS LEGAL DESCRIPTION OF AGENCY BOUNDARY)

14. THE TERMS AND CONDITIONS OF THAT CERTAIN CERTIFICATE OF CREATION PERTAINING TO THE SARATOGA SPRINGS COMMUNITY DEVELOPMENT AND RENEWAL AGENCY:

RECORDED: MAY 2, 2012

ENTRY NO.: 36610:2012

(DOCUMENT CONTAINS LEGAL DESCRIPTION OF AGENCY BOUNDARY)

15. THE TERMS AND CONDITIONS OF THAT CERTAIN ORDINANCE CREATING THE "SARATOGA SPRINGS COMMUNITY DEVELOPMENT AND RENEWAL AGENCY":

RECORDED: MAY 2, 2012

ENTRY NO.: 36612:2012

(DOCUMENT CONTAINS LEGAL DESCRIPTION OF AGENCY BOUNDARY)

16. ANY WATER RIGHTS, CLAIMS OR TITLE TO WATER IN AND UNDER THE LAND.

(NO PLOTTABLE DESCRIPTION PROVIDED)

17. EASEMENT, AND THE TERMS AND CONDITIONS THEREOF: GRANTEE: TOWN OF SARATOGA SPRINGS, A BODY POLITIC OF THE STATE OF UTAH RECORDED:

FEBRUARY 13, 2001

ENTRY NO.: 12140:2001

(EASEMENT FALLS OUTSIDE OF PROPERTY BOUNDARY)

18. ANY PRIOR RESERVATIONS OF ANY MINERALS IN OR UNDER SAID LAND INCLUDING, BUT NOT LIMITED TO METALS, OIL, GAS, COAL, STONE AND MINERAL RIGHTS, MINING RIGHTS, AND EASEMENT RIGHTS OR OTHER MATTERS RELATING THERETO, WHETHER EXPRESSED OR IMPLIED.

(NO PLOTTABLE DESCRIPTION PROVIDED)

19. AGREEMENT OR STIPULATION AND COMPROMISE REGARDING UTAH LAKE BOUNDARY, AND THE TERMS AND CONDITIONS THEREOF:

BETWEEN: STATE OF UTAH, BY AND THROUGH THE DIVISION OF FORESTRY, FIRE AND STATE LANDS

AND: SARATOGA JOINT VENTURE AND WARDLEY/MCLACHLAN DEVELOPMENT, LLC

RECORDED: JANUARY 12, 2000

ENTRY NO.: 3278:2000

STIPULATION FOR PARTIAL SETTLEMENT OF UTAH LAKE BOUNDARY BETWEEN THE STATE OF UTAH AND THE UNITED STATES OF AMERICA:

ISSUED OUT OF: UNITED STATES DISTRICT COURT, DISTRICT OF UTAH, CENTRAL DIVISION

PLAINTIFF: STATE OF UTAH, BY AND THROUGH ITS DIVISION OF FORESTRY, FIRE & STATE LAND

DEFENDANT: UNITED STATES OF AMERICA; DEPARTMENT OF THE INTERIOR, BUREAU OF RECLAMATION, ELUID MARTINEZ, IN HIS OFFICIAL CAPACITY AS COMMISSIONER; DAVID W. DAVIS, JOHN DOE AND MARY DOE, ET AL. CIVIL NO.: 2:97CV 0927K

RECORDED: SEPTEMBER 18, 2001

ENTRY NO.: 94662:2001

STIPULATION FOR SETTLEMENT OF UTAH LAKE BOUNDARY BETWEEN THE STATE OF UTAH AND UTAH LAKE DISTRIBUTING COMPANY AND SARATOGA SPRINGS DEVELOPMENT LLC

ISSUED OUT OF: UNITED STATES DISTRICT COURT, DISTRICT OF UTAH, CENTRAL DIVISION

PLAINTIFF: STATE OF UTAH, BY AND THROUGH ITS DIVISION OF FORESTRY, FIRE & STATE LAND DEFENDANT: UNITED STATES OF AMERICA; DEPARTMENT OF THE INTERIOR, BUREAU OF RECLAMATION, ELUID MARTINEZ, IN HIS OFFICIAL CAPACITY AS COMMISSIONER; BUREAU OF LAND MANAGEMENT; SALLY WISELY IN HER OFFICIAL CAPACITY AS STATE DIRECTOR, BLM; DAVID W. DAVIS, JOHN DOE AND MARY DOE, ET AL.

CIVIL NO.: 2:97CV 0927K

RECORDED: NOVEMBER 15, 2000

ENTRY NO.: 90795:2000

(LEGAL DESCRIPTION DESCRIBES UTAH LAKE BOUNDARY)

SURVEYORS NARRATIVE (CONTINUED):

20. TERMS, PROVISIONS, COVENANTS, CONDITIONS AND RESTRICTIONS, EASEMENTS, CHARGES, ASSESSMENTS AND LIENS PROVIDED IN THE COVENANTS, CONDITIONS AND RESTRICTIONS, BUT OMITTING ANY COVENANT, CONDITION OR RESTRICTIONS, IF ANY BASED ON RACE, COLOR, RELIGION, SEX, HANDICAP, FAMILIAL STATUS OR NATIONAL ORIGIN UNLESS AND ONLY TO THE EXTENT THAT THE COVENANT, CONDITION OR RESTRICTION (A) IS EXEMPT UNDER TITLE 42 OF THE UNITED STATES CODE, OR (B) RELATES TO HANDICAP, BUT DOES NOT DISCRIMINATE AGAINST HANDICAPPED PERSONS:

RECORDED: FEBRUARY 19, 1997

ENTRY NO.: 12514

BOOK/PAGE: 4195/1 CLARIFICATION AND AGREEMENT:

RECORDED: MAY 3, 2016

ENTRY NO.: 38962:2016

(DOCUMENT DESCRIBES 640 ACRES ON THE NORTHWEST SHORE OF UTAH LAKE)

21. TERMS, PROVISIONS, COVENANTS, CONDITIONS AND RESTRICTIONS, EASEMENTS, CHARGES, ASSESSMENTS AND LIENS PROVIDED IN THE COVENANTS, CONDITIONS AND RESTRICTIONS, BUT OMITTING ANY COVENANT, CONDITION OR RESTRICTIONS, IF ANY BASED ON RACE, COLOR, RELIGION, SEX, HANDICAP, FAMILIAL STATUS OR NATIONAL ORIGIN UNLESS AND ONLY TO THE EXTENT THAT THE COVENANT, CONDITION OR RESTRICTION (A) IS EXEMPT UNDER TITLE 42 OF THE UNITED STATES CODE, OR (B) RELATES TO HANDICAP, BUT DOES NOT DISCRIMINATE AGAINST HANDICAPPED PERSONS:

RECORDED: APRIL 18, 2001

ENTRY NO.: 36866:2001

(DOCUMENT DESCRIBES 640 ACRES ON THE NORTHWEST SHORE OF UTAH LAKE)

22. THE TERMS AND CONDITIONS OF THAT CERTAIN AMENDMENT AND NOTICE OF REINVESTMENT FEE COVENANT: RECORDED: MAY 4, 2010 ENTRY NO.: 36417:2010 UPDATED NOTICE OF EXISTING REINVESTMENT FEE COVENANT:

RECORDED: APRIL 22, 2016

ENTRY NO.: 34976:2016

(DOCUMENT DESCRIBES 640 ACRES ON THE NORTHWEST SHORE OF UTAH LAKE)

23. GRANT OF SEWER LINE UTILITY EASEMENT, AND THE TERMS AND CONDITIONS THEREOF:

GRANTEE: CITY OF SARATOGA SPRINGS

RECORDED: SEPTEMBER 9, 2004

ENTRY NO.: 103941:2004

(EASEMENT FALLS OUTSIDE OF PROPERTY BOUNDARY)

24. EASEMENT DISCLOSED IN THAT CERTAIN QUIT CLAIM DEED:

GRANTEE: CITY OF SARATOGA SPRINGS RECORDED:

SEPTEMBER 23, 2004

ENTRY NO.: 108666:2004

(EASEMENT FALLS OUTSIDE OF PROPERTY BOUNDARY)

25. AGREEMENT, AND THE TERMS AND CONDITIONS THEREOF:

BETWEEN: LYNN E. WARDLEY

AND: SARATOGA SPRINGS

DATED: OCTOBER 1, 2012

RECORDED: OCTOBER 29, 2012

ENTRY NO.: 93747:2012

(WATER CREDITS AGREEMENT)

26. THE TERMS AND CONDITIONS OF THAT CERTAIN MASTER BOARD RESOLUTION-SARATOGA SPRINGS OWNERS ASSOCIATION:

RECORDED: SEPTEMBER 30, 2013

ENTRY NO.: 92819:2013

(CC & RS FOR SARATOGA SPRINGS OWNERS ASSOCIATION)

27. EASEMENT, AND THE TERMS AND CONDITIONS THEREOF:

GRANTEE: UTAH DEPARTMENT OF TRANSPORTATION

RECORDED: MARCH 13, 2018

ENTRY NO.: 23864:2018

(EASEMENT FALLS OUTSIDE OF PROPERTY BOUNDARY)

28. EASEMENT, AND THE TERMS AND CONDITIONS THEREOF:

DISCLOSED BY: PLAT OF SAID SUBDIVISION

PURPOSE: UTILITIES AND SIDEWALK

AREA AFFECTED: 10 FEET SOUTHEASTERLY, SOUTHWESTERLY AND NORTHEASTERLY

(AS SHOWN HEREON)

29. EASEMENT, AND THE TERMS AND CONDITIONS THEREOF:

DISCLOSED BY: PLAT OF SAID SUBDIVISION

PURPOSE: SHARED ACCESS EASEMENT (TALONS COVE DRIVE-PRIVATE) AND UTILITIES

AREA AFFECTED: 14 FEET NORTHEASTERLY

(AS SHOWN HEREON)

30. SUBJECT TO THE NOTES AS SHOWN ON THE OFFICIAL RECORDED PLAT.

(AS SHOWN HEREON)

SURVEYOR'S CERTIFICATE

TO: VINCENT DESIGN GROUP, TRIPLE S. LAND DEVELOPMENT LLC, WARDLEY PROPERTIES, L.L.C., A NEVADA LIMITED LIABILITY COMPANY, OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY.

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS. THE FIELD WORK WAS COMPLETED ON AUGUST 22, 2019.

SATTAR N. TABRIZ, PLS.
UTAH LICENSE NO.: 155100
DATE:

LEGAL DESCRIPTION (PER TITLE COMMITMENT)

LOT 1, PLAT "A", TALONS COVE DRIVE SUBDIVISION, ACCORDING TO THE OFFICIAL PLAT THEREOF ON FILE AND OF RECORD IN THE OFFICE OF THE UTAH COUNTY RECORDER

GENERAL NOTES:

1. ONLY EASEMENTS LISTED IN THE TITLE COMMITMENT ARE ADDRESSED BY THIS MAP.
2. THIS MAP IS NOT PROOF OF OWNERSHIP.
3. THIS MAP MAKES NO ASSUMPTIONS AS TO ANY UNWRITTEN RIGHTS THAT MAY EXIST BY AND BETWEEN THE ADJOINING LAND OWNERS.
4. COURSES AND DISTANCES SHOWN ON THIS MAP ARE MEASURED DIMENSIONS TAKEN FROM ACTUAL FIELD MEASUREMENTS, UNLESS CONTAINED WITHIN PARENTHESIS INDICATING A RECORD COURSE OR DISTANCE. RECORD INFORMATION IS TAKEN FROM MAPS, PLATS, DEEDS OF RECORD, OR OTHER SOURCES OF RECORD INFORMATION.

RECORD OWNER INFORMATION:

TITLE TO THE FEE SIMPLE ESTATE OR INTEREST IN SAID LAND IS AT THE EFFECTIVE DATE HEREOF VESTED IN: WARDLEY PROPERTIES, LLC, A NEVADA LIMITED LIABILITY COMPANY.

DRAWN BY: LD
FIELD CREW: BM & LD
CHECKED BY: SNT
DATE: 9/3/19

CLIENT: VINCENT DESIGN GROUP
DWS: TALONSCOVE SARATOGA ALTA
JOB No: --
DRAWING IS REDUCED IF LESS THAN 22"x34".
DIMENSIONS AND NOTES TAKE PRECEDENCE OVER SCALE.

ALTA/NSPS LAND TITLE SURVEY FOR:
VINCENT DESIGN GROUP
2253 SOUTH TALONS COVE DRIVE, SARATOGA SPRINGS, UTAH
LOCATED IN THE SOUTHWEST QUARTER OF SECTION 1,
TOWNSHIP 6 SOUTH, RANGE 1 WEST,
SALT LAKE BASE & MERIDIAN.

No.	DATE	BY	REVISION

tel (801) 487-8040
231 West 800 South
Salt Lake City, Utah 84101
www.wardeng.com
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Planning • Engineering • Surveying
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VINCENT DESIGN GROUP - SARATOGA SPRINGS

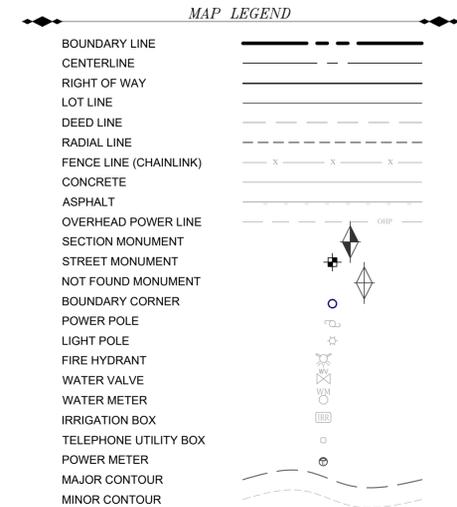
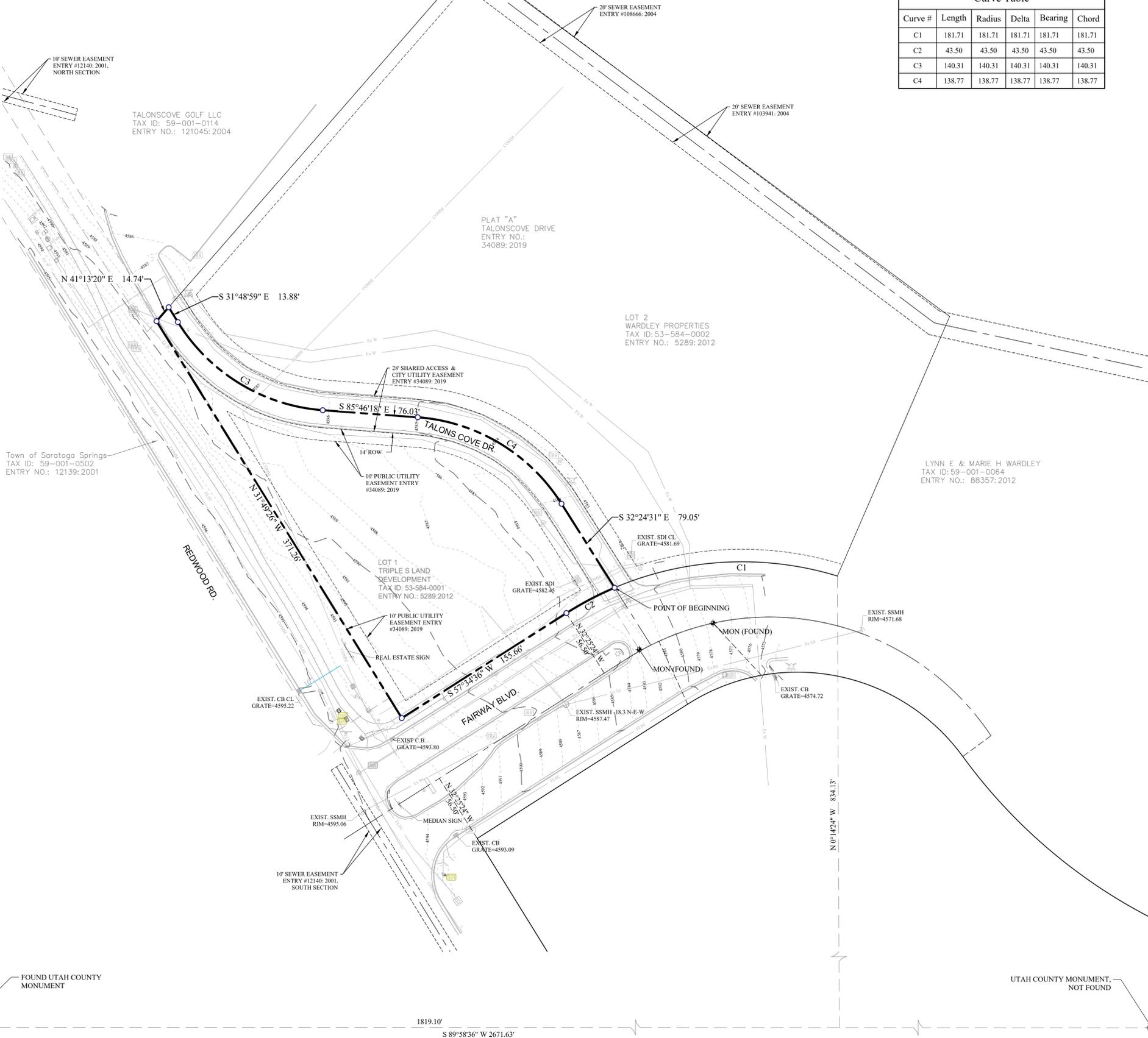
ALTA/NSPS LAND TITLE SURVEY

SITUATE IN THE SOUTHWEST QUARTER OF SECTION 1, TOWNSHIP 6 SOUTH, RANGE 1 WEST,
SALT LAKE BASE & MERIDIAN. LOCATED WITHIN TALONS COVE SUBDIVISION "PLAT A".
2253 SOUTH TALONS COVE DRIVE, SARATOGA SPRINGS, UTAH

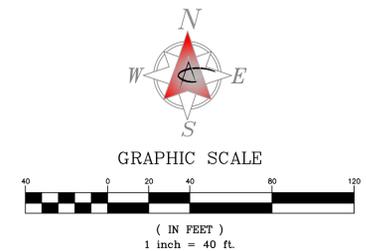
Curve Table					
Curve #	Length	Radius	Delta	Bearing	Chord
C1	181.71	181.71	181.71	181.71	181.71
C2	43.50	43.50	43.50	43.50	43.50
C3	140.31	140.31	140.31	140.31	140.31
C4	138.77	138.77	138.77	138.77	138.77

NOTE:

UTILITY LOCATIONS SHOWN HEREON ARE BASED UPON ABOVE GROUND STRUCTURES COMBINE WITH UTILITY MAPS PROVIDED BY THE UTILITY COMPANIES. THE LOCATIONS OF UNDER GROUND STRUCTURE MAY VARY FROM THE LOCATIONS SHOWN HEREON BLUES STAKES OF UTAH SHOULD BE CONTACTED PRIOR TO ANY EXCAVATION OF THE SITE.



NOTE:
CONTOURS ARE SHOWN IN 1' INTERVALS



DRAWN BY: LD
FIELD CREW: BM & LD
CHECKED BY: SNT
DATE: 9/9/19

CLIENT: VINCENT DESIGN GROUP
DWS: TALONSCOVE SARATOGA ALTA
JOB No: -
DRAWING IS REDUCED IF LESS THAN 22"x34"
DIMENSIONS AND NOTES TAKE PRECEDENCE OVER SCALE.

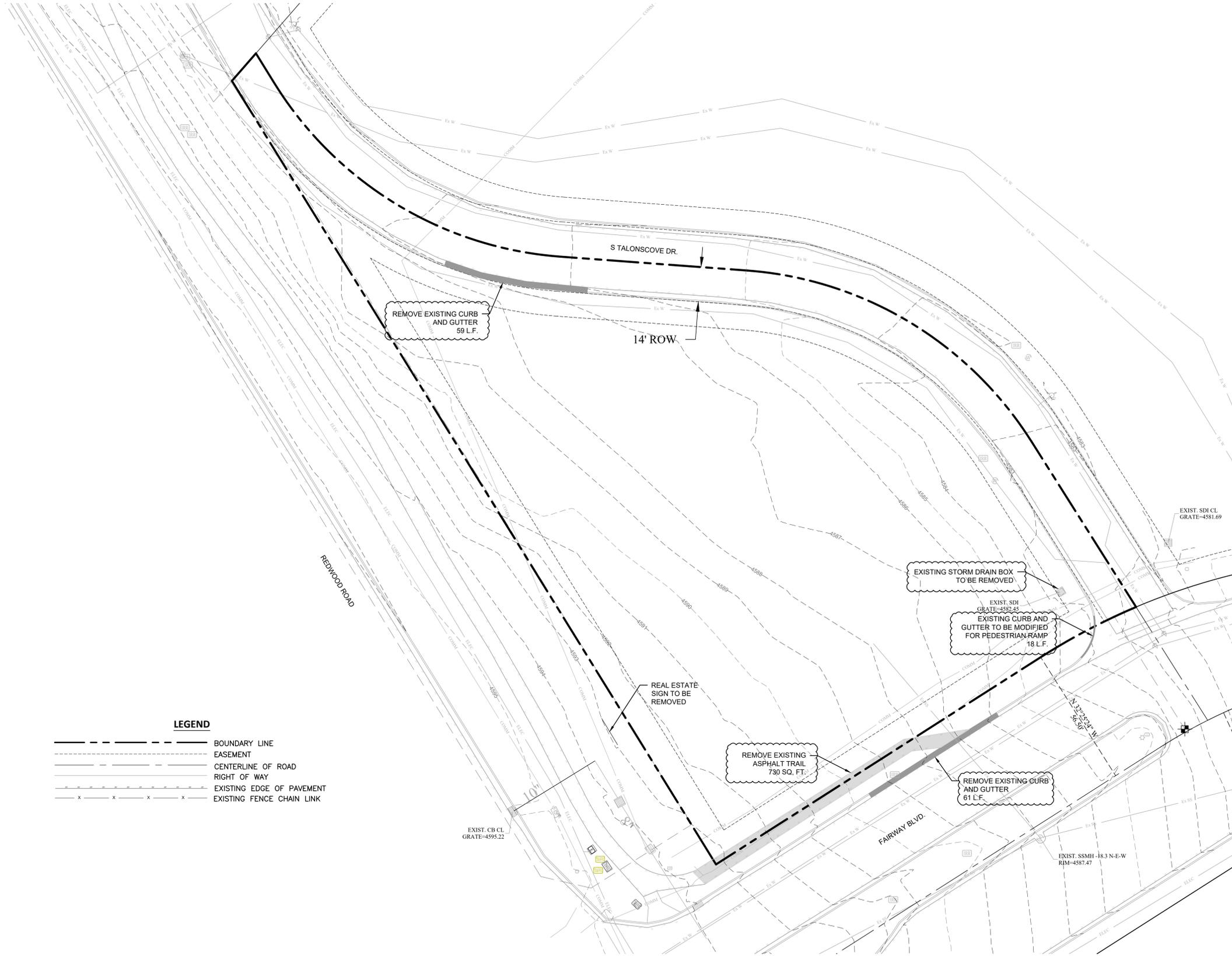
ALTA/NSPS LAND TITLE SURVEY FOR:
VINCENT DESIGN GROUP
2253 SOUTH TALONS COVE DRIVE, SARATOGA SPRINGS, UTAH
LOCATED IN THE SOUTHWEST QUARTER OF SECTION 1,
TOWNSHIP 6 SOUTH, RANGE 1 WEST,
SALT LAKE BASE & MERIDIAN.

No.	DATE	BY	REVISION

tel (801) 487-8040 231 West 800 South
fax (801) 487-8668 Salt Lake City, Utah 84101
www.vdeng.com

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Since 1961

O:\Vincent Design Group\Fairway Office Bldg\Saratoga Springs\survey\ACAD\TALONSCOVE_SARATOGA_ALTA.dwg, Dec. 05, 2019 - 3:10pm



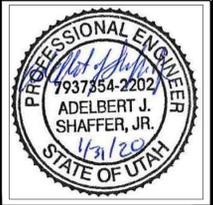
NOTES:
1. FEMA ZONE X

LEGEND

	BOUNDARY LINE
	EASEMENT
	CENTERLINE OF ROAD
	RIGHT OF WAY
	EXISTING EDGE OF PAVEMENT
	EXISTING FENCE CHAIN LINK

VDC VINCENT DESIGN GROUP, INC.
ARCHITECTS AND PLANNERS

401 EAST 1700 SOUTH, SALT LAKE CITY, UTAH - (801-484-2046)



**FAIRWAY OFFICE PARK
BUILDING 1**

2232 SOUTH TALONS COVE DR.
SARATOGA SPRINGS, UTAH

DEMO PLAN

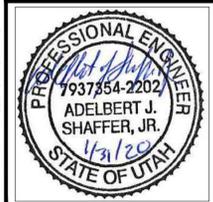
ARCH. PROJECT NO: XX-XXX
DATE: 10/29/19
DRAWN BY: SK
CHECKED BY:
DESIGNED BY:

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DATE	REVISION

SHEET TITLE
C-100
CIVIL 5 of 13

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**FAIRWAY OFFICE PARK
 BUILDING 1**

2232 SOUTH TALONS COVE DR.
 SARATOGA SPRINGS, UTAH

SITE PLAN

ARCH. PROJECT NO: XX-XXX
 DATE: 10/29/19
 DRAWN BY: SK
 CHECKED BY:
 DESIGNED BY:
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DATE	REVISION

SHEET TITLE

C-200

CIVIL 6 of 13

NOTES:

1. A RIGHT-OF-WAY ENCROACHMENT PERMIT MUST BE OBTAINED FROM THE CITY OF SARATOGA SPRINGS PRIOR TO DOING ANY WORK IN THE EXISTING RIGHT-OF-WAY. CONTACT MARK EDWARDS AT 801-766-9793, EXT. 118.
2. FEMA ZONE X

LEGEND

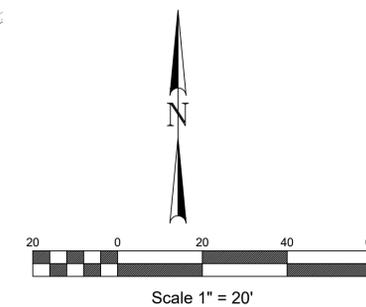
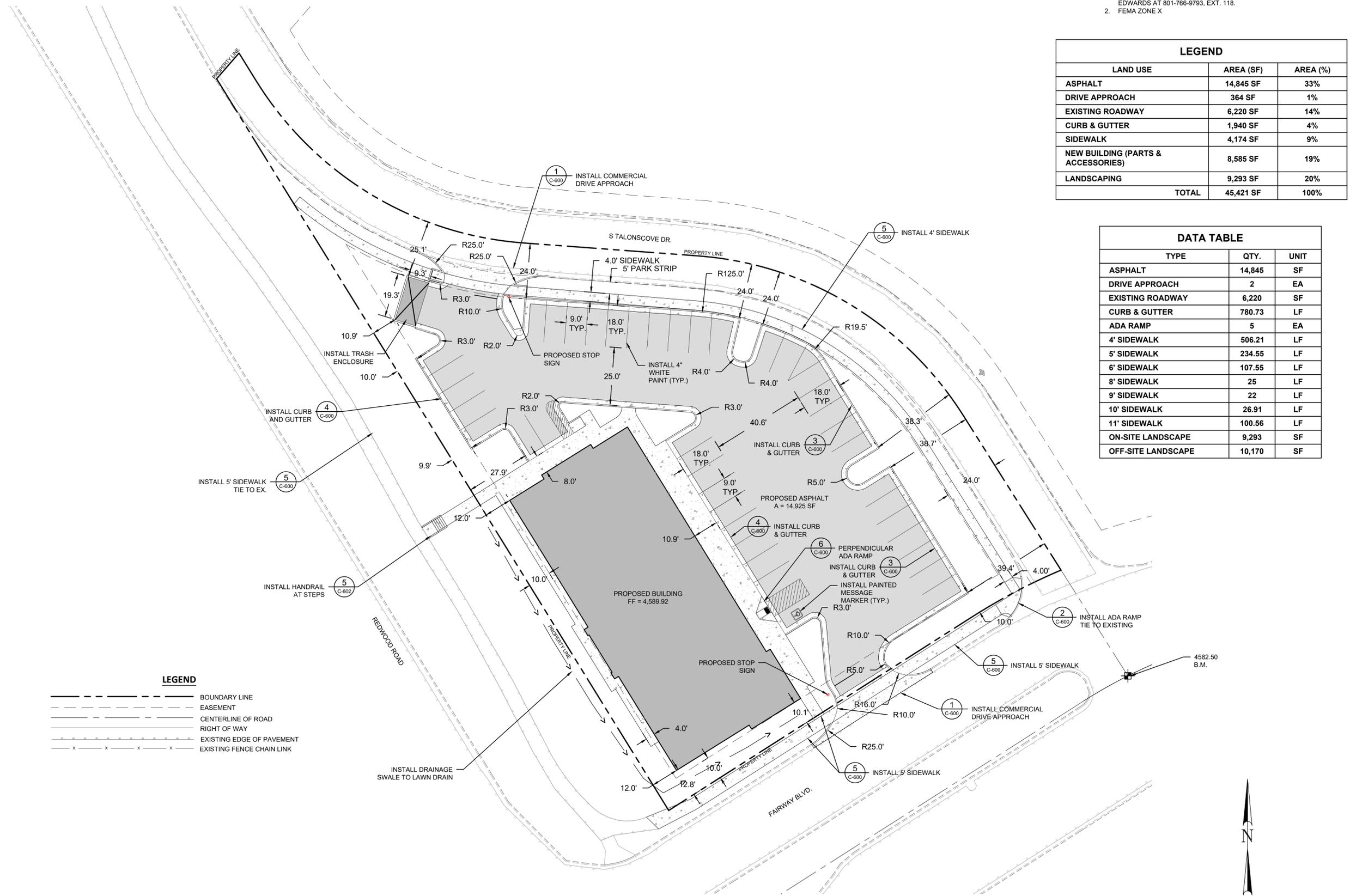
LAND USE	AREA (SF)	AREA (%)
ASPHALT	14,845 SF	33%
DRIVE APPROACH	364 SF	1%
EXISTING ROADWAY	6,220 SF	14%
CURB & GUTTER	1,940 SF	4%
SIDEWALK	4,174 SF	9%
NEW BUILDING (PARTS & ACCESSORIES)	8,585 SF	19%
LANDSCAPING	9,293 SF	20%
TOTAL	45,421 SF	100%

DATA TABLE

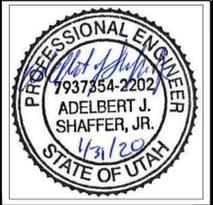
TYPE	QTY.	UNIT
ASPHALT	14,845	SF
DRIVE APPROACH	2	EA
EXISTING ROADWAY	6,220	SF
CURB & GUTTER	780.73	LF
ADA RAMP	5	EA
4' SIDEWALK	506.21	LF
5' SIDEWALK	234.55	LF
6' SIDEWALK	107.55	LF
8' SIDEWALK	25	LF
9' SIDEWALK	22	LF
10' SIDEWALK	26.91	LF
11' SIDEWALK	100.56	LF
ON-SITE LANDSCAPE	9,293	SF
OFF-SITE LANDSCAPE	10,170	SF

LEGEND

	BOUNDARY LINE
	EASEMENT
	CENTERLINE OF ROAD
	RIGHT OF WAY
	EXISTING EDGE OF PAVEMENT
	EXISTING FENCE CHAIN LINK



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**FAIRWAY OFFICE PARK
 BUILDING 1**

2232 SOUTH TALONS COVE DR.
 SARATOGA SPRINGS, UTAH

UTILITY PLAN

ARCH. PROJECT NO: XX-XXX
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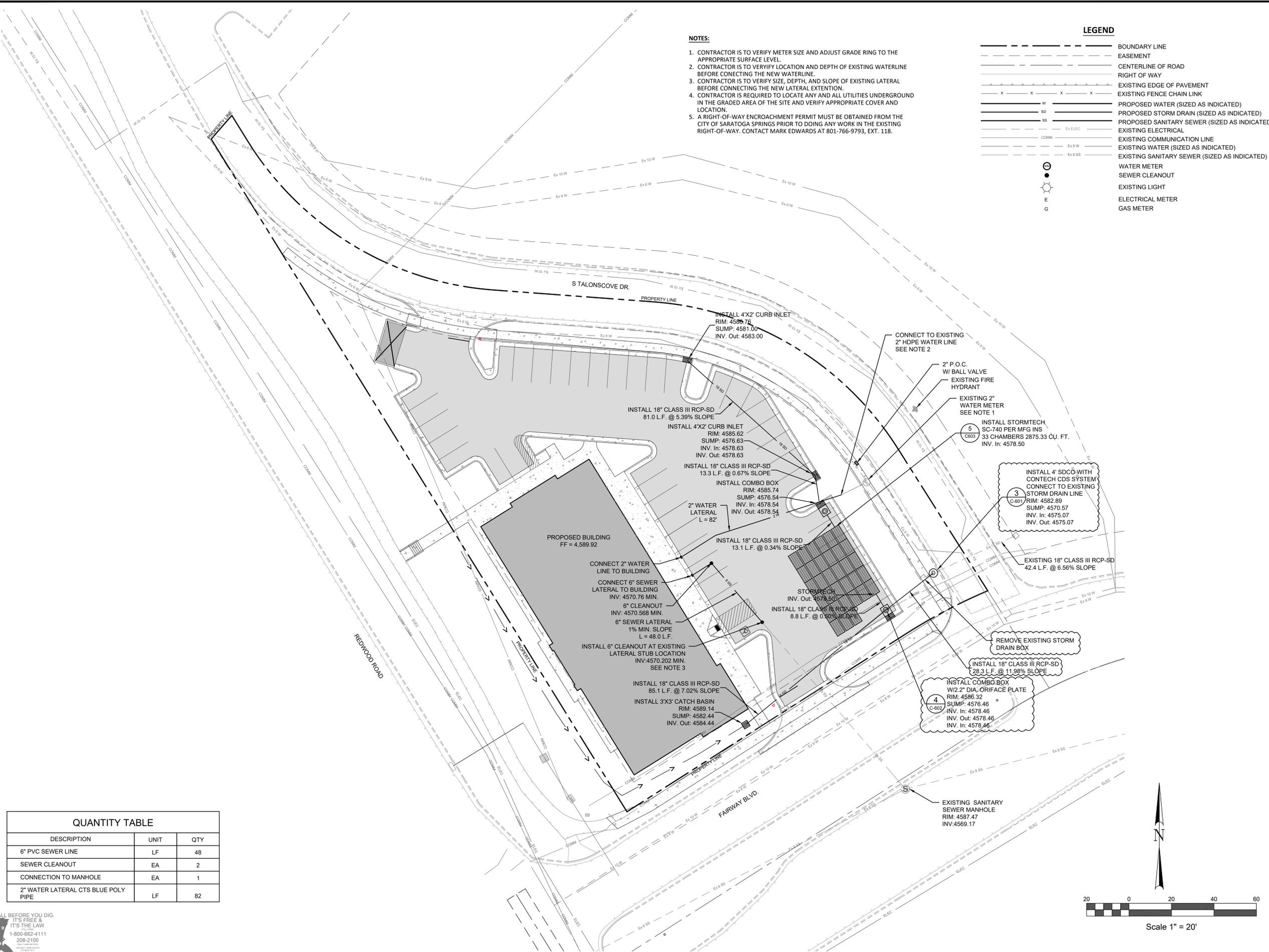
DATE	REVISION

SHEET TITLE
C-300
 CIVIL 7 of 13

LEGEND

	BOUNDARY LINE
	EASEMENT
	CENTERLINE OF ROAD
	RIGHT OF WAY
	EXISTING EDGE OF PAVEMENT
	EXISTING FENCE CHAIN LINK
	PROPOSED WATER (SIZED AS INDICATED)
	PROPOSED STORM DRAIN (SIZED AS INDICATED)
	PROPOSED SANITARY SEWER (SIZED AS INDICATED)
	EXISTING ELECTRICAL
	EXISTING COMMUNICATION LINE
	EXISTING WATER (SIZED AS INDICATED)
	EXISTING SANITARY SEWER (SIZED AS INDICATED)
	WATER METER
	SEWER CLEANOUT
	EXISTING LIGHT
	ELECTRICAL METER
	GAS METER

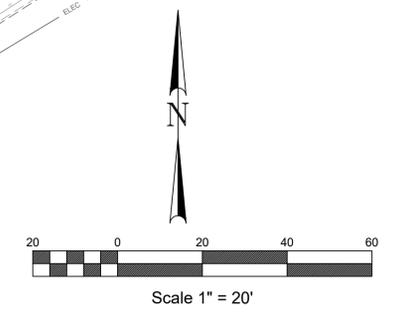
- NOTES:**
1. CONTRACTOR IS TO VERIFY METER SIZE AND ADJUST GRADE RING TO THE APPROPRIATE SURFACE LEVEL.
 2. CONTRACTOR IS TO VERIFY LOCATION AND DEPTH OF EXISTING WATERLINE BEFORE CONNECTING THE NEW WATERLINE.
 3. CONTRACTOR IS TO VERIFY SIZE, DEPTH, AND SLOPE OF EXISTING LATERAL BEFORE CONNECTING THE NEW LATERAL EXTENSION.
 4. CONTRACTOR IS REQUIRED TO LOCATE ANY AND ALL UTILITIES UNDERGROUND IN THE GRADED AREA OF THE SITE AND VERIFY APPROPRIATE COVER AND LOCATION.
 5. A RIGHT-OF-WAY ENCROACHMENT PERMIT MUST BE OBTAINED FROM THE CITY OF SARATOGA SPRINGS PRIOR TO DOING ANY WORK IN THE EXISTING RIGHT-OF-WAY. CONTACT MARK EDWARDS AT 801-766-9793, EXT. 118.



QUANTITY TABLE

DESCRIPTION	UNIT	QTY
6" PVC SEWER LINE	LF	48
SEWER CLEANOUT	EA	2
CONNECTION TO MANHOLE	EA	1
2" WATER LATERAL CTS BLUE POLY PIPE	LF	82

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QUANTITY TABLE		
DESCRIPTION	UNIT	QTY
18" RCP STORM DRAIN	LF	261.38
CURB INLET	EA	3
ORIFICE PLATE	EA	1

CUT/FILL TABLE	
ITEM	QTY
CUT	886.72
FILL	1,064.15
NET	177.43

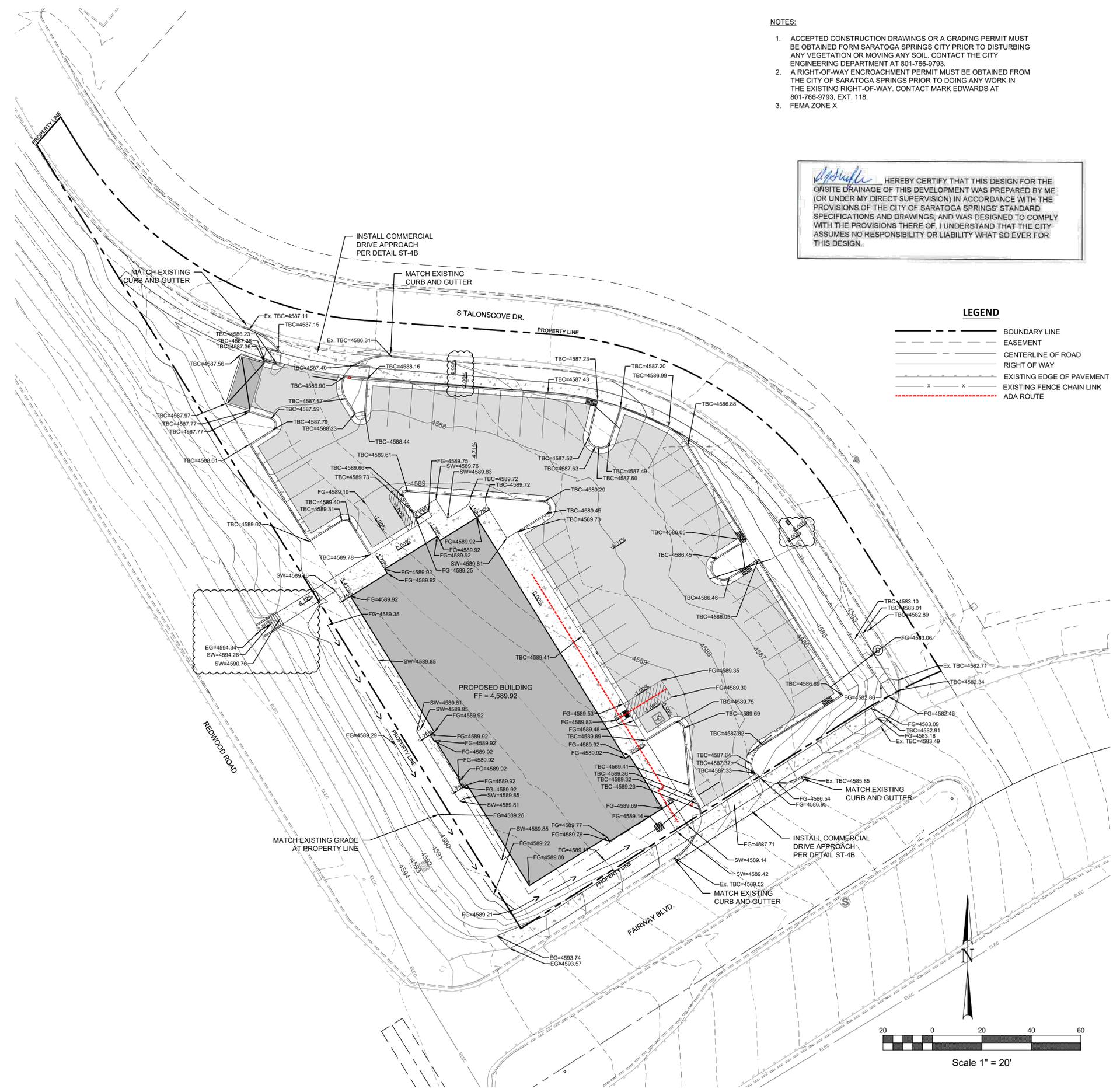
BENCHMARK
 A FOUND UTAH COUNTY MONUMENT LOCATED AT THE INTERSECTION OF FAIRWAY BLVD AND SOUTH TALONS COVE DRIVE LOCATED IN THE SOUTHWEST QUARTER OF SECTION 1, TOWNSHIP 6 SOUTH, RANGE 1 WEST, SALT LAKE BASE & MERIDIAN, LOCATED WITHIN TALONS COVE SUBDIVISION "PLAT A", 2253 SOUTH TALONS COVE DRIVE, SARATOGA SPRINGS, UTAH ELEVATION: 4710.00

- NOTES:**
- ACCEPTED CONSTRUCTION DRAWINGS OR A GRADING PERMIT MUST BE OBTAINED FROM SARATOGA SPRINGS CITY PRIOR TO DISTURBING ANY VEGETATION OR MOVING ANY SOIL. CONTACT THE CITY ENGINEERING DEPARTMENT AT 801-766-9793.
 - A RIGHT-OF-WAY ENCROACHMENT PERMIT MUST BE OBTAINED FROM THE CITY OF SARATOGA SPRINGS PRIOR TO DOING ANY WORK IN THE EXISTING RIGHT-OF-WAY. CONTACT MARK EDWARDS AT 801-766-9793, EXT. 118.
 - FEMA ZONE X

HEREBY CERTIFY THAT THIS DESIGN FOR THE ON-SITE DRAINAGE OF THIS DEVELOPMENT WAS PREPARED BY ME (OR UNDER MY DIRECT SUPERVISION) IN ACCORDANCE WITH THE PROVISIONS OF THE CITY OF SARATOGA SPRINGS' STANDARD SPECIFICATIONS AND DRAWINGS, AND WAS DESIGNED TO COMPLY WITH THE PROVISIONS THEREOF. I UNDERSTAND THAT THE CITY ASSUMES NO RESPONSIBILITY OR LIABILITY WHATSOEVER FOR THIS DESIGN.

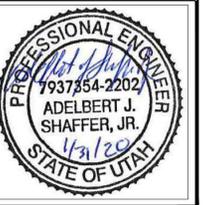
LEGEND

	BOUNDARY LINE
	EASEMENT
	CENTERLINE OF ROAD
	RIGHT OF WAY
	EXISTING EDGE OF PAVEMENT
	EXISTING FENCE CHAIN LINK
	ADA ROUTE



VINCENT DESIGN GROUP, INC.
ARCHITECTS AND PLANNERS

401 EAST 1700 SOUTH, SALT LAKE CITY, UTAH - (801-484-2046)



FAIRWAY OFFICE PARK
BUILDING 1
 2232 SOUTH TALONS COVE DR.
 SARATOGA SPRINGS, UTAH

GRADING AND DRAINAGE PLAN

ARCH. PROJECT NO: XX-XXX
DATE: 10/29/19
DRAWN BY: SK
CHECKED BY:
DESIGNED BY:

DATE	REVISION

SHEET TITLE
C-400
 ARCHITECTURAL 8 of 13

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SECTION A-A - APPROACH REQUIRING SERVICE TRUCK ACCESS

STREET TYPE	LENGTH
RESIDENTIAL	6" 6" 5 FT.
OTHER	24" 8" 5 TO 25 FT.

SECTION A-A - TYPICAL DRIVEWAY APPROACH

STREET TYPE	BREAK OVER ANGLE (MAXIMUM)
RESIDENTIAL	15% 12% 16%
OTHER	8% 8% 10%

NOTES:

- EDGE CONCRETE WITH 1/2" RADIUS EDGING TOOL.
- PLACE 1/2" EXPANSION JOINT BETWEEN DRIVEWAY APRON AND CURB AND IN THE DRIVEWAY CENTERLINE IF "W" IS GREATER THAN 20'. FILLER MATERIAL SHALL BE FULL DEPTH OF CONCRETE PLUS 1". WITH TOP SET FLUSH WITH TOP OF CONCRETE.
- USE UNTREATED ROADBASE UNDER CURB, GUTTER AND SIDEWALK. COMPACT TO 95% OF THE MAXIMUM DRY DENSITY.
- ALL CONCRETE SLABS WITH A LENGTH/WIDTH RATIO GREATER THAN 2:1 SHALL HAVE CONTRACTION JOINTS INSTALLED AS REQUIRED TO STAY WITHIN 2:1 RATIO.
- BACK EDGE OF SIDEWALK TO BE SET AT AN ELEVATION 2% HIGHER THAN THE TOP BACK OF CURB.
- SIDEWALK TO BE A MINIMUM OF 5 FEET WIDE UNLESS OTHERWISE SPECIFIED.
- MATERIALS, CONSTRUCTION, AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH CITY'S STANDARD SPECIFICATIONS.

COMMERCIAL DRIVE APPROACH

DATE: AUGUST 2017
DRAWING NAME: ST-4B
DRAWN BY: ETL
CHECKED: APPROVED

REVISIONS: COMMENTS

SARATOGA SPRINGS CITY

ST-4B

1 COMMERCIAL DRIVE APPROACH
NTS

RESIDENTIAL 24" HIGH BACK CURB & GUTTER

DATE: AUGUST 2017
DRAWING NAME: ST-2B
DRAWN BY: ETL
CHECKED: APPROVED

REVISIONS: COMMENTS

SARATOGA SPRINGS CITY

ST-2B

3 CURB AND GUTTER
NTS

SIDEWALK, CURB & GUTTER STANDARDS

DATE: AUGUST 2017
DRAWING NAME: ST-1
DRAWN BY: ETL
CHECKED: APPROVED

REVISIONS: COMMENTS

SARATOGA SPRINGS CITY

ST-1

5 SIDEWALK, CURB AND GUTTER STANDARDS
NTS

ADA ACCESSIBLE RAMP

DATE: AUGUST 2017
DRAWING NAME: ST-5C
DRAWN BY: ETL
CHECKED: APPROVED

REVISIONS: COMMENTS

SARATOGA SPRINGS CITY

ST-5C

2 ADA ACCESSIBLE RAMP
NTS

FALL-OUT CURB & GUTTER

DATE: AUGUST 2017
DRAWING NAME: ST-2D
DRAWN BY: ETL
CHECKED: APPROVED

REVISIONS: COMMENTS

SARATOGA SPRINGS CITY

ST-2D

4 FALL-OUT CURB AND GUTTER
NTS

ADA ACCESSIBLE RAMP

DATE: AUGUST 2017
DRAWING NAME: ST-5B
DRAWN BY: ETL
CHECKED: APPROVED

REVISIONS: COMMENTS

SARATOGA SPRINGS CITY

ST-5B

ITEM	SLOPE TABLE	
	MAX. RUNNING SLOPE	MAX. CROSS SLOPE
(a) LANDING	2% (1V:48H) (b)	2% (1V:48H) (b)
(b) RAMP	8.33% (1V:12H) (c)	2% (1V:48H) (g)
(c) TRANSITION	5% (1V:20H) (c)	2% (1V:48H) (g)
(d) SIDEWALK	10% (1V:10H)	2% (1V:48H)
(e) FLARE	10% (1V:10H)	--

NOTES:

- CONFIGURATION OF RAMPS AND LANDINGS MAY BE CHANGED BUT MUST MEET PEDESTRIAN RAMP DIMENSION AND SLOPE REQUIREMENTS. SPECIFIC SITE CONDITIONS WILL VARY. THE USE OF FLARES, CURBS, ETC. ARE AT THE DISCRETION OF THE ENGINEER.
- PERPENDICULAR AND PARALLEL PEDESTRIAN RAMPS SHOWN ON THIS DRAWING ARE ACCEPTABLE FOR USE AT MID-BLOCK OR CORNER INSTALLATIONS. REFER TO STD DWG ST 5C, 5D AND ST 5C FOR EXAMPLES OF CORNER INSTALLATIONS.
- PROVIDE DETECTABLE WARNING SURFACE FOR FULL WIDTH OF RAMP, LANDING, OR CURB CUT. SEE DETAIL A, DWG 5A, FOR DETECTABLE WARNING SURFACE DIMENSIONS.
- LOCATE DETECTABLE WARNING SURFACE SO THAT THE EDGE NEAREST THE STREET IS 6" TO 8" FROM THE CURB LINE.
- PROVIDE DETECTABLE WARNING SURFACE THAT CONTRASTS WITH ADJACENT WALKING SURFACE, EITHER LIGHT-ON-DARK OR DARK-ON-LIGHT. ACCEPTABLE COLORS INCLUDE: YELLOW.
- USE CLASS (A)(A) CONCRETE.
- USE UNTREATED BASE COURSE UNDER ALL CONCRETE FLATWORK.

6 ADA ACCESSIBLE RAMP
NTS



VINCENT DESIGN GROUP, INC.
ARCHITECTS AND PLANNERS

VDC

401 EAST 1700 SOUTH, SALT LAKE CITY, UTAH - (801-484-2046)

PROFESSIONAL ENGINEER
7937354-2202
ADELBERT J. SHAFFER, JR.
STATE OF UTAH

FAIRWAY OFFICE PARK
BUILDING 1

2232 SOUTH TALONS COVE DR.
SARATOGA SPRINGS, UTAH

TYPICAL DETAILS

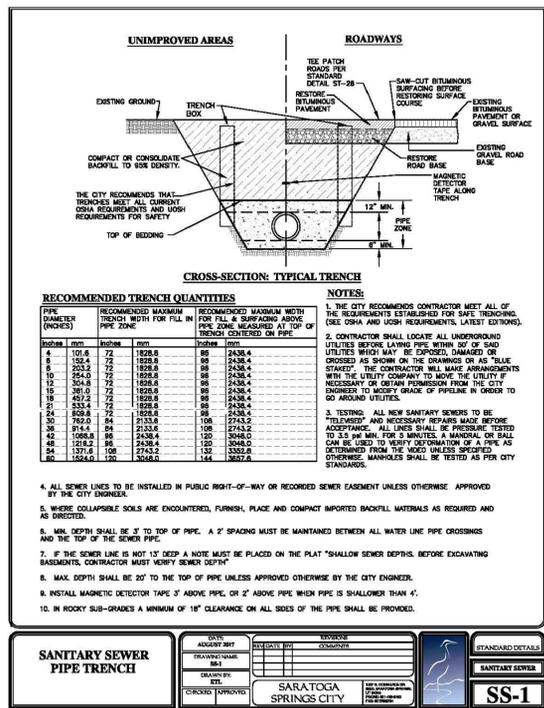
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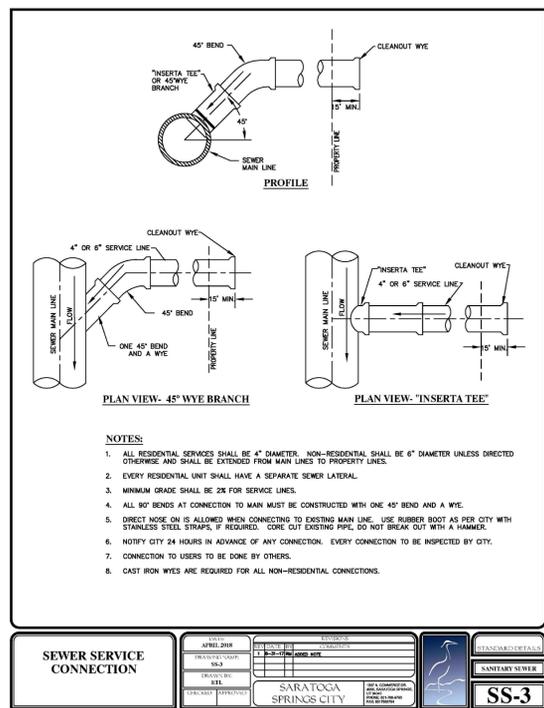
DATE	REVISION

SHEET TITLE
C-600
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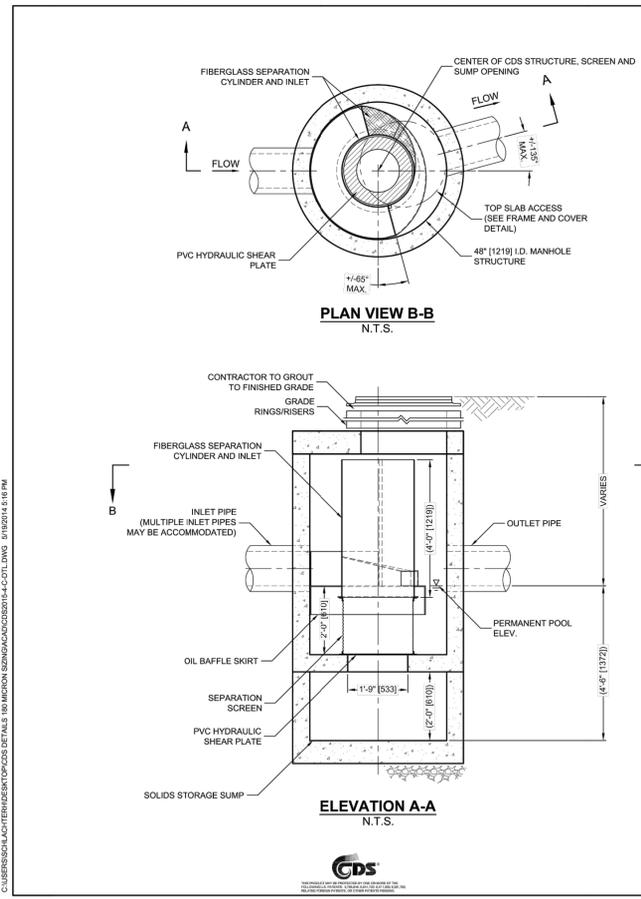
SANITARY SEWER PIPE TRENCH	DATE: 10/29/19	REVISION: 1	STANDARD DETAILS: SS-1
DESIGNED BY: [Signature]	DRAWN BY: [Signature]	CHECKED BY: [Signature]	DATE: 10/29/19
SARATOGA SPRINGS CITY			



SEWER SERVICE CONNECTION	DATE: 10/29/19	REVISION: 1	STANDARD DETAILS: SS-3
DESIGNED BY: [Signature]	DRAWN BY: [Signature]	CHECKED BY: [Signature]	DATE: 10/29/19
SARATOGA SPRINGS CITY			

1 SANITARY SEWER PIPE TRENCH
NTS

2 SEWER SERVICE CONNECTION
NTS

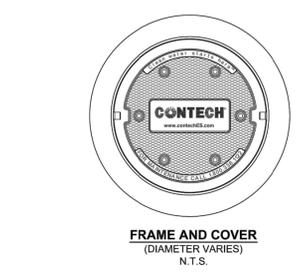


CDS 1515-3-C DESIGN NOTES

THE STANDARD CDS2015-4-C CONFIGURATION IS SHOWN. ALTERNATE CONFIGURATIONS ARE AVAILABLE AND ARE LISTED BELOW. SOME CONFIGURATIONS MAY BE COMBINED TO SUIT SITE REQUIREMENTS.

CONFIGURATION DESCRIPTION

GRATED INLET ONLY (NO INLET PIPE)
GRATED INLET WITH INLET PIPE OR PIPES
CURB INLET ONLY (NO INLET PIPE)
CURB INLET WITH INLET PIPE OR PIPES
SEPARATE OIL BAFFLE (SINGLE INLET PIPE REQUIRED FOR THIS CONFIGURATION)
SEDIMENT WEIR FOR NJDEP / NJCAT CONFORMING UNITS



SITE SPECIFIC DATA REQUIREMENTS

STRUCTURE ID:	
WATER QUALITY FLOW RATE (CFS OR L/s):	0.21 CFS
PEAK FLOW RATE (CFS OR L/s):	0.21 CFS
RETURN PERIOD OF PEAK FLOW (YRS):	100 YR
SCREEN APERTURE (2400 OR 4700):	*
PIPE DATA:	I.E. MATERIAL DIAMETER
INLET PIPE 1:	4575.07 RCP 18 INCH
INLET PIPE 2:	* * *
OUTLET PIPE:	4575.07 RCP 18 INCH
RIM ELEVATION:	4582.89
ANTI-FLOTATION BALLAST:	WIDTH HEIGHT
NOTES/SPECIAL REQUIREMENTS:	
* PER ENGINEER OF RECORD	

- GENERAL NOTES**
- CONTECH TO PROVIDE ALL MATERIALS UNLESS NOTED OTHERWISE.
 - DIMENSIONS MARKED WITH () ARE REFERENCE DIMENSIONS. ACTUAL DIMENSIONS MAY VARY.
 - FOR FABRICATION DRAWINGS WITH DETAILED STRUCTURE DIMENSIONS AND WEIGHTS, PLEASE CONTACT YOUR CONTECH ENGINEERED SOLUTIONS LLC REPRESENTATIVE: www.contechES.com
 - CDS WATER QUALITY STRUCTURE SHALL BE IN ACCORDANCE WITH ALL DESIGN DATA AND INFORMATION CONTAINED IN THIS DRAWING.
 - STRUCTURE SHALL MEET AASHTO HS20 AND CASTINGS SHALL MEET HS20 (AASHTO M 306) LOAD RATING, ASSUMING GROUNDWATER ELEVATION AT, OR BELOW, THE OUTLET PIPE INVERT ELEVATION. ENGINEER OF RECORD TO CONFIRM ACTUAL GROUNDWATER ELEVATION.
 - PVC HYDRAULIC SHEAR PLATE IS PLACED ON SHELF AT BOTTOM OF SCREEN CYLINDER. REMOVE AND REPLACE AS NECESSARY DURING MAINTENANCE CLEANING.
- INSTALLATION NOTES**
- ANY SUB-BASE, BACKFILL DEPTH, AND/OR ANTI-FLOTATION PROVISIONS ARE SITE-SPECIFIC DESIGN CONSIDERATIONS AND SHALL BE SPECIFIED BY ENGINEER OF RECORD.
 - CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE CDS MANHOLE STRUCTURE (LIFTING CLUTCHES PROVIDED).
 - CONTRACTOR TO ADD JOINT SEALANT BETWEEN ALL STRUCTURE SECTIONS, AND ASSEMBLE STRUCTURE.
 - CONTRACTOR TO PROVIDE, INSTALL, AND GROUT PIPES. MATCH PIPE INVERTS WITH ELEVATIONS SHOWN.
 - CONTRACTOR TO TAKE APPROPRIATE MEASURES TO ASSURE UNIT IS WATER TIGHT, HOLDING WATER TO FLOWLINE INVERT MINIMUM. IT IS SUGGESTED THAT ALL JOINTS BELOW PIPE INVERTS ARE GROUTED.

CONTECH ENGINEERED SOLUTIONS LLC www.contechES.com 9025 Centre Pointe Dr., Suite 400, West Chester, OH 45399 900-338-1122 513-645-7000 513-645-7993 FAX	CDS 1515-3-C INLINE CDS STANDARD DETAIL
--	--

VINCENT DESIGN GROUP, INC.
ARCHITECTS AND PLANNERS

VDC

401 EAST 1700 SOUTH, SALT LAKE CITY, UTAH - (801)-484-2046

PROFESSIONAL ENGINEER
7937354-2202
ADELBERT J. SHAFFER, JR.
10/29/19
STATE OF UTAH

FAIRWAY OFFICE PARK
BUILDING 1

2232 SOUTH TALONS COVE DR.
SARATOGA SPRINGS, UTAH

TYPICAL DETAILS

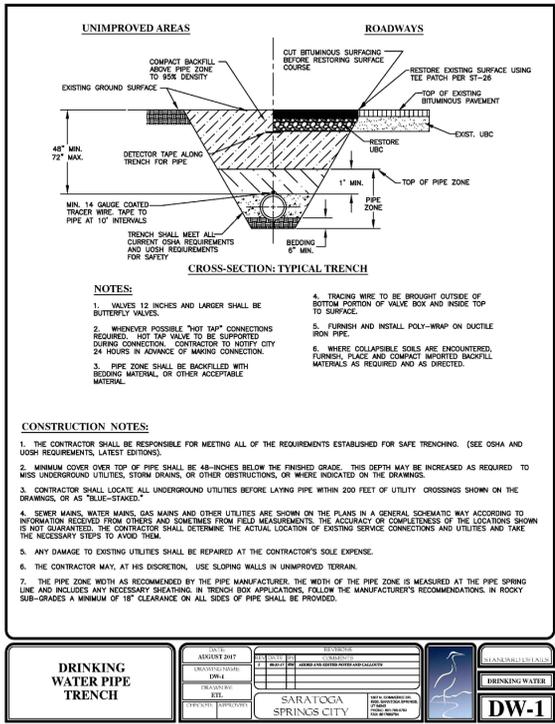
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DRINKING WATER PIPE TRENCH

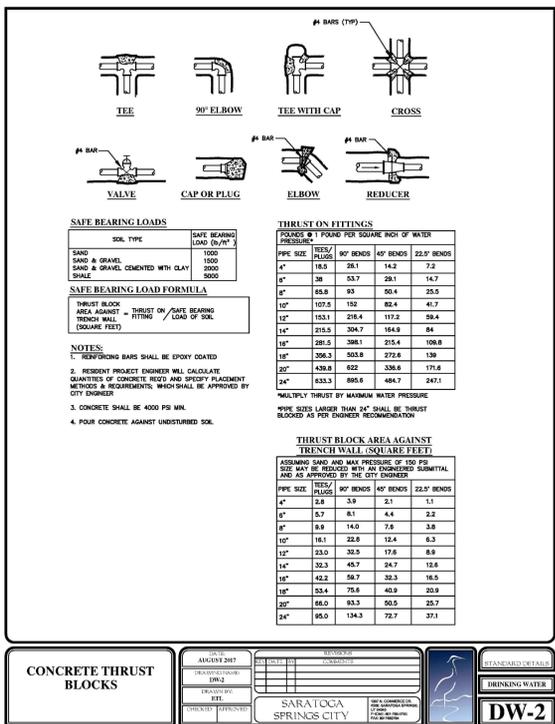
AGENCY: SARATOGA SPRINGS CITY

PROJECT: DW-1

DATE: 11/19/14

DESIGNED BY: JLM

CHECKED BY: JLM



CONCRETE THRUST BLOCKS

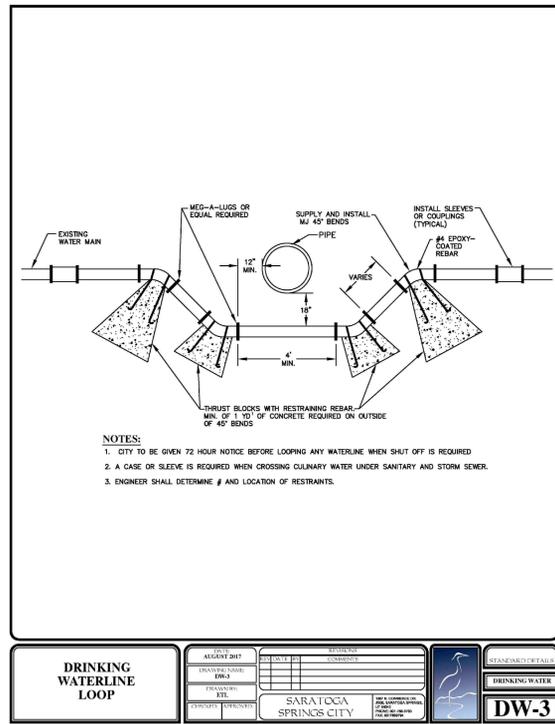
AGENCY: SARATOGA SPRINGS CITY

PROJECT: DW-2

DATE: 11/19/14

DESIGNED BY: JLM

CHECKED BY: JLM



DRINKING WATERLINE LOOP

AGENCY: SARATOGA SPRINGS CITY

PROJECT: DW-3

DATE: 11/19/14

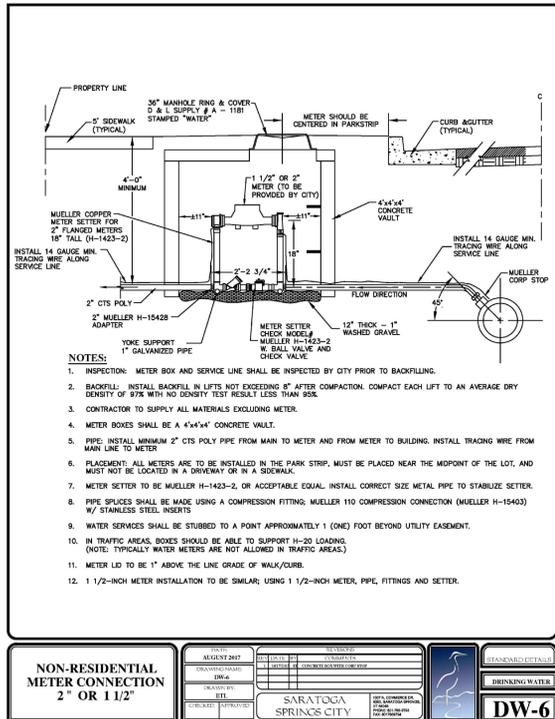
DESIGNED BY: JLM

CHECKED BY: JLM

1 DRINKING WATER PIPE TRENCH
NTS

2 CONCRETE THRUST BLOCKS
NTS

3 DRINKING WATERLINE LOOP
NTS



NON-RESIDENTIAL METER CONNECTION 2" OR 1 1/2"

AGENCY: SARATOGA SPRINGS CITY

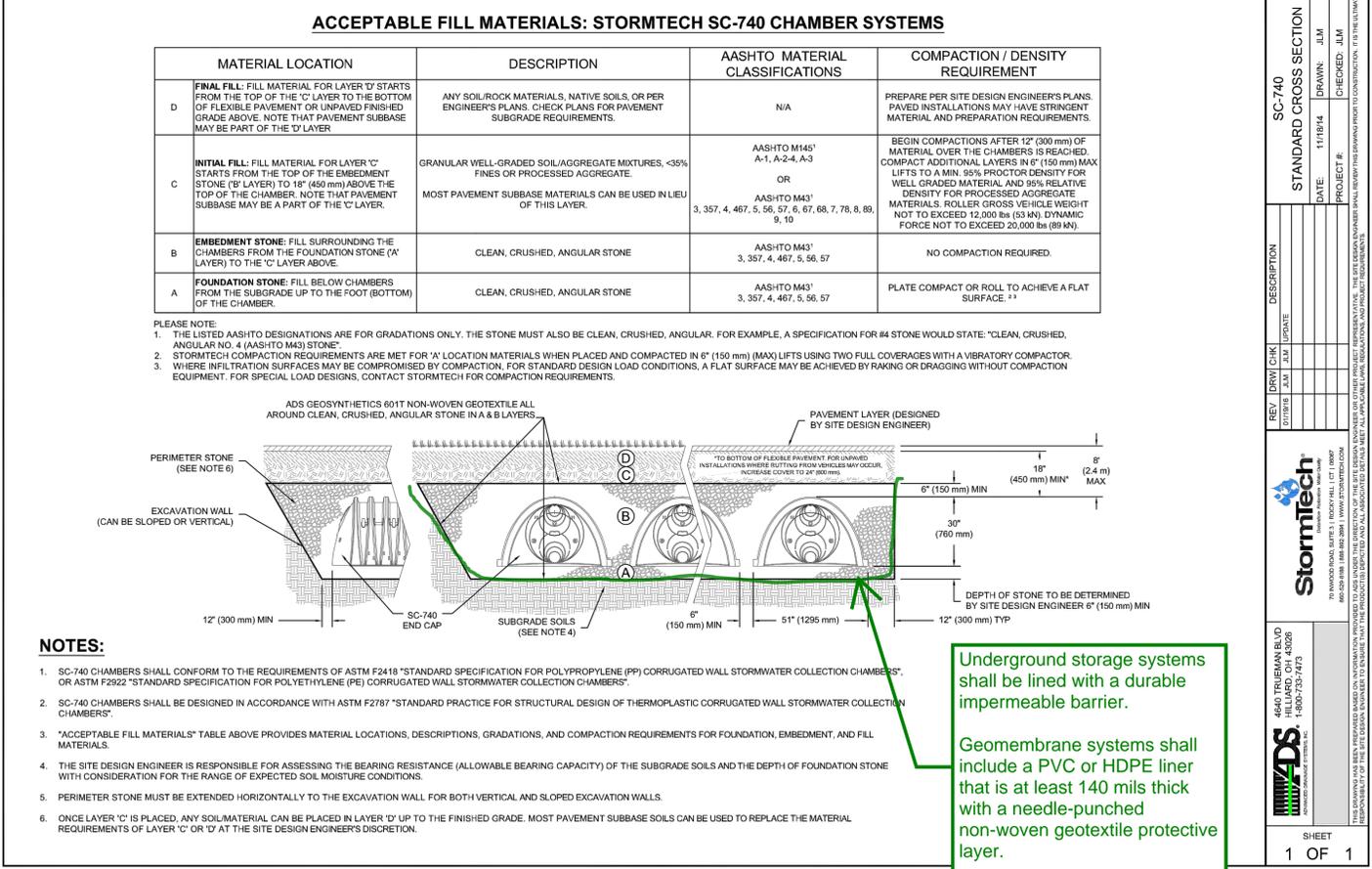
PROJECT: DW-6

DATE: 11/19/14

DESIGNED BY: JLM

CHECKED BY: JLM

4 EXISTING METER VAULT 2-INCH
NTS



5 STORMTECH DETAIL
NTS

VINCENT DESIGN GROUP, INC.
ARCHITECTS AND PLANNERS

VDC

401 EAST 1700 SOUTH, SALT LAKE CITY, UTAH - (801) 484-2046

PROFESSIONAL ENGINEER

7937354-2202

ADELBERT J. SHAFFER, JR.

11/19/14

STATE OF UTAH

FAIRWAY OFFICE PARK
BUILDING 1

2232 SOUTH TALONS COVE DR.
SARATOGA SPRINGS, UTAH

TYPICAL DETAILS

ARCH. PROJECT NO: XX-XXX

DATE: 10/29/19

DRAWN BY: SK

CHECKED BY:

DESIGNED BY:

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C-603

CIVIL 13 of 13

GENERAL CONSTRUCTION NOTES:

1. PRIOR TO BIDDING THE WORK, THE CONTRACTOR SHALL THOROUGHLY SATISFY HIMSELF AS TO THE ACTUAL CONDITIONS, REQUIREMENTS OF THE WORK AND EXCESS OR DEFICIENCY IN QUANTITIES, IF ANY. NO CLAIM SHALL BE MADE AGAINST THE OWNER/DEVELOPER OR LANDSCAPE DESIGNER FOR EXCESS OR DEFICIENCY THEREIN, ACTUAL OR RELATIVE.
2. THE LANDSCAPE DESIGNER WILL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, SEQUENCES OF PROCEDURES OR FOR SAFETY PRECAUTIONS OR PROGRAMS UTILIZED IN CONNECTION WITH THE WORK, AND WILL NOT BE RESPONSIBLE FOR THE CONTRACTOR'S FAILURE TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
3. QUANTITIES SHOWN ARE THE BEST ESTIMATE OF THE LANDSCAPE DESIGNER. THE CONTRACTOR SHALL MAKE HIS OWN INDEPENDENT ESTIMATE OF QUANTITIES AND BASE HIS BID THEREON.
4. THE CONTRACTOR SHALL MAKE NO CLAIM AGAINST THE OWNER OR THE LANDSCAPE DESIGNER REGARDING ALLEGED INACCURACY OF CONSTRUCTION STAKES. REMEDIAL WORK REQUIRED TO CORRECT ANY ITEMS OR IMPROPER CONSTRUCTION WORK SHALL BE PERFORMED AT THE SOLE EXPENSE OF THE RESPONSIBLE CONTRACTOR OR SUBCONTRACTOR.
5. NOTHING CONTAINED IN THE CONTRACT DOCUMENTS SHALL CREATE, NOR SHALL BE CONSTRUED TO CREATE A CONTRACTUAL RELATIONSHIP BETWEEN THE LANDSCAPE DESIGNER AND THE CONTRACTOR OR SUBCONTRACTOR.
6. IT SHALL BE THE RESPONSIBILITY OF THE BIDDER TO VERIFY QUANTITIES INCLUDING EXCAVATION, BORROW, EMBANKMENT, SHRINK, OR SWELL, GROUND COMPACTION, HAUL AND OTHER ITEMS AFFECTING HIS BID TO COMPLETE THE GRADING TO THE ELEVATIONS SHOWN ON THE PLANS AND TO BASE HIS BID SOLELY UPON HIS OWN VERIFIED QUANTITIES. IT SHALL BE THE BIDDER'S RESPONSIBILITY TO NOTIFY THE LANDSCAPE DESIGNER OF MAJOR DISCREPANCIES PRIOR TO CONSTRUCTION.

PLANTING NOTES:

1. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY QUANTITIES INCLUDING TREES, GROUNDCOVERS, MULCH AND OTHER ITEMS SHOWN ON THE PLANS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE OWNER'S REPRESENTATIVE OF MAJOR DISCREPANCIES PRIOR TO CONSTRUCTION. SOME ADJUSTMENT IN THE FIELD MAY BE REQUIRED PER OWNER DISCRETION.
2. THE CONTRACTOR SHALL STAKE THE LOCATION OF PLANT MATERIAL AND SHALL HAVE LOCATIONS APPROVED BY THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
3. GROUNDCOVERS SHALL BE PLANTED A MINIMUM OF 3' FROM EDGE OF WALKS, WALLS, BUILDINGS, AND CURBS UNLESS OTHERWISE DIRECTED BY THE OWNER'S REPRESENTATIVE.
4. BARK MULCH - AREAS NOT OTHERWISE COVERED BY TURF, PAVING, GROUNDCOVER OR BUILDINGS SHALL RECEIVE A MINIMUM OF 3" THICKNESS OF BARK MULCH. A MULCH SAMPLE SHALL BE SUBMITTED TO LANDSCAPE DESIGNER OR OWNER FOR APPROVAL PRIOR TO INSTALLATION.
5. STONE MULCH - AREAS NOTED ON PLANS FOR STONE MULCH SHALL RECEIVE A MINIMUM OF 3" THICKNESS OF MULCH. A STONE MULCH SAMPLE SHALL BE SUBMITTED TO OWNER FOR APPROVAL PRIOR TO INSTALLATION.
6. AREAS TO RECEIVE STONE MULCH TO BE SPRAYED WITH A CONTACT HERBICIDE AND SHALL BE COVERED WITH DEWITTS PRO-5 WEED BARRIER FABRIC OR APPROVED EQUAL. OVERLAP SEAMS 6 INCHES AND STAPLE AT 5 FEET ON CENTER EACH WAY WITH 2 AT EACH CORNER. CONTRACTOR SHALL ALSO APPLY A PRE-EMERGENT HERBICIDE PER MANUFACTURERS RECOMMENDATIONS.
7. ALL PLANT MATERIALS SHALL MEET ANLA & ANSI STANDARD SPECIFICATIONS. PLANT MATERIALS SHALL BE ORDERED BY BOTANICAL NAME. SUBSTITUTIONS SHALL NOT BE ALLOWED UNLESS AUTHORIZED IN WRITING AND IN ADVANCE, BY THE OWNER'S REPRESENTATIVE.
8. OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO REJECT ANY PLANT MATERIAL DEEMED UNACCEPTABLE. PLANT MATERIAL SHALL BE WARRANTIED BY THE CONTRACTOR FOR 1 YEAR AFTER INSTALLATION HAS BEEN ACCEPTED AS COMPLETE.
9. PRIOR TO COMMENCMENT OF WORK, THE CONTRACTOR SHALL VERIFY LOCATIONS AND DEPTHS OF UNDERGROUND UTILITY INSTALLATIONS THAT MAY BE AFFECTED BY HIS WORK AND SHALL BE RESPONSIBLE FOR DAMAGES TO SUCH INSTALLATIONS CAUSED AS A RESULT OF LANDSCAPE INSTALLATIONS.
10. CONTRACTOR SHALL BE RESPONSIBLE TO MAINTAIN SODDED AREAS AND ALL PLANT MATERIALS FOR A PERIOD OF 90 DAYS AND 120 DAYS FOR SEEDED AREAS. UPON COMPLETION OF THE MAINTENANCE PERIOD, THE OWNER WILL ASSUME MAINTENANCE RESPONSIBILITIES.
11. ACCEPTABLE TOPSOIL, WHETHER IMPORTED OR FROM SITE, SHALL BE FERTILE, LOOSE, FRIABLE SOIL MEETING THE FOLLOWING REQUIREMENTS:

CHEMICAL CHARACTERISTICS

- 1) pH: 5.5-8.0
- 2) EC (ELECTRICAL CONDUCTIVITY): < 3.0 MMHOS/CM
- 3) SAR (SODIUM ADSORPTION RATIO): < 6.0

PHYSICAL CHARACTERISTICS

- 1) SAND: 15 TO 60%
- 2) SILT: 10 TO 60%
- 3) CLAY: 5 TO 30%
- 4) ORGANIC MATTER: > 1%
- 5) CLEAN AND FREE FROM TOXIC MINERALS AND CHEMICALS, NOXIOUS WEEDS, ROCKS LARGER THAN 1/2 INCH 38 MM IN ANY DIMENSION, AND OTHER OBJECTIONABLE MATERIALS.
- 6) SOIL SHALL NOT CONTAIN MORE THAN 2% BY VOLUME OF ROCKS MEASURING OVER 3/32 INCH 2 MM IN LARGEST SIZE.

TOPSOIL SHOULD BE NATURAL, FERTILE, FRIABLE LOAM, CAPABLE OF SUSTAINING VIGOROUS PLANT GROWTH, FREE OF SUBSOIL, ROOTS, GRASS, AN EXCESSIVE AMOUNT OF WEEDS, STONE AND FOREIGN MATTER. OBTAIN ADDITIONAL TOPSOIL FROM LOCAL SOURCES OR FROM AREAS HAVING SIMILAR SOIL CHARACTERISTICS TO THAT FOUND AT THE PROJECT SITE. IF EXISTING TOPSOIL IS TO BE USED OBTAIN TOPSOIL ONLY FROM NATURALLY WELL-DRAINED SITES WHERE TOPSOIL OCCURS IN A DEPTH OF NOT LESS THAN FOUR (4) INCHES. TOPSOIL SHALL CONFORM TO QUALITY CONTROL STANDARDS STATED ABOVE.

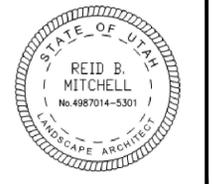
IRRIGATION NOTES:

1. THE IRRIGATION SYSTEM SHOWN IS SCHEMATIC AND APPROXIMATE. ACTUAL PLACEMENT MAY VARY SLIGHTLY AS REQUIRED TO ACHIEVE FULL, EVEN COVERAGE WITHOUT EXCESSIVE SPRAYING ONTO SIDEWALKS, FENCES, ETC. LOCATE LINES IN NON-PAVED AREAS WHERE POSSIBLE. NO TEES, ELS, OR OTHER CONNECTIONS SHALL BE PLACED UNDER A PAVED AREA IF POSSIBLE. SPECIFIC EMITTERS AND LOCATIONS ARE NOT SHOWN ON THE PLAN AND ARE SUBJECT TO FIELD ADJUSTMENT. THE ENDS OF ALL LATERALS SHALL HAVE AN AUTOMATIC DRAIN.
2. IRRIGATION CONTRACTOR SHALL VERIFY WATER PRESSURE ON-SITE PRIOR TO BEGINNING WORK. IF DISCREPANCY EXISTS BETWEEN WATER PRESSURE TESTED ON-SITE AND THAT NOTED ON PLAN, CONTRACTOR SHALL IMMEDIATELY NOTIFY LANDSCAPE ARCHITECT. SYSTEM IS DESIGNED BASED UPON 40PSI STATIC PRESSURE AT ALL P.O.C. (POINT OF CONNECTION) LOCATIONS. THE DESIGN OPERATING PRESSURE FOR EACH VALVE IS 35 PSI.
3. CONTRACTOR SHALL FURNISH AND INSTALL MATERIAL AND EQUIPMENT PERTAINING TO THE IRRIGATION SYSTEM HEREIN SPECIFIED OR SHOWN ON THE DRAWINGS. THIS SHALL INCLUDE ALL ITEMS OF A MINOR NATURE NECESSARY TO COMPLETE INSTALLATION.
4. THE CONTRACTOR SHALL MAKE NECESSARY IN-FIELD ADJUSTMENTS TO AVOID OBSTRUCTIONS OR COMPENSATE FOR DIFFERENCES BETWEEN THE SITE AND PLAN. THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR REVISION OF MAJOR DEPARTURES FROM THE PLAN WITHOUT WRITTEN APPROVAL FROM THE OWNER. CONTRACTOR TO PROVIDE THE APPROPRIATE DEGREE OF ARC IN EACH HEAD THAT PROVIDES HEAD-TO-HEAD COVERAGE WITHOUT EXCESSIVE OVERSPRAY ONTO WALKS, BUILDINGS, ROADS, ETC.
5. IRRIGATION CONTRACTOR SHALL OBTAIN APPROVAL FROM THE OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO RELOCATING OR ALTERING SPRINKLER HEADS, VALVES, PIPING, ETC. DUE TO A CHANGE IN OR UNKNOWN SITE CONDITIONS.
6. IRRIGATION CONTRACTOR TO CAP ALL FLUSH CAP ENDS HAND TIGHT BEFORE BACKFILL.
7. ALL VALVE AND FLUSH BOX COVERS SHALL MATCH GROUND COVER. GREEN COVERS TO BE IN TURF AND TAN COVERS IN PLANTING BEDS.
8. EACH REMOTE CONTROL VALVE SHALL BE CONNECTED TO AN AUTOMATIC CONTROLLER WITH #14 PILOT WIRE AND #14 COMMON WIRE - TYPE U.F., COPPER, U.L. APPROVED, SOLID STRAND.
9. ALL AUTOMATIC CONTROLLERS, RISERS, BACKFLOW PREVENTERS AND HOSE BIBS SHALL BE SET PLUMB. SPRINKLER HEAD RISERS, QUICK COUPLER VALVES AND ALL VALVES WITH STEMS SHALL BE SET PERPENDICULAR TO FINISH GRADE.
10. IRRIGATION CONTRACTOR SHALL COORDINATE WORK W/ PLANTING PLANS TO AVOID CONFLICTING LOCATIONS BETWEEN PIPING AND PLANT PITS.
11. ALL MATERIALS SHALL BE INSTALLED AS DETAILED IN THE PLANS. IF THE CONTRACT DRAWINGS AND/OR SPECIFICATIONS DO NOT THOROUGHLY DESCRIBE THE METHOD OR TECHNIQUES TO BE USED, THEN THE CONTRACTOR SHALL INSTALL PER MANUFACTURERS SPECIFICATIONS. IF A CONTRADICTION OCCURS, NOTIFY THE OWNER IMMEDIATELY.
12. ADJUST HEADS AND BUBBLERS (IF APPLICABLE) FOR PROPER HEAD TO HEAD COVERAGE.
13. USE SCH 40 PVC PIPE FROM WATER OR SHUT OFF VALVE TO BACKFLOW PREVENTER.
14. IRRIGATION CONTRACTOR TO USE TEFLON TAPE ON ALL THREADED JOINTS.
15. EACH DRIPLINE ZONE IS REQUIRED TO HAVE AN AIR RELIEF VALVE AND FLUSH VALVE. THE FLUSH VALVE IS TO BE INSTALLED AT THE LOWEST POINT OF THE ZONE.
16. BRAND EACH VALVE BOX W/ 2" LETTERING SHOWING ZONE NUMBER (EX. Z1) THIS STAMP IS TO MATCH THE ZONE AND CONTROLLER ASSOCIATED WITH THE VALVE'S OPERATION.
17. EXTEND ALL SLEEVES 1'-0" INTO EACH PLANTING AREA.
18. NO PIPES SHALL BE INSTALLED PARALLEL AND DIRECTLY OVER ANOTHER LINE. MINIMUM HORIZONTAL CLEARANCE FOR SLEEVES FOR THIS PROJECT SHALL BE 3 INCHES. CLEARANCE FROM LINE OF OTHER TRADES SHALL BE 6 INCHES.
19. CONTROL WIRING SHALL HAVE A 1" MINIMUM CONDUIT WITHIN THE SLEEVE.
20. SLEEVE LOCATIONS SHALL BE SHOWN ON THE RECORD DRAWINGS.
21. ALL SLEEVES SHALL BE CAPPED AND KEPT CLEAR OF DIRT AND DEBRIS.

22. INSTALL A 36" LENGTH OF #4 REBAR ADJACENT TO EACH END OF THE SLEEVE. TOP OF ROD SHALL BE THREE INCHES BELOW FINISH GRADE. A SECTION OF SURVEYOR'S VINYL TAPE SHALL BE TIED TO THE END OF THE ROD AND BROUGHT TO THE SURFACE. THE TAPE SHALL BE VISIBLE UNTIL ALL WORK IS COMPLETED.
23. ALL SLEEVES TO BE SCHEDULE 40 PVC. USE FULL LENGTHS WHERE POSSIBLE. SOLVENT WELD ALL FITTINGS WITH APPROPRIATE PRIMER AND SOLVENT. ANY REQUIRED ADDITIONAL FITTINGS TO BE SCHEDULE 40.
24. VALVES W/ LESS THAN 3 GPM SHALL RECEIVE A RAINBIRD RBY SERIES Y-STRAINER OR EQUAL UPSTREAM.
25. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL IRRIGATION SLEEVING. COORDINATE INSTALLATION WITH GENERAL CONTRACTOR. VERIFY ANY EXISTING SLEEVES INSTALLED BY OTHER CONTRACTORS.
26. PRIOR TO OWNERS APPROVAL, AN IRRIGATION "TUNE-UP" SHALL BE PERFORMED AS FOLLOWS:
 - a. ALL IRRIGATION EQUIPMENT (INCLUDING ALL PIPELINES AND SLEEVES) TO BE DOCUMENTED FROM TWO STATIONARY POINTS.
 - b. ALL DRIP SYSTEMS TO BE FLUSHED BEGINNING WITH THE Y-STRAINER, AND WORKING AWAY FROM PRESSURE REGULATOR.
 - c. IRRIGATION VALVES STATION NUMBER, CONTROLLER DESIGNATION, AND LOCATION ARE TO BE DOCUMENTED ON A SHEET OF PAPER. THIS SHEET TO BE PLACED IN A PLASTIC POUCH AND ATTACHED TO THE INSIDE OF CONTROLLER, AN ADDITIONAL COPY SHALL BE PROVIDED TO OWNER.
27. CONTRACTOR SHALL PERFORM THE FOLLOWING:
 - a. VISIT SITE AND VERIFY EXISTING GRADES, CONSTRUCTION AND CONDITIONS.
 - b. VERIFY UTILITY LOCATIONS PRIOR TO CONSTRUCTION AND MAKE ANY NOTIFICATIONS REQUIRED.
 - c. NOTIFY OWNER OF DISCREPANCIES BETWEEN PLAN AND FIELD.
 - d. RESTORE DAMAGED AREAS CAUSED BY CONTRACTOR TO THE SATISFACTION OF THE OWNER.
 - e. BE SATISFIED THAT THE PLAN CAN BE CONSTRUCTED, FUNCTIONAL AND COMPLETE.
28. CONTRACTOR SHALL DETERMINE BIDDING QUANTITIES. ALL QUANTITIES SHOWN IN THESE PLANS ARE TO GIVE THE CONTRACTOR A COMPARISON COUNT ONLY.
29. ALL MATERIALS AND WORKMANSHIP SHALL BE TRUE TO TYPE, FORM, FINISH AND OF THE HIGHEST STANDARDS OF THE TRADE. DAMAGED OR INFERIOR MATERIALS SHALL BE REMOVED FROM THE SITE WITHOUT DELAY.
30. THE IRRIGATION CONTRACTOR SHALL COORDINATE ALL IRRIGATION WORK WITH OTHER CONTRACTORS AND OR SUBCONTRACTORS.
31. ALL EQUIPMENT SHALL BE MAINTAINED WHILE UNDER CONSTRUCTION. MAINTENANCE INCLUDES: WATER SCHEDULING, REPLACEMENT OF DEFECTIVE OR DAMAGED EQUIPMENT, ADJUSTMENT AND READJUSTMENT OF HEADS AND OTHER EQUIPMENT.
32. CONTRACTOR TO INSURE THE FOLLOWING:
 - a. LINES AND VALVES ARE TO BE PLACED WITHIN PLANTING BEDS & PROJECT LIMITS. THESE PLANS ARE SCHEMATIC. CONTRACTOR SHALL SIZE PIPE, PLAN SIZES ARE MINIMUMS.
 - b. 100% COVERAGE OF IRRIGATION SYSTEM (HEAD TO HEAD COVERAGE FOR TURF) TO ALL PLANTS REGARDLESS OF SIZE OR TYPE.
33. CONTRACTOR TO PROVIDE IRRIGATION MAINTENANCE AS DESCRIBED IN ITEM 31 AFTER ACCEPTANCE FOR THE PERIOD INDICATED IN THE LANDSCAPE SPECIFICATIONS OR 90 DAYS WHICHEVER IS GREATER.
34. CONTROLLER SHALL BE GROUNDED AND PROTECTED FROM LIGHTNING AND SURGE PROTECTION PER MANUFACTURER'S RECOMMENDATION.
35. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY QUANTITIES INCLUDING VALVES, HEADS, SLEEVES, GATE VALVES AND OTHER ITEMS SHOWN ON THE PLANS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE OWNER PRIOR TO CONSTRUCTION OF MAJOR DISCREPANCIES. IN CASE OF A DISCREPANCY BETWEEN THE NUMBER OF IRRIGATION PARTS INDICATED ON THE DRAWINGS AND THE TOTAL NUMBER INDICATED ON THE IRRIGATION LEGEND, THE DRAWINGS SHALL BE ACCEPTED AS CORRECT. SOME ADJUSTMENTS IN THE FIELD MAY BE REQUIRED PER OWNER DIRECTION.

VDG VINCENT DESIGN GROUP, INC.
ARCHITECTS AND PLANNERS

401 EAST 1700 SOUTH, SALT LAKE CITY, UTAH - (801)484-2046



**FAIRWAY OFFICE PARK
BUILDING 1**

2232 SOUTH TALONS COVE DR.
SARATOGA SPRINGS, UTAH

LANDSCAPE & IRRIGATION NOTES

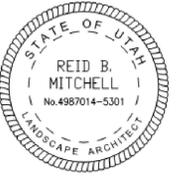
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DESIGNED BY:

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LA-100
LANDSCAPE & IRRIGATION 1 OF 8

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- g. **Tree Preservation.** Existing mature evergreen trees of 16 feet in height or greater, and existing mature deciduous or decorative trees of more than four inches (4") in caliper, shall be identified on the landscape plan and preserved if possible. If a mature tree is preserved, an area around the roots as wide as the existing canopy shall not be disturbed.
- i. If preservation is not possible, the required number of trees shall be increased by double the number of such trees removed.
 - ii. The replacement trees for evergreen trees shall be evergreens, and for deciduous shall be deciduous.
 - iii. Deciduous trees smaller than four inches in caliper, or mature ornamental trees, that are removed shall be replaced on a one to one ratio.
 - iv. Replacement trees shall be in addition to the minimum tree requirements of this Chapter, and shall comply with minimum sizes as outlined in the Chapter.
- NA: THERE ARE NO EXISTING TREES ON SITE

- NOTE:**
- ALL PLANTING AREAS TO RECEIVE PERMEABLE WEED FABRIC (NO PLASTIC) AND BARK MULCH 3" DEEP, UNLESS NOTED ON PLAN. SEE PLANTING NOTES.
 - ALL PLANTS TO BE INSTALLED IN CLUMPS AS SHOWN. DO NOT PLANT EVENLY SPACED.
 - ALL PLANTING AREAS TO RECEIVE TOP SOIL PER SPEC. SEE PLANTING NOTES.

PLANT LEGEND

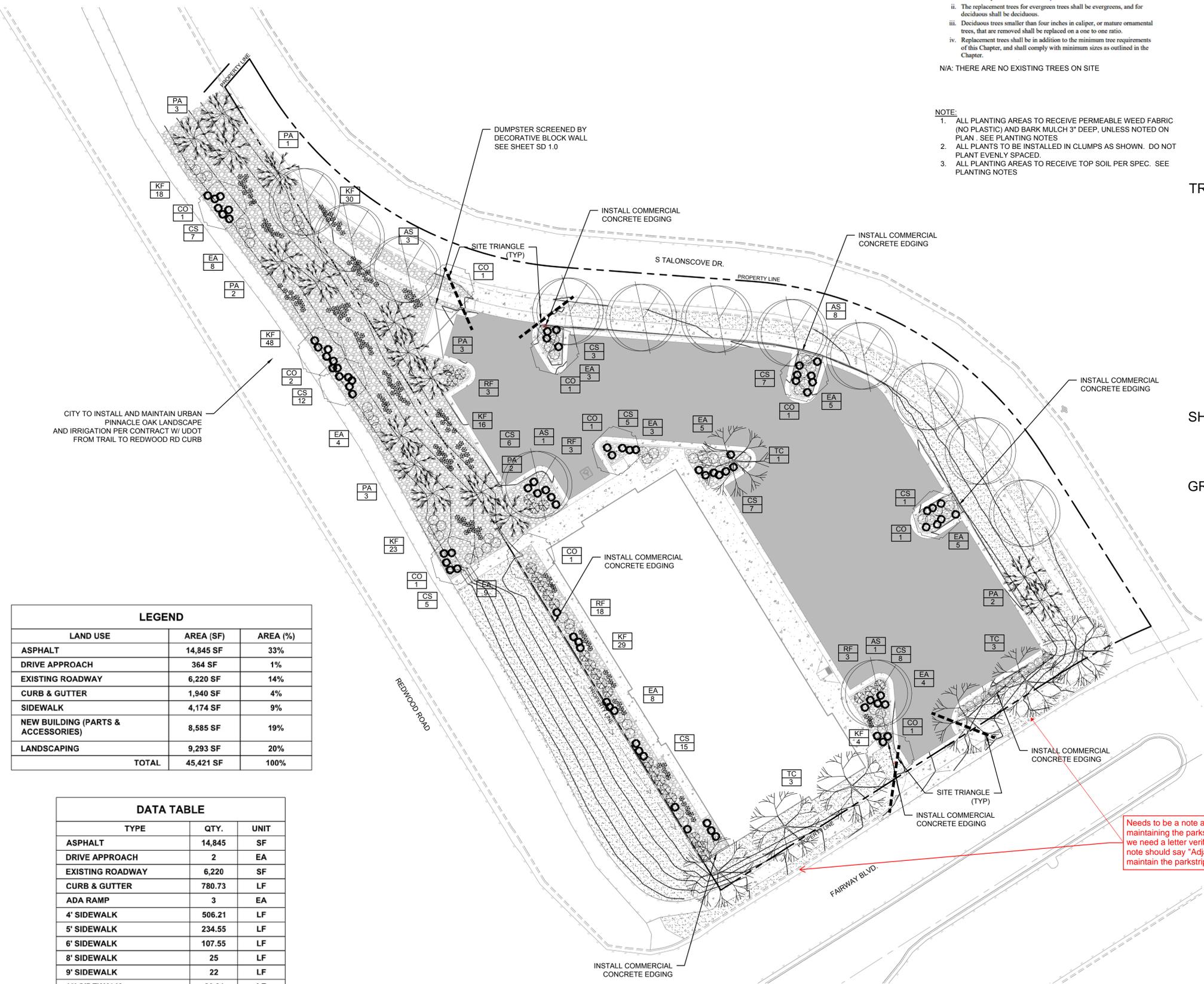
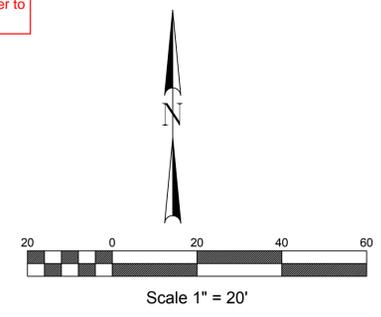
TREES	CODE	QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE (mature)	NOTES
	TC	7	Tilia cordata 'Greenspire'	Greenspire Linden	2'-CAL (50x30W)	
	AS	13	Acer saccharum	Sugar Maple	2'-CAL (40x40W)	DIR
	CO	7 ON SITE 4 OFF SITE	Cercis occidentalis	Western Redbud	2'-CAL (20x20W)	Multi-Trunk
	PA	8 ON SITE 8 OFF SITE	Picea abies	Norway Spruce	7-8 Feet Tall	DIR
SHRUBS	CODE	QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE	NOTES
	EA	45 ON SITE 30 OFF SITE	Eucygnus alatus 'compacta'	Dwarf Burning Bush	5 GAL (4x4x5W)	
	RF	27	Rosa family	Rose variety	5 GAL (4x4x5W)	
GROUND COVER / GRASSES	CODE	QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE	NOTES
	CS	59 ON SITE 24 OFF SITE	Coreopsis spc.	Coreopsis varieties	1 GAL (2x3x3W)	DIR
	KF	79 ON SITE 89 OFF SITE	Calamagrostis acutiflora 'Karl Foerster'	Karl Foerster Reed Grass	1 GAL (4x1x1.5W)	DIR
		4523 SF ON SITE 4663 SF OFF SITE	Festuca arundinacea 'Labyrinth'	RTF turf grass		49% of On-Site Landscape 46% of Off-Site Landscape
		4770 SF ON SITE 5507 SF OFF SITE	2"-4" DIAx3" MIXED COBBLE			COLOR TO BE SELECTED BY OWNER - TWO COLORS REQ'D

DIR: Drought Tolerant

GENERAL NOTES

- ALL QUANTITIES ARE SHOWN AS AN AID ONLY - PLANS TAKE PRECEDENCE. IT SHALL BE THE SOLE RESPONSIBILITY OF CONTRACTOR FOR ALL ACTUAL QUANTITY CALCULATIONS.
- PLANT COMMON NAMES ARE SHOWN AS AN AID ONLY. USE BOTANICAL NAME WHEN PURCHASING ALL PLANT MATERIAL.
- ALL PLANTING TO BE DONE PER DETAILS SHEET LD-01, AND COMMON INDUSTRY BEST PRACTICES.

Needs to be a note about who is maintaining the parkstrips. If it is the HOA, we need a letter verifying this. If not, the note should say "Adjacent property owner to maintain the parkstrip."



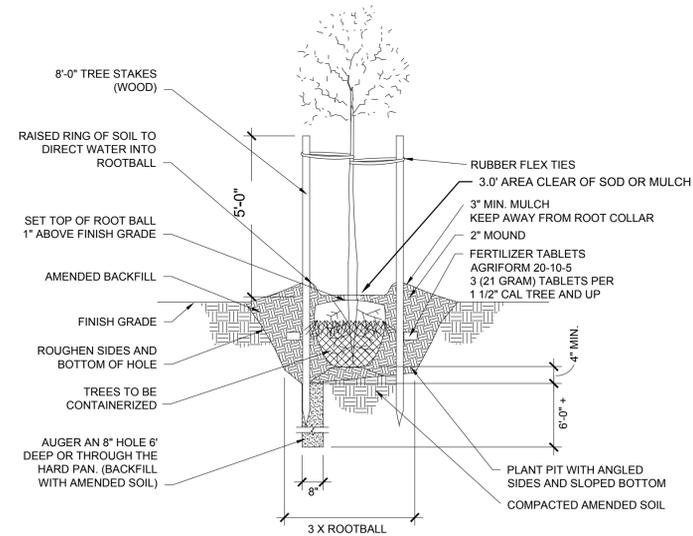
LEGEND

LAND USE	AREA (SF)	AREA (%)
ASPHALT	14,845 SF	33%
DRIVE APPROACH	364 SF	1%
EXISTING ROADWAY	6,220 SF	14%
CURB & GUTTER	1,940 SF	4%
SIDEWALK	4,174 SF	9%
NEW BUILDING (PARTS & ACCESSORIES)	8,585 SF	19%
LANDSCAPING	9,293 SF	20%
TOTAL	45,421 SF	100%

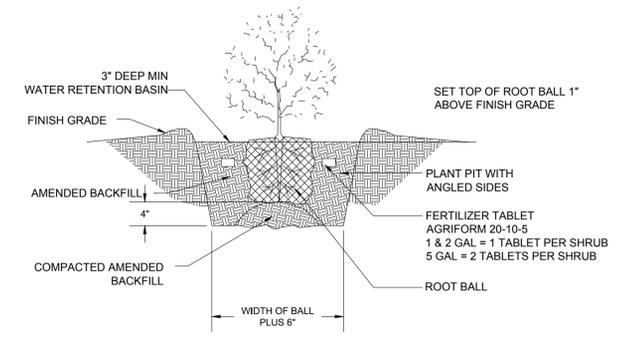
DATA TABLE

TYPE	QTY.	UNIT
ASPHALT	14,845	SF
DRIVE APPROACH	2	EA
EXISTING ROADWAY	6,220	SF
CURB & GUTTER	780.73	LF
ADA RAMP	3	EA
4' SIDEWALK	506.21	LF
5' SIDEWALK	234.55	LF
6' SIDEWALK	107.55	LF
8' SIDEWALK	25	LF
9' SIDEWALK	22	LF
10' SIDEWALK	26.91	LF
11' SIDEWALK	100.56	LF
ON-SITE LANDSCAPE	9,293	SF
OFF-SITE LANDSCAPE	10,170	SF

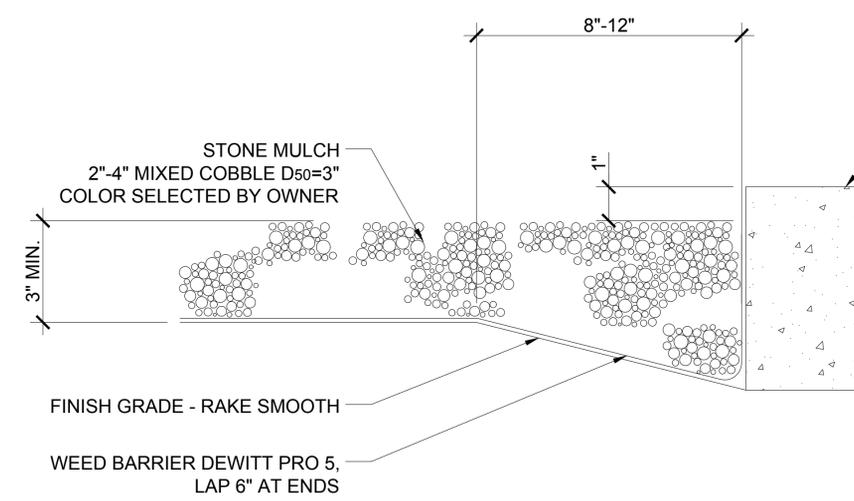
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DATE	REVISION
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LA-200	
LANDSCAPE & IRRIGATION 2 of 8	



1 SINGLE TRUNK TREE PLANTING N.T.S.



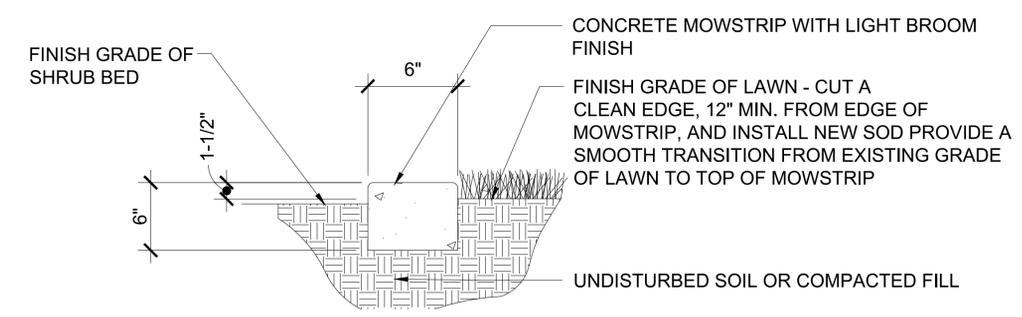
2 SHRUB PLANTING N.T.S.



3 EDGE TREATMENT N.T.S.

NOTES:

1. PROVIDE AN 1/8" RADIUS AT ALL EDGES TYPICAL.
2. INSTALL 1/2" EXPANSION JOINT MATERIAL AT 30' O.C. MAXIMUM AND AT INTERSECTIONS WITH WALKS, CURBS, WALLS, AND RADIUS TANGENT POINTS. INSTALL CONTROL JOINTS @ 5'-0" O.C. MAX AND IN EQUAL SECTIONS BETWEEN EXPANSION JOINTS. SEE CONCRETE PAVING JOINTS DETAIL.
3. THIS CONTRACTOR SHALL FIELD STAKE THE LAYOUT OF THE CONCRETE MOWSTRIPS FOR APPROVAL BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.



4 COMMERCIAL CONCRETE EDGING N.T.S.



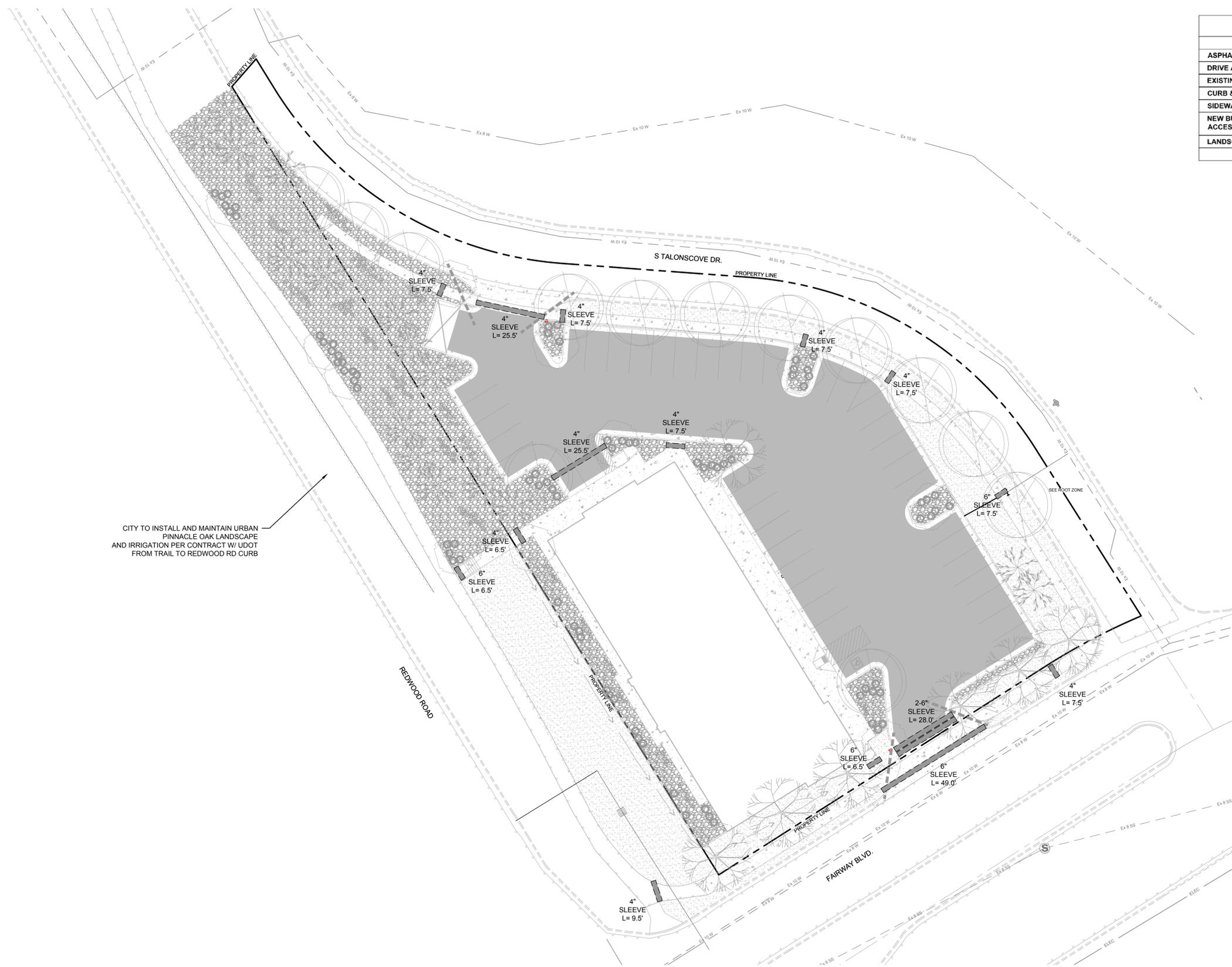
FAIRWAY OFFICE PARK
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LANDSCAPE DETAILS

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CITY TO INSTALL AND MAINTAIN URBAN Pinnacle OAK LANDSCAPE AND IRRIGATION PER CONTRACT W/ UDOT FROM TRAIL TO REDWOOD RD CURB

LEGEND		
LAND USE	AREA (SF)	AREA (%)
ASPHALT	14,845 SF	33%
DRIVE APPROACH	364 SF	1%
EXISTING ROADWAY	6,220 SF	14%
CURB & GUTTER	1,940 SF	4%
SIDEWALK	4,174 SF	9%
NEW BUILDING (PARTS & ACCESSORIES)	8,585 SF	19%
LANDSCAPING	9,293 SF	20%
TOTAL	45,421 SF	100%

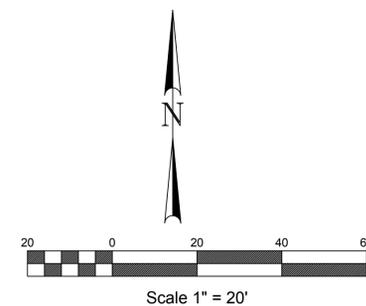
DATA TABLE		
TYPE	QTY.	UNIT
ASPHALT	14,845	SF
DRIVE APPROACH	2	EA
EXISTING ROADWAY	6,220	SF
CURB & GUTTER	780.73	LF
ADA RAMP	3	EA
4' SIDEWALK	506.21	LF
5' SIDEWALK	234.55	LF
6' SIDEWALK	107.55	LF
8' SIDEWALK	25	LF
9' SIDEWALK	22	LF
10' SIDEWALK	26.91	LF
11' SIDEWALK	100.56	LF
ON-SITE LANDSCAPE	9,293	SF
OFF-SITE LANDSCAPE	10,170	SF

- g. Tree Preservation.** Existing mature evergreen trees of 16 feet in height or greater, and existing mature deciduous or decorative trees of more than four inches (4") in caliper, shall be identified on the landscape plan and preserved if possible. If a mature tree is preserved, an area around the roots as wide as the existing canopy shall not be disturbed.
- If preservation is not possible, the required number of trees shall be increased by double the number of such trees removed.
 - The replacement trees for evergreen trees shall be evergreens, and for deciduous shall be deciduous.
 - Deciduous trees smaller than four inches in caliper, or mature ornamental trees, that are removed shall be replaced on a one to one ratio.
 - Replacement trees shall be in addition to the minimum tree requirements of this Chapter, and shall comply with minimum sizes as outlined in the Chapter.

NA: THERE ARE NO EXISTING TREES ON SITE

- NOTE:**
- ALL SLEEVING IS SCH. 40 PVC SIZED PER PLAN. INSTALL PER DETAILS. SLEEVING IS FOR PIPE AND WIRE RUNS.
 - ALL LENGTHS AND LOCATIONS ARE APPROXIMATE. SLEEVING IS SIZED
 - IRRIGATION CONTRACTOR SHALL COORDINATE WITH ALL UTILITY CONTRACTORS FOR INSTALLATION AND LOCATION OF IRRIGATION SLEEVING

TOTAL SLEEVE LENGTH: 231 LNFT
(ESTIMATE ONLY - CONTRACTOR SHALL VERIFY FOR BIDDING AND CONSTRUCTION PURPOSES)



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VINCENT DESIGN GROUP, INC.
ARCHITECTS AND PLANNERS

VDG

401 EAST 1700 SOUTH, SALT LAKE CITY, UTAH - (801) 484-2046



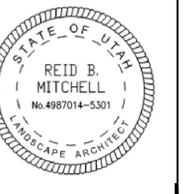
FAIRWAY OFFICE PARK
BUILDING 1
2332 SOUTH TALONS COVE DR.
SARATOGA SPRINGS, UTAH

IRRIGATION SLEEVING PLAN

ARCH. PROJECT NO:	XX-XXX
DATE:	09/13/19
DRAWN BY:	SK
CHECKED BY:	
DESIGNED BY:	

DATE	REVISION

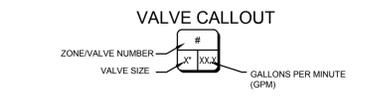
SHEET TITLE
IR-100
LANDSCAPE & IRRIGATION 4 OF 8



DATE	REVISION

IRRIGATION LEGEND

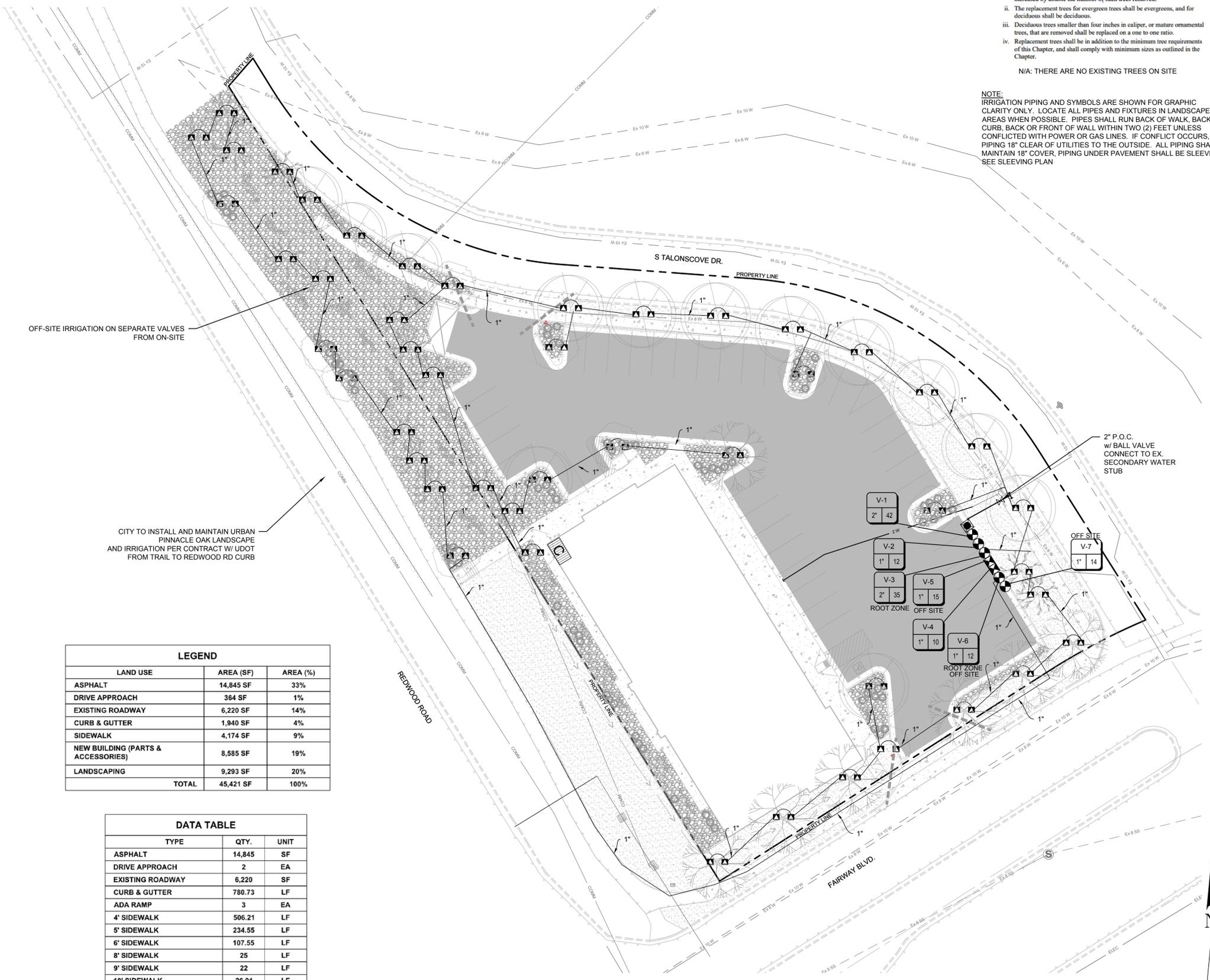
- SYMBOL MANUFACTURER/MODEL/DESCRIPTION
- HUNTER ACC-99D-SS
2-WIRE DECODER CONTROLLER W/
STAINLESS STEEL WALL MOUNT AND
RAIN-CLICK RAIN SENSOR
 - P.O.C.
POINT OF CONNECTION TO POTABLE WATER
SOURCE
 - BALL VALVE - SIZE PER PIPE ON PLAN
 - WILKINS 350A
2" BACKFLOW PREVENTER W/
V.I.T. PRODUCTS SBBC-40ALHP
HIGH PROFILE TWO PIECE
BACKFLOW ENCLOSURE MADE W/
MARINE GRADE ALUMINUM 40"x24"x39"
 - HUNTER HQ-44LRC-AW
QUICK COUPLER VALVE, RUBBER YELLOW
LOCKING COVER, W/ 1" NPT INLET, 2-PIECE BODY
ACME KEY W/ ANTI-ROTATION WINGS
 - HUNTER ICV-G
1" AND 1 1/2" PLASTIC REMOTE CONTROL VALVE
GLOBE CONFIGURATION, W/ NPT THREADED
INLET/OUTLET, FOR COMMERCIAL USE
 - HUNTER ICZ-101-25
DRIP CONTROL ZONE KIT, 1" ICV GLOBE VALVE W/
1" HY100 FILTER SYSTEM,
PRESSURE REGULATION - 25 PSI,
FLOW RANGE 2 GPM TO 20 GPM
150 MESH STAINLESS STEEL SCREEN
 - 2" BLOW OFF / DRAINAGE VALVE
 - HUNTER RZWS-SLEEVE-18-50
18" LONG ROOT ZONE WATERING SYSTEM W/
FILTER FABRIC SLEEVE, 0.50 GPM BUBBLER, 3/4"
SWING JOINT FOR CONNECTION TO LATERAL
 - HUNTER MP1000 PROS-06-PRS35-CV
TURF ROTOR 6" POP-UP W/ CHECK VALVE
PRESSURE REGULATED TO 35 PSI. MP ROTOR
NOZZLE ON PRS40 SPRAY BODY.
M=MAROON ADJ ARC 90 TO 210
 - HUNTER MP2000 PROS-06-PRS35-CV
TURF ROTOR 6" POP-UP W/ CHECK VALVE
PRESSURE REGULATED TO 35 PSI. MP ROTOR
NOZZLE ON PRS40 SPRAY BODY.
B=BLACK ADJ ARC 90 TO 210
 - HUNTER MP CORNER PROS-06-PRS35-CV
TURF ROTOR 6" POP-UP W/ CHECK VALVE
PRESSURE REGULATED TO 35 PSI. MP ROTOR
NOZZLE ON PRS40 SPRAY BODY.
T=TURQUISE ADJ ARC 45 TO 105
 - HUNTER SS-530 PROS-06-PRS50-CV
TURF NOZZLE 6" POP-UP W/ CHECK VALVE
PRESSURE REGULATED TO 50 PSI. SIDE STRIP
NOZZLE ON PRS50 SPRAY BODY.
D=DARK BLUE RECT. ARC 6' x 32'
 - HUNTER L/RCS-515 PROS-06-PRS50-CV
TURF NOZZLE 6" POP-UP W/ CHECK VALVE
PRESSURE REGULATED TO 50 PSI. LEFT CORNER
STRIP NOZZLE ON PRS50 SPRAY BODY.
S=DARK BLUE RECT. ARC 6' x 16'
 - DRIP ZONE
HUNTER PLD-04-18
INLINE PRESSURE COMPENSATING LANDSCAPE
DRIP LINE W/ BUILT IN CHECK VALVE, 0.4 GPH
EMITTERS AT 18" O.C. DRIP LINES SPACED AT 18"
APART W/ EMITTERS OFFSET FOR TRIANGULAR
PATTERN (NO 1/2" SPAGHETTI TUBING). UV
RESISTANT
PER HUNTER INDUSTRIES STDS. AND DETAILS PDF
 - IRRIGATION MAIN LINE
SCHEDULE 40 PVC MAIN LINE SIZE PER PLAN
 - TURF IRRIGATION OR TREE ROOT ZONE OR
DRIP ZONE LATERAL
SCHEDULE 40 PVC LATERAL LINE
SIZE PER PLAN



TREES BY ROOTZONE IRRIGATION SEE DETAILS

- g. Tree Preservation.** Existing mature evergreen trees of 16 feet in height or greater, and existing mature deciduous or decorative trees of more than four inches (4") in caliper, shall be identified on the landscape plan and preserved if possible. If a mature tree is preserved, an area around the roots as wide as the existing canopy shall not be disturbed.
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- iii.** Deciduous trees smaller than four inches in caliper, or mature ornamental trees, that are removed shall be replaced on a one to one ratio.
- iv.** Replacement trees shall be in addition to the minimum tree requirements of this Chapter, and shall comply with minimum sizes as outlined in the Chapter.
- N/A:** THERE ARE NO EXISTING TREES ON SITE

NOTE:
 IRRIGATION PIPING AND SYMBOLS ARE SHOWN FOR GRAPHIC CLARITY ONLY. LOCATE ALL PIPES AND FIXTURES IN LANDSCAPE AREAS WHEN POSSIBLE. PIPES SHALL RUN BACK OF WALK, BACK OF CURB, BACK OR FRONT OF WALL WITHIN TWO (2) FEET UNLESS CONFLICTED WITH POWER OR GAS LINES. IF CONFLICT OCCURS, RUN PIPING 18" CLEAR OF UTILITIES TO THE OUTSIDE. ALL PIPING SHALL MAINTAIN 18" COVER, PIPING UNDER PAVEMENT SHALL BE SLEEVED - SEE SLEEVING PLAN



OFF-SITE IRRIGATION ON SEPARATE VALVES FROM ON-SITE

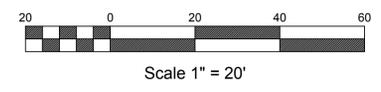
CITY TO INSTALL AND MAINTAIN URBAN PINNACLE OAK LANDSCAPE AND IRRIGATION PER CONTRACT W/ UDOT FROM TRAIL TO REDWOOD RD CURB

LEGEND

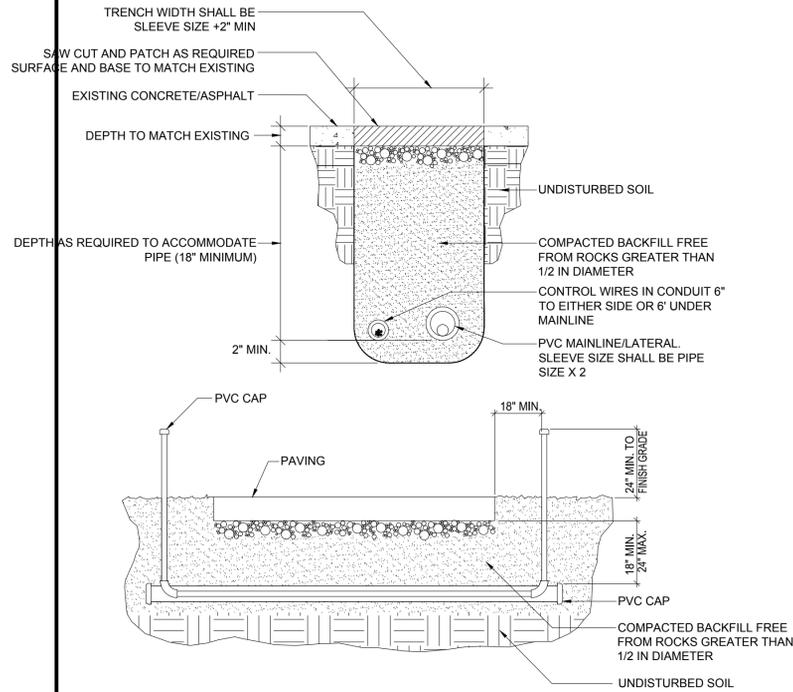
LAND USE	AREA (SF)	AREA (%)
ASPHALT	14,845 SF	33%
DRIVE APPROACH	364 SF	1%
EXISTING ROADWAY	6,220 SF	14%
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TOTAL	45,421 SF	100%

DATA TABLE

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EXISTING ROADWAY	6,220	SF
CURB & GUTTER	780.73	LF
ADA RAMP	3	EA
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6' SIDEWALK	107.55	LF
8' SIDEWALK	25	LF
9' SIDEWALK	22	LF
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11' SIDEWALK	100.56	LF
ON-SITE LANDSCAPE	9,293	SF
OFF-SITE LANDSCAPE	10,170	SF



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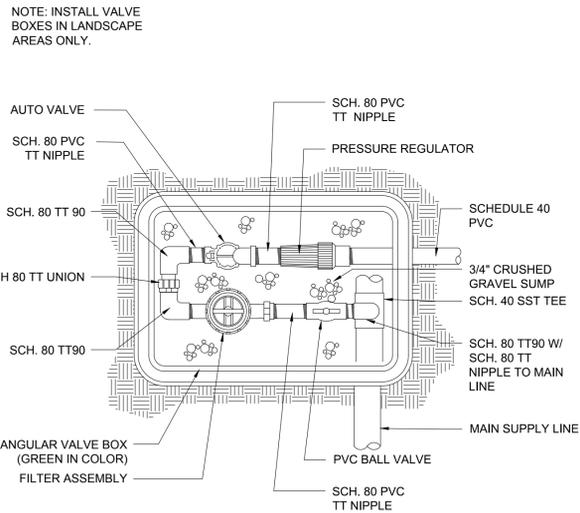


NOTES:

1. ALL PVC IRRIGATION SLEEVING TO BE SCHEDULE 40
2. ALL JOINTS TO BE SOLVENT WELDED AND WATERTIGHT.
3. WHERE THERE IS MORE THAN ONE SLEEVE, EXTEND SMALLER SLEEVE TO 24\"/>

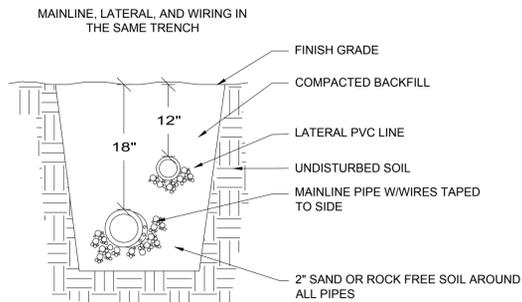
1 IRRIGATION SLEEVING

N.T.S.



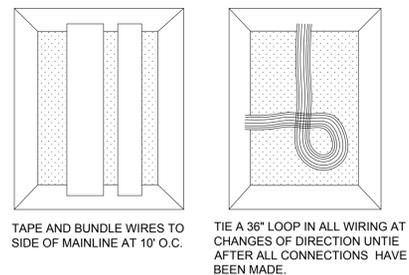
2 DRIP VALVE ASSEMBLY

SECTION VIEW



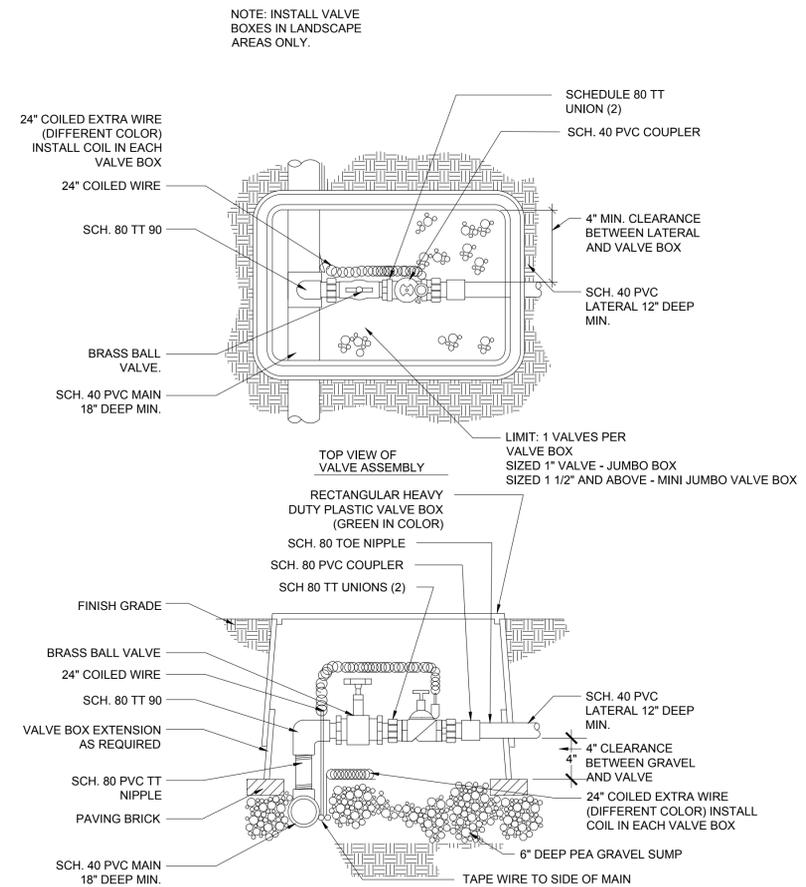
NOTE: SLEEVE BELOW ALL HARDSCAPE ELEMENTS WITH SCHEDULE 40 PVC 2 TIMES THE DIAMETER OF THE PIPE WITHIN. LATERAL LINE NOT TO BE PLACED DIRECTLY OVER MAINLINE.

PLAN VIEW



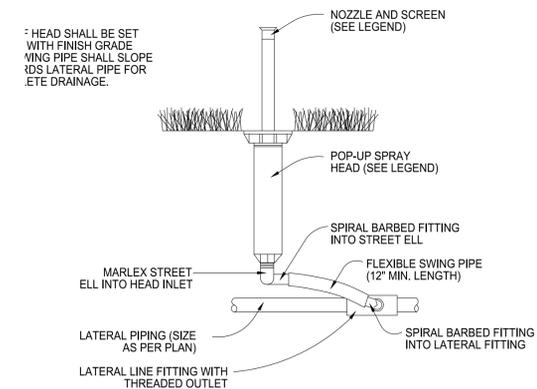
4 PIPE AND WIRE TRENCH

N.T.S.



3 LAWN VALVE ASSEMBLY

N.T.S.



5 SPRAY HEAD

N.T.S.

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VINCENT DESIGN GROUP, INC.
ARCHITECTS AND PLANNERS

VDG

401 EAST 1700 SOUTH, SALT LAKE CITY, UTAH - (801-484-2046)

STATE OF UTAH
 REID B. MITCHELL
 No. 4987014-5301
 LANDSCAPE ARCHITECT

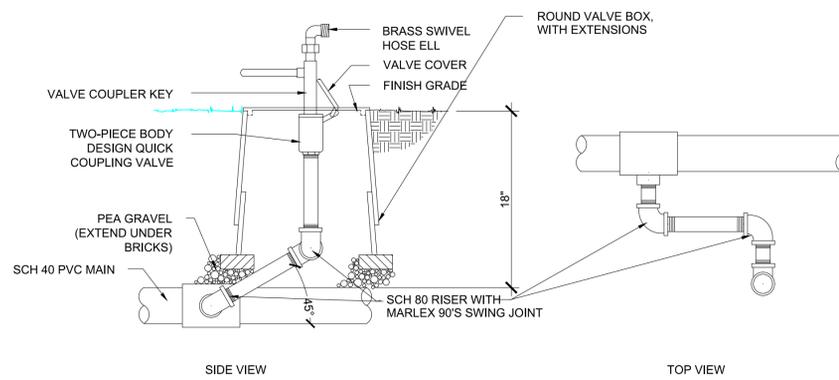
FAIRWAY OFFICE PARK
BUILDING 1
 2232 SOUTH TALONS COVE DR.
 SARATOGA SPRINGS, UTAH

IRRIGATION DETAILS

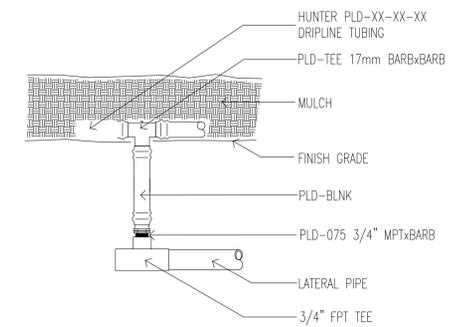
ARCH. PROJECT NO:	XX-XXX
DATE:	09/13/19
DRAWN BY:	SK
CHECKED BY:	
DESIGNED BY:	

DATE	REVISION

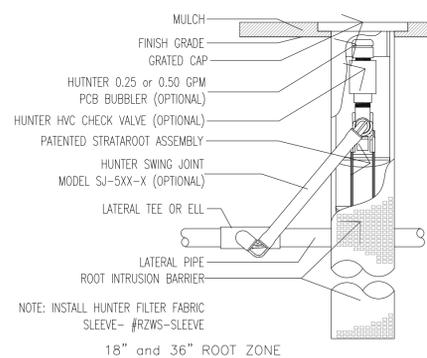
SHEET TITLE
IR-300
 LANDSCAPE & IRRIGATION 7 OF 8



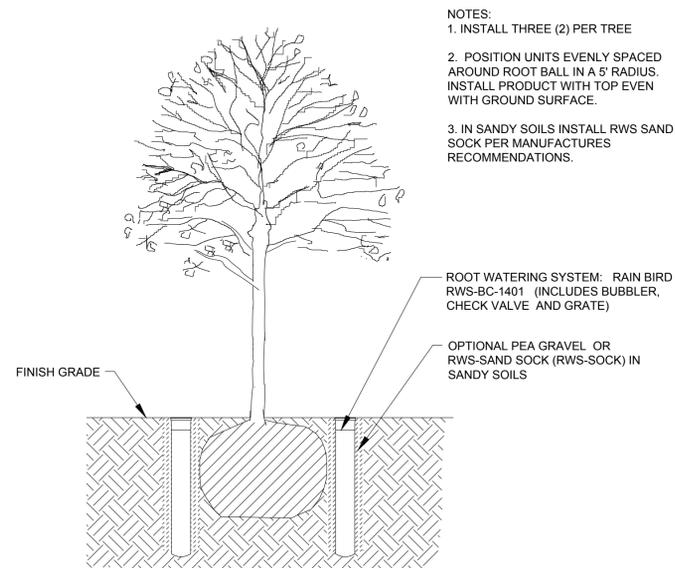
2 QUICK COUPLER VALVE N.T.S.



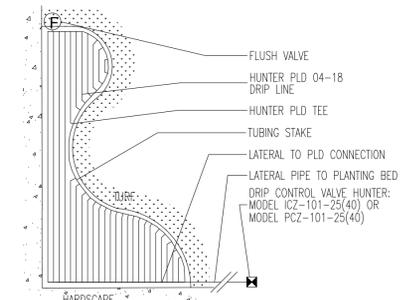
3 DRIP LINE CONNECTION N.T.S.



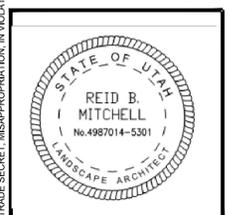
4 RWS DEEP ROOT WATERING SYSTEM N.T.S.



5 RWS DEEP ROOT WATERING SYSTEM N.T.S.



6 HUNTER PLD IRRIGATION CURVILINEAR PLANTER HUNTER INDUSTRIES DETAIL N.T.S.



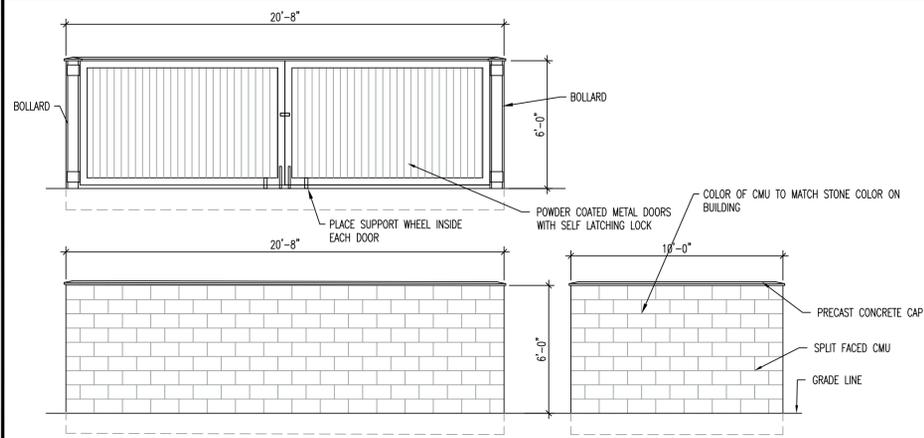
FAIRWAY OFFICE PARK BUILDING 1
2232 SOUTH TALONS COVE DR.
SARATOGA SPRINGS, UTAH
LANDSCAPE DETAILS

ARCH. PROJECT NO:	XX-XXX
DATE:	09/13/19
DRAWN BY:	SK
CHECKED BY:	
DESIGNED BY:	
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DATE	REVISION

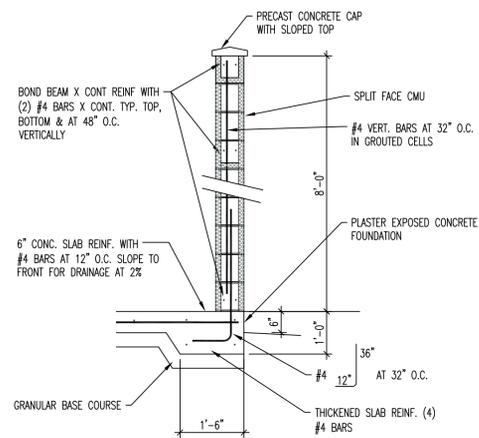
SHEET TITLE
IR-301
LANDSCAPE & IRRIGATION 3 OF 8

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TRASH ENLCOSURE ELEVATIONS

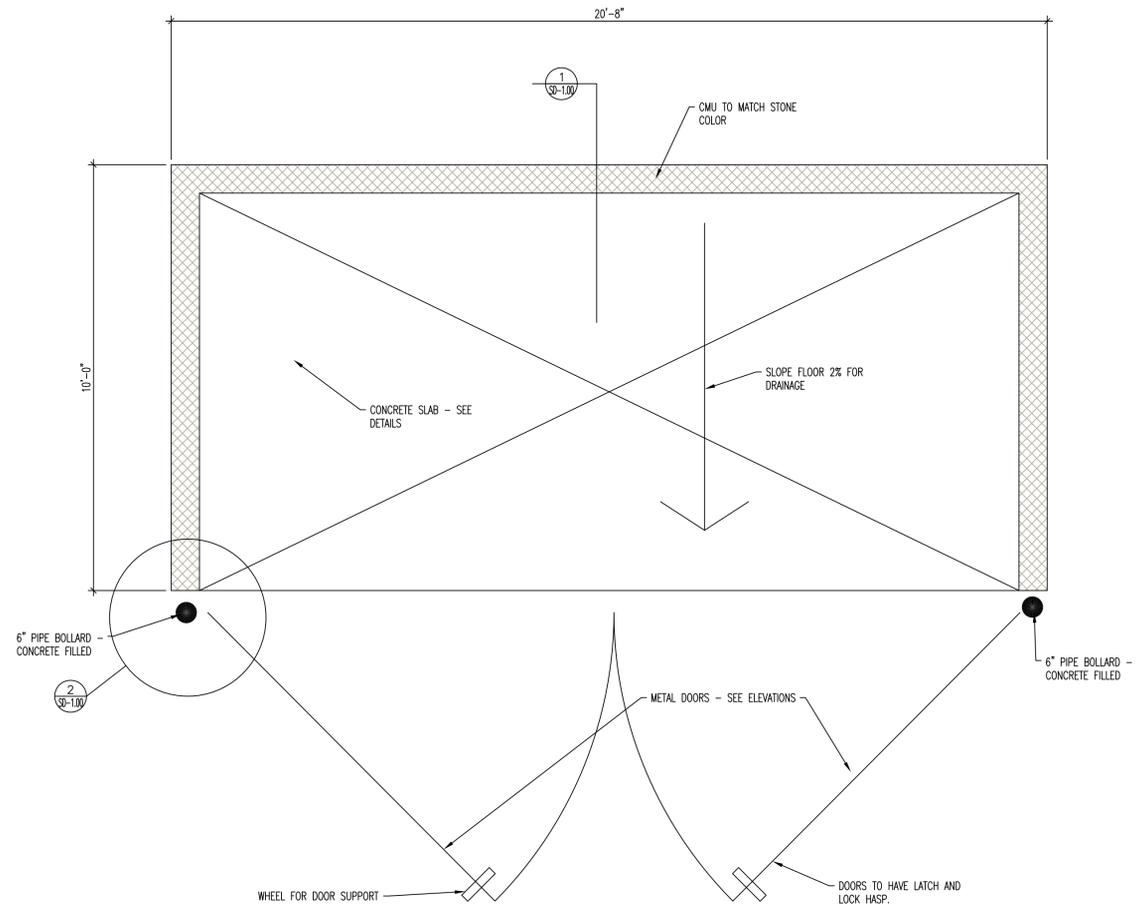
SCALE: 1/4" = 1'-0"



WALL SECTION

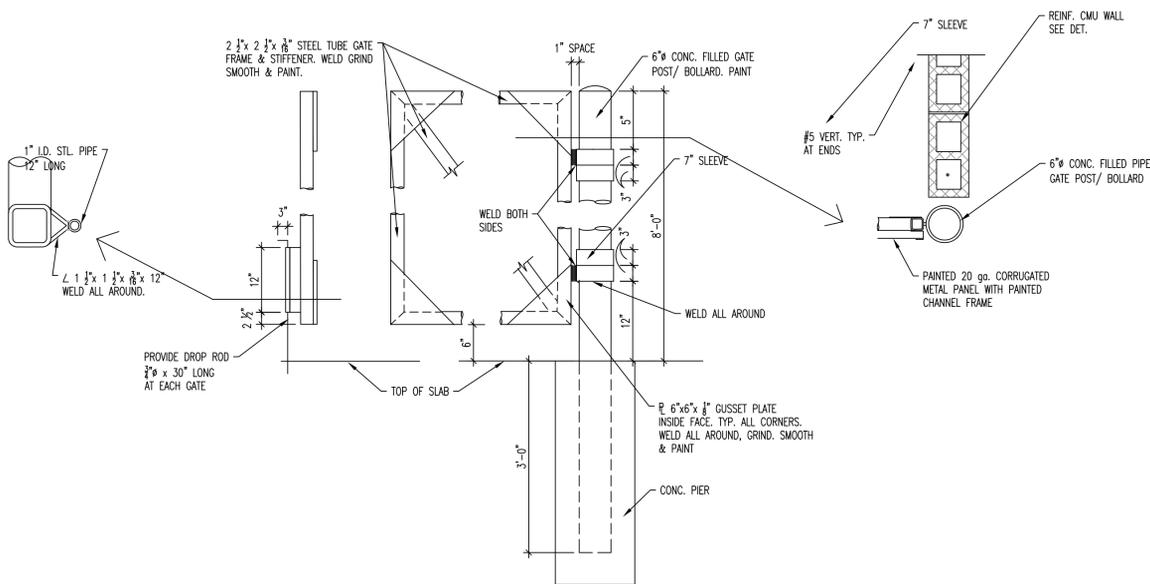
SCALE: 1/2" = 1'-0"

1
SD1.0



TRASH ENCLUSOURE PLAN

SCALE: 1/2" = 1'-0"



HINGE AND DOOR DETAILS

SCALE: 3/4" = 1'-0"

2
SD1.0

VDG VINCENT DESIGN GROUP, INC.
ARCHITECTS AND PLANNERS
401 EAST 1700 SOUTH, SALT LAKE CITY, UTAH - (801)-484-2046

PROPOSED NEW DENAIL OFFICE FOR:
PONY EXPRESS DENTAL
SARATOGA BRANCH

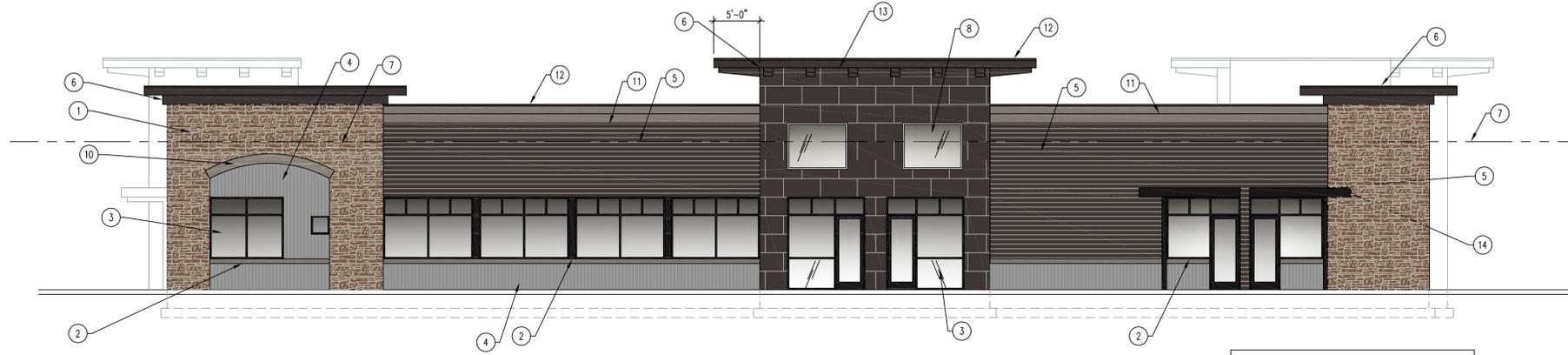
2253 SOUTH REDWOOD ROAD
SARATOGA SPRINGS, UTAH
TRASH ENCLUSURE DETAILS

ARCH. PROJECT NO:	19-67
DATE:	11/14/19
DRAWN BY:	BRENT
CHECKED BY:	
DESIGNED BY:	
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DATE	REVISION

SHEET TITLE
SD-1.00
ARCHITECTURAL 1 of 1

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WEST ELEVATION

SCALE: 1/8" = 1'-0"

ELEVATIONAL PERCENTAGES:	
TOTAL ELEVATION:	2962 SF
GLASS:	562 SF = 19%
STONE:	503 SF = 17%
CORUGATED METAL:	302 SF = 10%
FLATLOCK METAL:	360 SF = 12%
CEMENT BOARD (HARDI):	753 SF = 25%
EFS:	197 SF = 7%
METAL TRIM/ ALUM/ AWNINGS:	285 SF = 10%

- ELEVATIONAL NOTES:**
- ALL SIGNAGE IS UNDER SEPARATE PERMIT
 - ALL ROOF DRAINS ARE TO BE INTERIOR NON-EXPOSED AND CONNECT INTO SITE DRAINAGE SYSTEM
 - ROOF ACCESS IS VIA INTERIOR ROOF LADDER - SEE FLOOR PLAN FOR PLAN AND DETAILS

- KEYED NOTES:**
1. SYNTHETIC STONE OVER 30# FELT ON TYVEK AIR BARRIER.
 2. EFS TRIM OVER 1 1/2" RIGID INSULATION AND TYVEK AIR BARRIER
 3. ALUMINUM STOREFRONT MATERIAL. BRONZE ALUM WITH LOW "E" INSULATED GLAZING.
 4. GALVALUME SIDING OVER TYVEK AIR BARRIER
 5. CEMENT BOARD SIDING OVER TYVEK AIR BARRIER
 6. PREFINISHED METAL FASCIA AND SOFFIT MATERIAL. SOFFIT TO BE MSCI ARTISAN SERIES OR EQUIV. FASCIA TO BE 20GA PREFINISHED METAL.
 7. ROOF LINE
 8. SPANDREL PANELS IN THESE UPPER WINDOWS
 9. CLEARESTORY WINDOWS IN DETAIL OFFICE ENTRY
 10. EFS OVER 3" RIGID ARCHES OVER WINDOWS
 11. EFS CROWN OVER 1 1/2" AND 3" RIGID INSULATION.
 12. PREFINISHED METAL FLASHING WITH DRIP
 13. EXTEND ROOF CANOPY OUT 5'-0" OVER ENTRIES AS SHOWN
 14. POWDER COATED STEEL AWNINGS OVER ENTRIES TO EXTEND OUT 4' MINIMUM OVER ENTRIES
 15. MECHANICAL UNIT ARE TO BE SET BEHIND PARAPETS SO AS NOT TO BE VISIBLE



NORTH ELEVATION

SCALE: 1/8" = 1'-0"

ELEVATIONAL PERCENTAGES:	
TOTAL ELEVATION:	1417 SF
GLASS:	319 SF = 23%
STONE:	430 SF = 30%
CORUGATED METAL:	109 SF = 8%
FLATLOCK METAL:	340 SF = 24%
CEMENT BOARD (HARDI):	0 SF = 0%
EFS:	0 SF = 0%
METAL TRIM/ ALUM/ AWNINGS:	219 SF = 15%



EAST ELEVATION

SCALE: 1/8" = 1'-0"

ELEVATIONAL PERCENTAGES:	
TOTAL ELEVATION:	3035 SF
GLASS:	764 SF = 25%
STONE:	663 SF = 22%
CORUGATED METAL:	215 SF = 7%
FLATLOCK METAL:	339 SF = 11%
CEMENT BOARD (HARDI):	487 SF = 16%
EFS:	141 SF = 5%
METAL TRIM/ ALUM/ AWNINGS:	426 SF = 14%



SOUTH ELEVATION

SCALE: 1/8" = 1'-0"

ELEVATIONAL PERCENTAGES:	
TOTAL ELEVATION:	1422 SF
GLASS:	285 SF = 20%
STONE:	215 SF = 15%
CORUGATED METAL:	110 SF = 8%
FLATLOCK METAL:	339 SF = 24%
CEMENT BOARD (HARDI):	286 SF = 20%
EFS:	64 SF = 5%
METAL TRIM/ ALUM/ AWNINGS:	123 SF = 8%

VINCENT DESIGN GROUP, INC.
ARCHITECTS AND PLANNERS

401 EAST 1700 SOUTH, SALT LAKE CITY, UTAH - (801)-484-2046



PROPOSED NEW DENAIL OFFICE FOR:
PONY EXPRESS DENTAL
SARATOGA BRANCH

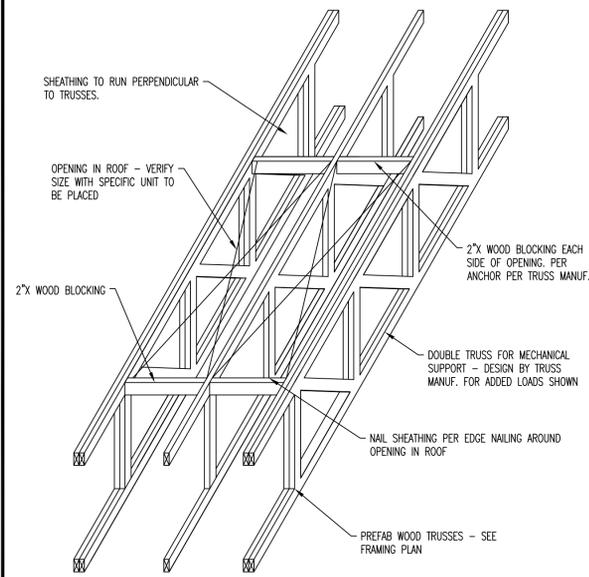
2253 SOUTH REDWOOD ROAD
SARATOGA SPRINGS, UTAH

EXTERIOR ELEVATIONS

ARCH. PROJECT NO:	19-67
DATE:	8/12/19
DRAWN BY:	BRENT
CHECKED BY:	
DESIGNED BY:	
© COPYRIGHT VDG ARCHITECTS	
DATE	REVISION

SHEET TITLE
A-2.00
ARCHITECTURAL 1 of 1

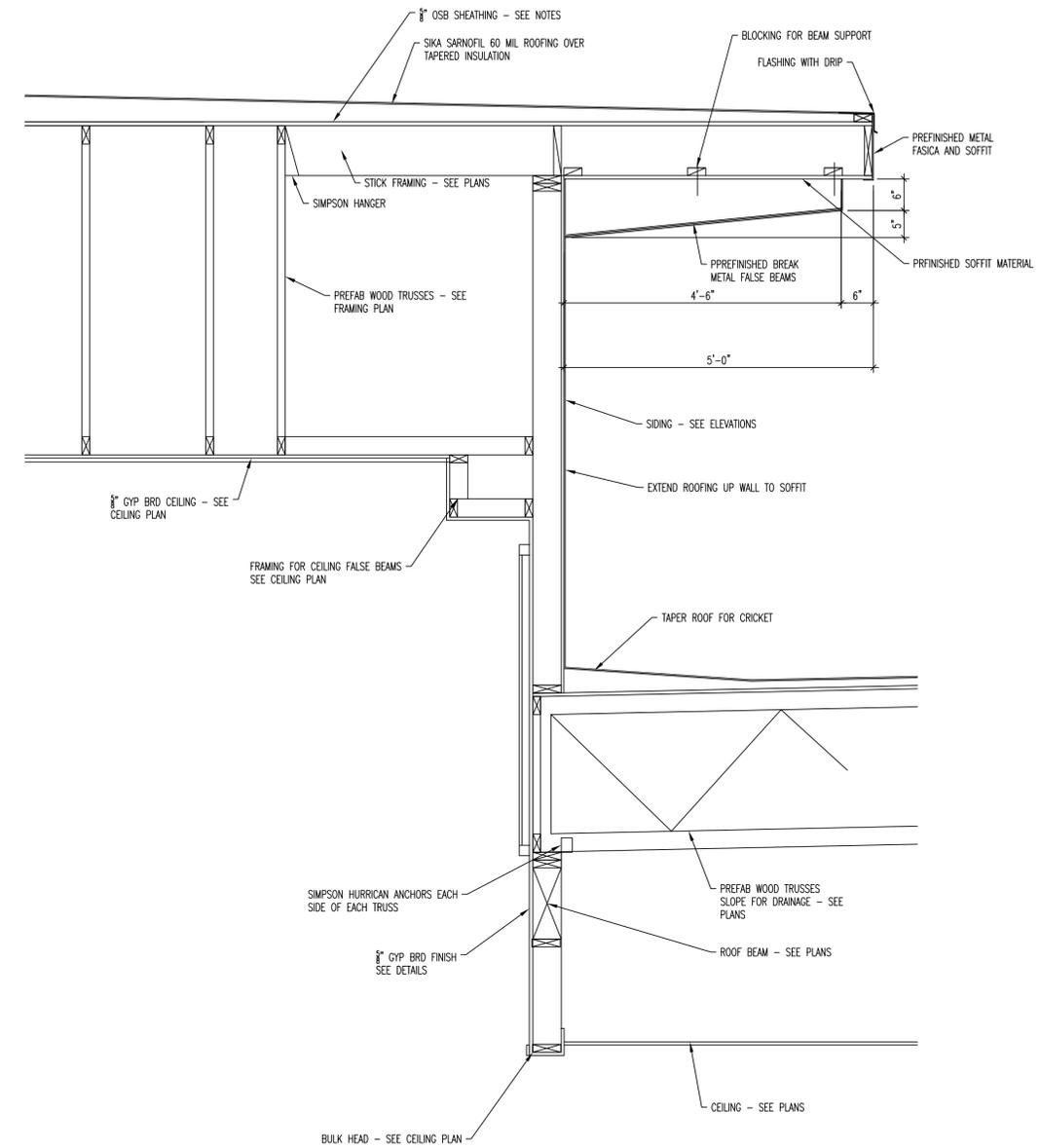
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MECHANICAL OPENINGS

SCALE: ISOMETRIC

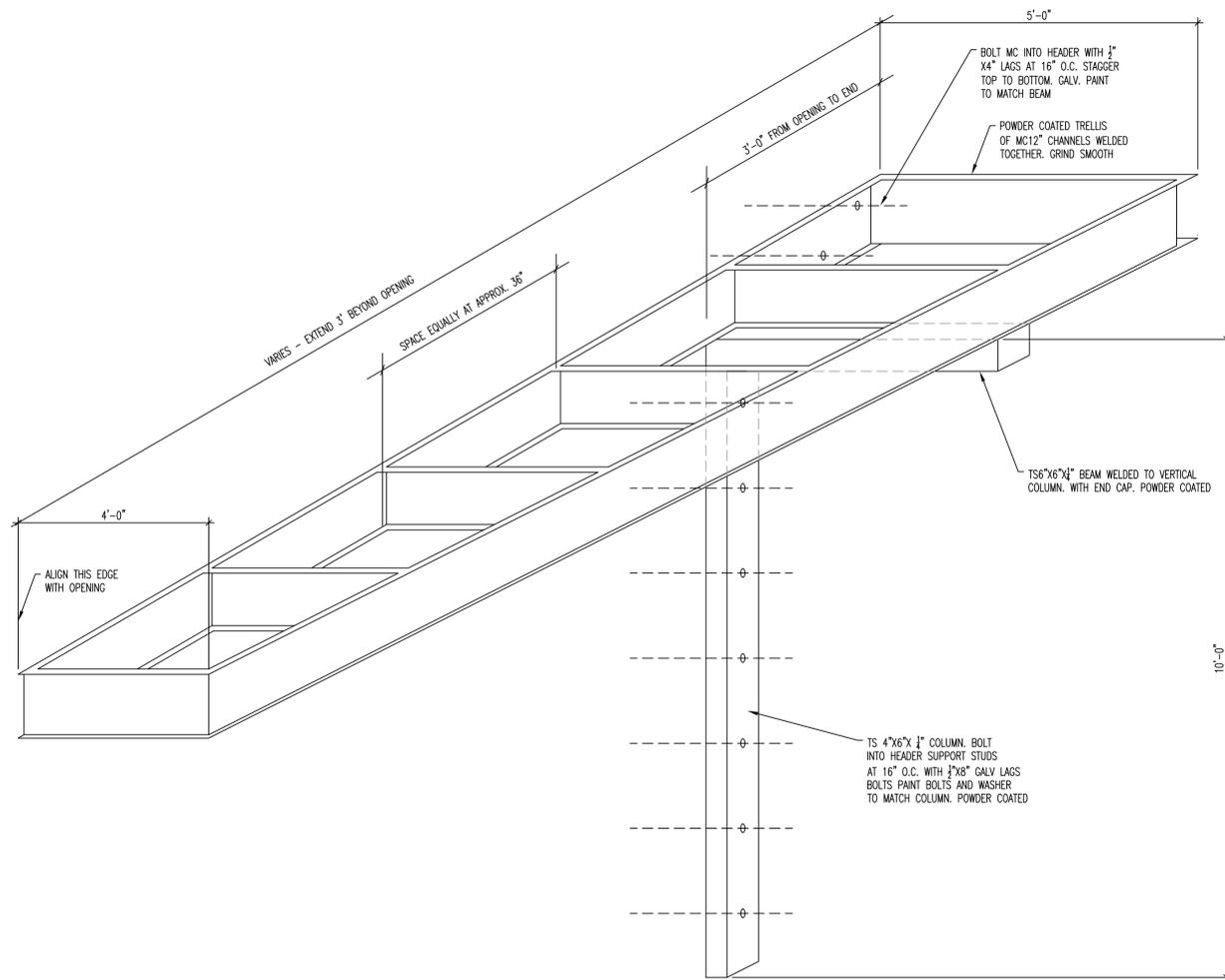
1
S-1.00



TRELLIS AT OPENINGS

SCALE: ISOMETRIC

X
S-4.00



TRELLIS AT OPENINGS

SCALE: ISOMETRIC

X
S-4.00

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VDG VINCENT DESIGN GROUP, INC.
ARCHITECTS AND PLANNERS

401 EAST 1700 SOUTH, SALT LAKE CITY, UTAH - (801)-484-2046

PROPOSED NEW DENALT OFFICE FOR:
PONY EXPRESS DENTAL
SARATOGA BRANCH

2253 SOUTH TALONS COVE DRIVE
SARATOGA SPRINGS, UTAH

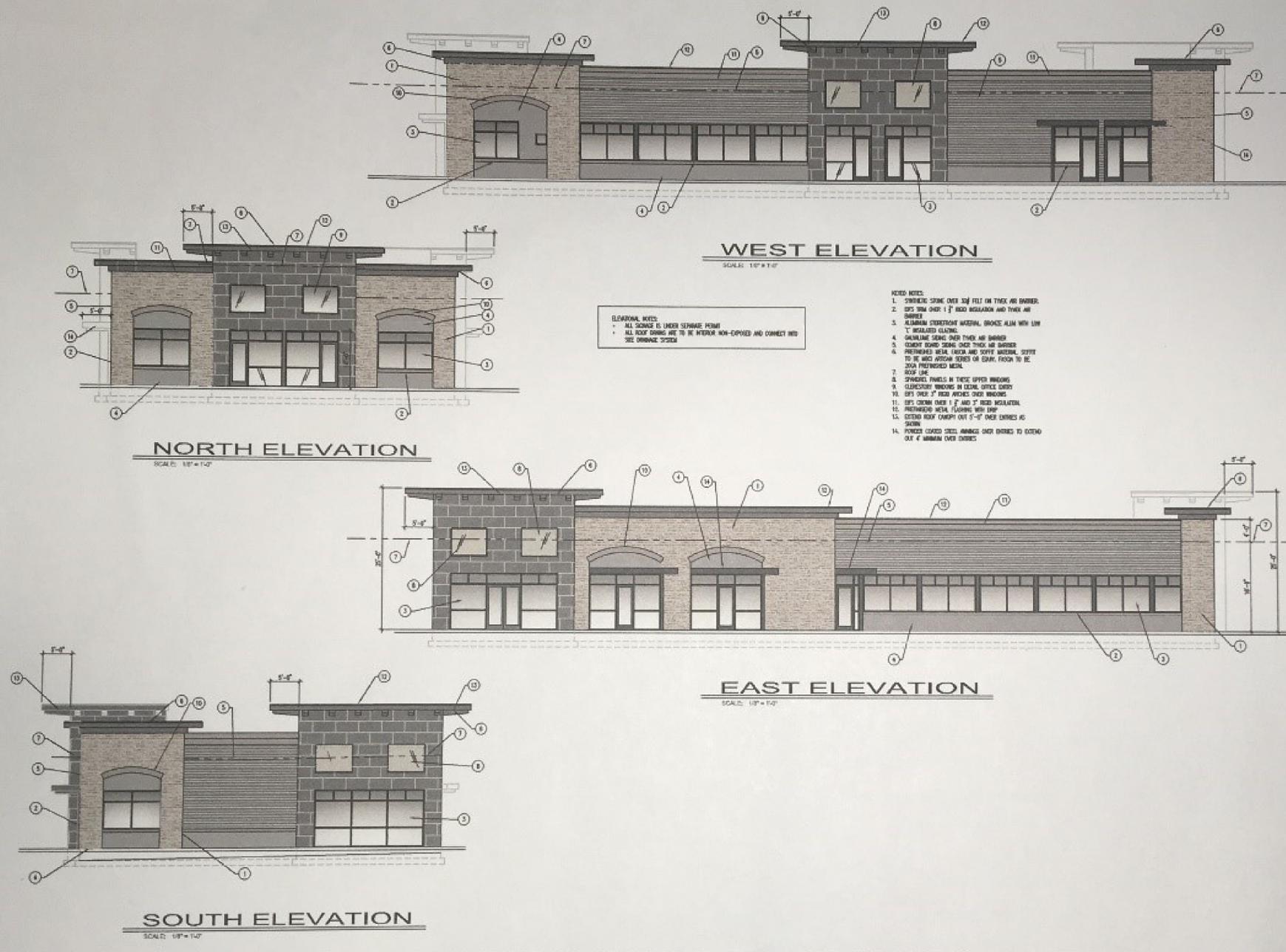
SECTION AND DETAILS

ARCH. PROJECT NO:	XX-XXX
DATE:	7/23/19
DRAWN BY:	BRENT
CHECKED BY:	
DESIGNED BY:	

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DATE	REVISION

SHEET TITLE
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ARCHITECTURAL 1 of 1



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VINCENT DESIGN GROUP, INC.
ARCHITECTS AND PLANNERS
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VDC

PROPOSED NEW DENTAL OFFICE FOR:
PONY EXPRESS DENTAL
SARATOGA BRANCH
2253 SOUTH BEDWOOD ROAD
SARATOGA SPRINGS, UTAH

EXTERIOR ELEVATIONS

PROJECT NO.	19-07
DATE	8/12/19
DESIGNED BY	BRONT
CHECKED BY	
ENGINEER BY	
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DATE	8/12/19
SHEET TITLE	
A-2.00	
ARCHITECTURAL 1 of 1	



EIFS - SMOOTH FINISH
SW 7019 - MATCH SHERWIN WILLIAMS

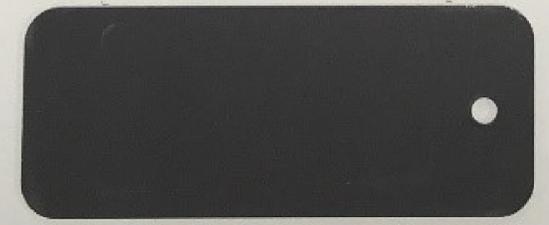
HARDI SIDING PAINT
SW 9183 - SHERWIN WILLIAMS



SYNTHETIC STONE
HARRISTONE UNITAH, SUMMIT



FLAT LOCK AND FASCIAS. SOFFITS



FASCIAS/ SOFFITS (LIGHT)



POWDER COATED AWNINGS:



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LIGHTING FIXTURE SCHEDULE						
Mark	Manufacturer	Model	Wattage (Max)	Lamp	Count	Mounting Height
EF1	EATON	EMM-E04-LED-E1-T4-SO-BL-BK-8030 WITH VA6105 SINGLE POLE MOUNT ARM	97 W	LED	9	16'-0"
EF2	Kichler	Wesley Collection #49278AZTLED	8 W	LED	9	9'-0"
EF3	EATON	HALO HC6-10-D010-HM6-12-830-61-RWW-61RWWPK	10 W	LED	8	21'-0"
EF4	EATON	HALO HC6-10-D010-HM6-12-830-61-RWW-61RWWPK	10 W	LED	24	24'-0"
EF5	EATON	HALO HC6-10-D010-HM6-12-830-61-RWW-61RWWPK	10 W	LED	1	18'-0"
F1	EATON	MAO-G-4-LD4-2-LO-40-UNV-EDC-1-FA	52 W	LED	36	CEILING
F2	EATON	HALO HC6-10-D010-HM6-12-840-61-RWW-61RWWPK	10 W	LED	57	CEILING
F3	TBD	SMALL LED PENDANT APPROVED BY OWNER	20 W	LED	6	TBD*
F4	TBD	LARGE LED PENDANT APPROVED BY OWNER	100 W	LED	2	TBD*
F5	Lithonia	ECG LED M6 - 120V	3 W	LED	15	TBD*

*COORDINATE WITH OWNER FOR LIGHT FIXTURE MOUNTING HEIGHTS

CONSTRUCTION NOTES

- ALL EXTERIOR LIGHT FIXTURES SHALL BE FULL CUTOFF TYPE, DIRECTED DOWNWARD.
- THE LIGHT TEMPERATURE FOR ALL EXTERIOR LIGHTING SHALL NOT EXCEED 4000K.



ALL POLE LIGHTS SHALL BE MOUNTED 16'-0" ABOVE GRADE

LIGHT LEVEL BEYOND PROPERTY LINE SHALL NOT EXCEED 1 FOOT-CANDLE AS INDICATED BY THIS 1 FC CONTOUR LINE; PROVIDE HOUSE SIDE SHIELDING IF NEEDED TO MEET THIS REQUIREMENT

WALL WASH CAN LIGHTS (AS SPECIFIED) SHALL BE AIMED TO ENSURE THAT LIGHT LEVEL DOES NOT EXCEED 1 FC AT PROPERTY LINE, AS SHOWN (TYP)

DATE
NOVEMBER 2019



REVISIONS		
MARK	DATE	DESCRIPTION
1	11-25-19	Site Plan Review #1

DRAWN: TMA
DESIGNER: KDC
REVIEWED: DIO

PROJECT #
00-00-000

SCALES

As indicated

PROJECT NAME:
PONY EXPRESS DENTAL

PROJECT LOCATION:
2253 S REDWOOD ROAD SARATOGA SPRINGS, UT

SHEET TITLE:
PHOTOMETRIC LIGHTING PLAN

PLAN SET: PERMIT **SHEET:** E1.2

NOTE:
ONE HOUR AFTER CLOSING OR BY 11:00PM, WHICHEVER IS EARLIER, BUSINESSES MUST TURN OFF AT LEAST FIFTY PERCENT (50%) OF BUILDING LIGHTING AND LIGHTING FIXTURES IN SURFACE PARKING LOTS AND ON TOP DECKS OF PARKING STRUCTURES; HOWEVER, THOSE LIGHTING FIXTURES TURNED OFF MAY BE SET TO FUNCTION UTILIZING A MOTION DETECTOR SYSTEM. LIGHTS MAY BE TURNED BACK ON ONE HALF HOUR PRIOR TO THE FIRST EMPLOYEE SHIFT.

DESCRIPTION

The EPIC Collection delivers custom luminaire flexibility with high quality, yet availability expectations of standard specification grade product. The EPIC Collection can be dressed to suit any application. Recognizing evolving environmental and legislative trends, the EPIC Collection delivers world class LED optical and performance solutions to the decorative luminaire marketplace.

Catalog #		Type	
Project			
Comments		Date	
Prepared by			

SPECIFICATION FEATURES

Construction

TOP: Cast aluminum top housing attaches to cast aluminum mounting arm hub with four stainless steel fasteners. One-piece silicone gasket between mounting hub and top casting seals out moisture and contaminants. (See the mounting accessories section for a full selection of mounting arms. (Only these arms are compatible with the Epic luminaire). **MIDSECTION:** Continuous silicone gaskets seal lens to top casting and shade. The mid section features cast aluminum construction and stainless steel assembly. **SHADES:** Heavy gauge precision spun aluminum shades offer superior surface finish and consistency in form. **DOORFRAME:** Die-cast aluminum 1/8" thick door and doorframe seal to underside of shade with a thick wall continuous silicone gasket. Mounting hub ships attached to mounting arm.

Optics

Choice of twelve patented, high-efficiency AccuLED Optic™ technology manufactured from

injection-molded acrylic. Optics are precisely designed to shape the optics, maximizing efficiency and application spacing. AccuLED Optic technology, creates consistent distributions with the scalability to meet customized application requirements. Offered Standard in 4000K (+/- 275K) CCT and nominal 70 CRI. Optional 3000K CCT and 5000K CC. For the ultimate level of spill light control, an optional house-side shield accessory can be field or factory installed. The house-side shield is designed to seamlessly integrate with the SL2, SL3 or SL4 optics.

Electrical

LED drivers mount to die-cast aluminum back housing for optimal heat sinking, operation efficacy, and prolonged life. Standard drivers feature electronic universal voltage (120-277V 50/60Hz), 347V 60Hz or 480V 60Hz operation, greater than 0.9 power factor, less than 20% harmonic distortion, and is suitable for operation in -40°C to 40°C ambient environments. All fixtures are shipped standard

with 10kV/10kA common – and differential – mode surge protection. LightBARs feature and IP66 enclosure rating and maintain greater than 95% lumen maintenance at 60,000 hours per IESNA TM-21. Occupancy sensor and dimming options available.

Finish

Housing is finished in five-stage super TGIC polyester powder coat paint, 2.5 mil nominal thickness for superior protection against fade and wear. LightBAR™ cover plates are standard white and may be specified to match finish of luminaire housing. Standard colors include black, bronze, grey, white, dark platinum and graphite metallic. RAL and custom color matches available. Consult Outdoor Architectural Colors brochure for a complete selection.

Warranty

Five-year warranty.



ECM/EMM EPIC MEDIUM LED

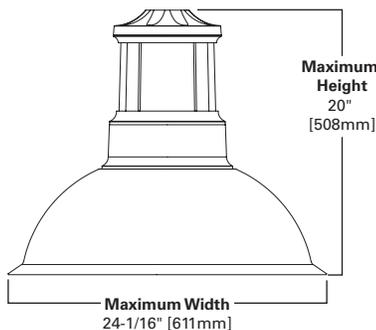
1 - 4 LightBARs

Solid State LED

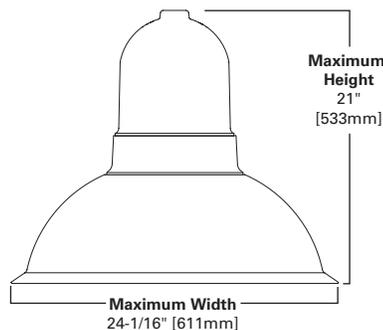
DECORATIVE AREA LUMINAIRE

DIMENSIONS

ECM Classical



EMM Modern



See configurations for more detailed information.

CERTIFICATION DATA

UL/cUL Listed
IP66 LightBARs
LM79 / LM80 Compliant
2G Vibration Tested
ISO 9001

ENERGY DATA

Electronic LED Driver
>0.9 Power Factor
<20% Total Harmonic Distortion
120-277V 50/60Hz, 347V/60Hz,
480V/60Hz
-40°C Minimum Temperature
40°C Ambient Temperature Rating

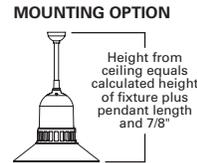
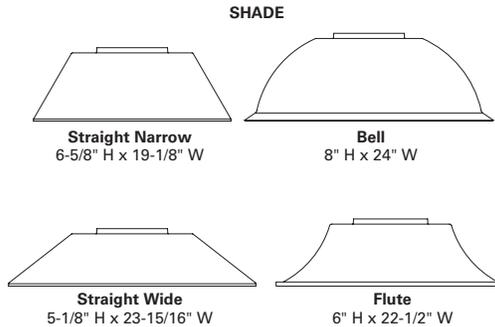
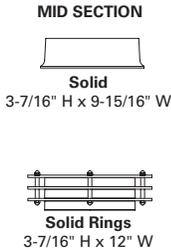
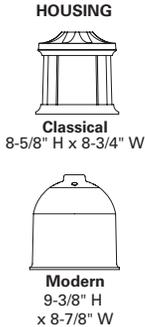
EPA

Effective Projected Area: (Sq. Ft.) 0.94

SHIPPING DATA

Approximate Net Weight:
45 lbs. [20 kgs.]

CONFIGURATIONS



POWER AND LUMENS BY BAR COUNT (21 LED LIGHTBARS)

Number of LightBARs	E01	E02	E03	E04	
Drive Current	350mA Drive Current				
Power (Watts)	25W	52W	75W	97W	
Current @ 120V (A)	0.22	0.44	0.63	0.82	
Current @ 277V (A)	0.10	0.20	0.28	0.36	
Power (Watts)	31W	58W	82W	99W	
Current @ 347V (A)	0.11	0.19	0.28	0.29	
Current @ 480V (A)	0.09	0.15	0.20	0.21	
T2	Lumens	2,948	5,896	8,844	11,792
	BUG Rating	B1-U0-G1	B2-U0-G2	B3-U0-G3	B3-U0-G3
T3	Lumens	2,936	5,873	8,809	11,745
	BUG Rating	B1-U0-G1	B2-U0-G2	B3-U0-G3	B3-U0-G3
T4	Lumens	2,876	5,752	8,627	11,503
	BUG Rating	B1-U0-G1	B1-U0-G2	B1-U0-G2	B2-U0-G3
5MQ	Lumens	3,054	6,108	9,161	12,215
	BUG Rating	B2-U0-G1	B3-U0-G1	B3-U0-G2	B4-U0-G2
5WQ	Lumens	2,987	5,975	8,962	11,949
	BUG Rating	B2-U0-G1	B3-U0-G1	B3-U0-G2	B4-U0-G2
5XQ	Lumens	2,982	5,963	8,945	11,926
	BUG Rating	B2-U0-G1	B3-U0-G2	B3-U0-G3	B4-U0-G3
SL2	Lumens	2,878	5,756	8,634	11,512
	BUG Rating	B1-U0-G1	B1-U0-G2	B2-U0-G2	B2-U0-G2
SL3	Lumens	2,894	5,788	8,682	11,576
	BUG Rating	B1-U0-G1	B1-U0-G2	B2-U0-G2	B2-U0-G2
SL4	Lumens	2,823	5,647	8,470	11,294
	BUG Rating	B1-U0-G1	B1-U0-G2	B2-U0-G2	B2-U0-G2
RW	Lumens	2,957	5,915	8,872	11,829
	BUG Rating	B2-U0-G2	B3-U0-G3	B3-U0-G3	B3-U0-G3
SLL/SLR	Lumens	2,616	5,231	7,847	10,462
	BUG Rating	B1-U0-G2	B1-U0-G2	B1-U0-G3	B2-U0-G3

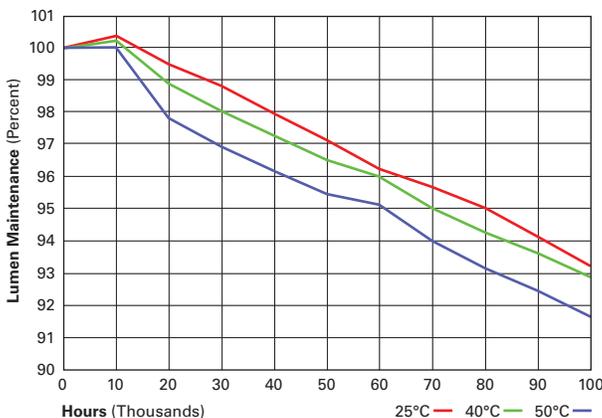
POWER AND LUMENS BY BAR COUNT (7 LED LIGHTBARS)

Number of LightBARs	F01	F02	F03	F04	
Drive Current	1A Drive Current				
Power (Watts)	26W	55W	78W	102W	
Current @ 120V (A)	0.22	0.46	0.66	0.86	
Current @ 277V (A)	0.10	0.21	0.29	0.37	
Power (Watts)	32W	60W	85W	105W	
Current @ 347V (A)	0.11	0.19	0.28	0.30	
Current @ 480V (A)	0.09	0.15	0.21	0.22	
T2	Lumens	2,434	4,867	7,301	9,735
	BUG Rating	B1-U0-G1	B2-U0-G2	B2-U0-G2	B3-U0-G3
T3	Lumens	2,424	4,848	7,272	9,696
	BUG Rating	B1-U0-G1	B2-U0-G2	B2-U0-G2	B3-U0-G3
T4	Lumens	2,374	4,748	7,122	9,496
	BUG Rating	B1-U0-G1	B1-U0-G2	B1-U0-G2	B2-U0-G2
5MQ	Lumens	2,521	5,042	7,563	10,084
	BUG Rating	B2-U0-G1	B3-U0-G1	B3-U0-G1	B3-U0-G2
5WQ	Lumens	2,466	4,932	7,398	9,864
	BUG Rating	B2-U0-G1	B3-U0-G1	B3-U0-G2	B4-U0-G2
5XQ	Lumens	2,461	4,923	7,384	9,845
	BUG Rating	B2-U0-G1	B3-U0-G2	B3-U0-G2	B4-U0-G3
SL2	Lumens	2,376	4,752	7,127	9,503
	BUG Rating	B1-U0-G1	B1-U0-G1	B2-U0-G2	B2-U0-G2
SL3	Lumens	2,389	4,778	7,167	9,556
	BUG Rating	B1-U0-G1	B1-U0-G1	B1-U0-G2	B2-U0-G2
SL4	Lumens	2,331	4,662	6,993	9,323
	BUG Rating	B1-U0-G1	B1-U0-G2	B1-U0-G2	B2-U0-G2
RW	Lumens	2,441	4,883	7,324	9,765
	BUG Rating	B1-U0-G1	B2-U0-G2	B3-U0-G3	B3-U0-G3
SLL/SLR	Lumens	2,159	4,318	6,478	8,637
	BUG Rating	B1-U0-G1	B1-U0-G2	B1-U0-G3	B1-U0-G3

LUMEN MAINTENANCE

Ambient Temperature	25,000 Hours*	50,000 Hours*	60,000 Hours*	100,000 Hours	Theoretical L70 (Hours)
25°C	> 99%	> 97%	> 96%	> 93%	> 450,000
40°C	> 98%	> 97%	> 96%	> 92%	> 425,000
50°C	> 97%	> 96%	> 95%	> 91%	> 400,000

* Per IESNA TM-21 data.



LUMEN MULTIPLIER

Ambient Temperature	Lumen Multiplier
10°C	1.02
15°C	1.01
25°C	1.00
40°C	0.99
50°C	0.96

CONTROL OPTIONS

0-10V (DIM)

This fixture is offered standard with 0-10V dimming driver(s). The DIM option provides 0-10V dimming wire leads for use with a lighting control panel or other control method.

Photocontrol (PC, PER and PER7)

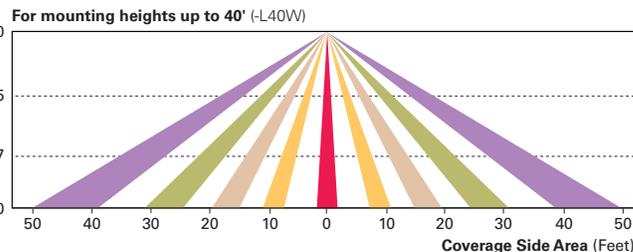
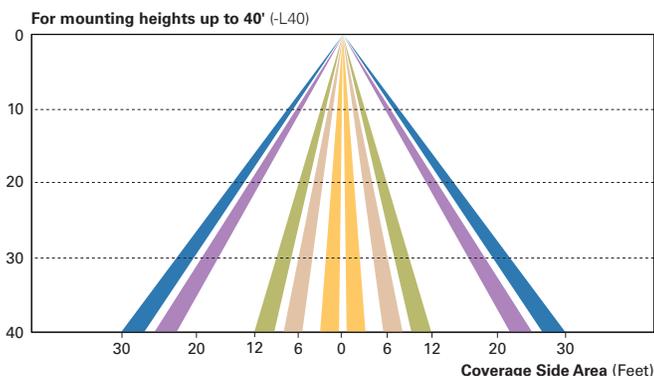
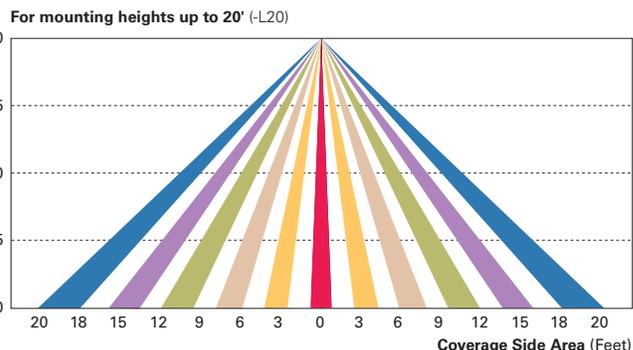
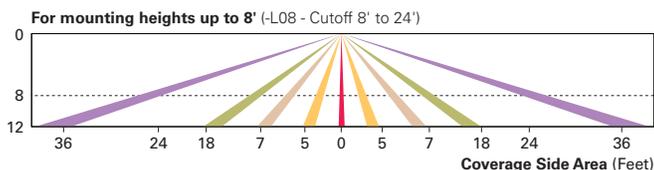
Optional button-type photocontrol (PC) and photocontrol receptacles (PER and PER7) provide a flexible solution to enable “dusk-to-dawn” lighting by sensing light levels. Advanced control systems compatible with NEMA 7-pin standards can be utilized with the PER7 receptacle.

Dimming Occupancy Sensor (MS/DIM-LXX, MS/X-LXX and MS-LXX)

These sensors are factory installed in the luminaire housing. When the MS/DIM-LXX sensor option is selected, the occupancy sensor is connected to a dimming driver and the entire luminaire dims when there is no activity detected. When activity is detected, the luminaire returns to full light output. The MS/DIM sensor is factory preset to dim down to approximately 50 percent power with a time delay of five minutes. The MS-LXX sensor is factory preset to turn the luminaire off after five minutes of no activity. The MS/X-LXX is also preset for five minutes and only controls the specified number of light engines to maintain steady output from the remaining light engines.

These occupancy sensors includes an integral photocell that can be activated with the FSIR-100 accessory for “dusk-to-dawn” control or daylight harvesting - the factory preset is OFF. The FSIR-100 is a wireless tool utilized for changing the dimming level, time delay, sensitivity and other parameters.

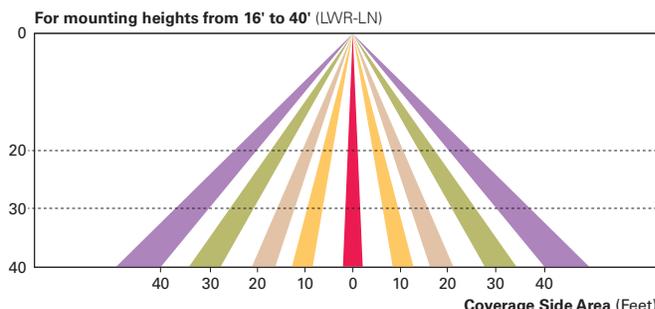
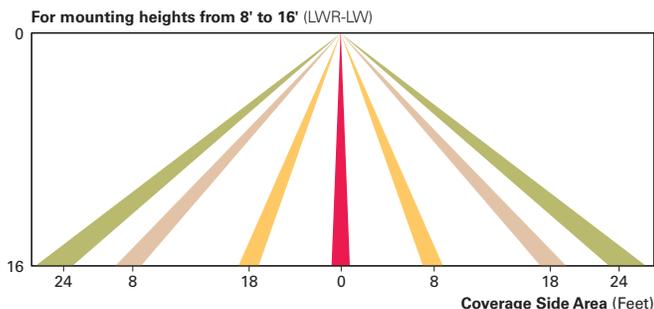
A variety of sensor lens are available to optimize the coverage pattern for mounting heights from 8'-40'.



LumaWatt Pro Wireless Control and Monitoring System (LWR-LW and LWR-LN)

The LumaWatt Pro system is a peer-to-peer wireless network of luminaire-integral sensors for any sized project. Each sensor is capable of motion and photo sensing, metering power consumption and wireless communication. The end-user can securely create and manage sensor profiles with browser-based management software. The software will automatically broadcast to the sensors via wireless gateways for zone-based and individual luminaire control. The LumaWatt Pro software provides smart building solutions by utilizing the sensor to provide easy-to-use dashboard and analytic capabilities such as improved energy savings, traffic flow analysis, building management software integration and more.

For additional details, refer to the LumaWatt Pro product guides.



ORDERING INFORMATION

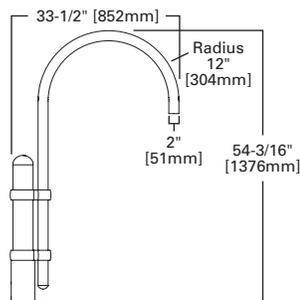
Sample Number: ECM-E04-LED-E1-T2-FL-GM

Product Family ¹	Number of LightBARs ^{2,3}	Lamp Type	Voltage	Distribution	Mid Section Type	Shade Type	Color ⁵
ECM =Epic Classical Medium EMM =Epic Modern Medium	E01 =(1) 21 LED LightBAR E02 =(2) 21 LED LightBARs E03 =(3) 21 LED LightBARs E04 =(4) 21 LED LightBARs F01 =(1) 7 LED LightBAR F02 =(2) 7 LED LightBARs F03 =(3) 7 LED LightBARs F04 =(4) 7 LED LightBARs	LED =Solid State Light Emitting Diodes	E1 =Electronic (120-277V) 347=347V 480=480V ⁴	T2 =Type II T3 =Type III T4 =Type IV SL2 =Type II w/Spill Control SL3 =Type III w/Spill Control SL4 =Type IV w/Spill Control 5MQ =Type V Square Medium 5WQ =Type V Square Wide 5XQ =Type V Square Extra Wide RW =Rectangular Wide SLL =90° Spill Light Eliminator Left SLR =90° Spill Light Eliminator Right	SO =Solid SR =Solid Rings	SN =Straight Narrow SW =Straight Wide BL =Bell FL =Flute	AP =Grey BZ =Bronze BK =Black DP =Dark Platinum GM =Graphite Metallic WH =White
Options (Add as Suffix)		Accessories (Order Separately) ¹⁴					
ZL =Two Circuits ⁶ 7030 =70 CRI / 3000K CCT ⁷ 7050 =70 CRI / 5000K CCT ⁷ 8030 =80 CRI / 3000K CCT ⁷ LCF =LightBAR Cover Plate Matches Housing Finish MS-LXX =Motion Sensor for ON/OFF Operation ⁸ MS/X-LXX =Motion Sensor for Bi-Level Switching ⁹ PMXX =Pendant Mount (XX=Pendant Length in Inches, 9.5" min - 48.0" max) ¹⁰ HSS =Factory Installed House Side Shield ¹¹ DIM =0-10V Dimming Driver ¹² LWR-LW =LumaWatt Pro Wireless Sensor, Wide Lens for 8' - 16' Mounting Height ¹³ LWR-LN =LumaWatt Pro Wireless Sensor, Narrow Lens for 16' - 40' Mounting Height ¹³		Classical VA6150-XX =Bishop Wall Mount Arm VA6151-XX =Bishop Wall Mount Arm with Cross Rod VA6152-XX =Traditional Wall Mount Arm VA6153-XX =Traditional Wall Mount Arm with 45° Strap VA6154-XX =Bishop Single Pole Mount Arm VA6155-XX =Bishop Single Pole Mount Arm with Cross Rod VA6156-XX =Bishop Twin Pole Mount Arm VA6157-XX =Bishop Twin Pole Mount Arm with Cross Rods VA6158-XX =Traditional Single Pole Mount Arm VA6159-XX =Traditional Single Pole Mount Arm with Rounded Upper Bar VA6160-XX =Traditional Single Pole Mount Arm with Rounded Lower Bar ¹⁵ VA6161-XX =Traditional Single Pole Mount Arm with 45° Upper Bar VA6162-XX =Traditional Single Pole Mount Arm with 45° Lower Bar ¹⁵ VA6163-XX =Traditional Single Pole Mount Arm with 45° Upper Strap VA6165-XX =Traditional Twin Pole Mount Arm VA6166-XX =Traditional Twin Pole Mount Arm with Rounded Upper Bars VA6167-XX =Traditional Twin Pole Mount Arm with Rounded Lower Bars ¹⁵ VA6168-XX =Traditional Twin Pole Mount Arm with 45° Upper Bars VA6169-XX =Traditional Twin Pole Mount Arm with 45° Lower Bars ¹⁵ VA6170-XX =Traditional Twin Pole Mount Arm with 45° Upper Straps VA6171-XX =Mast Arm Adapter Modern VA6101-XX =Bishop Wall Mount Arm VA6102-XX =Bishop Wall Mount Arm with Cross Rod VA6103-XX =Traditional Wall Mount Arm VA6104-XX =Traditional Wall Mount Arm with 45° Strap VA6105-XX =Bishop Single Pole Mount Arm VA6106-XX =Bishop Single Pole Mount Arm with Cross Rod VA6107-XX =Bishop Twin Pole Mount Arm VA6108-XX =Bishop Twin Pole Mount Arm with Cross Rods VA6109-XX =Traditional Single Pole Mount Arm VA6110-XX =Traditional Single Pole Mount Arm with Rounded Upper Bar VA6111-XX =Traditional Single Pole Mount Arm with Rounded Lower Bar ¹⁵ VA6112-XX =Traditional Single Pole Mount Arm with 45° Upper Bar VA6113-XX =Traditional Single Pole Mount Arm with 45° Lower Bar ¹⁵ VA6114-XX =Traditional Single Pole Mount Arm with 45° Upper Strap VA6116-XX =Traditional Twin Pole Mount Arm VA6117-XX =Traditional Twin Pole Mount Arm with Rounded Upper Bars VA6118-XX =Traditional Twin Pole Mount Arm with Rounded Lower Bars ¹⁵ VA6119-XX =Traditional Twin Pole Mount Arm with 45° Upper Bars VA6120-XX =Traditional Twin Pole Mount Arm with 45° Lower Bars ¹⁵ VA6121-XX =Traditional Twin Pole Mount Arm with 45° Upper Straps VA6122-XX =Mast Arm Adapter				OA/RA1016 =NEMA Twistlock Photocontrol - Multi-Tap OA/RA1027 =NEMA Twistlock Photocontrol - 480V OA/RA1201 =NEMA Twistlock Photocontrol - 347V OA/RA1013 =Photocontrol Shorting Cap LB/HSS-21 =Field Installed House Side Shield for "E" LightBARs ^{11,16} LB/HSS-07 =Field Installed House Side Shield for "F" LightBARs ^{11,16} Accessory Options ¹⁷ V =Victorian Finial ¹⁸ M =Modern Finial ¹⁸ A =Architectural Finial ¹⁸ N =Nostalgic Finial ¹⁸ R =NEMA Twistlock Photocontrol Receptacle ¹⁹	

- NOTES:**
1. Arm not included. Order separately. See accessories.
 2. Standard 4000K CCT and greater than 70 RI.
 3. 21 LED LightBAR powered by 350mA and 7 LED LightBAR powered by 1A.
 4. Only for use with 480V Wye systems. Per NEC, not for use with ungrounded systems, impedance grounded systems or corner grounded systems (commonly known as Three Phase Three Wire Delta, Three Phase High Leg Delta and Three Phase Corner Grounded Delta systems).
 5. Custom and RAL color matching available upon request. Consult your lighting representative at Eaton for more information.
 6. Low-level output varies by bar count. Consult factory. Requires quantity of two or more LightBARs.
 7. Consult customer service for lead times and multiplier.
 8. Sensor mounted to the luminaire. Available in E01-E04 and F01-F04 configurations. Replace "XX" with mounting height in feet for proper lens selection, (e.g., MS-L25). Consult factory for additional information.
 9. Sensor mounted to the luminaire. Available in E02-E04 and F02-F04 configurations. Replace "X" with number of LightBARs operating in low output mode and replace XX with mounting height in feet for proper lens selection, (e.g., MS/3-L25). Maximum four bars in low output mode. Consult factory for additional information.
 10. Pendant mount option "PMXX" must be used with InVue Pendant mount kit only. Includes pendant pipe, swivel hangar and canopy cover. Other pendant lengths can be specified in inches (XX). Minimum pendant length is 9-1/2". For lengths above 48", consult your lighting representative at Eaton for more information.
 11. Only for use with SL2, SL3 and SL4 distributions.
 12. Dimming leads provide for external 0-10V control system (by others).
 13. LumaWatt wireless sensors are factory installed only, requiring network components LWP-EM-1, LWP-GW-1, and LWP-PoE8 in appropriate quantities. See www.eaton.com/lighting for LumaWatt application information.
 14. Replace XX with color suffix.
 15. Only available with traditional arms.
 16. One required for each LightBAR.
 17. Add as suffix to accessory. Example: VA6109-BK-R.
 18. Not available with finials, pendant mount "PM48" or bishop wall mounts.
 19. Requires use of 4" O.D. round straight pole.

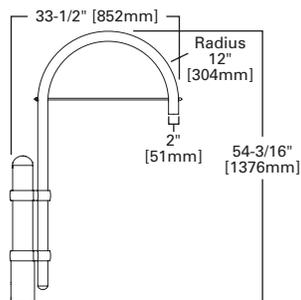
MOUNTING ACCESSORIES

Pole mount arms are designed to fit both medium ECM/EMM housings. (Only these arms are compatible with the Epic luminaire). Arms feature a precision welded cast aluminum mounting hub for attachment of fixture head to arm with four stainless steel fasteners. Wall mount arms compliment pole mount luminaires and attractively transition fixture scale in lower mounting height pedestrian environments. Wall mount arms are designed to fit both medium ECM/EMM housings. Arms feature a precision welded cast aluminum mounting hub for attachment of fixture head to arm with four stainless steel fasteners.



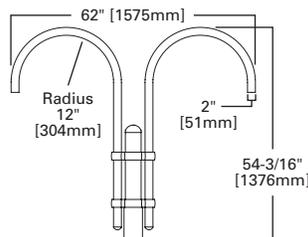
BISHOP SINGLE POLE MOUNT ARM

VA6105 (Modern), VA6154 (Classical)
Slipfits over 4" round straight pole, or 4" O.D. by 6" tall tenon.
Weight: 24 lbs. E.P.A: 0.92



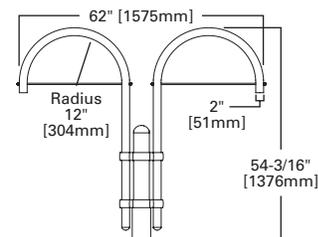
BISHOP SINGLE POLE MOUNT ARM WITH CROSS ROD

VA6106 (Modern), VA6155 (Classical)
Slipfits over 4" round straight pole, or 4" O.D. by 6" tall tenon.
Weight: 25 lbs. E.P.A: 0.98



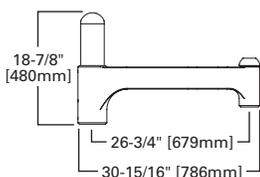
BISHOP TWIN POLE MOUNT ARM

VA6107 (Modern), VA6156 (Classical)
Slipfits over 4" round straight pole, or 4" O.D. by 6" tall tenon.
Weight: 37 lbs. E.P.A: 1.43



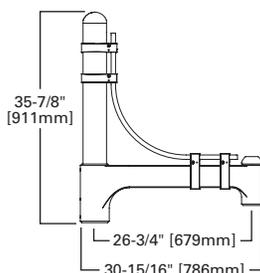
BISHOP TWIN POLE MOUNT ARM WITH CROSS RODS

VA6108 (Modern), VA6157 (Classical)
Slipfits over 4" round straight pole, or 4" O.D. by 6" tall tenon.
Weight: 39 lbs. E.P.A: 1.55



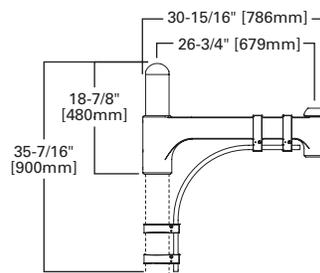
TRADITIONAL SINGLE POLE MOUNT ARM

VA6109 (Modern), VA6158 (Classical)
Slipfits over 4" round straight pole, or 4" O.D. by 6" tall tenon.
Weight: 20 lbs. E.P.A: 0.86



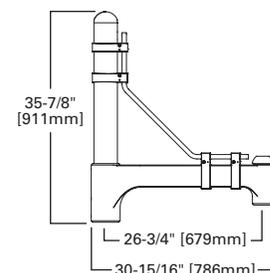
TRADITIONAL SINGLE POLE MOUNT ARM WITH ROUNDED UPPER BAR

VA6110 (Modern), VA6159 (Classical)
Slipfits over 4" round straight pole, or 4" O.D. by 6" tall tenon.
Weight: 28 lbs. E.P.A: 1.4



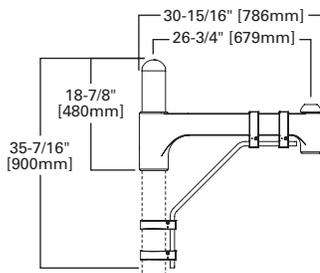
TRADITIONAL SINGLE POLE MOUNT ARM WITH ROUNDED LOWER BAR

VA6111 (Modern), VA6160 (Classical)
Slipfits over 4" round straight pole, or 4" O.D. by 6" tall tenon.
Weight: 25 lbs. E.P.A: 1.16



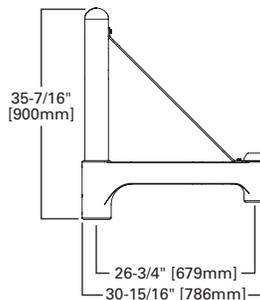
TRADITIONAL SINGLE POLE MOUNT ARM WITH 45° UPPER BAR

VA6112 (Modern), VA6161 (Classical)
Slipfits over 4" round straight pole, or 4" O.D. by 6" tall tenon.
Weight: 28 lbs. E.P.A: 1.38



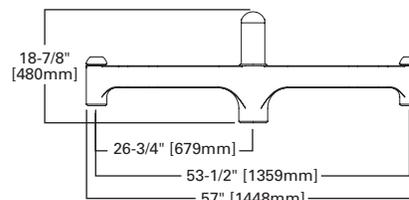
TRADITIONAL SINGLE POLE MOUNT ARM WITH 45° LOWER BAR

VA6113 (Modern), VA6162 (Classical)
Slipfits over 4" round straight pole, or 4" O.D. by 6" tall tenon.
Weight: 24 lbs. E.P.A: 1.17



TRADITIONAL SINGLE POLE MOUNT ARM WITH 45° UPPER STRAP

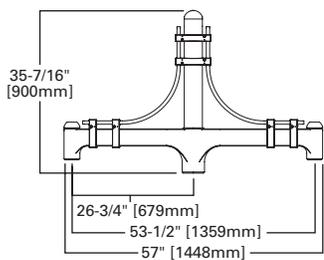
VA6114 (Modern), VA6163 (Classical)
Slipfits over 4" round straight pole, or 4" O.D. by 6" tall tenon.
Weight: 24 lbs. E.P.A: 1.17



TRADITIONAL TWIN POLE MOUNT ARM

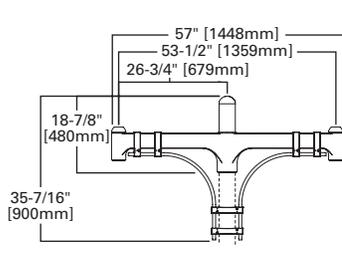
VA6116 (Modern), VA6165 (Classical)
Slipfits over 4" round straight pole, or 4" O.D. by 6" tall tenon.
Weight: 30 lbs. E.P.A: 1.44

MOUNTING ACCESSORIES



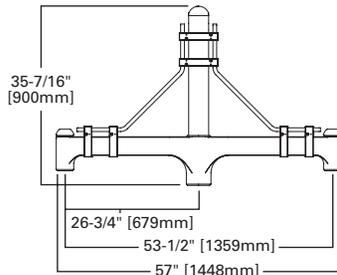
TRADITIONAL TWIN POLE MOUNT ARM WITH ROUNDED UPPER BARS

VA6117 (Modern), VA6166 (Classical)
Slipfits over 4" round straight pole, or 4" O.D. by 6" tall tenon.
Weight: 43 lbs. E.P.A.: 2.28



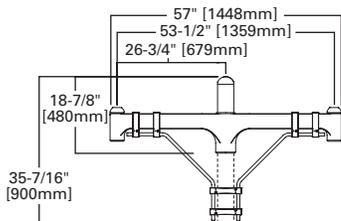
TRADITIONAL TWIN POLE MOUNT ARM WITH ROUNDED LOWER BARS

VA6118 (Modern), VA6167 (Classical)
Slipfits over 4" round straight pole, or 4" O.D. by 6" tall tenon.
Weight: 40 lbs. E.P.A.: 2.04



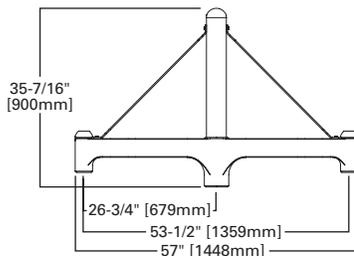
TRADITIONAL TWIN POLE MOUNT ARM WITH 45° UPPER BARS

VA6119 (Modern), VA6168 (Classical)
Slipfits over 4" round straight pole, or 4" O.D. by 6" tall tenon.
Weight: 43 lbs. E.P.A.: 2.24



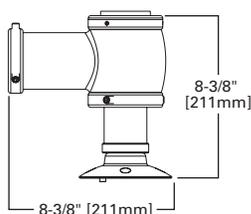
TRADITIONAL TWIN POLE MOUNT ARM WITH 45° LOWER BARS

VA6120 (Modern), VA6169 (Classical)
Slipfits over 4" round straight pole, or 4" O.D. by 6" tall tenon.
Weight: 40 lbs. E.P.A.: 2.0



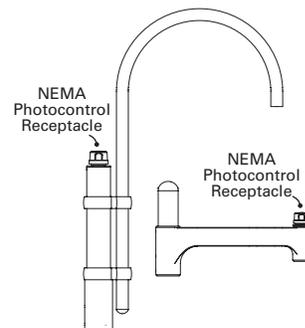
TRADITIONAL TWIN POLE MOUNT ARM WITH 45° UPPER STRAPS

VA6121 (Modern), VA6170 (Classical)
Slipfits over 4" round straight pole, or 4" O.D. by 6" tall tenon.
Weight: 37 lbs. E.P.A.: 1.81



MAST ARM ADAPTER

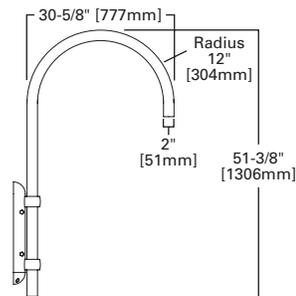
VA6122 (Modern), VA6171 (Classical)
Secures fixture to nominal 2" pipe (2-3/8" horizontal O.D.)
Weight: 4 lbs.



NEMA TWISTLOCK PHOTOCONTROL (R)

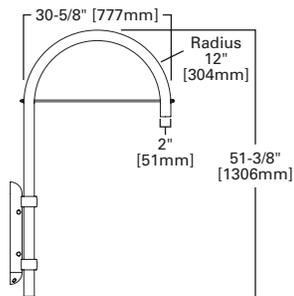
Order separately (Not compatible with finials or wall mount bishop arms)

Wall Mount Accessories



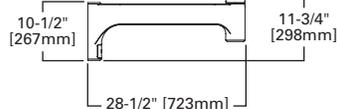
BISHOP WALL MOUNT ARM

VA6101 (Modern), VA6150 (Classical)
Mounts to wall with four stainless steel lag bolts (provided by other).
Weight: 16 lbs.



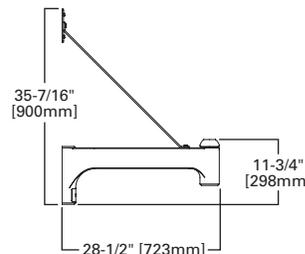
BISHOP WALL MOUNT ARM WITH CROSS ROD

VA6102 (Modern), VA6151 (Classical)
Mounts to wall with four stainless steel lag bolts (provided by other).
Weight: 17 lbs.



TRADITIONAL WALL MOUNT ARM

VA6103 (Modern), VA6152 (Classical)
Mounts to wall with four stainless steel lag bolts (provided by other).
Weight: 17 lbs.



TRADITIONAL WALL MOUNT ARM WITH 45° STRAP

VA6104 (Modern), VA6153 (Classical)
Mounts to wall with four stainless steel lag bolts (provided by other).
Weight: 18 lbs.

Product Description

The Alume Series Straight Round Aluminum poles are built from extruded aluminum tube with high-strength die cast aluminum base and are available side drilled for arm mounted area lighting luminaires or with tenon mounts for flood and post top luminaires. Mounting heights of 10' to 25'.

> Quick Ship - In Stock, Ready to Ship

Project:		Type:
Location:		
Prepared By:		Date:
Comments:		

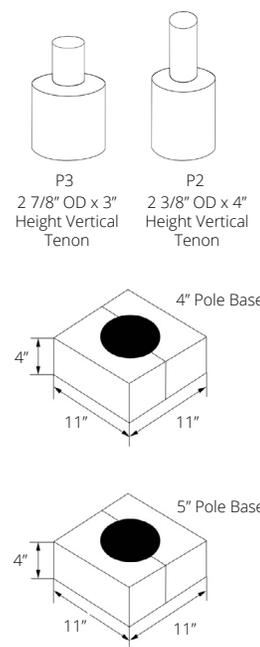
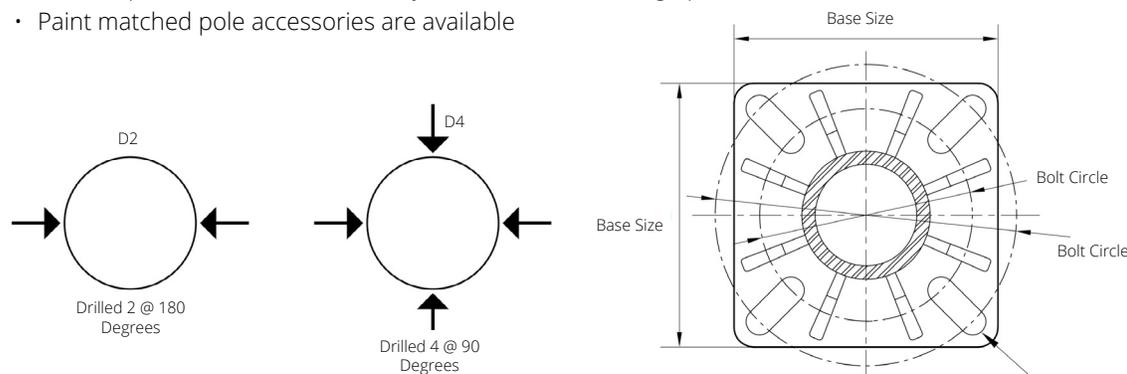
Performance Summary

- USA assembled product with quick warranty support
- Pole shaft is uniform wall thickness and one-piece extruded 6063 aluminum alloy with T6 temper
- Anchor base is 356 alloy aluminum die cast and is heat treated to a T6 temper after welding
- Wall thickness: .196"
- Polycarbonate top cover and hole plugs for unused drilling locations
- Poles are pre-drilled for side mount
- Textured architectural back polyester powdercoat finish
- Baked to ensure maximum paint adhesion, hardness and durability
- Anchor bolts are Included and sized based on selected pole size
- Die cast aluminum reinforced cast iron hand-hole and cover with ground screw
- Pole includes a two-piece formed aluminum base cover
- Base cover is easily assembled and fitted over pole base
- Custom length pole height cutting is available
- Drill templates available for a variety of luminaire mounting options
- Paint matched pole accessories are available

ALUME 2 SERIES

Straight Round Aluminum Poles

4" & 5"



Models:

- WDPSR2045: Up to 20 foot, 4 inch round, 8.5"-12" bolt circle, 10.5" base size, 1" base thickness, 4" bolt projection
- WDPSR2555: 25 foot, 5 inch round, 8.5"-12" bolt circle, 10.5" base size, 1" base thickness, 4" bolt projection

Ordering Information:			Part Number:	Ordering Example: WDPSR2045-20-BK-P2-NO		
*Adder Applies. Extended Lead Time Applies.						
Family	Pole Height	Housing Finish	Pole Top Mounting	Options	Accessories	
WDPSR2045 WDPSR2555	10 - 10 Foot* 12 - 12 Foot* 14 - 14 Foot* 16 - 16 Foot* 18 - 18 Foot* 20 - 20 Foot 25 - 25 Foot CS - Custom*	BK - Black	D2 - Drilled 2 Sides at 180 Degrees D4 - Drilled 4 Sides at 90 Degrees P2 - 2 3/8" OD x 4" Height Vertical Tenon* P3 - 2 7/8" OD x 3" Height Vertical Tenon*	NO - No Options LAB - Less Anchor Bolts LBC - Less Base Cover	SEE NEXT PAGE	



Vivid Leds, Inc.
PO BOX 9
Sellersburg, IN 47172
800-974-3570
www.vividleds.us

Dimensions, specifications, and product pictures are subject to change without notice.

EPA:

Wind Loading and Dimensional Data:

Pole Description		80 MPH		90 MPH		100 MPH		110 MPH		120 MPH		130 MPH		140 MPH		150 MPH		Structure Weight (LBS)
Shaft Size & Wall Thickness	Mounting Height	Max EPA (SQ FT)	Max Weight (LBS)	Max EPA (SQ FT)	Max Weight (LBS)	Max EPA (SQ FT)	Max Weight (LBS)	Max EPA (SQ FT)	Max Weight (LBS)	Max EPA (SQ FT)	Max Weight (LBS)	Max EPA (SQ FT)	Max Weight (LBS)	Max EPA (SQ FT)	Max Weight (LBS)	Max EPA (SQ FT)	Max Weight (LBS)	
4" Round, 5mm Wall	10' - 0"	16.3	175	12.0	100	9.4	100	7.6	100	6.3	100	5.3	100	4.5	100	3.9	100	43
	12' - 0"	12.1	185	9.6	100	7.4	100	5.9	100	4.9	100	4.1	100	3.5	100	2.9	100	52
	14' - 0"	9.7	190	7.7	100	5.8	100	4.6	100	3.7	100	3.1	100	2.6	100	2.2	100	60
	16' - 0"	7.5	155	6.0	100	4.4	100	3.3	100	2.7	100	2.2	100	1.8	100	1.5	100	69
	18' - 0"	5.7	125	4.6	100	3.1	100	2.3	100	1.8	100	1.4	100	1.1	100	0.9	100	78
	20' - 0"	4.3	95	3.3	100	2.1	100	1.4	100	1.0	100	0.7	100	0.5	100	-	-	86
5" Round, 5mm Wall	16' - 0"	10.1	200	8.6	100	6.6	100	5.3	100	4.4	100	3.6	100	3.0	100	2.5	100	72
	18' - 0"	8.0	255	6.8	100	5.1	100	4.1	100	3.3	100	2.7	100	2.2	100	1.8	100	81
	20' - 0"	6.4	150	5.2	100	3.8	100	3.0	100	2.3	100	1.9	100	1.5	100	1.2	100	90
	25' - 0"	4.0	200	3.4	100	2.4	100	1.7	100	1.2	100	0.8	100	0.6	100	-	-	112

NOTES:

- Maximum EPA (Effective Projected Area) and weight values are based on AASHTO 2013 (90-150MPH) and AASHTO 2008 (80MPH)
- Consult factory on loading criteria for pole top mounted luminaires and/or brackets
- Variations from sizes above are available upon inquiry at the factory
- Satisfactory performance of poles is dependent upon the pole properly attached to a supporting foundation of adequate design
- Structure weight is a nominal value which includes the pole shaft and base plate only
- Side drilled poles include polycarbonate pole cap
- All poles include anchor bolts standard, consult dimension table for size based on pole dimensions
- All poles include square 2-piece black base cover
- Pole accessories listed below use their own part number
- Pole accessories are field installed
- Pole accessories color match the black pole

Accessories for 4" & 5" Straight Round Aluminum Pole:

VVDPTS1SZ - Single Spoke Bracket, fits P2 Tenon 	VVDPTS290SZ - Twin Spoke Bracket, 90 Degree Arms, fits P2 Tenon 	VVDPTS2180SZ - Twin Spoke Bracket, 180 Degree Arms, fits P2 Tenon 
VVDPTS390SZ - Triple Spoke Bracket, 90 Degree Arms, fits P2 Tenon 	VVDPTS3120SZ - Triple Spoke Bracket, 120 Degree Arms, fits P2 Tenon 	VVDPTS490SZ - Quad Spoke Bracket, 90 Degree Arms, fits P2 Tenon 
VVDPRSWMBZ - Wall Mount Bracket 	VVDPRSWMB90Z - Wall Mount Bracket, 90 Degrees 	

Job Name: _____	Client Name: _____
Job Location - City: _____ State: _____	Created By: _____ Date: _____
Product: _____ Quote: _____	Customer Approval: _____ Date: _____

FEATURES

- Aesthetically pleasing for lighting applications
- Clamshell design for quick, easy assembly
- Durable, high quality aluminum casting provides clean, crisp details
- Provided with stainless steel hardware
- Tamper proof hardware available as special order
- Long-lasting finish available in a variety of colors
- Install on existing poles to enhance streetscape



POLE BASE DIAMETER RANGE		DIMENSIONS OF BASE COVER			MODEL NUMBER
TAPERED 0.14'/FT (IN)	NON-TAPERED (IN)	DIA (IN)	HEIGHT (IN)	QTY OF ACCESS DOORS	
3.00 - 4.25	2.75 - 4.00	12.25	15.25	0	WA11AC
5.38 - 5.50	5.13 - 5.25	17.00	20.00	0	WA17AC

All dimensions shown are nominal and do not include handhole projection.



PRODUCT ORDERING CODES

MODEL NUMBER	COLOR*	POLE BASE OD (IN)	BASE PLATE			ANCHOR BOLTS		HANDHOLE		
			BOLT CIRCLE DIA (IN)	SQUARE (IN)	THICKNESS (IN)	DIAMETER (IN)	PROJECTION (IN)	SIZE W x H (IN)	CENTER LINE HEIGHT (IN)	PROJECTION (IN)
WA11AC WA17AC	STEEL WH = White ST = Sandstone BK = Black SM = Silver Metallic SL = Silver LG = Light Gray SG = Slate Gray DT = Dark Tan MB = Medium Bronze CB = Bronze DB = Dark Bronze BN = Brown HG = Hunter Green DG = Dark Green RD = Red SC = Special Color (Contact Factory)	ALUMINUM DWH = White DSS = Sandstone BR = Burgundy HG = Hunter Green DNA = Natural Aluminum DCG = Charcoal Gray DMB = Medium Bronze SBN = Sanded Brown DNB = New Dark Bronze DDB = Dark Bronze SBK = Sanded Black DBL = Black DSB = Steel Blue DTG = Dark Green DBR = Red SC = Special Color (Contact Factory)								

1. Model Number, Color and Pole Base OD required on all orders.
2. Additional information required when ordering separate from poles.

* Choose steel or aluminum when used in conjunction with the appropriate pole material.

WASHINGTON AC2

Cast Aluminum - Clamshell



STRUCTURES

Job Name: _____	Client Name: _____
Job Location - City: _____ State: _____	Created By: _____ Date: _____
Product: _____ Quote: _____	Customer Approval: _____ Date: _____

BASE COVER CLOSE-UP



SPC7278 11/10 valmontstructures.com carries the most current spec information and supersedes these guidelines.

Wesley Collection

Wesly 1 Light LED Outdoor Wall Light in TZT

AZT

49278AZTLED (Textured Architectural Bronze)



Dimensions

Height	7.50"
Width	7.00"

Height	7.50"
Width	7.00"

Project Name: _____
 Location: _____
 Type: _____
 Qty: _____
 Comments: _____

Ordering Information

Product ID	49278AZTLED
Finish	Textured Architectural Bronze
Available Finishes	AZT, PL
Collection	Wesley Collection

Product ID	49278AZTLED
Finish	Textured Architectural Bronze
Available Finishes	AZT, PL
Collection	Wesley Collection

Dimensions

Extension	4.00"
Height from center of Wall opening	3.75"
Base Backplate	5.25 X 4.25
Weight	2.07 LBS

Extension	4.00"
Height from center of Wall opening	3.75"
Base Backplate	5.25 X 4.25
Weight	2.07 LBS

Photometrics

Kelvin Temperature	3000K
Color Rendering Index	90

Kelvin Temperature	3000K
Color Rendering Index	90

Specifications

Material	Aluminum
----------	----------

Material	Aluminum
----------	----------

Electrical

Dimmable	Yes
Dimmable Notes	This LED is compatible with most standard incandescent dimmers, LED dimmers, and electronic low voltage dimmers. For more information, go to Kichler.com/dimming .
Voltage	120V
Input Voltage	Single(120)

Dimmable	Yes
Dimmable Notes	This LED is compatible with most standard incandescent dimmers, LED dimmers, and electronic low voltage dimmers. For more information, go to Kichler.com/dimming .
Voltage	120V
Input Voltage	Single(120)

Qualifications

Safety Rated	Wet
Dark Sky	Yes
Expected Life Span	35000 Hours
Warranty	www.kichler.com/warranty

Safety Rated	Wet
Dark Sky	Yes
Expected Life Span	35000 Hours
Warranty	www.kichler.com/warranty

Primary Lamping

Light Source	LED
Lamp Included	Integrated
Light Source Equivalent	60(1) Incandescent
# of Bulbs/LED Modules	1
Initial Lumens	720
Max or Nominal Watt	8W

Light Source	LED
Lamp Included	Integrated
Light Source Equivalent	60(1) Incandescent
# of Bulbs/LED Modules	1
Initial Lumens	720
Max or Nominal Watt	8W

Notes:

- 1) Information provided is subject to change without notice. All values are design or typical values when measured under laboratory conditions.
- 2) Incandescent Equivalent: The incandescent equivalent as presented is an approximate number and is for reference only.

RECESSED WALL WASH SOFFIT CAN LIGHTS - EF3, EF4, & EF5

Halo Commercial

DESCRIPTION

Recessed 6-inch LED downlight provides narrow, medium or wide distribution patterns ideal for general area lighting. Lumen options range from 1000 to 4000 lumens in color temperatures of 2700K, 3000K, 3500K, and 4000K; in 80 or 90CRI. Luminaire is airtight and can be installed in new construction or below the finished ceiling in remodeling applications. Intended for healthcare, hospitality, office spaces, and institutional applications.

Catalog #		Type
Project		
Comments		Date
Prepared by		

SPECIFICATION FEATURES

Housing Frame

- Boat shaped galvanized steel plaster frame with adjustable plaster lip accommodates 1/2" to 1-1/2" thick ceilings
- May be installed in new construction; may be installed from below the finished (non-accessible) ceiling in remodeling (with mounting bars removed).
- Provided with (2) old work remodel clips to secure the frame to the ceiling

Universal Mounting Bracket

- Mounting bracket adjusts 2" vertically from above the ceiling or thru the aperture
- Use with the included mounting bars or with 1/2" EMT
- Removable to facilitate installation from below the finished ceiling

Mounting Bars

- Captive pre-installed No Fuss™ mounting bars lock to tee grid with screwdriver or pliers
- Centering mechanism allows for consistent positioning of fixtures

LED Module

- Proximity phosphors over chip on board LEDs provide a uniform source with high efficiency and no pixilation
- Available in 80 or 90 CRI minimum, accuracy within 3 SDCM provides color uniformity
- 90 CRI option: R9>50 (refer to photometry section)
- Correlated color temperature options
 - 2700K
 - 3000K
 - 3500K
 - 4000K
- Passive thermal management achieves L70 at 50,000 hours in IC and non IC applications
- Integral diffuse lens provides visual shielding
- Integral connector allows quick connection to housing flex

Lumen Options

- Nominal lumen values
 - 1000 lm
 - 1500 lm
 - 2000 lm
 - 3000 lm
 - 4000 lm

Reflector

- Self-flanged aluminum reflectors are available in narrow, medium or wide distribution patterns
- Medium distribution polymer non-conductive matte white reflector may be used to meet local codes for 'dead front' applications (Non-IC, 3000 lumen max.)
- Wall wash reflector features a rotatable insert assembly with integral linear spread lens for precise alignment of vertical illumination.
- Reflector attaches to LED module with (3) speed clamps
- Multiple painted or plated finishes are available

Reflector / Module Retention

- Reflector / module assembly is securely retained in the housing with (2) torsion springs

Driver

- Field replaceable constant current driver provides low noise operation
- UNV 120-277VAC 50/60Hz input standard
- 347VAC 50/60Hz input option (Canada only)
- Continuous, flicker-free 1% dimming with 0-10V analog control
- Optional low voltage DC driver for use with Eaton's DLVP distributed low voltage power system combines power and control

Emergency Option

- Provides 90 minutes of standby lighting meeting most life safety codes for egress lighting
- Available with integral or remote charge indicator and test switch

Connected Lighting System Options

- WaveLinX tile mount daylight sensor includes control module, sensor and cable providing comprehensive lighting control
- LumaWatt Pro (powered by Enlighted) wireless tile mount sensor and control kit

Junction Box

- Galvanized steel junction box
- 20 in³ internal volume excluding voltage barrier
- 25 in³ internal total volume
- Voltage divider for 0-10V dimming wires [occupies (1) 1/2" pry-out space]
- Listed for (8) #12 AWG (four in, four out) 90° C conductors and feed-thru branch wiring
- (3) 1/2" and (2) 3/4" trade size pry-outs available
- (3) 4-port push wire nuts for mains voltage, with 1-port for fixture connection

Compliance

- cULus Listed/Classified, wet location labeled for covered ceilings
- IP20 - Above finished ceiling; IP65 - Below finished ceiling
- Non-IC rated 3000, 4000 lumen models. Insulation must be kept 3" from top and sides.
- IC rated 1000, 1500, 2000 lumen models, and suitable for direct contact to air permeable insulation
- Not for use in direct contact with spray foam insulation, consult NEMA LSD57-2013
- Airtight per ASTM-E283-04
- Suitable for use in clothes closets when installed in accordance with the NEC 410.16 spacing requirements
- EMI/RFI emissions FCC CFR Title 47 Part 15 Class A at 120/277V & Class B at 120V
- Contains no mercury or lead and RoHS compliant
- Photometric testing in accordance with IES LM-79-08
- Lumen maintenance projections in accordance with IES LM-80-08 and TM-21-11
- 1000, 1500 and 2000 lumen 90CRI ICAT models may be used to comply with State of California Title 24 residential code, with JA8-2016-E database certification
- May be used to comply with State of California Title 24 non-residential code, as a dimmable LED luminaire
- ENERGY STAR® certified, reference certified light fixtures database

Warranty

- Five year limited warranty, consult website for details.
www.eaton.com/lighting/legal



**HC6
Frame**

**HM6
LED Module**

**61
61PS**

Series Reflectors

**6-inch Lens Downlight
and Lens Wall Wash**

**1000/1500/2000/
3000/4000 Lumen**



ENERGY DATA

Series	1000 lumen	
Input Voltage (VAC)	120V	277V
Input Current (A)	0.085	0.042
Input Power (W)	10.1	10.9
In-rush Current (A)	0.644	1.95
In-rush Duration (ms)	0.125	0.24
THDi (%)	8.6	15.6
PF:	≥ 0.90	
(Nominal input 120-277VAC & 100% of rated output power)		
Minimum starting temperature -40°C (-40°F)		
Sound Rating: Class A standards		

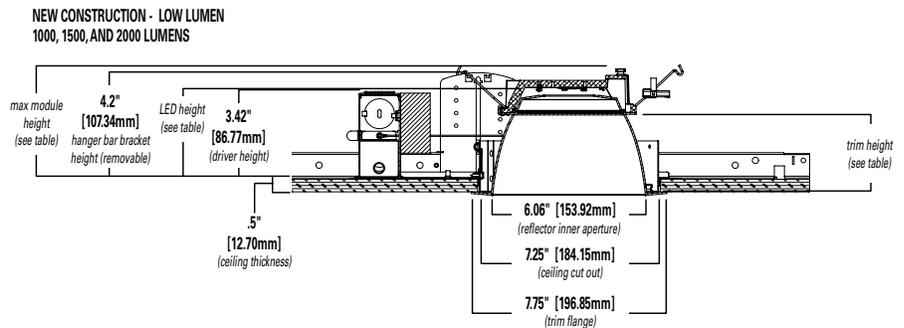
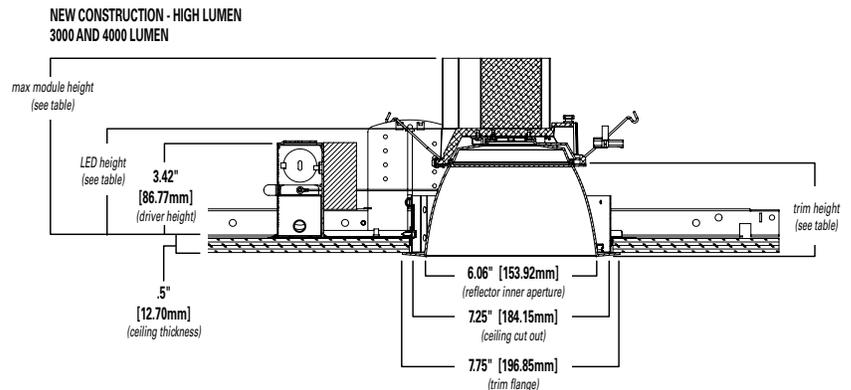
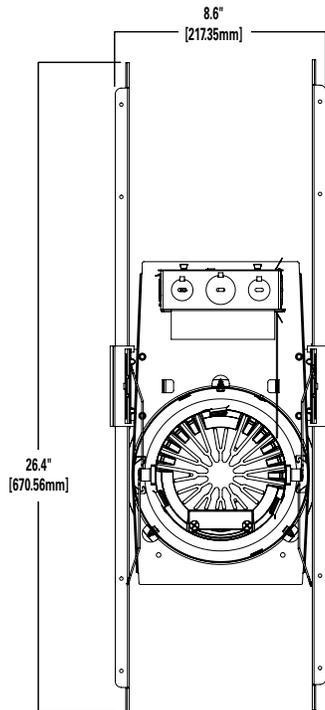
Series	1500 lumen	
Input Voltage (VAC)	120V	277V
Input Current (A)	0.119	0.055
Input Power (W)	14.2	14.9
In-rush Current (A)	0.212	0.85
In-rush Duration (ms)	0.28	0.32
THDi (%)	7.8	16.3
PF:	≥ 0.90	
(Nominal input 120-277VAC & 100% of rated output power)		
Minimum starting temperature -40°C (-40°F)		
Sound Rating: Class A standards		

Series	2000 lumen	
Input Voltage (VAC)	120V	277V
Input Current (A)	0.176	0.082
Input Power (W)	21.1	21.4
In-rush Current (A)	0.588	0.624
In-rush Duration (ms)	0.3	0.38
THDi (%)	8.8	11.2
PF:	≥ 0.90	
(Nominal input 120-277VAC & 100% of rated output power)		
Minimum starting temperature -40°C (-40°F)		
Sound Rating: Class A standards		

Series	3000 lumen	
Input Voltage (VAC)	120V	277V
Input Current (A)	0.228	0.102
Input Power (W)	27.2	27
In-rush Current (A)	0.898	1.7
In-rush Duration (ms)	0.36	0.38
THDi (%)	9.7	9.3
PF:	≥ 0.90	
(Nominal input 120-277VAC & 100% of rated output power)		
Minimum starting temperature -40°C (-40°F)		
Sound Rating: Class A standards		

Series	4000 lumen	
Input Voltage (VAC)	120V	277V
Input Current (A)	0.345	0.15
Input Power (W)	41.3	40.7
In-rush Current (A)	1.05	2.23
In-rush Duration (ms)	0.32	0.34
THDi (%)	10.06	14.01
PF:	≥ 0.90	
(Nominal input 120-277VAC & 100% of rated output power)		
Minimum starting temperature -40°C (-40°F)		
Sound Rating: Class A standards		

DIMENSIONS



High Lumen (3000 & 4000 Lumens)

Distribution	Max. Module Height	Trim Height	LED Height
Narrow	6.6"	3.4"	3.8"
Medium	6.7"	3.5"	3.9"
Wide	6.5"	3.3"	3.7"
Baffle	6.5"	3.3"	3.7"

Low Lumen (1000, 1500 & 2000 Lumens)*

Distribution	Max. Module Height	Trim Height	LED Height
Narrow	4.5"	3.4"	3.8"
Medium	4.6"	3.5"	3.9"
Wide	4.4"	3.3"	3.7"
Baffle	4.4"	3.3"	3.7"

*Max. height w/hanger bar bracket 4.2"

Ordering Information

Sample Number: HC620D010REM7 – HM612835 - 61MDC

A complete luminaire consists of a housing frame, LED module, and reflector (ordered separately)

Mounting Frame	Lumens	Input / Control	Options	Accessories
<p>HC6 = 6" new construction and remodeler housing</p> <p>HC6CP = 6" new construction and remodeler housing, CCEA Chicago Plenum rated</p>	<p>10 = 1000 lumens (nominal)</p> <p>15 = 1500 lumens (nominal)</p> <p>20 = 2000 lumens (nominal)</p> <p>30 = 3000 lumens (nominal)</p> <p>40 = 4000 lumens (nominal)</p>	<p>D010 = 120-277VAC 50/60Hz 0-10V analog 1%-100% dimming</p> <p>D010347 = 347VAC 50/60Hz 0-10V analog 1%-100% dimming (Canada only) ¹</p>	<p>REM7 = 7 watt emergency module with remote test / indicator light, use with D010 only ¹</p> <p>REM14 = 14 watt emergency module with remote test / indicator light, use with D010 only ¹</p> <p>IEM7 = integral 7 watt emergency module with integral test / indicator light, use with D010 only ¹</p> <p>IEM14 = integral 14 watt emergency module with integral test / indicator light, use with D010 only ¹</p> <p>LWTPD1 = factory installed LumaWatt Pro wireless tile mount sensor kit, use with D010 only ¹</p> <p>SWPD1 = factory installed WaveLinX tile mount daylight sensor, includes control module, sensor, and cable, use with D010 only ¹</p>	<p>HB128APK = L channel hanger bar, 26", pair (replacement)</p> <p>RMB22 = Adjustable wood joist mounting bars, pair, extend to 22" long</p> <p>H347 = 347 to 120V step down transformer, 75VA</p> <p>H347200 = 347 to 120V step down transformer, 200VA</p> <p>PORLWTPD1 = Field installed LumaWatt Pro wireless sensor kit, use with D010 only ¹</p> <p>TMSWPD1 = Field installed WaveLinX wireless sensor kit, use with D010 only ¹</p>
		<p>DLV = Distributed Low Voltage driver, 1%-100% dimming DLV for use with Eaton's DLVP system only. Refer to DLVP low-voltage power module and DLVP specifications for details. ¹</p>	<p>REM7 = 7 watt emergency module with remote test / indicator light, use with DLV only ^{1, 2}</p> <p>REM14 = 14 watt emergency module with remote test / indicator light, use with DLV only ^{1, 2}</p> <p>IEM7 = integral 7 watt emergency module with integral test / indicator light, use with DLV only ^{1, 2}</p> <p>IEM14 = integral 14 watt emergency module with integral test / indicator light, use with DLV only ^{1, 2}</p>	

LED Module	Lumens	CRI/CCT
<p>HM6 = 6" LED module</p>	<p>12=1000, 1500 and 2000 lumens (nominal), use with HC610*, HC615*, HC620* housings</p> <p>34=3000 and 4000 lumens (nominal), use with HC630*, HC640* housings</p>	<p>827 = 80 CRI (minimum), 2700K CCT</p> <p>830 = 80 CRI (minimum), 3000K CCT</p> <p>835 = 80 CRI (minimum), 3500K CCT</p> <p>840 = 80 CRI (minimum), 4000K CCT</p> <p>927 = 90 CRI (minimum), 2700K CCT</p> <p>930 = 90 CRI (minimum), 3000K CCT</p> <p>935 = 90 CRI (minimum), 3500K CCT</p> <p>940 = 90 CRI (minimum), 4000K CCT</p>

Reflector	Distribution ³	Finish	Flange	Accessories
<p>61 = 6" conical reflector</p>	<p>ND = narrow 55° beam angle 0.97 SC</p> <p>MD = medium 60° beam angle 1.10 SC</p> <p>WD = wide 65° beam angle 1.28 SC</p> <p>RWW = rotatable wall wash with linear spread lens</p>	<p>C = Specular clear</p> <p>H = Semi-specular clear</p> <p>W = White (white flange)</p>	<p>Blank = Polished flange standard with C & H reflectors</p> <p>Blank = White flange standard with W reflector</p> <p>WF = White flange option available with C & H reflectors</p>	<p>61RWWPK = rotatable wall wash insert for 6" reflector –replacement part kit</p>

Baffle	Distribution ³	Finish	Flange	Accessories
<p>61 = 6" baffle reflector</p>	<p>WD = wide 65° beam angle 1.28 SC (nominal)</p> <p>RWW = rotatable wall wash with linear spread lens</p>	<p>BB = Black baffle (white flange)</p> <p>WB = White baffle (white flange)</p>	<p>Blank = White flange standard with BB, & WB</p>	<p>61RWWPK = rotatable wall wash insert for 6" reflector –replacement part kit</p>

IEM Reflector	Distribution ³	Finish	Flange	Integral Emergency
<p>61 = 6" IEM reflector for integral emergency only</p>	<p>ND = narrow 55° beam angle 0.97 SC</p> <p>MD = medium 60° beam angle 1.10 SC</p> <p>WD = wide 65° beam angle 1.28 SC</p>	<p>C = Specular clear</p> <p>H = Semi-specular clear</p> <p>W = White (white flange)</p>	<p>Blank = Polished flange standard with C & H reflectors</p> <p>Blank = White flange standard with W reflector</p> <p>WF = White flange option available with C & H reflectors</p>	<p>IEM = Reflector for integral emergency only</p>

IEM Baffle	Distribution ³	Finish	Flange	Integral Emergency
<p>61 = 6" IEM baffle reflector for integral emergency only</p>	<p>WD = wide 65° beam angle 1.28 SC (nominal)</p>	<p>BB = Black baffle (white flange)</p> <p>WB = White baffle (white flange)</p>	<p>Blank = White flange standard with BB, & WB</p>	<p>IEM = Reflector for integral emergency only</p>

Reflector	Distribution ³	Finish	Flange
<p>61PS = 6" non-conductive polymer 'dead front' conical reflector⁴</p>	<p>MD = medium 60° beam angle 1.10 SC (nominal)</p>	<p>W = White (white flange)</p>	<p>Blank = White flange standard with W reflector</p>

Notes:

1. Not available with CP version
2. ULus for U.S. only
3. Values are nominal, with specular clear reflector, other finishes and field results may vary.
4. 61PS reflector is for Non-IC environment only, and up to 3000 lumens only.

PHOTOMETRY

NARROW DISTRIBUTION - SPECULAR CLEAR FINISH, 2000 LUMEN MODEL, 80 CRI, 3500K

NARROW (55° BEAM*)		CANDLEPOWER DISTRIBUTION		CONE OF LIGHT				CANDELA TABLE		ZONAL LUMEN SUMMARY			LUMINANCE	
Test Number	P285970							Degrees Vertical	Candela	Zone	Lumens	% Fixture	Average Candela Degrees	Average 0° Luminance
Housing	HC620D010							0	1962	0-30	1385	72.1	45	8706
Module	HM612835							5	1962	0-40	1796	93.5		
Reflector	61NDC							15	1975	0-60	1915	99.7		
Lumens	1920 Lm							25	1434	0-90	1920	100		
Efficacy	96 Lm/W	35	671	90-180	0	0								
SC	0.97	45	112	0-180	1920	100	75	551						
UGR	11.7	55	13	85	0		85	0						
		65	3	90	0									
		75	3											
		85	0											
		90	0											

MEDIUM DISTRIBUTION - SPECULAR CLEAR FINISH, 2000 LUMEN MODEL, 80 CRI, 3500K

MEDIUM (60° BEAM*)		CANDLEPOWER DISTRIBUTION		CONE OF LIGHT				CANDELA TABLE		ZONAL LUMEN SUMMARY			LUMINANCE	
Test Number	P286170							Degrees Vertical	Candela	Zone	Lumens	% Fixture	Average Candela Degrees	Average 0° Luminance
Housing	HC620D010							0	1642	0-30	1387	70.8	45	9296
Module	HM612835							5	1660	0-40	1821	93		
Reflector	61MDC							15	1854	0-60	1951	99.6		
Lumens	1959 Lm							25	1576	0-90	1959	100		
Efficacy	97.9 Lm/W	35	699	90-180	0	0								
SC	1.10	45	120	0-180	1959	100	75	551						
UGR	11.8	55	15	85	0		85	0						
		65	5	90	0									
		75	3											
		85	0											
		90	0											

WIDE DISTRIBUTION - SPECULAR CLEAR FINISH, 2000 LUMEN MODEL, 80 CRI, 3500K

WIDE (65° BEAM*)		CANDLEPOWER DISTRIBUTION		CONE OF LIGHT				CANDELA TABLE		ZONAL LUMEN SUMMARY			LUMINANCE	
Test Number	P286370							Degrees Vertical	Candela	Zone	Lumens	% Fixture	Average Candela Degrees	Average 0° Luminance
Housing	HC620D010							0	1341	0-30	1282	62.7	45	15614
Module	HM612835							5	1349	0-40	1835	89.7		
Reflector	61WDC							15	1466	0-60	2037	99.6		
Lumens	2045 Lm							25	1642	0-90	2045	100		
Efficacy	102.3 Lm/W	35	877	90-180	0	0								
SC	1.28	45	201	0-180	2045	100	75	530						
UGR	11.6	55	28	85	0		85	0						
		65	5	90	0									
		75	2											
		85	0											
		90	0											

*Value are nominal with specular clear reflectors, other finishes and field results may vary.
SC = Spacing Criteria
UGR = Unified Glare Rating

Photometric Multipliers (nominal lumen values)

1000 Lumen	1500 Lumen	2000 Lumen	3000 Lumen	4000 Lumen
0.52	0.72	1.00	1.44	2.02

Multipliers for relative lumen values with other series models.

CCT Multipliers – 80CRI

2700K	3000K	3500K	4000K
0.93	0.95	1.00	1.05

Multipliers for relative lumen values with other series color temperatures.

Color Finish Multipliers

Finish code	C	H	W/WB	BB
Finish	Specular Clear	Semi-Specular	Matte White White Baffle	Black Baffle
Multiplier	1.00	0.91	0.92	0.84

Multipliers for relative lumen values with other color finishes.

CCT Multipliers – 90CRI

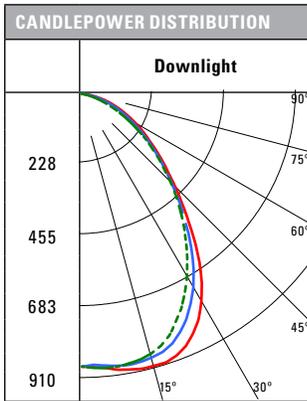
2700K	3000K	3500K	4000K
0.75	0.82	0.90	0.89

Multipliers for relative lumen values with other series color temperatures.

PHOTOMETRY

WALL WASH DISTRIBUTION - SPECULAR CLEAR FINISH, 2000 LUMEN MODEL, 80 CRI, 3500K

WALL WASH	
Test Number	P286650
Housing	HC620D010
Module	HM612835
Reflector	61RWWC
Lumens	1798 Lm
Efficacy	89.9 Lm/W
SC	1.23



CANDELA TABLE	
Degrees Vertical	Candela
0	882
5	890
15	910
25	854
35	665
45	431
55	270
65	161
75	74
85	10
90	0

ZONAL LUMEN SUMMARY		
Zone	Lumens	% Fixture
0-30	696	38.7
0-40	1079	60
0-60	1629	90.6
0-90	1798	100
90-180	0	0
0-180	1798	100

LUMINANCE	
Average Candela Degrees	Average 0° Luminance
45	33399
55	25825
65	20832
75	15653
85	6416

SC = Spacing Criteria, nominal for specular clear reflector, other finishes and field results may vary.

SINGLE UNIT FOOTCANDLES							
2.5' from wall (distance from fixture along wall)							
1	16.8	12	5.4	2	0.7	0.2	0.1
2	24.7	19.2	10.5	4.9	2.2	1	0.5
3	22.8	18.6	11.4	6.2	3.2	1.7	0.9
4	17.5	15	10.3	6.2	3.6	2	1.2
5	11.9	10.7	8.2	5.5	3.4	2.1	1.3
6	8	7.4	6.1	4.5	3.1	2	1.3
7	5.5	5.2	4.5	3.6	2.6	1.9	1.3
8	3.9	3.7	3.3	2.8	2.2	1.6	1.2
9	2.8	2.7	2.5	2.2	1.8	1.4	1.1
10	2.1	2	1.9	1.7	1.5	1.2	0.9

MULTIPLE UNIT FOOTCANDLES								
2.5' from wall (distance from fixture along wall)			2.5' from wall (distance from fixture along wall)					
1	18.8	16.6	18.8	17.5	10.7	17.5		
2	29.5	29.2	29.5	26.8	20.9	26.8		
3	29	29.8	29	26	22.9	26		
4	23.7	25.3	23.7	21	20.5	21		
5	17.4	19.2	17.4	15.4	16.3	15.4		
6	12.5	13.7	12.5	11.1	12.2	11.1		
7	9.1	9.8	9.1	8.1	9	8.1		
8	6.7	7.1	6.7	6.1	6.7	6.1		
9	5	5.3	5	4.6	5	4.6		
10	3.8	4	3.8	3.5	3.8	3.5		

Photometric Multipliers (nominal lumen values)

1000 Lumen	1500 Lumen	2000 Lumen	3000 Lumen	4000 Lumen
0.52	0.72	1.00	1.44	2.02

Multipliers for relative lumen values with other series models.

Color Finish Multipliers

Finish code	C	H	W/WB	BB
Finish	Specular Clear	Semi-Specular	Matte White White Baffle	Black Baffle
Multiplier	1.00	0.91	0.92	0.84

Multipliers for relative lumen values with other color finishes.

CCT Multipliers – 80CRI

2700K	3000K	3500K	4000K
0.93	0.95	1.00	1.05

Multipliers for relative lumen values with other series color temperatures.

CCT Multipliers – 90CRI

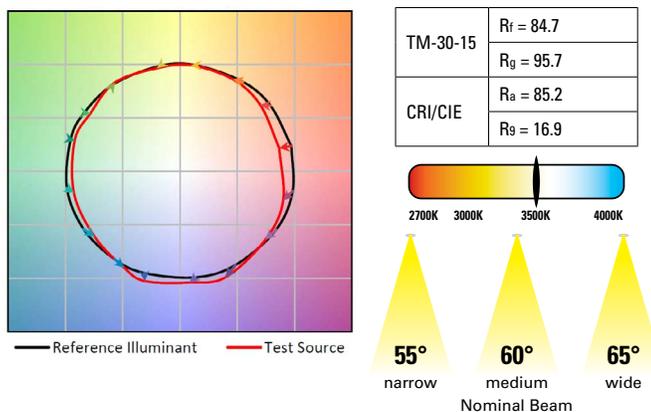
2700K	3000K	3500K	4000K
0.75	0.82	0.90	0.89

Multipliers for relative lumen values with other series color temperatures.

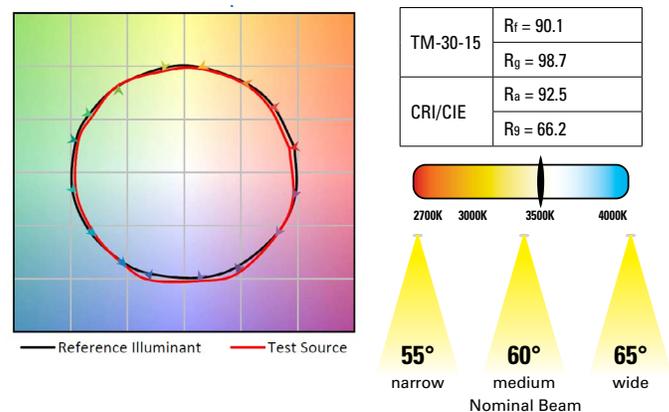
COLOR METRICS

TM-30-15 & CRI/CIE (3500K)

80 CRI Color Metric Summary - 3500K*



90 CRI Color Metric Summary - 3500K*





**Rezone and General Plan Amendment (and MDA Amendment)
Neighborhood 4 Concept Plan Review
The Villages at Saratoga Springs (Fox Hollow), Neighborhoods 4, 12, and 13
February 13, 2020
Public Hearing**

Report Date:	Thursday, February 6, 2020
Applicant:	Chad Bessinger
Owner:	SCP Fox Hollow, Cardinal Land Holdings
Location:	Fox Hollow, Neighborhoods 4, 12, 13 (~3100 South Redwood Road)
Major Street Access:	Redwood Road, Village Parkway, Wildlife Blvd, future Foothill Blvd
Parcel Number(s) & Size:	Several parcels within Fox Hollow – see exhibits
Parcel Zoning:	R-1-10 PUD and RC
Adjacent Zoning:	R-1-10 PUD
Current Use of Parcel:	Undeveloped
Adjacent Uses:	Single-family lots, church, school, future park, undeveloped
Previous Meetings:	MDA reviewed by PC and CC in 2013
Previous Approvals:	MDA approved by City Council 4-16-13, plus subsequent amendments
Type of Action:	Legislative
Land Use Authority:	City Council
Future Routing:	City Council
Author:	Sarah Carroll, Senior Planner

A. Executive Summary:

This is a request for a Master Development Agreement Amendment to “The Village at Saratoga Springs (Fox Hollow) Second Master Development Agreement” (MDA) to modify land uses and zoning in several neighborhoods within the Fox Hollow Development as outlined in Section C of this report and in the attachments. This is also a request for feedback on the Neighborhood 4 concept plan.

Recommendation:

Staff recommends that the Planning Commission conduct a public hearing, take public comment, review and discuss the proposal, and choose from the options in Section “H” of this report. Options include recommendations to the City Council for approval or denial or continuance. The Neighborhood 4 concept plan requires an informal review for feedback purposes.

- B. Background:** A similar request was discussed by the Planning Commission and City Council in 2017; however, at that time the Foothill Blvd alignment, width, and access points/types had not yet been determined and the City Council did not want to impact the future corridor. The attached exhibits include the Foothill Blvd alignment that has since been approved. During previous discussions there was mixed feedback on how much commercial should be moved to the west. The previous request was to move 14 of the 20 acres of commercial to the west. Some of the feedback supported a 50/50 split and suggested

moving 10 acres of commercial to the west which matches the current proposal. Minutes from the 2017 work session are attached.

C. Specific Request: The applicant is requesting an MDA amendment, rezone, general plan amendment, and review of the Neighborhood 4 Concept Plan. The MDA amendment does not require review by the Planning Commission (only the City Council), but those details are included so that the full request is understood.

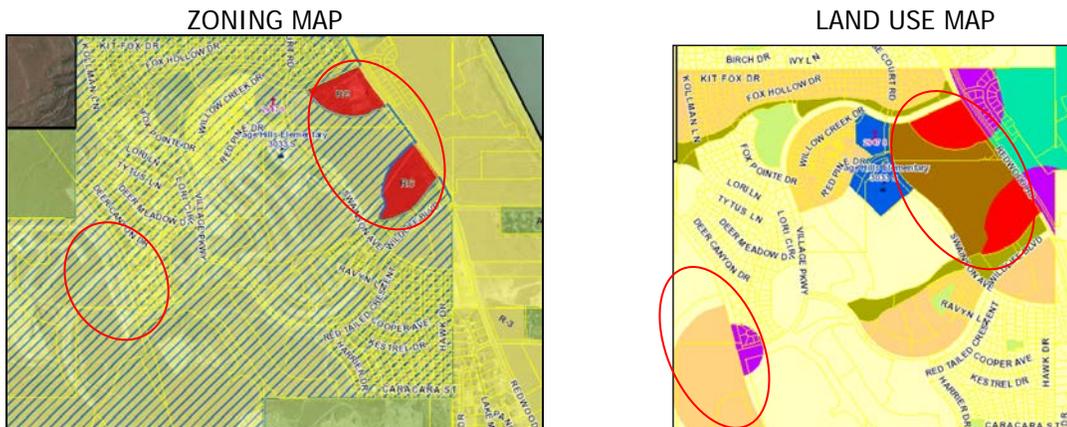
The rezone and general plan amendment requests require a public hearing with the Planning Commission and a recommendation to the City Council.

The existing MDA requires 20 acres of commercial development in Neighborhood 4 and restricts the commercial development to 5 acres of Regional Commercial and 15 acres of Neighborhood Commercial. When the agreement was entered, the Community Commercial zone did not yet exist and has since been created for locations such as this.

The applicant is requesting that they retain 10 acres of commercial in neighborhood 4 and that it be zoned Community Commercial. This results in an increase of the R-1-10 PUD zoning, but they are not requesting an increase in units. They are proposing to stick with the 335 units that was previously approved, which results in a decrease in density from 9 units per acre to 7.59 units per acre ($335 \text{ units} / 44.15 \text{ acres} = 7.59$).

Neighborhood 13 is adjacent to the future Foothill Boulevard Freeway and is currently zoned R-1-10 PUD and allows for 125 units at 6 units per acre. The application is proposing to replace this with 10.76 acres of Community Commercial zoning.

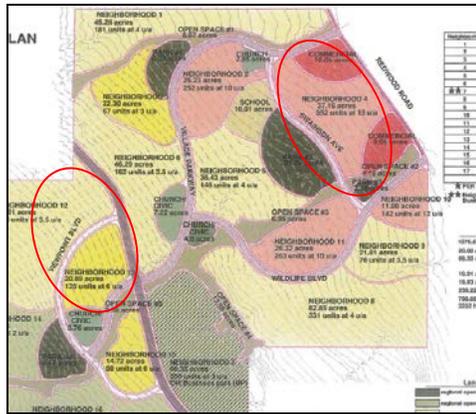
The land use map would also be amended to match these requests. Neighborhood 4 is proposed to be amended from Regional Commercial and High Density Residential to 10 acres of Community Commercial with the remainder as High Density Residential. The land use map for Neighborhood 13 would be amended from Medium Density Residential to Community Commercial.



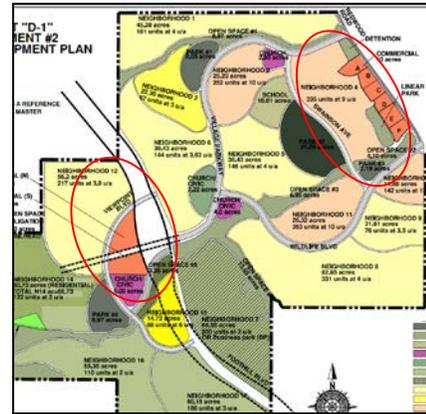
Density Summary:

- Neighborhood 4: The density would decrease from 9 units per acre to 7.59 units per acre. The applicant is proposing the same number of units (335) over increased residential acreage.
- Neighborhood 12: The acreage has decreased due to the Foothill Boulevard Freeway. The applicant proposes the same number of units (217), which results in a slight increase in density from 3.5 to 3.86 units per acre; removing units from the Freeway corridor.
- Neighborhood 13: The applicant proposes eliminating 125 units and proposes 10.76 acres of Community Commercial zoning.

MDA EXHIBIT D-1



PROPOSED D-1



D. Process:

MDA Amendment: Section 19.13.04 indicates that an MDA amendment requires approval by the City Council.

General Plan Amendment and Rezone: Section 19.13.04 indicates that a public hearing and recommendation is required by the Planning Commission and the City Council makes the final decision.

Concept Plan in a PUD: Requires Planning Commission and City Council feedback if variations are requested. The proposed concept plan indicates lots that vary from the R-1-10 base standards. This is allowed within a PUD due to the approved density.

E. Community Review: The request to amend the General Plan and Zoning Map has been noticed as a public hearing in the *Daily Herald*, posted on the Utah public notice website, and mailed notice sent to all property owners within 300 feet of the subject neighborhoods. The MDA amendment does not require public notices.

F. General Plan: The Proposed MDA Amendment includes a request to amend the General Plan.

The General indicates Regional Commercial in the corners of N4. This is not possible since both corners have detention basins. The applicant proposes 10 acres of Community Commercial along Redwood Road. This is a much more realistic location, as these lots will have frontage on Redwood Road and the existing regional detention basins will not interfere. The Community Commercial land use and zone did not exist when the original MDA was executed. This land use is intended to allow for appropriately sized commercial next to residential.

N13 is proposed to be amended from Medium Density Residential to Community Commercial. The proposed location is just west of the future Foothill Boulevard, near the future off-ramps.

Staff finding: If the proposed changes are approved, the requested zones would be consistent with the General Plan. A General Plan Amendment is a legislative decision and the criteria for an amendment are reviewed in Section H of this report.

G. Code Criteria:

Master Development Amendment:

According to 19.13.04, the proposed amendment request requires City Council approval.

Staff finding: consistent. *The request will be scheduled for review by the City Council. This request reduces the overall density by 125 units, slightly increases the commercial acreage (by 0.76 acres), and does not impact the open space in the MDA.*

General Plan Amendment and Rezone:

Zoning Map and General Plan Amendments are a legislative action; therefore the City Council has significant discretion in making decisions to amend the land use and rezone property. The criteria in Section 19.17.04, outlined below, are not binding and may act as guidance in making a rezone decision:

The Planning Commission and City Council shall consider, but not be bound by, the following criteria when deciding whether to recommend or grant a general plan, ordinance, or zoning map amendment:

1. the proposed change will conform to the Land Use Element and other provisions of the General Plan;
2. the proposed change will not decrease nor otherwise adversely affect the health, safety, convenience, morals, or general welfare of the public;
3. the proposed change will more fully carry out the general purposes and intent of this Title and any other ordinance of the City; and
4. in balancing the interest of the petitioner with the interest of the public, community interests will be better served by making the proposed change.

Findings for either approval or denial are outlined in section H of this report.

H. Recommendation and Alternatives:

Staff recommends that the Planning Commission review the proposed MDA amendment, Rezones, and General Plan Amendments, discuss any public input received, and select from the options below.

Option 1 – positive recommendation

Motion for Rezone and General Plan Amendment:

“I move that the Planning Commission recommend to the City Council approval of the proposed Rezones and General Plan Amendments for Fox Hollow Neighborhoods 4, 12, and 13 as described in Section C of this report and as depicted in the attached exhibits, with the findings and conditions below.”

Findings:

1. The request is for a rezone and general plan amendment. If the proposed General Plan Amendment is approved, the proposed zoning will be consistent with the Land Use Map of the General Plan.
2. The proposed change will not decrease nor otherwise adversely affect the health, safety, convenience, morals, or general welfare of the public because it more clearly designates the commercial areas within the Fox Hollow development prior to development of these neighborhoods and places commercial development adjacent to large capacity roadways.
3. The proposed change will more fully carry out the general purposes and intent of this Title and any other ordinance of the City so long as appropriate conditions are in place to ensure access, infrastructure, layout and appearance, traffic mitigation, trail connectivity, and other code compliance. These items will be reviewed further with each individual subdivision and site plan application for compliance with the Land Development Code.

4. In balancing the interest of the petitioner with the interest of the public, community interests will be better served by making the proposed change because this will preserve future commercial areas within the City which will be a benefit to the community at buildout.

Conditions:

1. Any conditions as articulated by the Planning Commission or City Council: _____

Concept Plan Review:

- Variations are proposed and will be specifically identified with the Preliminary Plat application. Public and Private roads shall be identified and shall comply with City standards and specifications.
- The concept plan indicates 337 units; this shall be reduced to 335 units to comply.

Alternative Motions:

Option 2 – negative recommendation

"I move that the Planning Commission forward a recommendation to the City Council for denial of the proposed General Plan Amendment and Rezone for Fox Hollow Neighborhoods 4, 12, and 13, based on the Findings below:"

1. The amendment is not consistent with the General Plan, as articulated by the City Council: _____, and/or,
2. The amendment is not consistent with Section [19.XX] of the Code, as articulated by the City Council: _____, and/or
3. The amendment does not comply with the Second MDA, as articulated by the City Council: _____.
4. Any other findings as articulated by the City Council: _____

Option 3 - continuance

"I move to **continue** the item to another meeting, with direction to the applicant and Staff on information and/or changes needed to render a decision as to whether the application meets the requirements of City ordinances, as follows:

1. _____
2. _____
3. _____

I. Exhibits:

- A. Proposed MDA Amendment
- B. Existing Exhibit D-1
- C. Proposed Exhibit D-1
- D. Neighborhood 4 Concept Plan
- E. 2017 Work Session Minutes

**FOURTH AMENDMENT TO THE VILLAGES AT SARATOGA
SPRINGS
(FOX HOLLOW) SECOND MASTER DEVELOPMENT AGREEMENT**

This FOURTH AMENDMENT TO THE VILLAGES AT SARATOGA SPRINGS (FOX HOLLOW) SECOND MASTER DEVELOPMENT AGREEMENT ("**Amendment**") is entered into this ____ day of _____, 2020 by Cardinal Land Holdings IV, LLC, a Delaware limited liability company and SCP FOX HOLLOW, LLC, a Utah limited liability company ("**Developers**") and the City of Saratoga Springs, a Utah municipal corporation ("**City**"). Capitalized terms used but not otherwise defined herein shall have the meanings set forth in the Second MDA (as defined below).

RECITALS

A. WHEREAS, Developers and the City, among other parties, are parties to that certain The Villages at Saratoga Springs (Fox Hollow) Second Master Development Agreement, dated April 30, 2013 and recorded on June 20, 2013 as Entry Number 59718:2013 in the offices of the Utah County Recorder (the "Second MDA").

B. WHEREAS, Developers are the only owners of Neighborhood 4 ("N4"), Neighborhood 12 ("N12"), and Neighborhood 13 ("N13"), within the development known as The Villages at Saratoga Springs in Saratoga Springs, Utah ("Property").

C. WHEREAS, Developers and City desire to amend the Second MDA as set forth below.

AGREEMENT

NOW THEREFORE, for valuable consideration received, the receipt and sufficiency of which is hereby acknowledged by all parties, Developers and the City do hereby covenant and agree as follows:

1. Master Plan Development Exhibit "D-1". Exhibit D-1 of the Second MDA is hereby amended and restated as attached hereto.
2. Zone Classification Modification. Agreement #3 of the Second MDA is hereby amended as follows:
 - a. Neighborhood No. 4. N4 will include only one Commercial area 10.0 acres in size as depicted on Exhibit D-1. One hundred percent of the Commercial acreage within N4 shall be classified as Community Commercial (CC).
 - b. Neighborhood No. 13. Previously designated a medium residential zone, N13 shall now include 10.76 acres of Commercial Area. One hundred percent of the Commercial acreage within N13 shall be classified as Community Commercial (CC) as depicted on Exhibit D-1.
3. Unit Summary Modification. Exhibit "D" of the Second MDA is hereby amended as follows:
 - a. Neighborhood No. 13. As more fully shown on Exhibit D-1, the approximate area of N13 decreased from 20.89 acres to 10.76 acres as a result of a future interchange of the Foothill Boulevard Freeway. The maximum number of units allowed for N13 is decreased from one hundred twenty-five (125) units to zero (0) units as a result of the

Neighborhood being converted to a Commercial Area. The density is null.

- b. Neighborhood No. 12. Due to the location of the Foothill Boulevard Freeway, the approximate area of N12 decreased from 63.81 acres to 56.2 acres. The maximum number of units allowed for N12 remains at two hundred seventeen (217) units per the First Addendum to the Villages at Saratoga Springs (Fox Hollow) Second Master Development Agreement as more fully shown on Exhibit D-1.
4. Terms and Conditions. The above mentioned are the only changes to the MDA—all remaining terms and conditions shall remain the same.
5. Incorporation by Reference. The terms of the Second MDA (as amended hereby) are incorporated herein by reference.
6. Counterparts. This Addendum may be executed and delivered (electronic or otherwise) in two counterparts, each of which shall be deemed an original, but all of which shall constitute one and the same instrument.
7. Ratification. Except as set forth herein, all of the terms and conditions of the First and Second MDA are hereby ratified and confirmed.

[End of Amendment. Signature Page Follows.]

WHEREFORE, this Amendment has been executed by Developer and the City effective as of the date first set forth above.

CITY OF SARATOGA SPRINGS

By: _____

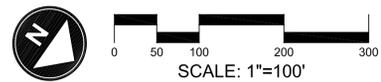
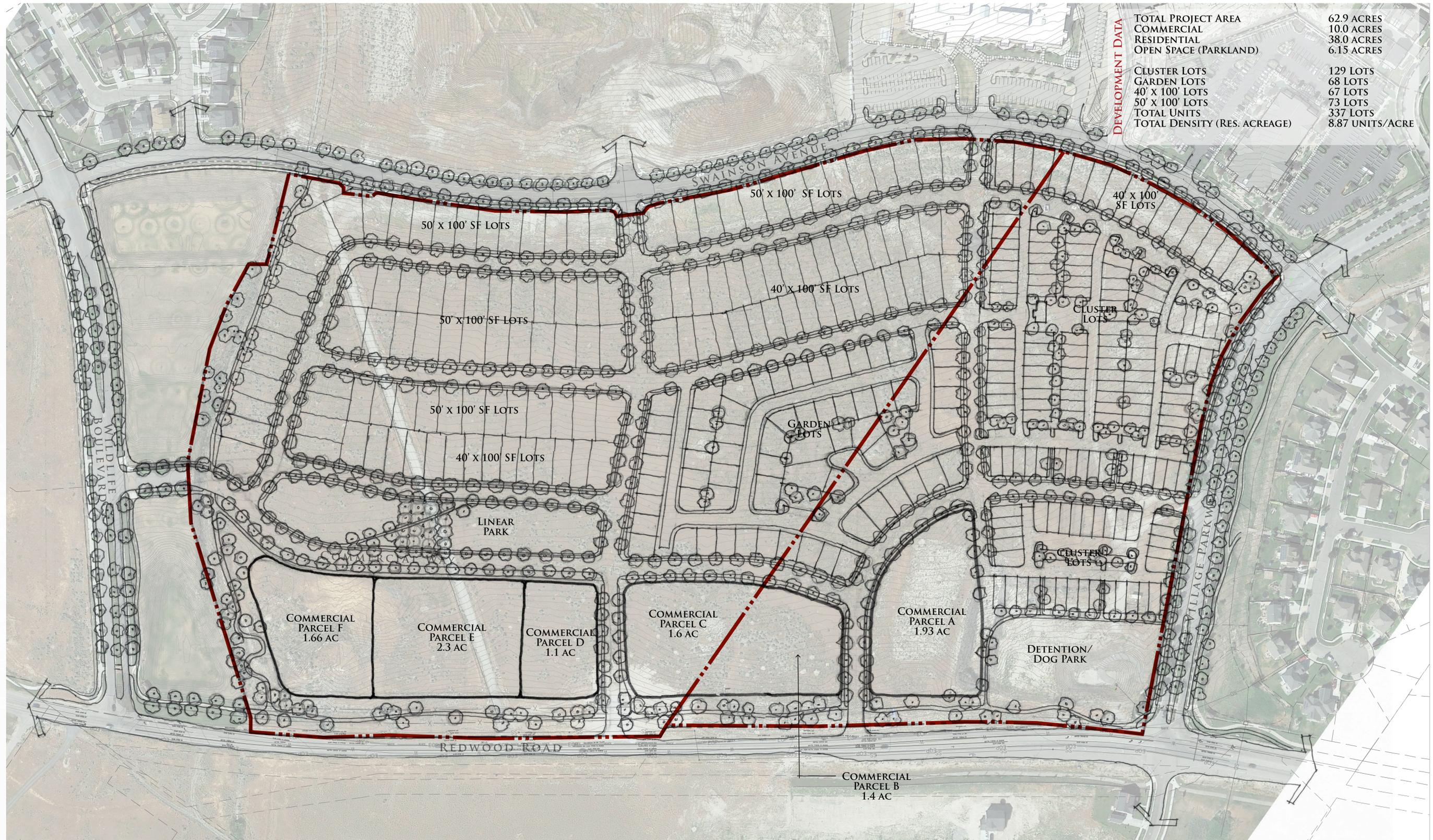
Its: _____

ATTEST:

City Recorder

APPROVED AS TO FORM:

City Attorney



FOX HOLLOW
JACK FISHER LAND CO.

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CITY OF SARATOGA SPRINGS
CITY COUNCIL SPECIAL MEETING MINUTES

Tuesday, September 5, 2017
City of Saratoga Springs City Offices
1307 North Commerce Drive, Suite 201, Saratoga Springs, Utah 84045

7
8 Mayor Jim Miller convened the meeting at 7:00 p.m.

9
10 Present Mayor Jim Miller, Council Members Chris Porter, Shellie Baertsch, Stephen Willden, Ryan
11 Poduska, and Michael McOmber.

12
13 Staff City Manager Mark Christensen, City Attorney Kevin Thurman, Assistant City Manager
14 Owen Jackson, City Engineer Gordon Miner, Public Relations and Economic Development
15 Manager David Johnson, Public Works Director Jeremy Lapin, Senior Planner Sarah Carroll,
16 City Recorder Cindy LoPiccolo

17
18 **City Council Vacancy – Oath of Office, Ryan Poduska**

19
20 Mayor Miller announced Ryan Poduska was selected by the City Council at the prior special meeting to fill a
21 vacancy and serve as interim City Council Member for the term of September 5, 2017 to January 6, 2020. City
22 Recorder Cindy LoPiccolo gave the Oath of Office to Ryan Poduska. Mayor Miller and Council congratulated
23 and welcomed Council Member Poduska.

24
25 **City Council Work Session**

26
27 1) **Fox Hollow Commercial**, (MDA Amendment, Rezone, General Plan Amendment for Fox Hollow
28 Neighborhoods, 4, 12, 13 & 14), Doug Towler Applicant, ~3100 S. Redwood Rd.

29
30 Senior Planner Sarah Carroll reported the Fox Hollow subdivision Master Development Agreement (MDA)
31 requires twenty acres of commercial in Neighborhood 4 (N4), five acres to be designated regional commercial
32 and fifteen acres to be neighborhood commercial. After receiving preliminary information that indicates the sizing
33 of the Mountain View Corridor and that the MVC will have a future interchange at Village Parkway and based on
34 this information the Applicant has requested revisit of the previous proposal and requests that fourteen acres of
35 the required twenty acres of commercial development be moved from Redwood Road to the west near the future
36 Foothill Blvd./Mountain View Corridor (MVC) alignment. Information was received from the developer's
37 consultant Zions Public Finance on this topic and based on projected populations within the radius believe the
38 location along Redwood Road does not support twenty acres of commercial. Since the City Council was
39 concerned with zoning property within the MVC alignment, the Applicant proposes the MDA be amended
40 to allow the City Council to place the zoning in a location as they desire in the future. The concern this poses
41 is that the zoning map cannot show "flexible" zoning. The Applicant has provided information with projected
42 population growth in this part of the City to justify the transfer of commercial zoning.

43
44 Matt Scott, representing owner SCP Fox Hollow, reported Applicant Doug Towler was not able to make this
45 meeting and introduced Benj Becker, consultant for commercial real estate.

46
47 Consultant Becker reviewed criteria for commercial sites and advised commercial would make the most sense in
48 the area with higher visibility and exposure. Taken into consideration was information from Mountainland
49 Association of Governments (MAG), attractions, developments that would increase traffic. He noted the planned
50 increase in traffic counts proposed for Redwood Road are inferior to what is shown for Foothill Blvd., there is a
51 greater revenue potential for the City, and believes some minimal retail could work on Redwood Road. City
52 Manager Christensen gave a comparison to Bountiful Hwy 89 planning and advised the question is would
53 commercial do better with some located by the eventual 215/MVC route, it is future planning.

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Council Member Baertsch commented she believes other things have not been considered, zoning and timing of zoning. This is future planning, however, treating like a land use map and asking for bubble zoning is not technically possible. The current development agreement is not helpful and this is a zoning issue, in ten years Foothill Blvd. may not be what is proposed now and the location or if it is expanding into the Mountain View Corridor (MVC) is not known. Matt Scott stated in talking to staff they understand there cannot be a bubble zone and is proposing to leave the sole discretion to Council to zone, once Foothill Blvd. is determined the zone can go in where it should go, rather than put twenty acres in an area that will not be supported.

Council Member Willden commented growth has been double what was projected and UDOT traffic and statistical models are significantly flawed. The potential of lost revenue would not be the only driver, the benefit to the city would also be a reduction in density and for him to consider this it would have to include a significant reduction in density which is a near term benefit to the City. Appreciates the information, there are many significant unknowns. If there was a reduction in density he could get behind a 50-50 split in commercial location and pointed out when UDOT is looking at road placement maybe there is something we can do for dedications to help narrow the planning for that, where there is an existing easement there is a higher motivation and likelihood where the roadway will be. City Attorney Thurman commented step one is a land acquisition plan and it is always good planning to work that out ahead and acquire the land. City Manager Christensen reported in speaking with UDOT the more planning the City can do with this will get the roadway lined up and allow us to get a large segment of road in place.

Council Member Poduska thanked the representatives for the study and data for points of discussion. In regard to the study, inquired why the center of the radius is not where the proposed commercial will be and if the study took into account future growth. Consultant Benz responded he believed the people doing the mapping shifted it for the most beneficial area to represent potential commercial users, and no the study did not consider future growth. Council Member Poduska stated he is looking for numbers that fit more with the right location and would want residents to have feedback. Having a split may help with views up to the lake and there could be a benefit when Foothill Blvd. is developed to have commercial there. He is more in favor of a 50-50 split, at full buildout believes both locations would be evenly used and believes in Neighborhood 17 there is a flat area there that would be a prime location for potential business park. Another concern with transfer would be the cost to UDOT to acquire the land and he would want to find ways to not increase the cost.

Council Member McOmber commented this has been reviewed several times, he reviewed past minutes and notes and listened to residents and many would like the land to stay open. He could support Council Member Poduska's comments and Council Member Willden in regard to a 50-50 split, however, even with consultant opinions he questions construction timing and asks why try to force something when it may not be viable yet until Redwood Road is widened, and in ten years they may be back asking for more commercial acreage up by Foothill. This has been in the plans a long time the developer is aware of their rights and entitlement, and he would ask the Council whether they should make it work with what was given and let them figure out if it is the right time. This is a decision we do not have to do and make it work.

Council Member Baertsch noted the City does not know what is going to happen in 5-10 years, it does not make sense to move it now. She pointed out the area was planned for larger lots, if commercial is done they will want multi-family around it which takes away lower density and larger lots.

Tanya Parker, Village at Saratoga Springs HOA President, commented from the residents perspective a split in commercial would make more sense. The land has sat there for so long and until commercial fills in between the residential there will be acres of dirt and weeds. With the 50-50 split residents would still get necessities although not all at once, some along Redwood Road and save some at Foothill Blvd. when it is needed there. From a residents perspective would hate to see a parcel sit there for years because an agreement could not be reached. The HOA would want Council to consider not putting all the commercial along Redwood Road and moving some up to Foothill. In response to Council Member McOmber, Ms. Parker commented they do not see population

106 supporting the twenty acre volume on Redwood Road and does not believe the acreage for commercial will
107 increase.

108
109 Council Member McOmber advised the City has three applications south of Lake Mountain, wants to support
110 what the HOA is saying although hearing complaints about all the growth. A thousand residents have told him
111 more native open space is wanted. Ms. Parker commented there is a difference between undeveloped land and
112 something planned to be open. It is nicer to get the things that are meant to go in rather than have forgotten
113 undeveloped land, and these are the same people that say give us all those businesses. City Manager Christensen
114 asked how the HOA perceives the possible down zone from R-15 to R-9 and change in product type which is part
115 of the proposal in N4 and partially transferring density up to the top. Ms. Parker responded the residents would
116 welcome the lower density with open arms, the reduction is a must for them for the movement of some
117 commercial, this makes sense and they understand some development has been in the works for years however
118 nothing has happened.

119
120 Council Member Porter commented being able to lock in reduction in density is a benefit to the City, this is an
121 opportunity to take advantage of that and obtain the UDOT right-of-way. He is in agreement with Council
122 Member Willden in securing a dedicated parcel that would assist where the corridor would go, this would be
123 beneficial to UDOT and the City. In regard to the study, concurred with Council Member Poduska's question
124 about the location of the center noting some large developments are on line that would fall in the circle. Twenty
125 acres of commercial is probably more than this area would be able to sustain even at full buildout and he is willing
126 to entertain moving some of the commercial acreage acres up to the Foothill Blvd. alignment, however, the portion
127 remaining on Redwood Road should be 10-12 acres in order to constitute a viable commercial development.
128 Council Member McOmber commented he appreciates Council Member Porter's comments, would like to see a
129 greater density reduction than what is proposed.

130
131 Mayor Miller commented the reduction of density is a significant benefit, and appreciates reaching out to the
132 HOA. He noted the City has successfully planned ahead in regard to commercial centers and will continue to
133 plan, and the MDA was approved twenty years ago. Council Member Porter commented the width of Foothill
134 Blvd. is preserved in the MDA, however, not the size and it is going to be a larger width. City Attorney Thurman
135 advised it would be most helpful to have an identification of the alignment and legal description for location of
136 the commercial area, the transfer of the commercial should match the plan for the Boulevard.

137
138 City Engineer Miner reported he has been advised the alignment is on the UDOT Region 3 Director's desk and
139 would be released in September. Mayor Miller requested the proposal also be sent to the HOA for review.

140
141 Senior Planner Carroll advised staff will re-work this for proposed amendment language and continuation of the
142 rezone. Matt Scott commented the Developer is trying to plan Neighborhood 4 now which cannot be done without
143 knowing what is happening, they cannot wait ten years for a decision on whether to reduce it because it is being
144 planned now. He does not feel they have received feedback if the Council is willing to do a reduction in density
145 for reduction in commercial.

146
147 Council Member McOmber commented the land cannot be rezoned, however, inquired if within the MDA it can
148 be required they provide an additional ten acres within their development. City Attorney Thurman commented
149 he gave direction to the Applicant to rezone the property and come back with a legal description now so Council
150 is not doing a Green Springs issue. Council Member McOmber disagreed it would be the same problem as Green
151 Springs because we would not lose the MDA.

152
153 Mayor Miller advised he believes some of the Council would like to entertain a proposal for reduction, however,
154 recommends the Developer work with the City Attorney to also clarify the MDA parameters and thinks Council
155 Member McOmber raised a good point. Believes the Council is willing to entertain the proposal, however, wants
156 some more information.

157

158 City Manager Christensen clarified from a delay standpoint that Council would like staff to align the MAG
159 Corridor study through the property and see what that looks like, and to see an exhibit that identifies a legal
160 description of where the commercial is proposed to be moved to and what that is going to look like in conjunction
161 with UDOT's transportation planning. Also to update the exhibit that shows the reduction in density hearing
162 Council would like to see more reduction than from an R-15 to an R-9, and a recommendation concerning
163 dedication for the MVC. He noted there are still two property owners involved – Cardinal and SCP Fox Hollow.
164

165 **City Council Policy Meeting**

166
167 **Call to Order:** Mayor Jim Miller called the Policy Session to order at 7:20 p.m.

168
169 **Roll Call:**

170 Present Mayor Jim Miller, Council Members Chris Porter, Shellie Baertsch, Stephen Willden,
171 Michael McOmber, and Ryan Poduska.

172
173 Staff Present City Manager Mark Christensen, City Attorney Kevin Thurman, Assistant City Manager
174 Owen Jackson, Public Relations and Economic Development Manager David Johnson, Fire
175 Chief Jess Campbell, Planning Director David Stroud, City Engineer Gordon Miner, Finance
176 Manager Chelese Rawlings, Senior Planner Nora Shepard, Planner Kara Knighton, Civic
177 Events Coordinator AnnElise Harrison, City Recorder Cindy LoPiccolo.

178
179 Invocation by Council Member Porter.
180 Pledge of Allegiance led by Council Member Poduska.

181
182 **Public Input:**

183
184 Mayor Miller invited public input.
185
186 Leah Hansen, Songbird Lane, commented she has heard the audio is unclear to those watching the meeting. Public
187 Relations Manager Johnson requested Council speak into the microphones.
188

189 **BUSINESS ITEMS:**

190
191 2) **Appointments to the Veterans Advisory Council;** Resolution R17-85 (9-5-17).

192
193 Civic Events Coordinator AnnElise Harrison presented the staff report and recommendation for appointment to
194 the Veterans Advisory Council, and introduced candidate Emily Blount. Staff recommends the appointment of
195 Emily Mount, Ruth Ann Caldwell and Carl Sachs to the Advisory Council.

196
197 Council Member Porter reported in review of the applications he felt the qualifications of all three exemplified
198 what he had hoped this Council would become, with two veterans bringing their experience and a Veteran spouse
199 that supports the Veterans community.

200
201 Motion by Council Member Porter to approve the appointment of Ruth Ann Caldwell, Emily Mount, and Carl
202 Sachs to the Saratoga Springs Veteran's Advisory Council for a term of three years and four months starting on
203 September 5, 2017 and ending December 31, 2021, and Resolution R17-85 (9-5-17), was seconded by Council
204 Member McOmber

205 Vote: Council Members Poduska, Willden, McOmber, Baertsch, and Porter - Aye
206 Motion carried unanimously.

207
208 Mayor Miller thanked the new members for their willingness to serve. Council Member McOmber reported the
209 passing of Veteran Jimmy Kawato and planned services, with respectful acknowledgement that Veteran Kawato
210 was an active community member donating time and service for Veteran issues, activities and events.



**Village Plan Amendment
Jordan Promenade (Wander) Village Plan 1
February 13, 2020
Public Hearing**

Report Date:	February 6, 2020
Applicant:	Sidney Allsop
Owners:	Oakwood Homes
Location:	Riverside Drive and 400 South
Major Street Access:	Riverside Drive
Parcel Number(s) & Size:	Numerous parcels
Parcel Zoning:	Planned Community
Adjacent Zoning:	PC, RR, MU, and A
Current Use of Parcel:	Vacant and under active development
Adjacent Uses:	Residential, Agricultural, Patriot Park, undeveloped
Previous Meetings:	None
Previous Approvals:	Community Plan – July 12, 2018, PC and August 7, 2018, CC Village Plan 1 – October 11, 2018, PC and October 16, 2018, CC
Land Use Authority:	City Council
Type of Action:	Legislative and Administrative
Future Routing:	City Council
Author:	David Stroud, Planning Director

A. Executive Summary:

The applicant is requesting amendments to the approved Jordan Promenade Village Plan 1 (Wander). The specific amendments are summarized later in this report and shown in the redline format in the attached Village Plan 1 exhibit.

Recommendation:

Staff recommends that the Planning Commission conduct a public hearing on the application, take public comment, review and discuss the proposal, and choose from the options in Section I of this report. Options include forwarding a recommendation for approval with conditions to the City Council, continuing the item for additional information, or forwarding a recommendation for denial.

B. Background:

The subject property was zoned PC when the LDS Church annexation was approved and the annexation agreement recorded in January 2011. The Jordan Promenade Community Plan was approved on August 7, 2018, and Village Plan 1 was approved on October 16, 2018.

C. Specific Request:

The applicant is requesting major amendments to the Jordan Promenade Village Plan 1. Below is a page by page summary of the requested changes.

Page 9: Ability to remove the meetinghouse site and replace with residential units. Overall unit count is still within the range of approval. Ability to remove or reduce the commercial node at Pony Express and Redwood Road. The owner is already working with a developer to bring a commercial site to this location. This commercial site is the reason for the next amendment. The developer anticipates relocating the removed commercial node just to the north and will be identified in a future village plan.

Page 28: Adding *Convenience Store and Refueling Station, Public*, to the list of permitted uses. *Refueling Station, Private*, is proposed to be removed.

D. Process:

Code Section 19.26.09 outlines the process for Village Plan Amendments and states:

1. **Village Plan Amendment.** A Village Plan is a zoning level approval, and modifications may occur in accordance with the following amendment process:
 - a. **Major Amendments:** If an amendment is deemed major by the Planning Director, it will be processed in the same manner as the original Village Plan. Major amendments are modifications that change the intent of the Village Plan such as:
 - i. those that significantly change the character or architecture of owners' associations (if applicable);
 - ii. those that increase or reallocate residential density and non-residential intensity beyond any provisions for transfers provided in the Village Plan, as provided in Section 19.26;
 - iii. those that materially reduce the amount of land dedicated to parks, trails, public use space, natural areas or public facilities; and
 - iv. modifications to development standards as allowed in the Village Plan.

Staff finding: complies. The amendments are deemed to be major amendments since residential density is increased and non-residential intensity is amended.

Original Village Plan

The approval process for the Village Plan is included in the table in Section 19.13.04 and requires the following:

1. A public hearing and recommendation by the Planning Commission.
2. A public meeting and final decision by the City Council.

Staff finding: complies. A public hearing is scheduled with the Planning Commission and will be followed by a public meeting with the City Council.

- E. **Community Review:** This item has been noticed as a public hearing in the *Daily Herald* and mailed notices sent to property owners within 300 feet. The notice has also been posted at utah.gov/pmn, the City webpage, and within the City building. As of the date of this report, one request from the public has been received inquiring as to the amendments.
- G. **General Plan:** The property is designated Planned Community on the Land Use Map.

The Planned Community Land Use Designation is described in the General Plan below:

Planned Community. The Planned Community designation includes large-scale properties within the City which exceed 500 acres in size. This area is characterized by a mixture of land uses and housing types. It is subject to an overall Community Plan that contains a set of regulations and guidelines that apply to a defined geographic area. Required Village Plans contain regulations that apply to blocks of land and provide specific development standards, design guidelines, infrastructure plans and other elements as appropriate. Development in these areas shall contain landscaping and recreational features as per the City's Parks, Recreation, Trails, and Open Space Element of the General Plan.

Staff finding: consistent. The proposed amendments to the Village Plan do not detract from the mixture of land uses and housing types. The Community plan includes a variety of housing types, civic uses, and community commercial.

H. **Code Criteria:**

Section 19.26.09 outlines the requirements for Village Plan Amendments and states:

- 2. **Village Plan Amendment.** A Village Plan is a zoning level approval, and modifications may occur in accordance with the following amendment process:
 - a. **Major Amendments:** If an amendment is deemed major by the Planning Director, it will be processed in the same manner as the original Village Plan. Major amendments are modifications that change the intent of the Village Plan such as:
 - i. those that significantly change the character or architecture of owners' associations (if applicable);
Staff finding: no changes are proposed to the architecture.
 - ii. those that increase or reallocate residential density and non-residential intensity beyond any provisions for transfers provided in the Village Plan, as provided in Section 19.26;
Staff finding: the proposed changes increase the residential unit count but still within the range of approved density and commercial acreage is reduced with the anticipation of relocating what is removed to a future village plan.
 - iii. those that materially reduce the amount of land dedicated to parks, trails, public use space, natural areas or public facilities; and
Staff finding: there is no reduction of these item.

- iv. modifications to development standards as allowed in the Village Plan.
Staff finding: none proposed.

Staff finding: the proposed changes constitute a major amendment and are to be approved by the City Council after a recommendation by the Planning Commission.

I. Recommendation and Alternatives:

Staff recommends that the Planning Commission discuss the request and choose from the options below.

Staff Recommendation: Positive

“I move to forward a recommendation of **approval** regarding the Jordan Promenade Village Plan 1 amendments with the Findings and Conditions in the staff report:”

Findings

1. The Community Plan Amendments are consistent with the General Plan, as articulated in Section G of the staff report, which section is incorporated by reference herein.
2. The Community Plan Amendments are consistent with the Land Development Code, as articulated in Section H of the staff report, which section is incorporated by reference herein.

Conditions:

1. All requirements of the City Engineer shall be met.
2. All requirements of the Fire Chief shall be met.
3. All other Code requirements shall be met.
4. Any other conditions added by the Planning Commission or City Council: _____

OPTION 1: CONTINUANCE

The Planning Commission may choose to **continue** the application. “I move to **continue** the Village Plan 1 Major Amendment of Jordan Promenade to [DATE], with direction to the applicant and Staff on information and/or changes needed to render a decision, as follows:

1. _____.
2. _____.
3. _____.

OPTION 2: NEGATIVE RECOMMENDATION

The Planning Commission may choose to forward a negative recommendation: “Based upon the information and discussion tonight, I move to forward a recommendation of **denial** of the Village Plan 1 Major Amendments of Jordan Promenade, with the Findings below:

1. The amendments are not consistent with the General Plan, as articulated by the Planning Commission: _____, and/or
2. The amendments do not comply with Section 19.26 of the Land Development Code, as articulated by the Planning Commission: _____, and/or
3. The amendments do not further the general welfare of the residents of the City, as articulated by the Planning Commission: _____.

J. Exhibits:

1. Location Map
2. Village Plan 1 proposed amendments
3. Jordan Promenade Village Plan 1

Exhibit 1



Exhibit 2

NOTES:

1. Open space calculations are subject to change at Final Plat based on final City design for Redwood Road and Rony Express Parkway.
2. Option to remove Meeting House site and replace with residential use area to be allowed through minor amendment/administrative approval.
3. Option to change configuration/size of commercial parcel, or total removal of commercial parcel to be allowed through minor amendment/administrative approval.

PERMITTED AND CONDITIONAL USES (NC)	
Permitted Uses	Animal Hospital, Small/Small Veterinary Office; Arts & Crafts Sales; Bakery, Retail; Bookstore; Car Wash, Public; Child Care Center; Churches; Commuter/Light Rail Station; Convenience Store (non-fast food); Copy Center; Dry Cleaners; Educational Center, Fitness Center (5,000 sq. ft. or larger); Floral Sales; Funeral Home (5,000 sq. ft. or less); Hair Salon; Ice Cream Parlor; Office, Medical and Health Care; Office, Professional; Personal Service Establishment; Plant & Tree Nursery; Postal Center; Preschool; Public Parks, playgrounds, recreation areas, or other park improvements; Public Building or Facilities (City Owned); Refueling Station, Public; Restaurant, Deli; Restaurant, Sit Down; Retail Sales, Retail, Specialty; School, Public.
Conditional Uses	None

*Refueling Station, Private
to be removed*



SARATOGA
SPRINGS

AREA 1 VILLAGE PLAN



JORDAN
PROMENADE



OAKWOOD
HOMES

APPROVED 2.21.2019
SARATOGA SPRINGS PLANNING AND ENGINEERING

February 13, 2019



JORDAN PROMENADE

AT SARATOGA SPRINGS

AREA 1 VILLAGE PLAN

Prepared by:

LAI Design Group

Architecture | Planning & Entitlements | Visual Media
Landscape Architecture | Real Estate Advisory
www.LAIdesigngroup.com



OAKWOOD
HOMES



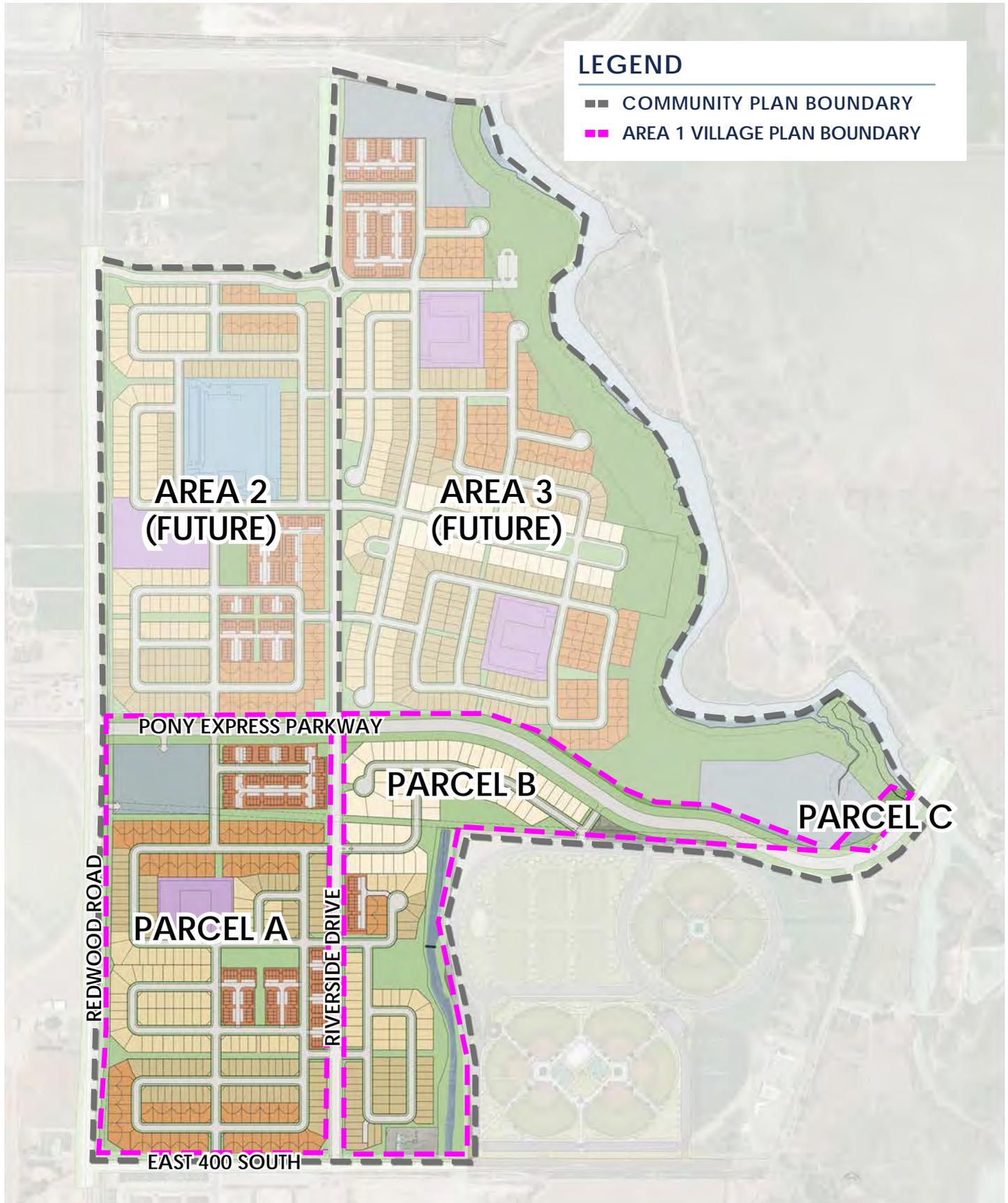
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VILLAGE 1 BOUNDARIES MAP





SECTION 1 - LEGAL DESCRIPTION

The proposed Village 1 of Jordan Promenade contains approximately 135.36 acres of property. The parcel metes and bounds legal description is as follows:

Parcel A – Village 1 West

A portion of Sections 23 & 26, Township 5 South, Range 1 West, Salt Lake Base and Meridian, Saratoga Springs, Utah County, Utah, more particularly described as follows:

Beginning at a point on the north line of that real property described in Deed Entry No. 43950:2018 and the west right-of-way of Riverside Drive according to the official plat thereof on file in the office of the Utah County Recorder, said point being located N89°57'40"W along the Quarter Section Line 1247.63 feet and north 40.82 feet from the east ¼ corner of Section 26, T5S, R1W, S.L.B. & M.; thence along said real property the following two (2) courses: S89°56'07"W 1320.55 feet; thence N47°07'25"W 33.76 feet to the easterly line of that real property described in Deed Entry No. 43949:2018 of the official records of the Utah County Recorder; thence along said real property the following three (3) courses: N0°38'56"E 19.78 feet; thence along the arc of a 19,935.00 foot radius curve to the right 233.72 feet through a central angel of 0°40'18" (chord: N0°59'05"E 233.72 feet); thence N1°19'14"E 61.30 feet to the east line of that real property described in Deed Entry No. 79200:2009 in the official records of Utah County; thence along said real property the following eight (8) courses: N4°21'40"E 232.73 feet; thence N1°30'41"E 182.07 feet; thence N0°32'52"E 565.49 feet; thence N0°54'50"E 565.12 feet; thence N1°18'07"E 244.64 feet; thence N0°11'59"E 303.53 feet; thence N0°36'45"W 150.49 feet; thence N0°21'00"W 72.27 FEET; thence East 949.31 feet; thence along the arc of a 2000.00 foot radius curve to the left 50.82 feet through a central angel of 1°27'21" (chord: N89°16'20"E 50.82 feet); thence N88°32'39"E 294.23 feet; to the west right-of-way line of Riverside Drive according to the official plat thereof on file in the office of the Utah County Recorder; thence along said right-of-way the following eleven (11) courses: southwesterly along the arc of a 84.50 foot radius non-tangent curve to the left (radius bears: S39°57'57"E) 3.75 feet through a central angle of 2°32'31" (chord: S48°45'47"W 3.75 feet); thence along the arc of a 90.50 foot radius curve to the right 67.15 feet through a central angle of 42°30'41" (chord: S68°44'52"W 65.62 feet); thence N89°59'47"W 17.06 feet; thence S2°56'35"E 70.30 feet; thence N86°11'22"E 3.54 feet; thence along the arc of a 64.50 foot radius curve to the left 15.37 feet through a central angle of 13°39'09" (chord: N79°21'48"E 15.33 feet); thence along the arc of a 35.50 foot radius curve to the right 47.14 feet through a central angle of 76°04'42" (chord: S69°25'25"E 43.75 feet); thence along the arc of a 84.50 foot radius curve to the left 16.40 feet through a central angle of 11°07'24" (chord: S36°56'46"E 16.38 feet); thence along the arc of a 90.50 foot radius curve to the right 67.15 feet through a central angle of 42°30'41" (chord: S21°15'08"E 65.62 feet); thence S0°00'13"W 2453.71 feet; thence along the arc of a 28.50 foot radius curve to the right 26.84 feet through a central angle of 3°57'01" (chord: S26°58'43"W 25.86 feet) to the point of beginning.

Contains: ±80.52 acres



Parcel B – Village 1 East

A portion of Sections 23, 25 and 26, Township 5 South, Range 1 West, Salt Lake Base and Meridian, Saratoga Springs, Utah County, Utah, more particularly described as follows:

Beginning at a point located N89°57'40"W along the Quarter Section Line 414.27 feet from the East ¼ Corner of Section 26, T5S, R1W, S.L.B. & M.; thence N89°57'40"W along the Quarter Section Line 182.10 feet; thence N1°09'44"E 242.17 feet; thence S89°55'54"W 310.00 feet; thence S1°09'44"W 241.59 feet to a point on the Quarter Section Line; thence N89°57'40"W along the Quarter Section Line 224.04 feet to the East right-of-way line of Riverside Drive according to the official plat thereof on file in the office of the Utah County Recorder; thence along said right-of-way the following thirteen (13) courses: N0°00'08"E 35.31 feet; thence northwesterly along the arc of a 28.50 foot radius non-tangent curve to the right (radius bears: N0°00'08"E) 44.77 feet through a central angle of 90°00'05" (chord: N44°59'50"W 40.31 feet); thence N0°00'13"E 2495.81 feet; thence northeasterly along the arc of a 35.50 foot radius non-tangent curve to the right (radius bears: S42°31'58"E) 6.91 feet through a central angle of 11°08'53" (chord: N53°02'29"E 6.90 feet); thence along the arc of a 84.50 foot radius curve to the left 16.40 feet through a central angle of 11°07'24" (chord: N53°03'14"E 16.38 feet); thence along the arc of a 90.50 foot radius curve to the right 67.15 feet through a central angle of 42°30'41" (chord: N68°44'45"E 65.62 feet); thence S89°59'47"E 17.09 feet; thence N2°58'06"W 70.30 feet; thence S86°11'22"W 3.55 feet; thence along the arc of a 64.50 foot radius curve to the left 15.37 feet through a central angle of 13°39'09" (chord: S79°21'48"W 15.33 feet); thence along the arc of a 35.50 foot radius curve to the right 47.14 feet through a central angle of 76°04'42" (chord: N69°25'25"W 43.75 feet); thence along the arc of a 84.50 FOOT radius curve to the left 16.40 feet through a central angle of 11°07'24" (chord: N36°56'46"W 16.38 feet); thence along the arc of a 90.50 foot radius curve to the right 13.29 feet through a central angle of 8°24'44" (chord: N38°18'07"W 13.28 feet); thence N88°32'39"E 539.49 feet; thence along the arc of a 1130.00 foot radius curve to the right 698.68 feet through a central angle of 35°25'34" (chord: S73°44'34"E 687.60 feet); thence S56°01'47"E 542.96 feet; thence along the arc of a 500.00 foot radius curve to the left 268.01 feet through a central angle of 30°42'40" (chord: S71°23'07"E 264.81 feet); thence S86°44'27"E 193.59 feet; thence along the arc of a 680.00 foot radius curve to the right 233.51 feet through a central angle of 19°40'32" (chord: S76°54'11"E 232.37 feet); thence S67°03'56"E 318.17 feet; thence N87°12'44"W 637.41 feet; thence N86°58'39"W 336.96 feet; thence N86°40'01"W 500.03 feet; thence N86°45'49"W 488.03 feet; thence S4°00'00"W 929.87 feet; thence S20°00'00"E 409.50 feet to the west line of Lot 1 of Saratoga Springs Sport Complex Subdivision; thence south along said subdivision 742.54 feet to the point of beginning.

Contains: ±54.48 acres

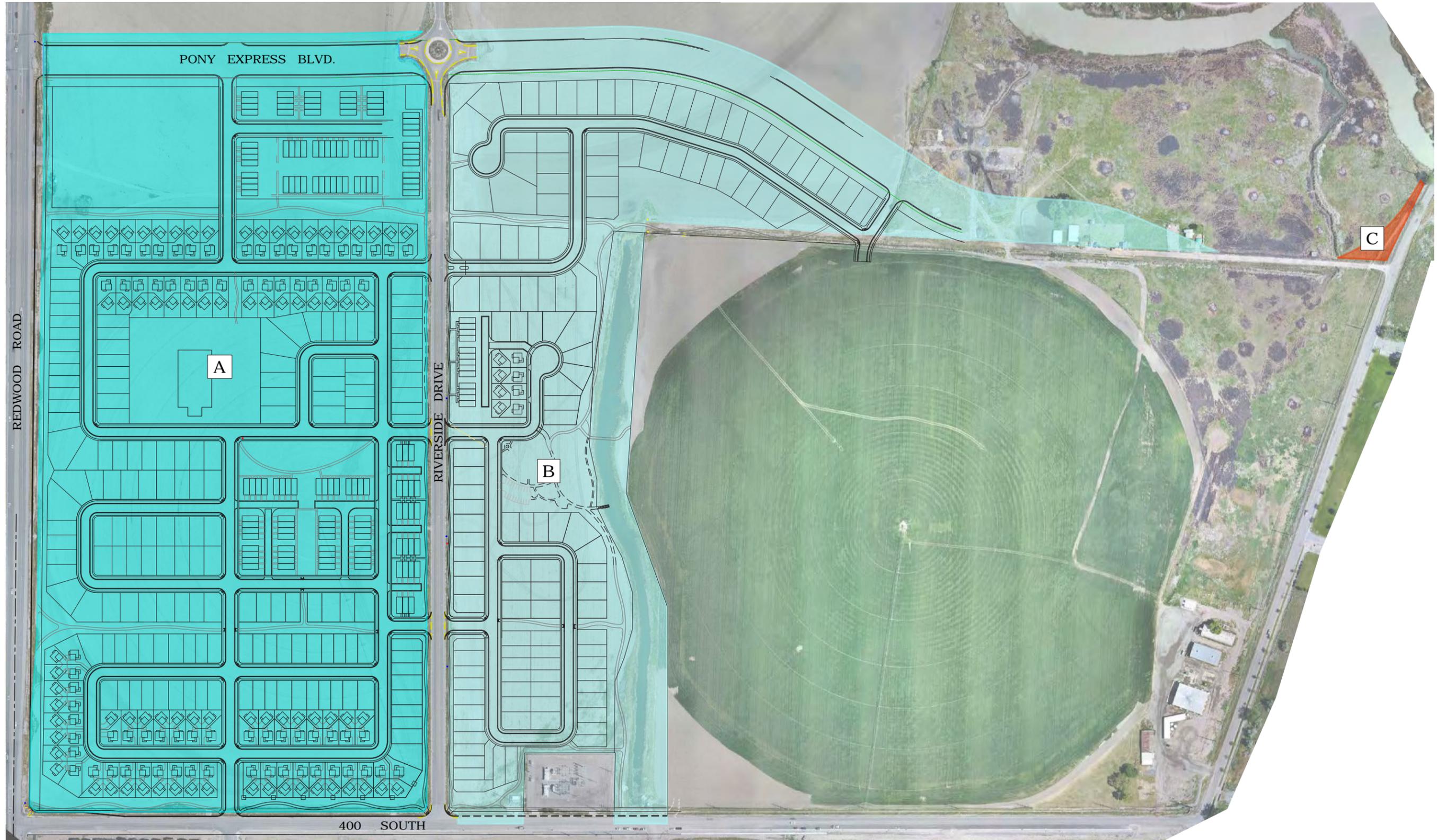
**Parcel C – Pony Express Parkway**

A portion of Section 25, Township 5 South, Range 1 West, Salt Lake Base and Meridian, Saratoga Springs, Utah County, Utah, more particularly described as follows:

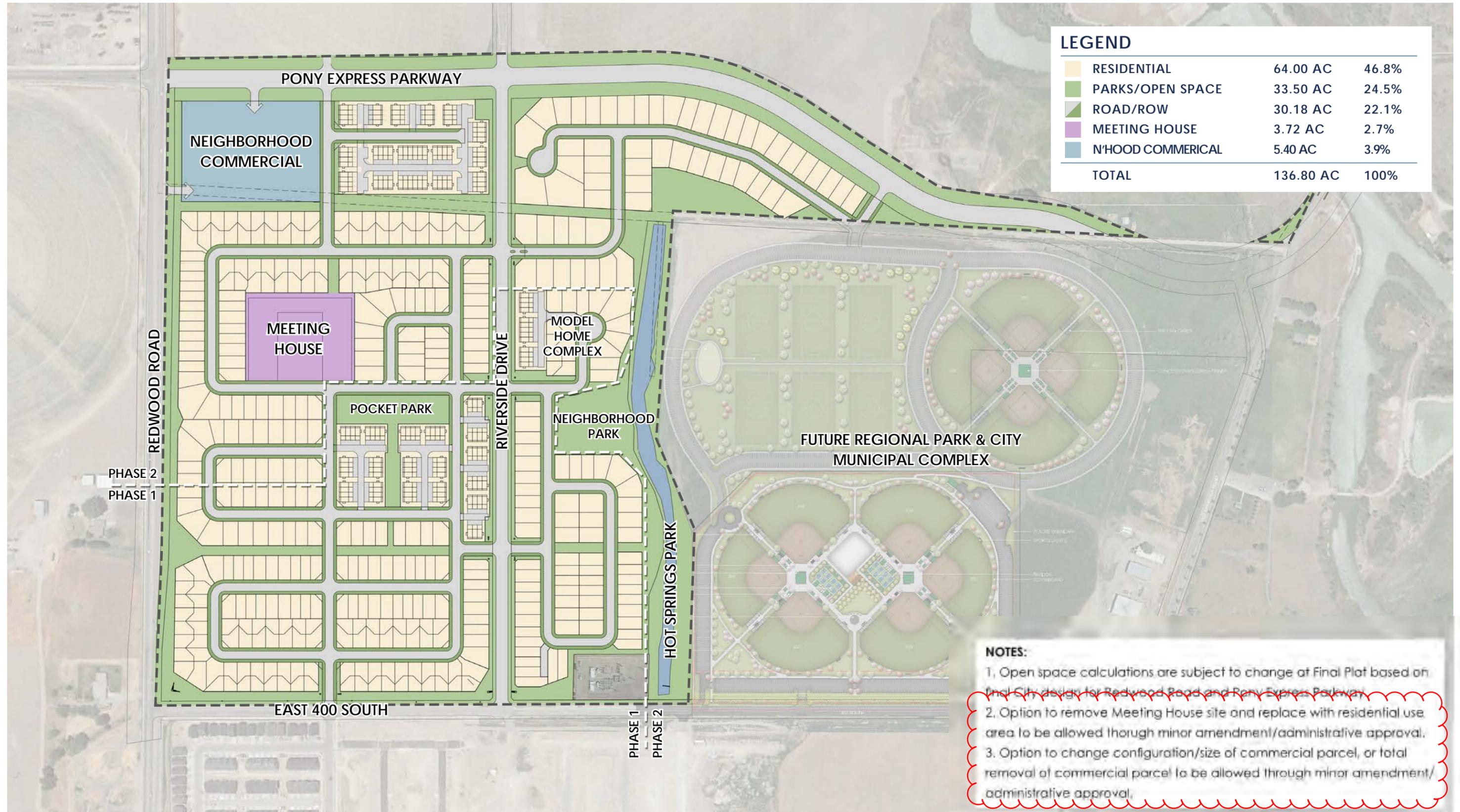
Beginning at a point located $N0^{\circ}34'05''E$ along the Section Line 1930.07 feet and east 1858.88 from the west $\frac{1}{4}$ corner of Section 25, T5S, R1W, S.L.B. & M.; thence northeasterly along the arc of a 500.00 foot radius non-tangent curve to the left (radius bears: $N21^{\circ}07'12''W$) 320.33 feet through a central angle of $36^{\circ}42'25''$ (chord: $N50^{\circ}31'36''E$ 314.88 feet); thence $N32^{\circ}10'24''E$ 73.81 feet; thence $S37^{\circ}31'09''E$ 15.83 feet; thence $S26^{\circ}08'49''W$ 287.58 feet; thence $N87^{\circ}12'44''W$ 165.47 feet to the point of beginning.

Contains: ± 0.36 Acres

SECTION 1a - LEGAL PARCEL EXHIBIT



SECTION 2 - DETAILED USE MAP



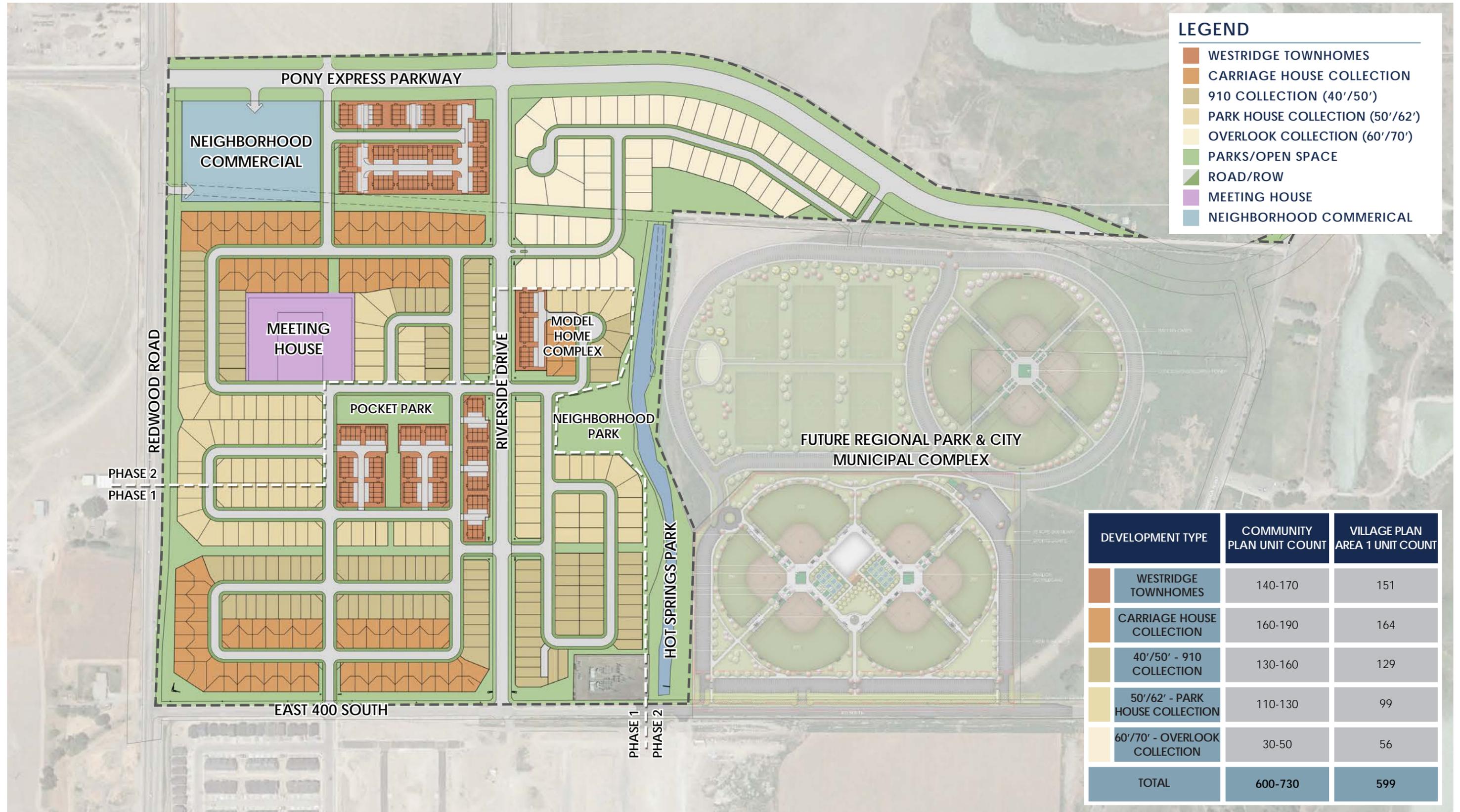


SECTION 3 - DETAILED BUILDOUT ALLOCATION

The following information details the allocation of all acreages within Village Plan Area 1:

DEVELOPMENT TYPE	ACRES	ERUs ASSIGNED IN COUMMUNITY PLAN	ERUs IN VILLAGE PLAN AREA 1	ERUs/GROSS ACRE
WESTRIDGE TOWNHOMES	10.31	140-170	151	14.65
CARRIAGE HOUSE COLLECTION	14.04	160-190	164	11.68
40'/50' - 910 COLLECTION	14.25	130-160	129	9.05
50'/62' - PARK HOUSE COLLECTION	14.29	110-130	99	6.93
60'/70' - OVERLOOK COLLECTION	11.11	30-50	56	5.04
NEIGHBORHOOD COMMERCIAL	5.40	12	12	2.22
MEETING HOUSE	3.72	3	3	0.81
PARKS/OPEN SPACE	33.50	N/A	N/A	N/A
INTERIOR ROW	22.45	N/A	N/A	N/A
E. 400 S. ROADWAY	1.40	N/A	N/A	N/A
PONY EXPRESS ROADWAY	6.33	N/A	N/A	N/A
SUB-TOTALS	136.80	600-730	614	4.49
RIVERSIDE TREE LAWN	1.54	N/A	N/A	N/A
REDWOOD TREE LAWN	1.79	N/A	N/A	N/A
TOTALS	140.13	600-730	614	4.38

SECTION 3a - DETAILED BUILDOUT ALLOCATION MAP



LEGEND

- WESTRIDGE TOWNHOMES
- CARRIAGE HOUSE COLLECTION
- 910 COLLECTION (40'/50')
- PARK HOUSE COLLECTION (50'/62')
- OVERLOOK COLLECTION (60'/70')
- PARKS/OPEN SPACE
- ROAD/ROW
- MEETING HOUSE
- NEIGHBORHOOD COMMERCIAL

DEVELOPMENT TYPE		COMMUNITY PLAN UNIT COUNT	VILLAGE PLAN AREA 1 UNIT COUNT
■	WESTRIDGE TOWNHOMES	140-170	151
■	CARRIAGE HOUSE COLLECTION	160-190	164
■	40'/50' - 910 COLLECTION	130-160	129
■	50'/62' - PARK HOUSE COLLECTION	110-130	99
■	60'/70' - OVERLOOK COLLECTION	30-50	56
TOTAL		600-730	599



SECTION 4 - DEVELOPMENT STANDARDS

DEVELOPMENT TYPE: 910 COLLECTION (40'/50' LOT SINGLE FAMILY DETACHED HOMES)



BUILDING CONFIGURATION

Number of Bldgs. per Lot	1 + outbuilding
Height - Principal Building	35' maximum (Per Saratoga Springs Municipal Code)
Height - Outbuilding	Per Saratoga Springs Municipal Code
Lot Coverage	50% maximum
Lot Frontage	35' minimum measured at front setback
Lot Size	Minimum 4,000 sq. ft.

SETBACKS - PRINCIPAL STRUCTURE

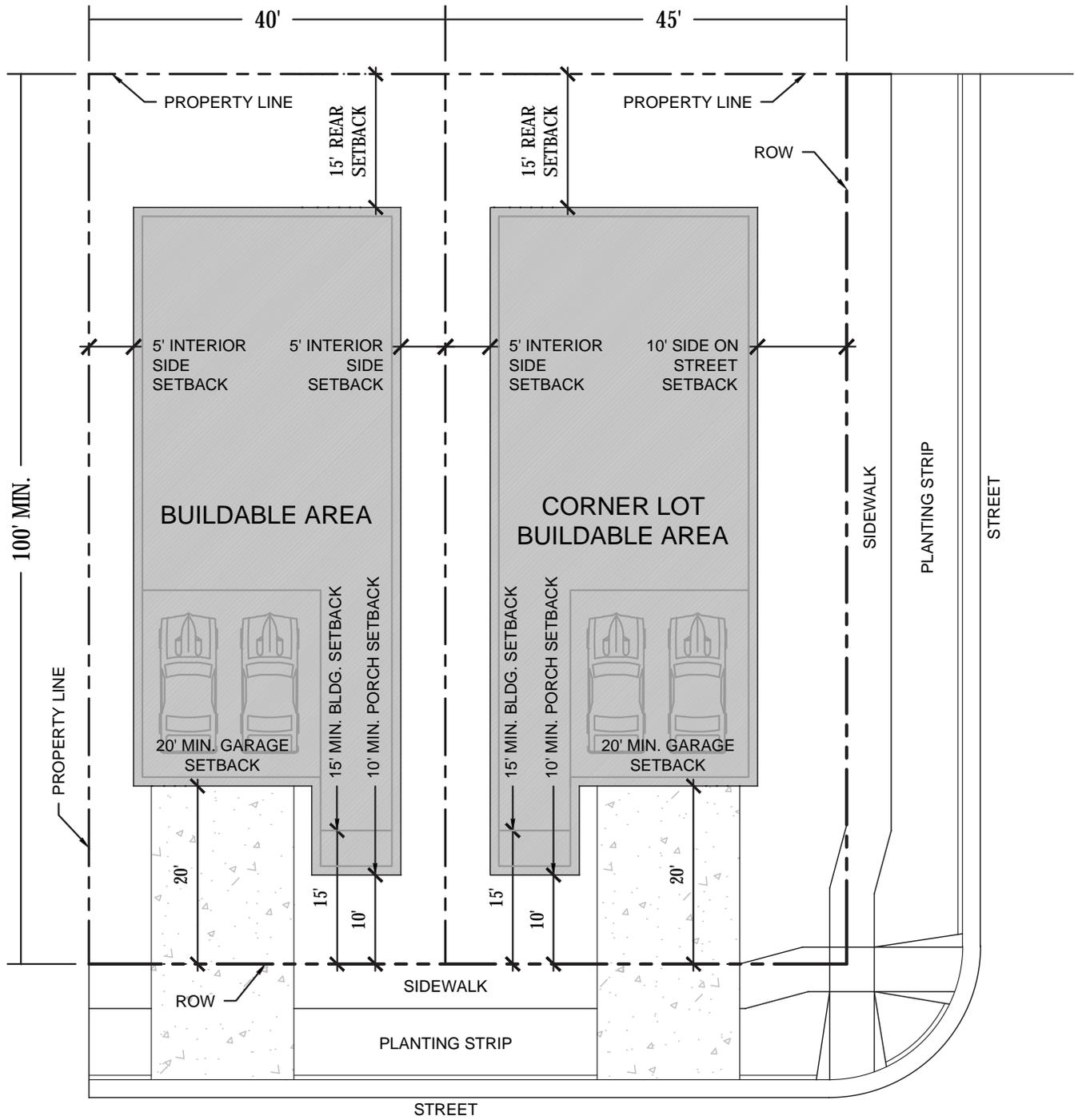
Front - to Structure	15' minimum
Front - to Covered Porch	10' minimum
Front - to Garage	20' minimum
Side - Interior to Structure	5' minimum
Side On-Street - to Structure	10' minimum
Rear - to Structure	15' minimum

SETBACKS - ACCESSORY STRUCTURES REQUIRING A BUILDING PERMIT

Front - to Structure	15' minimum
Rear - to Structure	5' minimum
Side - Interior to Structure	5' minimum
Side On-Street - to Structure	10' minimum

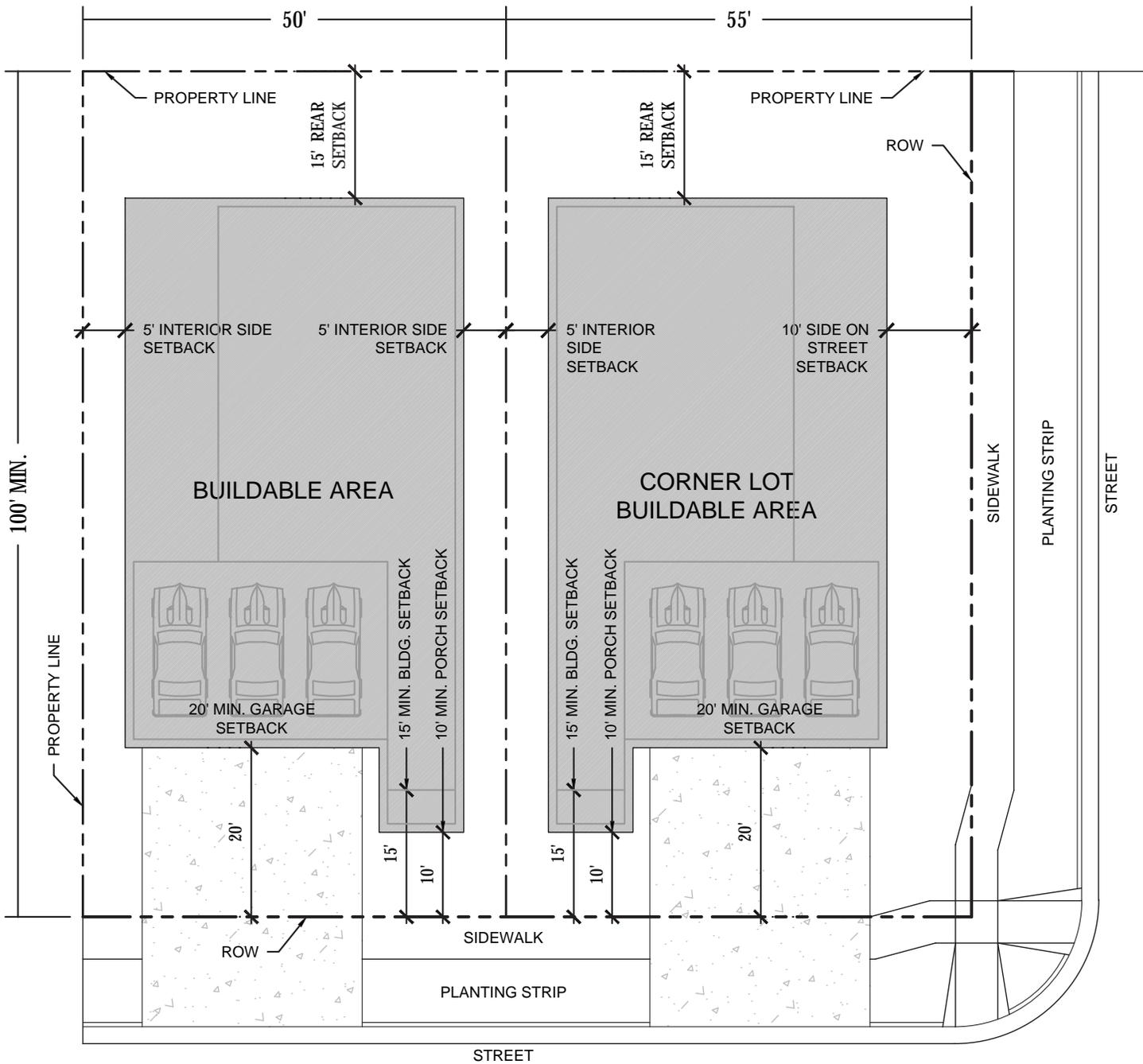


SETBACK DIAGRAM & LOT TYPICAL LAYOUT - 40' LOT (2-CAR GARAGE)





SETBACK DIAGRAM & LOT TYPICAL LAYOUT - 50' LOT (3-CAR GARAGE)





DEVELOPMENT TYPE: PARK HOUSE COLLECTION (50'/62' LOT SINGLE FAMILY DETACHED HOMES)



BUILDING CONFIGURATION

Number of Bldgs. per Lot	1 + outbuilding
Height - Principal Building	35' maximum (Per Saratoga Springs Municipal Code)
Height - Outbuilding	Per Saratoga Springs Municipal Code
Lot Coverage	50% maximum
Lot Frontage	35' minimum measured at front setback
Lot Size	Minimum 5,000 sq. ft.

SETBACKS - PRINCIPAL STRUCTURE

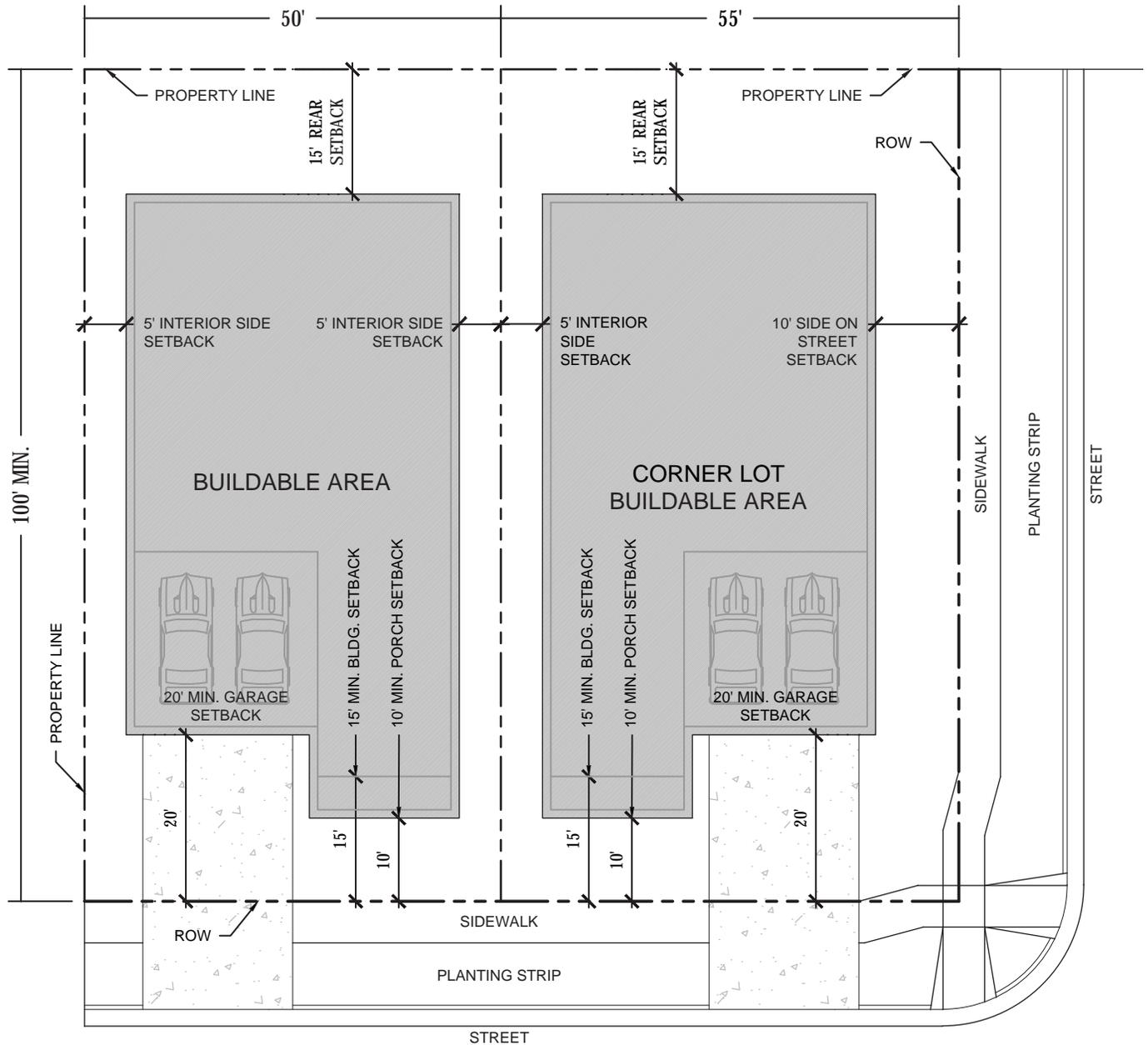
Front - to Structure	15' minimum
Front - to Covered Porch	10' minimum
Front - to Garage	20' minimum
Side - Interior to Structure	5' minimum
Side On-Street - to Structure	10' minimum
Rear - to Structure	15' minimum

SETBACKS - ACCESSORY STRUCTURES REQUIRING A BUILDING PERMIT

Front - to Structure	15' minimum
Rear - to Structure	5' minimum
Side - Interior to Structure	5' minimum
Side On-Street - to Structure	10' minimum

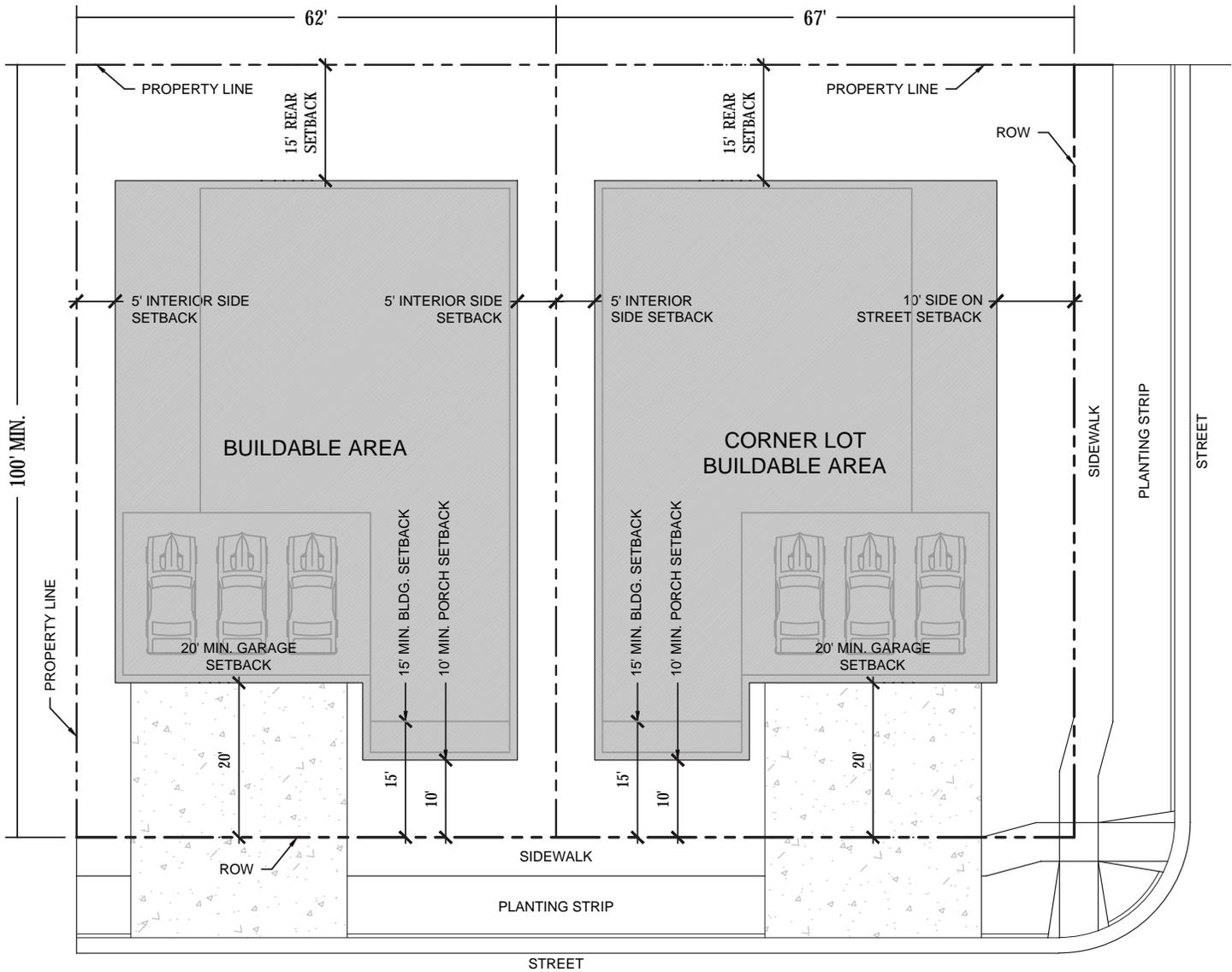


SETBACK DIAGRAM & LOT TYPICAL LAYOUT - 50' LOT (2-CAR GARAGE)





SETBACK DIAGRAM & LOT TYPICAL LAYOUT - 62' LOT (3-CAR GARAGE)





DEVELOPMENT TYPE: OVERLOOK COLLECTION (60'/70' LOT SINGLE FAMILY DETACHED HOMES)



BUILDING CONFIGURATION

Number of Bldgs. per Lot	1 + outbuilding
Height - Principal Building	35' maximum (Per Saratoga Springs Municipal Code)
Height - Outbuilding	Per Saratoga Springs Municipal Code
Lot Coverage	50% maximum
Lot Frontage	35' minimum measured at front setback
Lot Size	Minimum 6,000 sq. ft.

SETBACKS - PRINCIPAL STRUCTURE

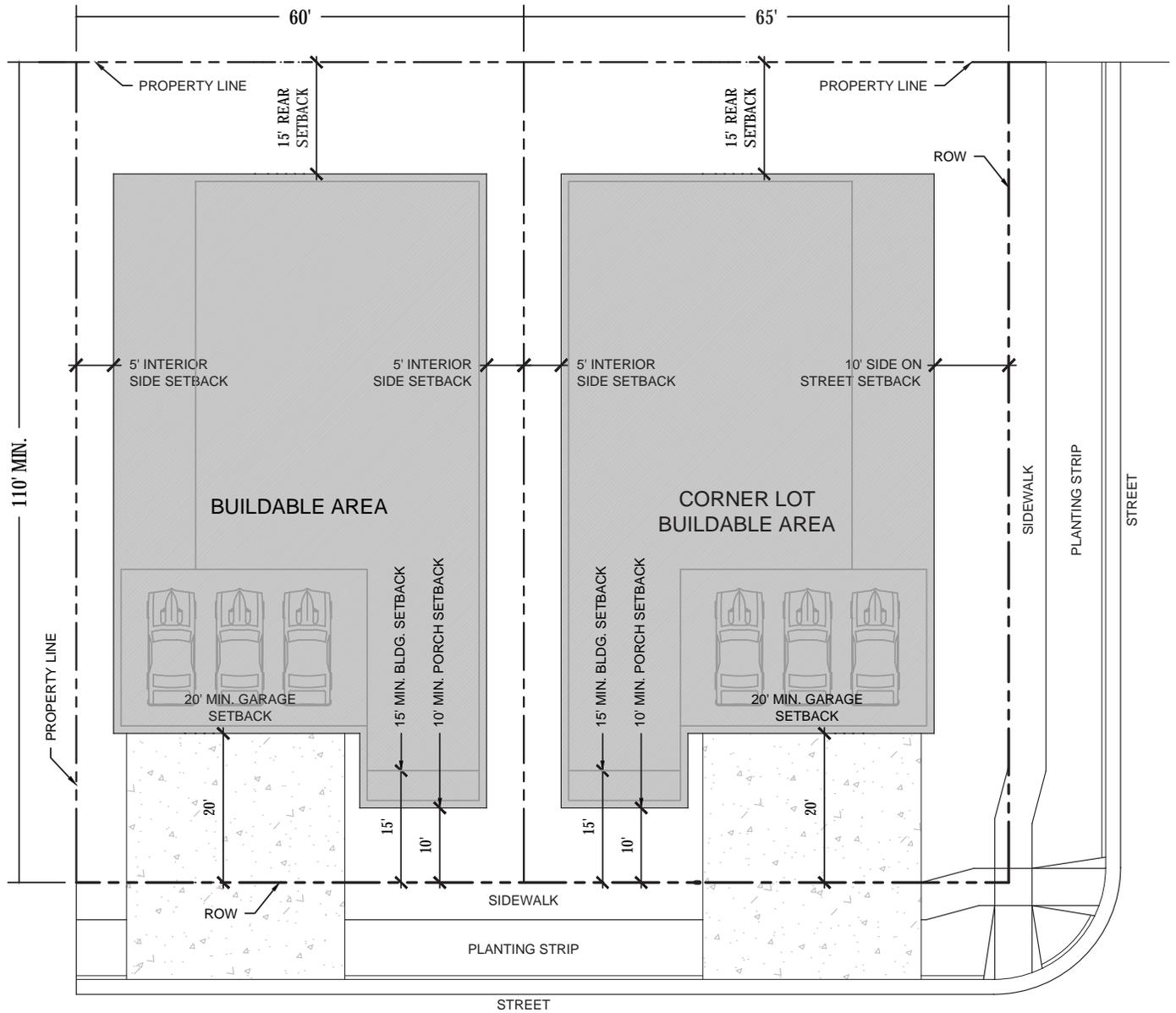
Front - to Structure	15' minimum
Front - to Covered Porch	10' minimum
Front - to Garage	20' minimum
Side - Interior to Structure	5' minimum
Side On-Street - to Structure	10' minimum
Rear - to Structure	15' minimum

SETBACKS - ACCESSORY STRUCTURES REQUIRING A BUILDING PERMIT

Front - to Structure	15' minimum
Rear - to Structure	5' minimum
Side - Interior to Structure	5' minimum
Side On-Street - to Structure	10' minimum

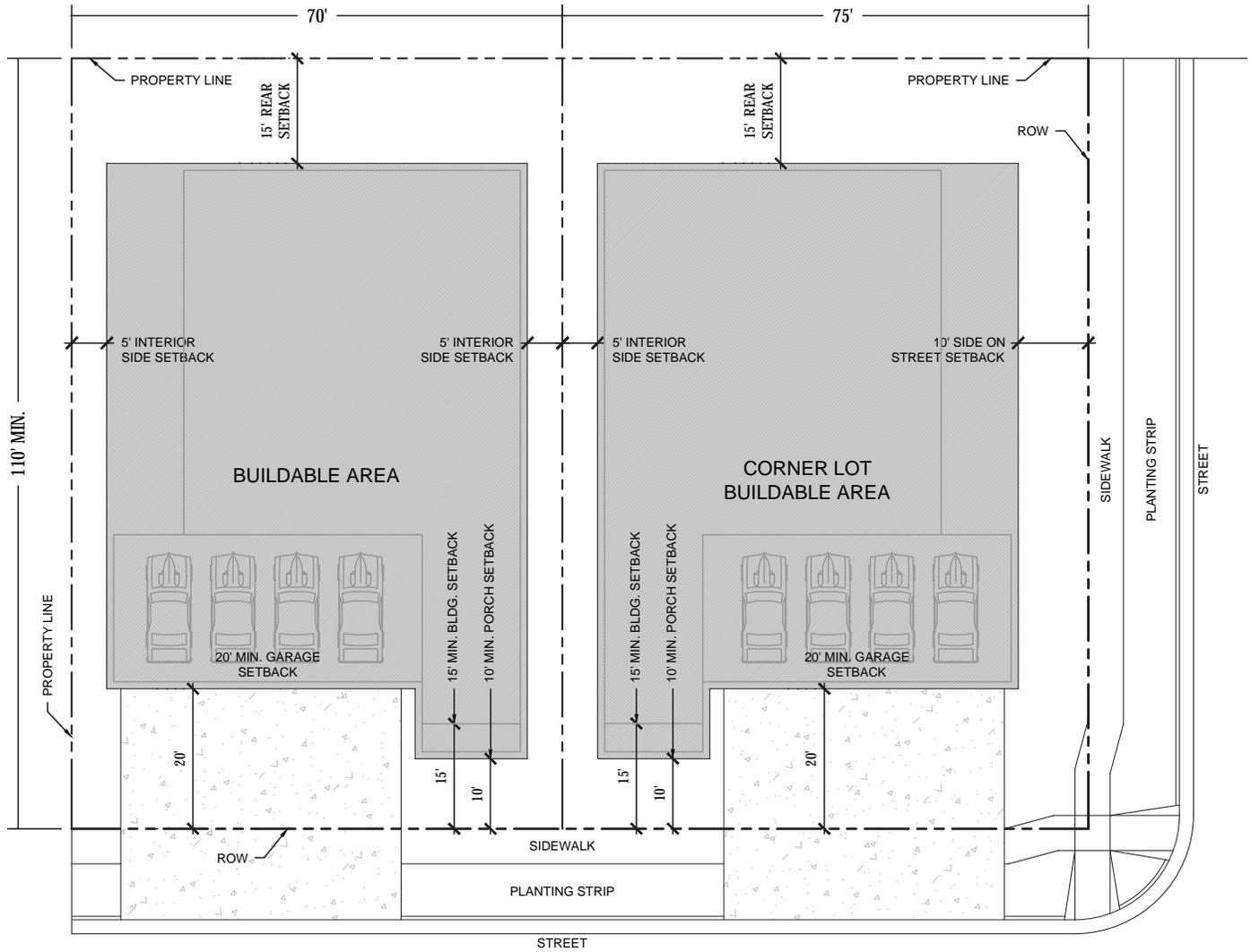


SETBACK DIAGRAM & LOT TYPICAL LAYOUT - 60' LOT (3-CAR GARAGE)





SETBACK DIAGRAM & LOT TYPICAL LAYOUT - 70' LOT (4-CAR GARAGE)





DEVELOPMENT TYPE: CARRIAGE HOUSE COLLECTION (SINGLE FAMILY CLUSTER HOMES)



BUILDING CONFIGURATION

Number of Bldgs. per Lot	1
Height	35' maximum (Per Saratoga Springs Municipal Code)
Lot Coverage	60% maximum
Lot Size	Minimum 2,500 sq. ft.

SETBACKS - PRINCIPAL STRUCTURE

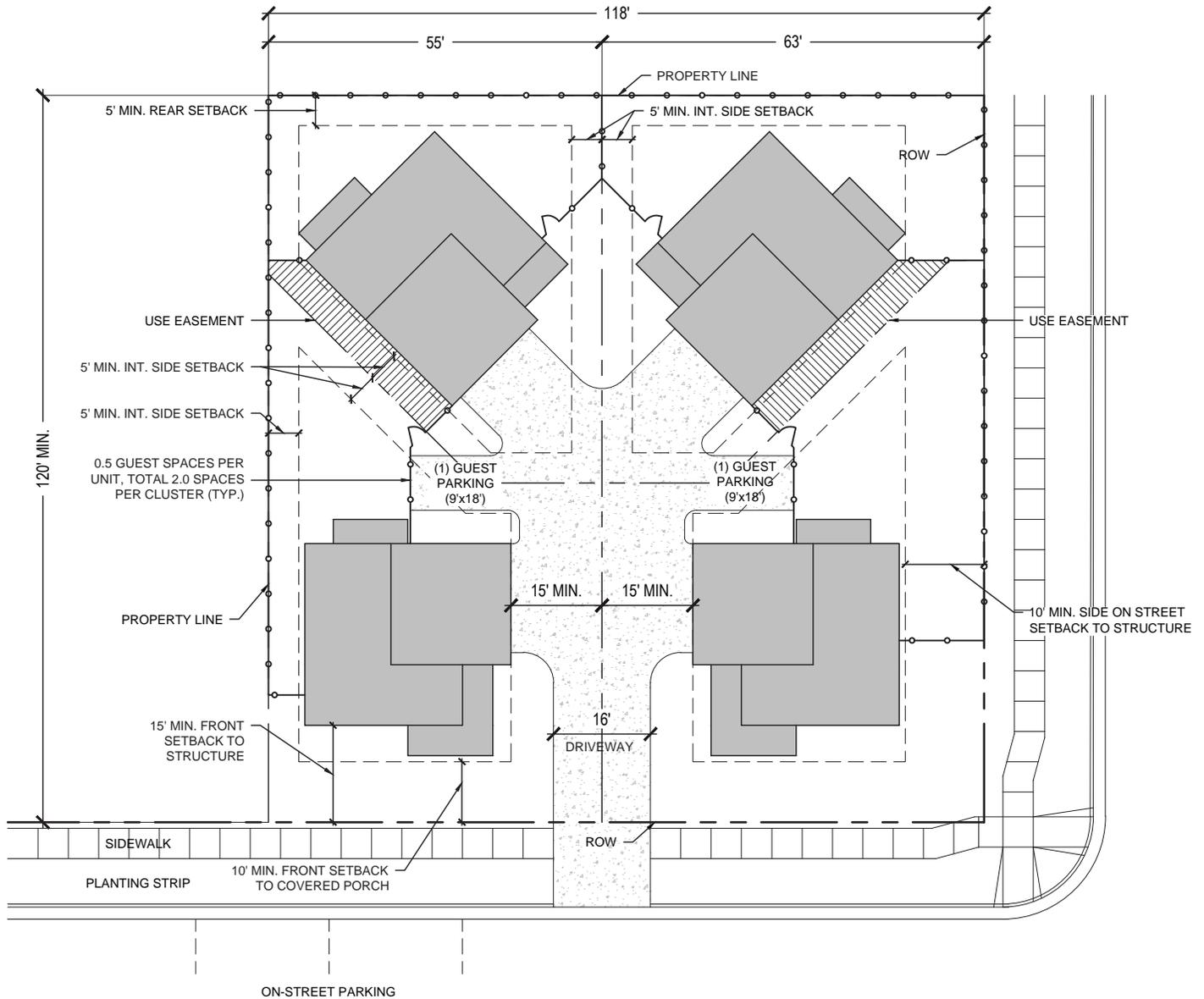
Front - to Structure	15' minimum
Front - to Covered Porch	10' minimum
Side - Interior to Structure	5' minimum
Side On-Street - to Structure	10' minimum
Rear - to Structure	5' minimum

OTHER STANDARDS

Guest Parking	0.5 spaces per unit
Garages	Two-car garages per SSMC Section 19.09
Sight Triangle	All structures to maintain sight triangle per AASHTO standards.
Use Easement	For benefit/use of adjacent lot for maintenance purposes (p. 23-24)

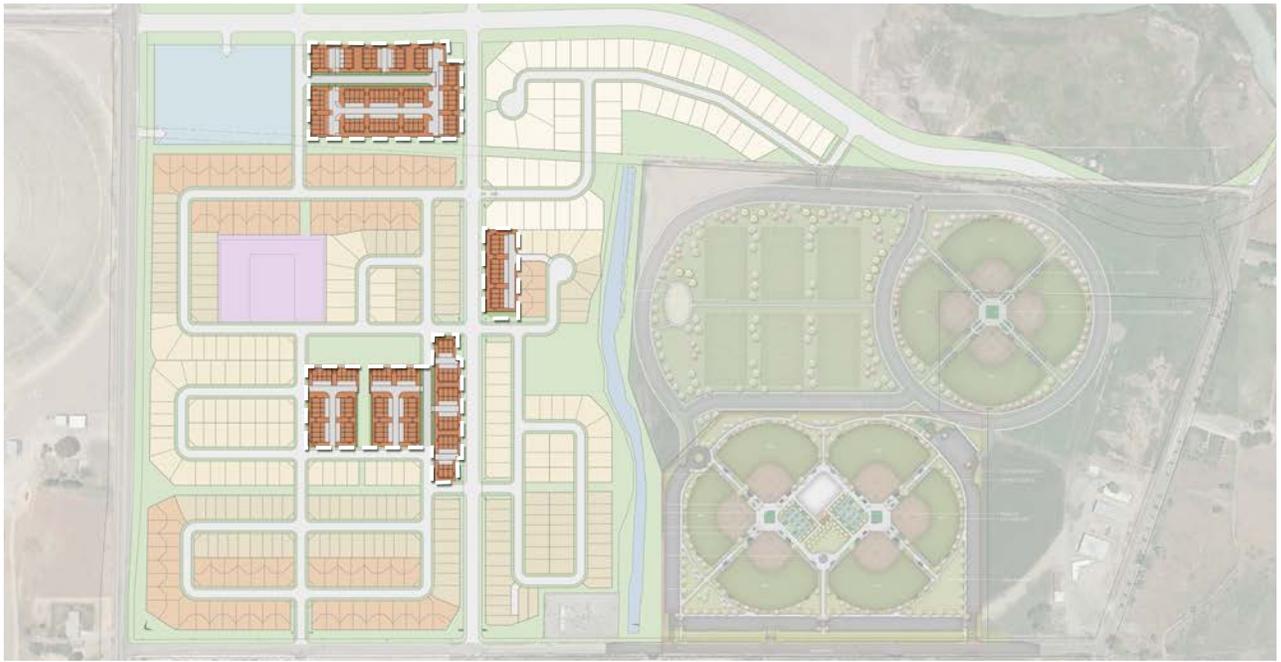


SETBACK DIAGRAM & LOT TYPICAL LAYOUT - 4-UNIT





DEVELOPMENT TYPE: WESTRIDGE TOWNHOMES COLLECTION



BUILDING CONFIGURATION

Number of Bldgs. per Lot	1
Height	35' maximum (Per Saratoga Springs Municipal Code)
Lot Coverage	80% maximum

SETBACKS - PRINCIPAL STRUCTURE

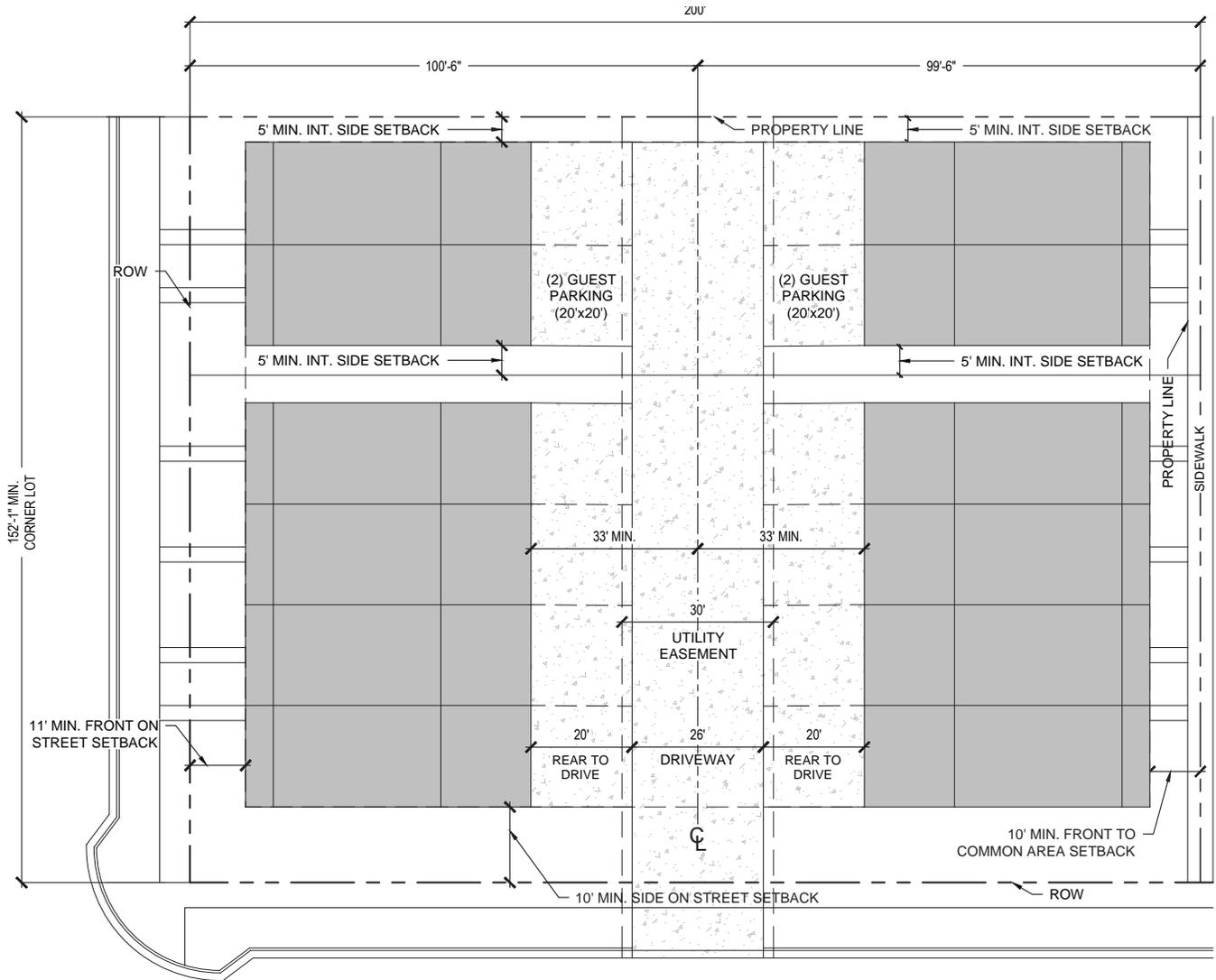
Front On-Street - to Structure	10' minimum
Front - to Common Area	10' minimum
Side - Interior to Structure	5' minimum
Side On-Street - to Structure	10' minimum
Rear - to Structure	3' minimum w/o driveway, 20' minimum w/driveway & guest parking

OTHER STANDARDS

Parking	0.25 spaces per unit
Garages	Two-car garage per SSMC Section 19.09
Open Space	20% minimum
Sight Triangle	All structures to maintain sight triangle per AASHTO standards.



SETBACK DIAGRAM & LOT TYPICAL LAYOUT - TOWNHOME





PARKING REQUIREMENTS

Off-street guest parking shall be provided for any product with less than a 20' driveway at a rate of 0.25 spaces minimum per unit as per Section 19.11.09 of the Saratoga Springs Municipal Code. All unit types meet the minimum required number of off-street guest parking spaces. On-street parking is also available for additional public parking.

PRIVATE OPEN SPACE

<p>Permitted Elements</p>	<p>Front Yard: Fences, hedges, & masonry walls (4' max. height/3' max. height inside clear-view triangle. Rear & Side Yard: 6' min. privacy fence.</p>
<p>Surface Treatments</p>	<p>Groundcover, lawn, flower gardens, vegetable gardens, trees, grasses, small shrubs, and landscape boulders. Min. 25% of front and corner street side yards shall consist of non-rock and non-hardscape landscaping. Artificial turf is not permitted.</p>
<p>Schedule</p>	<p>All front and side yards in a single family lot shall be landscaped within one year, and interior side and back yards within two years after receiving a Certificate of Occupancy or once ownership is established by the current owner (as per Section 19.06.08.d of the SSMC). Please reference Section 19.06.05 of the SSMC for exceptions of this requirement due to weather conditions.</p>



DEVELOPMENT STANDARDS - COMMERCIAL

Commercial areas present in Village Plan Area 1 will harbor architectural features and materials that contribute to the overall theme of the Jordan Promenade Development while blending with neighboring architecture, landscapes, and hardscape elements. Commercial development will adhere to the Saratoga Springs Municipal Code and design guidelines.

Oakwood Homes of Utah, LLC will work closely with the commercial developer, Suburban Land Reserve, to provide commercial and mixed-use development that complements the overall community.

Commercial areas occurring in Jordan Promenade are classified under the Neighborhood Commercial Land Use Zone (Section 19.04.09 of the Saratoga Springs Municipal Code).

The Neighborhood Commercial Land Use Zone (NC) is intended to create, preserve, and enhance areas of retail establishments serving frequently recurring needs for goods and services in convenient locations to neighborhoods. This commercial zone is typically appropriate to small shopping clusters or integrated shopping centers in developments of one to three acres, but not greater than five, within, or convenient to, residential neighborhoods. Facilities should be oriented to serve residents' commercial service needs, to strengthen neighborhood interaction and neighborhood character, to minimize the need for automobile trips and to make commercial services more readily available to residents of adjacent neighborhoods.

- Improvements such as trails, seating and lighting that would help create gathering spaces and promote pedestrian activity are expected, where appropriate, and may be considered an essential part of developments in the Neighborhood Commercial zone. Developments in the Neighborhood Commercial Zone shall also be characterized by increased landscaping and architectural compatibility with the surrounding neighborhood.



The following table outlines the land use regulations and minimum setback requirements for the Neighborhood Commercial Land Use Zone (Section 19.04.10 of the SSMC):

LAND USE REGULATIONS (NC)	
Minimum Lot Size	15,000 sq. ft.
Maximum Building Size	15,000 sq. ft.
Minimum Lot Width	100'
Minimum Lot Frontage	100'
Max. Height of Structures	35'
Maximum Lot Coverage	50%
MINIMUM SETBACK REQUIREMENTS (NC)	
Front/Corner Side Setback	25'
Interior Side Setback	25'
Rear Setback	25'

The following table outlines permitted and conditional uses for the Neighborhood Commercial Land Use Zone (Section 19.04.11 of the SSMC):

PERMITTED AND CONDITIONAL USES (NC)	
Permitted Uses	Animal Hospital, Small/Small Veterinary Office; Arts & Crafts Sales; Bakery, Retail; Bookstore; Car Wash, Public, Child Care Center; Churches; Commuter/Light Rail Station; Convenience Store (non-fast food); Copy Center; Dry Cleaners; Educational Center; Fitness Center (5,000 sq. ft. or larger); Floral Sales; Funeral Home (5,000 sq. ft. or less); Hair Salon; Ice Cream Parlor; Office, Medical and Health Care; Office, Professional; Personal Service Establishment; Plant & Tree Nursery; Postal Center; Preschool; Public Parks, playgrounds, recreation areas, or other park improvements; Public Building or Facilities (City Owned); Refueling Station, Public; Restaurant, Deli; Restaurant, Sit Down; Retail Sales; Retail Specialty; School, Public.
Conditional Uses	None

Adding Convenience Store (non fast food) and deleting Refueling Station, Private and adding Refueling Station, Public



SECTION 5 - DESIGN GUIDELINES

ARCHITECTURAL GUIDELINES

The standards listed in this section are to be viewed as design guidelines for the homes of the Jordan Promenade Development.

Repetitious and homogenous building styles will not be permitted in Jordan Promenade. A variety of housing types, building material and color variations will help create unique neighborhoods. Single family homes with the same style, floor plan or color scheme will not be built on lots next to, adjacent to, or across the street from each other.

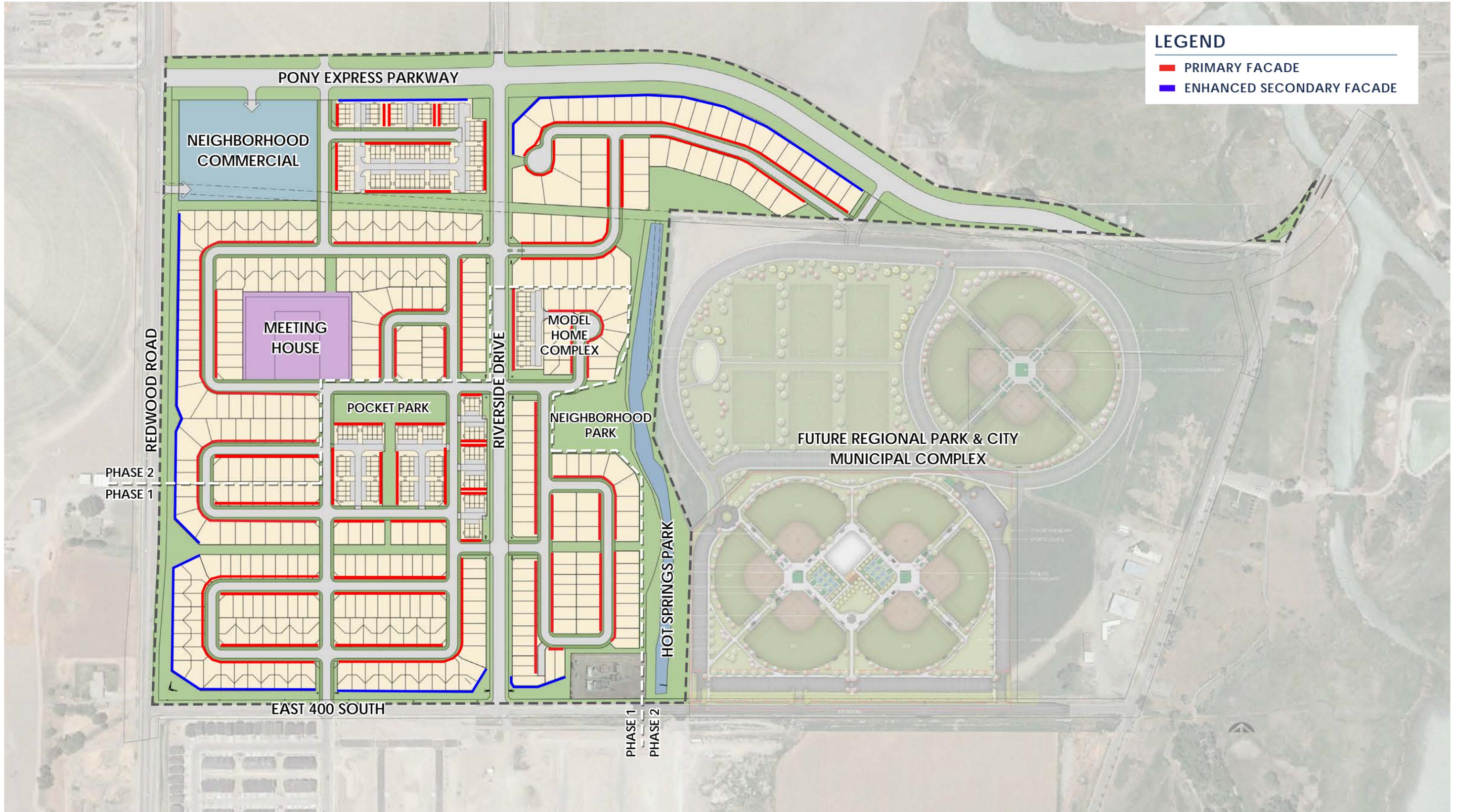
Architectural design standards shall follow the requirements as defined under Section 19.16 of the Saratoga Springs Municipal Code. Residential lighting standards shall follow the requirements as defined under Section 19.11 of the Saratoga Springs Municipal Code.

Site Plans for attached residential and commercial development areas may be approved administratively by staff when lotting plans, landscape plans, and building elevations are provided with the Village Plan application submittal.

Creating a sense of place and building a desirable community are the goals of the chosen architectural styles for the Jordan Promenade Development. Each style will contribute to the character of the community, with the individuality of every home creating an attractive streetscape throughout the development. Elements such as roof shape and pitch, window size, shape and placement, and construction materials such as brick, stucco or wood can all be used to create the subtle details that foster individuality in a home. In order to maintain an attractive street character, enhanced secondary facades will occur on all house elevations facing major arterial roadways, and primary facades will occur on all house elevations facing local and collector roadways. The following map (ref. page 30) illustrates primary and enhanced secondary facades.

Jordan Promenade offers three dwelling types to appeal to a broad range of potential buyers, including single-family detached homes, cluster homes, and townhomes. Each dwelling type is characterized by a variety of colors, styles, materials, and architectural elements. The collections available are as follows: 910 Collection (SFD), Park House Collection (SFD), Overlook Collection (SFD), Carriage House Collection (Cluster), and Westrige Collection (Townhome). Within these collections are a variety of overarching architectural styles, such as Contemporary, Craftsman, Classic, and Historic. The architectural styles listed can be used in many variations to create the unique and individual character desired for each home. Examples of each collection and their options are provided on the following pages.

SECTION 5a - ENHANCED FACADE PLAN





910 COLLECTION

CLASSIC



CONTEMPORARY





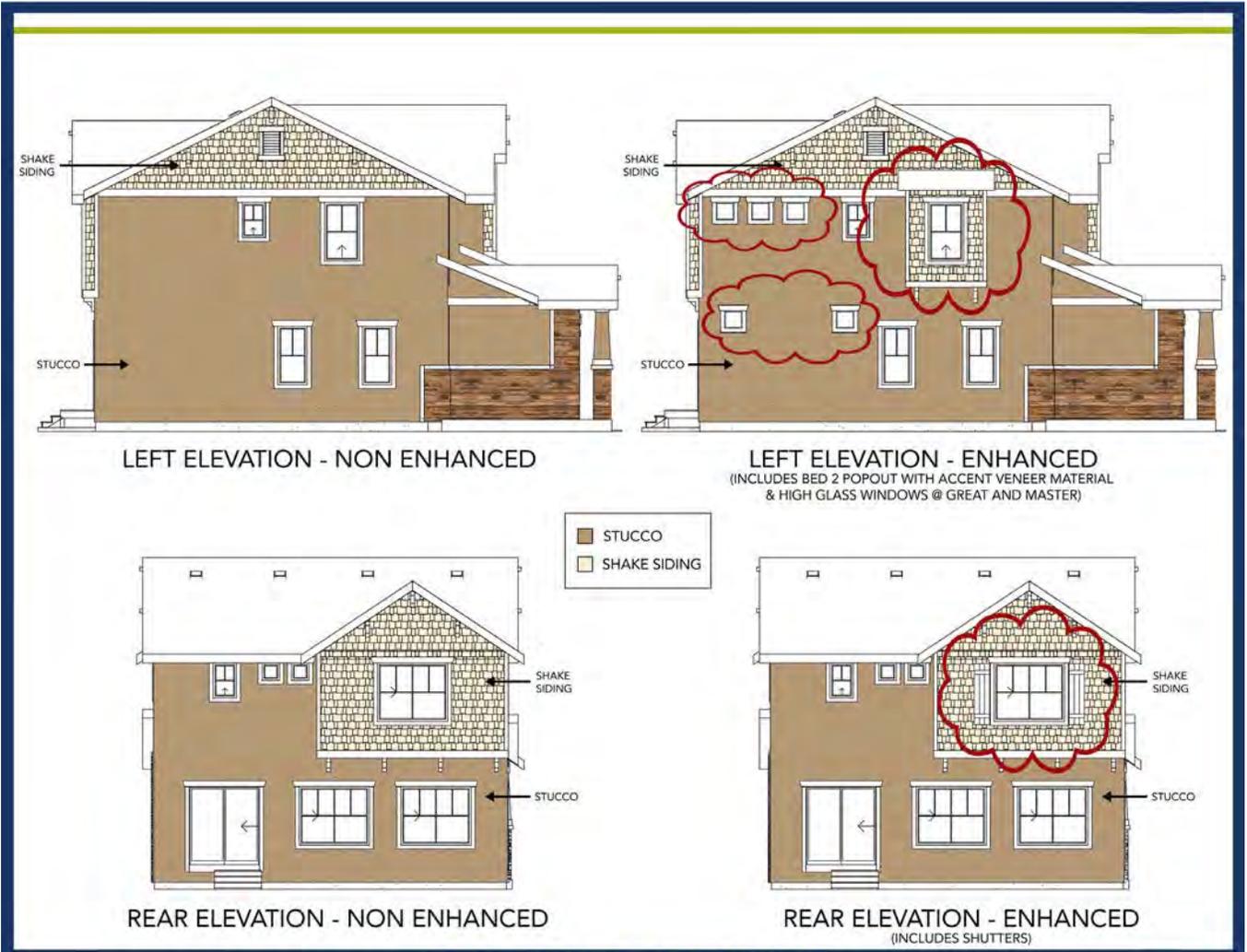
910 COLLECTION

CRAFTSMAN





910 COLLECTION





PARK HOUSE COLLECTION

CLASSIC



CONTEMPORARY





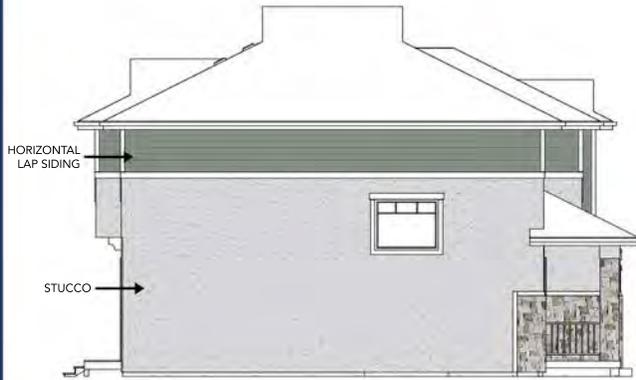
PARK HOUSE COLLECTION

CRAFTSMAN

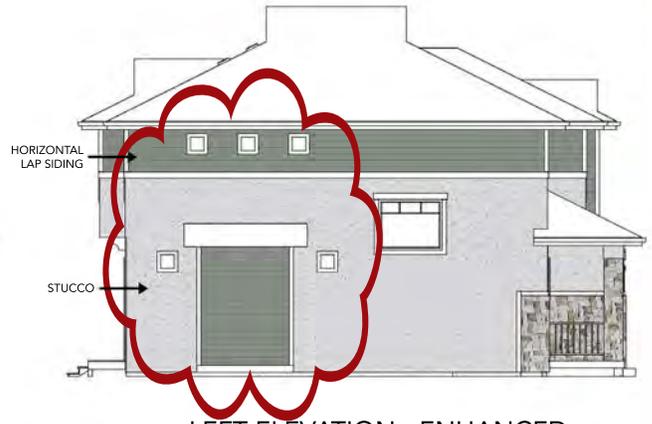




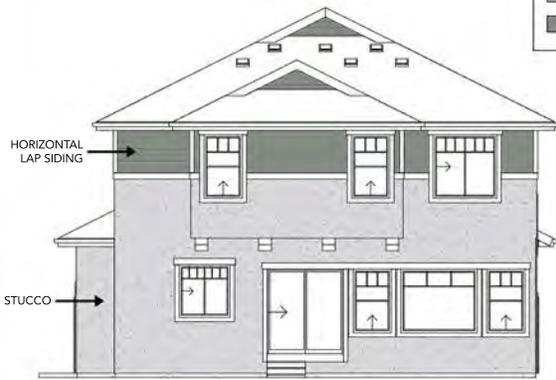
PARK HOUSE COLLECTION



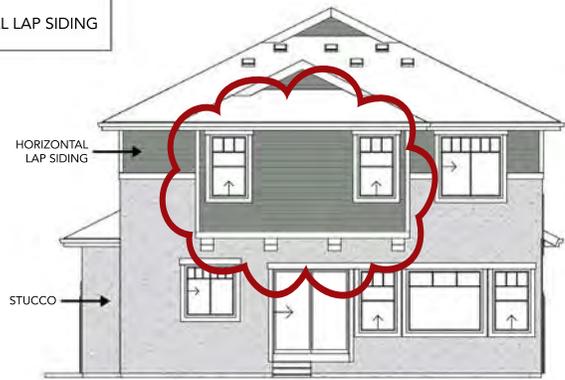
LEFT ELEVATION - NON ENHANCED



LEFT ELEVATION - ENHANCED
INCLUDES GREAT ROOM POP-OUT WITH ACCENT VENEER MATERIAL
& HIGH GLASS WINDOWS @ GREAT AND BONUS



REAR ELEVATION - NON ENHANCED



REAR ELEVATION - ENHANCED
(INCLUDES ACCENT VENEER MATERIAL @ 2ND FLOOR POPOUT)



OVERLOOK COLLECTION

CONTEMPORARY CLASSIC





OVERLOOK COLLECTION

CONTEMPORARY PRAIRIE





OVERLOOK COLLECTION

HISTORIC HOMESTEAD





OVERLOOK COLLECTION

HISTORIC CLASSIC



HISTORIC PRAIRIE

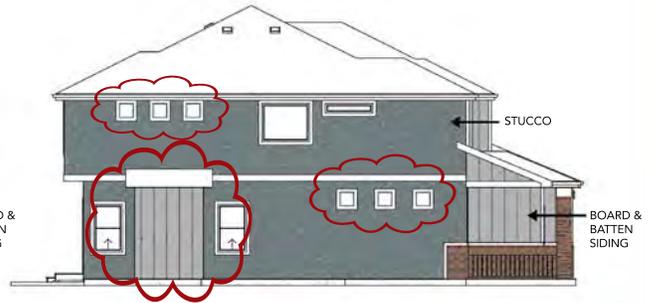




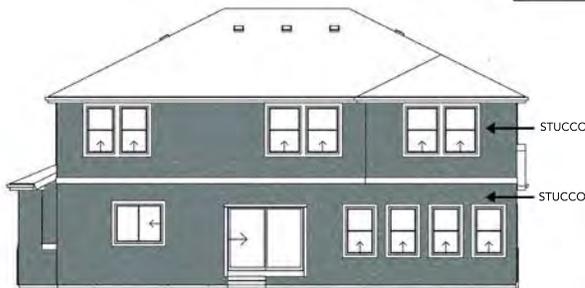
OVERLOOK COLLECTION



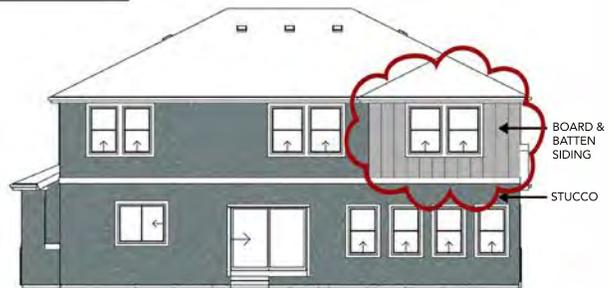
LEFT ELEVATION - NON ENHANCED



LEFT ELEVATION - ENHANCED
(INCLUDES GREAT ROOM POP-OUT WITH ACCENT VENEER MATERIAL
& HIGH GLASS WINDOWS @ FLEX AND MASTER)



REAR ELEVATION - NON ENHANCED



REAR ELEVATION - ENHANCED
(INCLUDES ACCENT VENEER MATERIAL @ 2ND FLOOR POP-OUT)



CARRIAGE HOUSE COLLECTION

CLASSIC





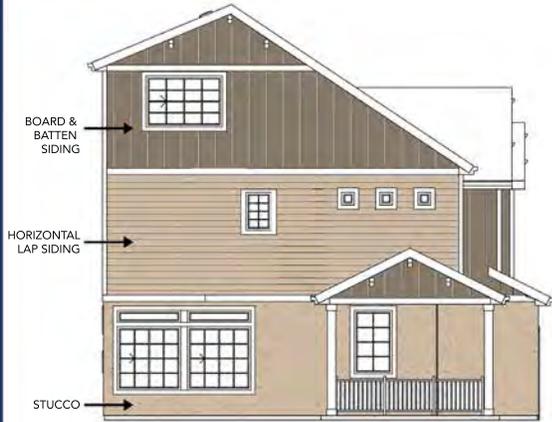
CARRIAGE HOUSE COLLECTION

CRAFTSMAN

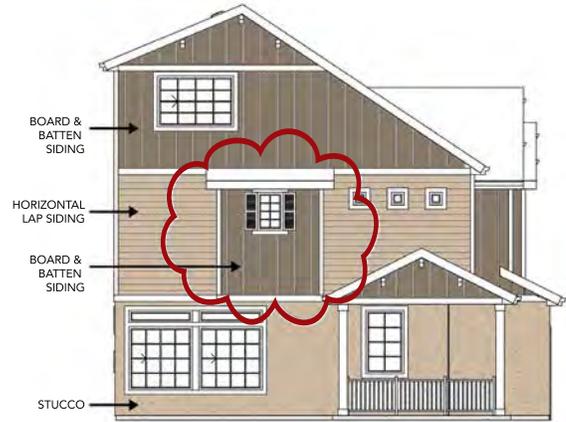




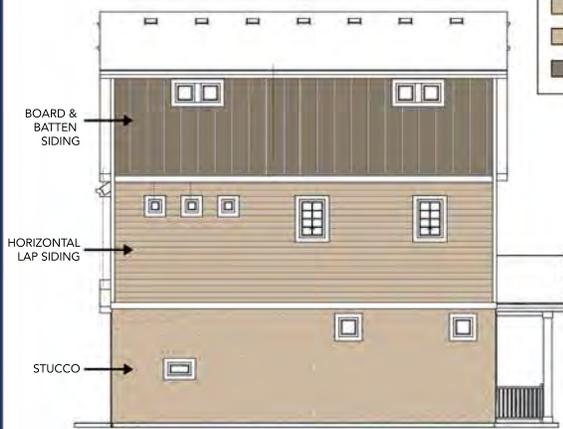
CARRIAGE HOUSE COLLECTION



LEFT ELEVATION - NON ENHANCED



LEFT ELEVATION - ENHANCED
(INCLUDES POP-OUT WITH ACCENT VENEER MATERIAL @ 2ND FLOOR)



REAR ELEVATION - NON ENHANCED



REAR ELEVATION - ENHANCED
(INCLUDES POP-OUT @ 3RD FLOOR)



WESTRIDGE TOWNHOMES COLLECTION



LEFT ELEVATION - NON ENHANCED

- STUCCO
- HORIZONTAL LAP SIDING
- BOARD & BATTEN SIDING



LEFT ELEVATION - ENHANCED

(INCLUDES COVERED PATIO & ACCENT VENEER MATERIAL @ 2ND FLOOR POP-OUT)



EXTERIOR COLOR PALETTE

All exterior colors will be compatible with the architectural style of each dwelling. Bright artificial colors such as neons, fluorescents, etc. are prohibited.

The exterior color palette of Jordan Promenade is based on the natural tones found in the Utah landscape. The earthy, neutral hues chosen for the homes contributes to the overall character of the community and compliments the architectural elements of each dwelling.

Color schemes for Jordan Promenade will have a subtle contrast between main body and trim colors. This approach creates an attractive streetscape and unity within the neighborhood without relying on stark, contrasting colors to catch the eye.

The palette below is a selection from the exterior color palette and may include additional colors and materials:

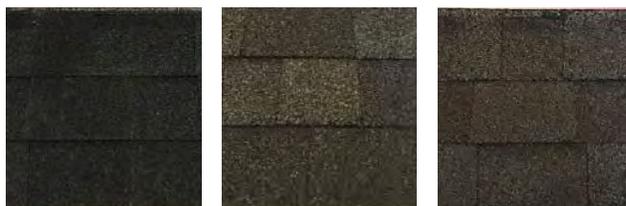
SIDING



STUCCO



ROOF SHINGLES



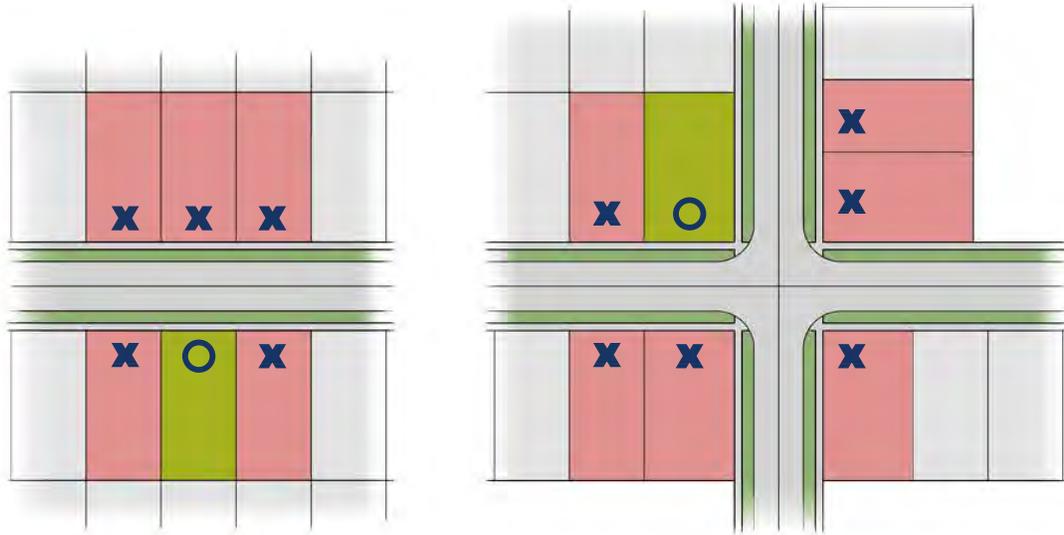
STONE





RHYTHM AND PLACEMENT

Color variation is critical in establishing a sense of character in each neighborhood and for preserving architectural interest in each home. Therefore, homes with the same or similar main body color may not occur across from, next to, or diagonal from each other. Neighboring dwellings may share similar trim, accent, roof, and stone colors. The following diagrams illustrate the guidelines described above:





FENCING GUIDELINES

Jordan Promenade establishes a consistent theme for project fencing that reflects the natural elements of the Jordan River and the Utah Lake area. Fencing types incorporate materials that complement the proposed entry monuments and overall character of the neighborhood.

FENCE TYPE	LOCATION	HEIGHT	FENCE MATERIAL	COLUMN MATERIAL
Project Perimeter Fence	Perimeter arterial roadways	6'-0"	Vinyl material	Stone, regularly spaced
Internal Privacy Fence	Internal collector roadways	6'-0"	Vinyl material	Stone, located at corners only
Open Space Fence	Internal trail & open space corridors	4'-0" to 5'-0"	3-4 rail, vinyl material	N/A

PROJECT PERIMETER FENCE



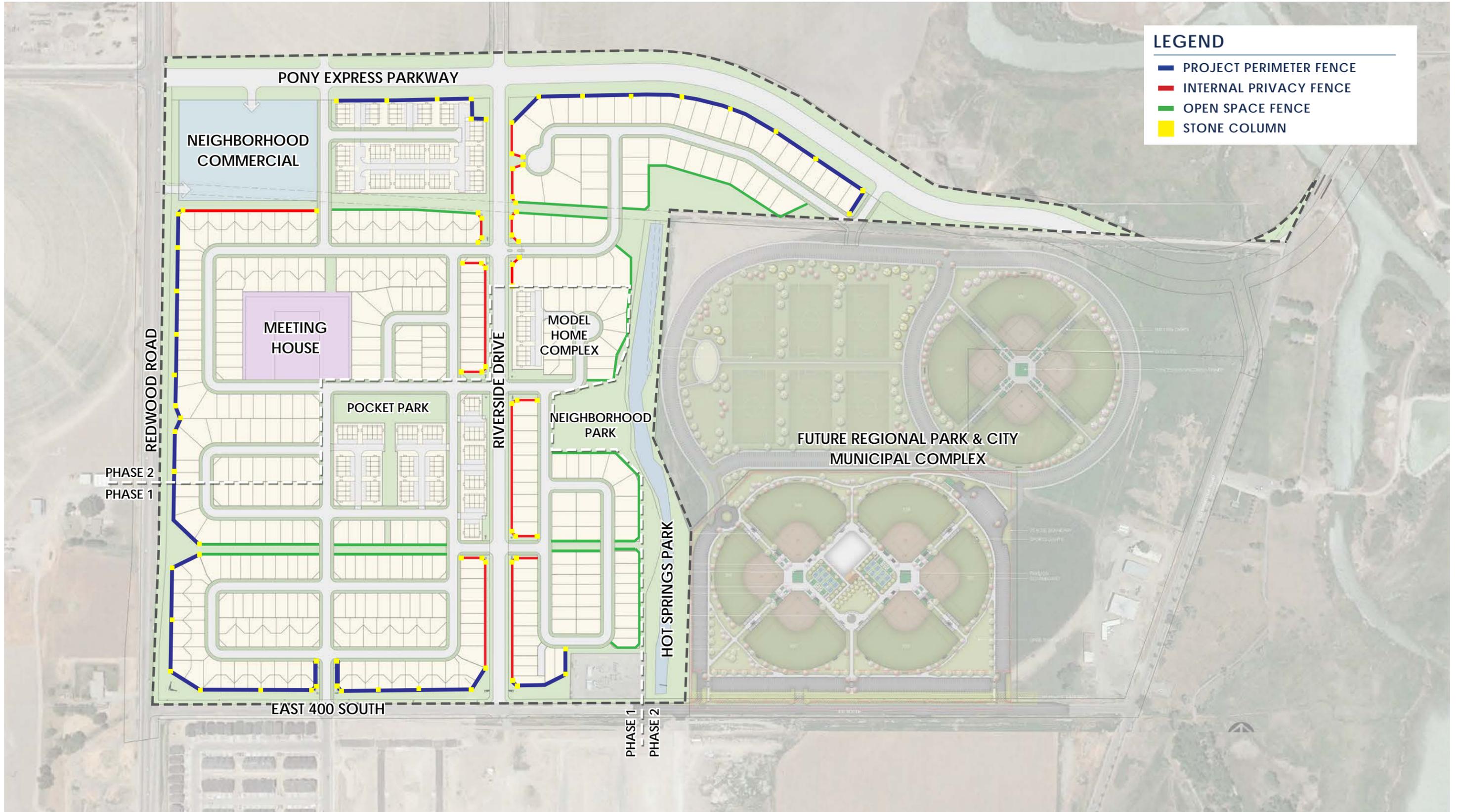
INTERNAL PRIVACY FENCE



OPEN SPACE FENCE



SECTION 5b - FENCING PLAN





SECTION 6 - ASSOCIATIONS

HOMEOWNERS' ASSOCIATION

In accordance with Section 19.26.03.2.d of the Planned Community Zone Ordinance in the Saratoga Springs Municipal Code, a Homeowners' Association (HOA) will be established to review, approve, and enforce architectural requirements and restrictions, and to address common area maintenance obligations. HOA-specific rules and regulations including CC&Rs (Covenants, Conditions & Restrictions) will be utilized to enforce the neighborhood requirements of the HOA.



SECTION 7 - PHASING & MAINTENANCE PLAN

PHASING

As shown on page 5 of the Jordan Promenade Community Plan, Jordan Promenade Village Plan Area 1 is the first of 3 major phases for the Jordan Promenade Development. Village Plan Area 1 will be developed in 2 phases as illustrated in the Phasing Plan (ref. page 52).

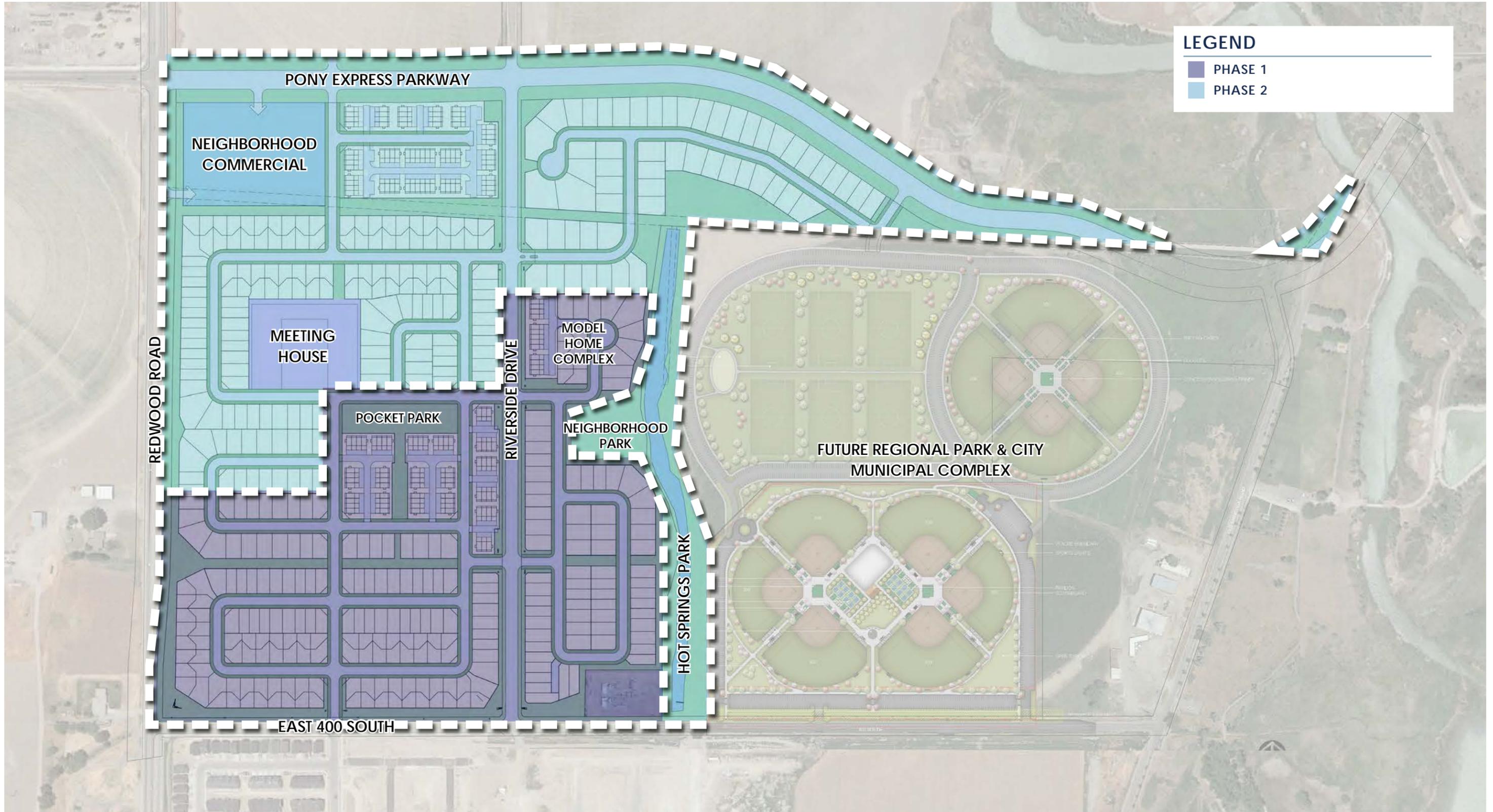
The first phase of Village Plan Area 1 is planned with a variety of program elements, including a pocket park designed with walking trails, community gardens, playgrounds, bocce court, open lawn, and pavilion. The model home complex will be developed in phase 1 in order to attract potential homebuyers in the early stages of development. Phase 1 will also include an extensive trail network weaving through planted open space tracts within the boundaries of phase 1.

The second phase will include many of the major amenities of Village Plan Area 1, including a meeting house, commercial area, neighborhood park, and the hot springs greenway. The pedestrian network established in the first phase will continue into the second phase, linking each amenity available in Village Plan Area 1. The neighborhood park will feature a clubhouse and pool, open lawn, playground, pavilion, active trails, planting areas, and bridge connection to the future regional park. The hot springs greenway, which features an enhanced waterway with natural plantings, trails, and opportunities for water access, will be developed in conjunction with the neighborhood park.

MAINTENANCE

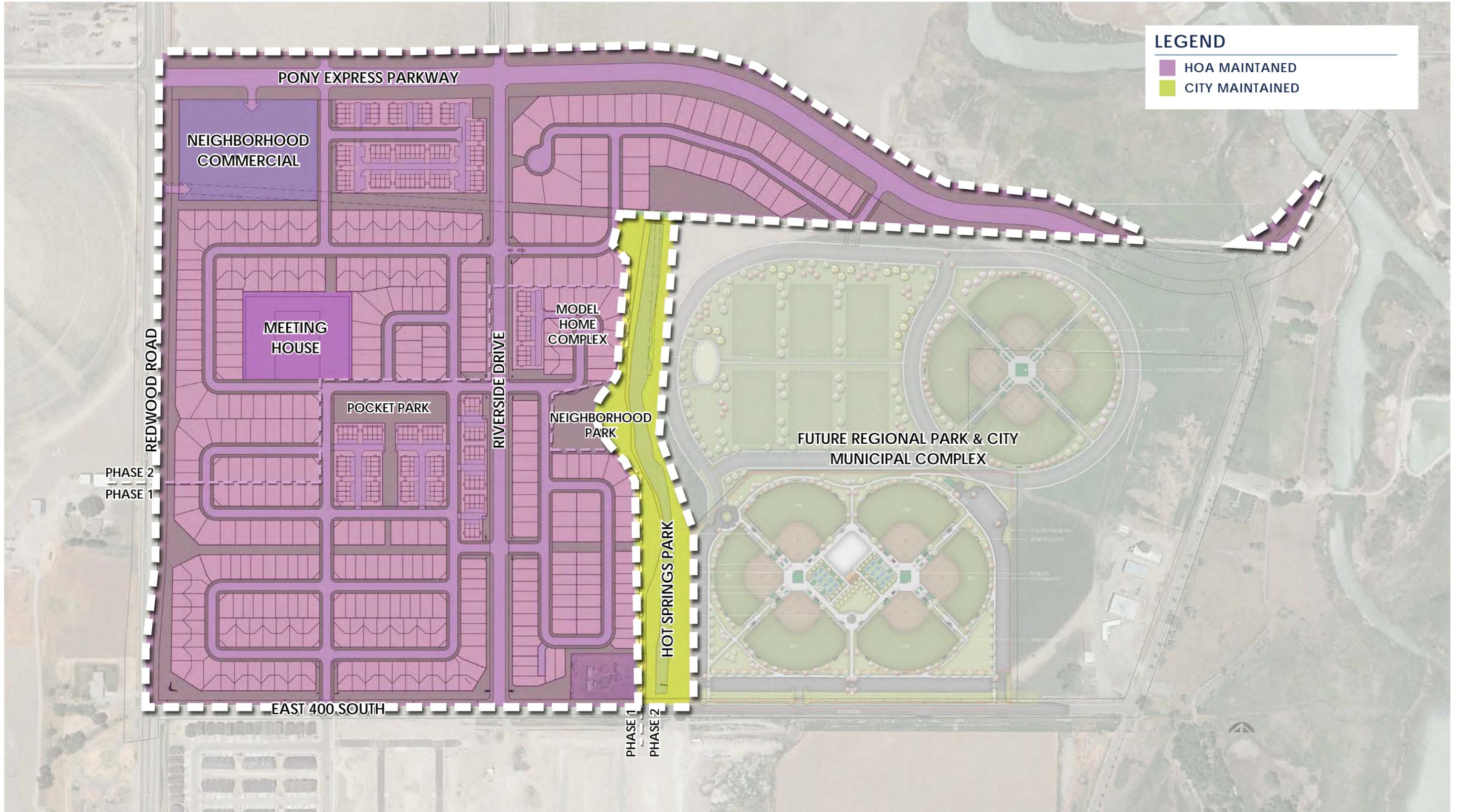
Maintenance for all common open space areas within Village Plan Area 1 will be provided by the Jordan Promenade Homeowners' Association and by the City of Saratoga Springs. The pocket park, Village Plan Area 1 trail network, and portions of the neighborhood park are designated as private and will be constructed by the developer and maintained by the HOA. The hot springs greenway park and portions of the neighborhood park are designated as public and will be constructed by the developer and maintained by the City. The Maintenance Plan (ref. page 53) details the areas to be maintained by the HOA and City. The location of open space areas and detailed open space plans are illustrated in the following series of landscape plans (ref. pages 56-62). Refer to the Pedestrian Plan (ref. page 79) for the location and types of trails within Village Plan Area 1.

SECTION 7a - PHASING PLAN

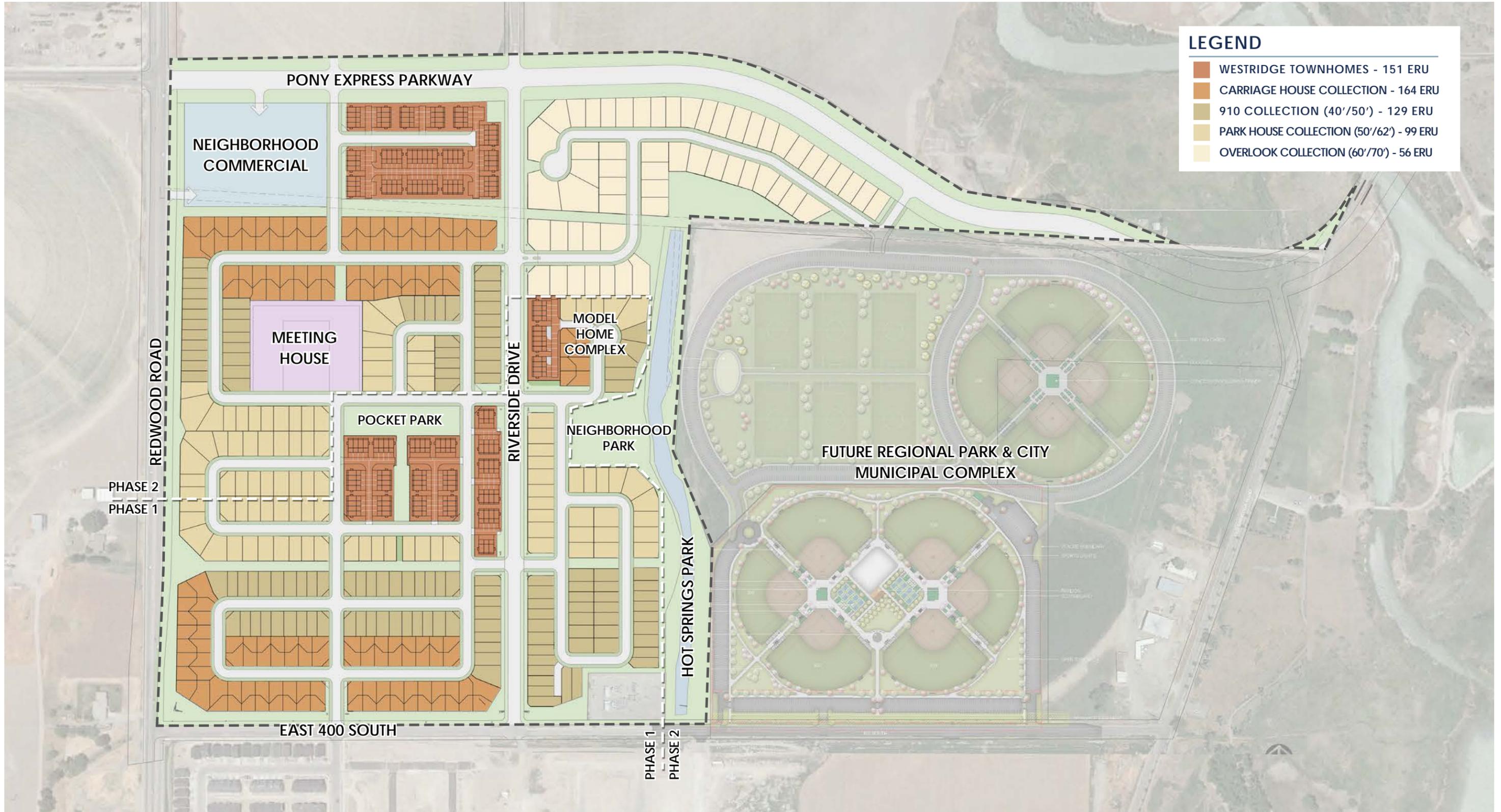


NOTE: Deficiencies in open space requirements in individual phases or sub-phases will be allowed, based on overall open space requirements being met for the Area 1 Village Plan.

SECTION 7b - MAINTENANCE PLAN



SECTION 8 - LOTTING MAP



NOTE: Reference Appendix A for full lotting map set.



SECTION 9 - LANDSCAPE PLAN & PLANT PALETTE

Jordan Promenade establishes a consistent landscape theme that reflects the natural elements of the Jordan River and the Utah Lake area. Project entryways and developed parks will provide landscaping that is manicured and conducive to high-intensity uses while areas along the project perimeter, internal trail corridors and along the Jordan River and hot springs corridors are designed with native plant material to compliment the natural elements of the area. Following are general descriptions of the proposed landscape treatments for various project areas, landscape plans, and the Village Plan plant palette.

Proposed community landscaping shall meet the requirements of the Saratoga Springs Municipal Code within Section 19.06.

PROJECT ENTRYWAY LANDSCAPE

Landscaping at major project entry points incorporates irrigated lawn areas, dense groundcover and shrub plantings, and layered tree plantings using ornamental, shade and evergreen trees. Landscaping is designed to accent the entryway monument areas as well as the vehicular and pedestrian access points leading into the community.

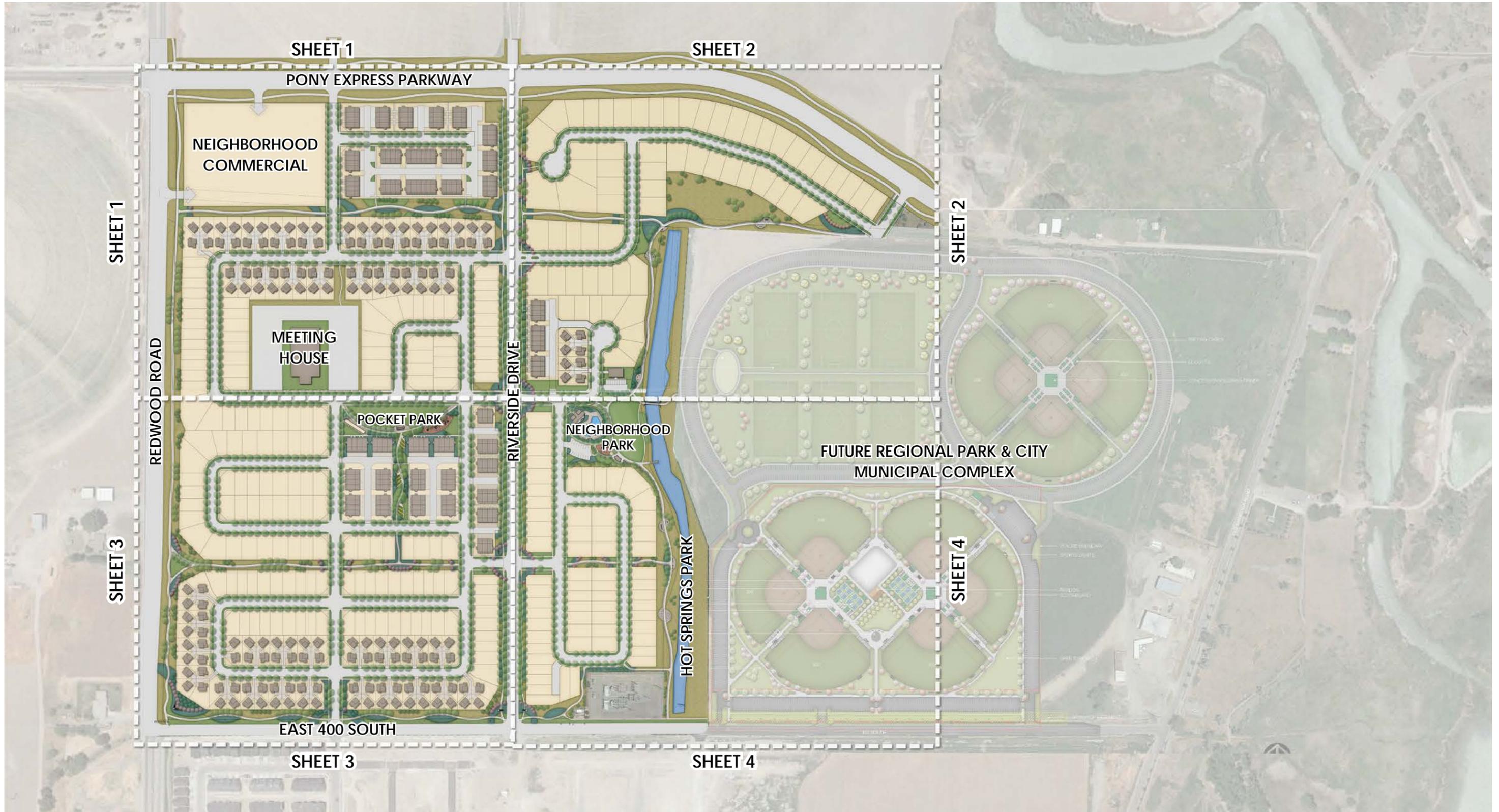
POCKET PARK & NEIGHBORHOOD PARK LANDSCAPE

Landscaping at pocket parks and neighborhood parks incorporates treatments that are conducive to high-intensity uses and that provide a manicured appearance. Landscape treatments include irrigated lawn areas, dense groundcover and shrub plantings, and layered tree plantings using ornamental, shade and evergreen trees. Landscaping is designed to provide open areas for recreation, buffering to adjacent roadways and structures, as well as shaded areas around passive uses and features such as playgrounds.

PROJECT PERIMETER, TRAIL CORRIDORS, & NATURAL AREA LANDSCAPE

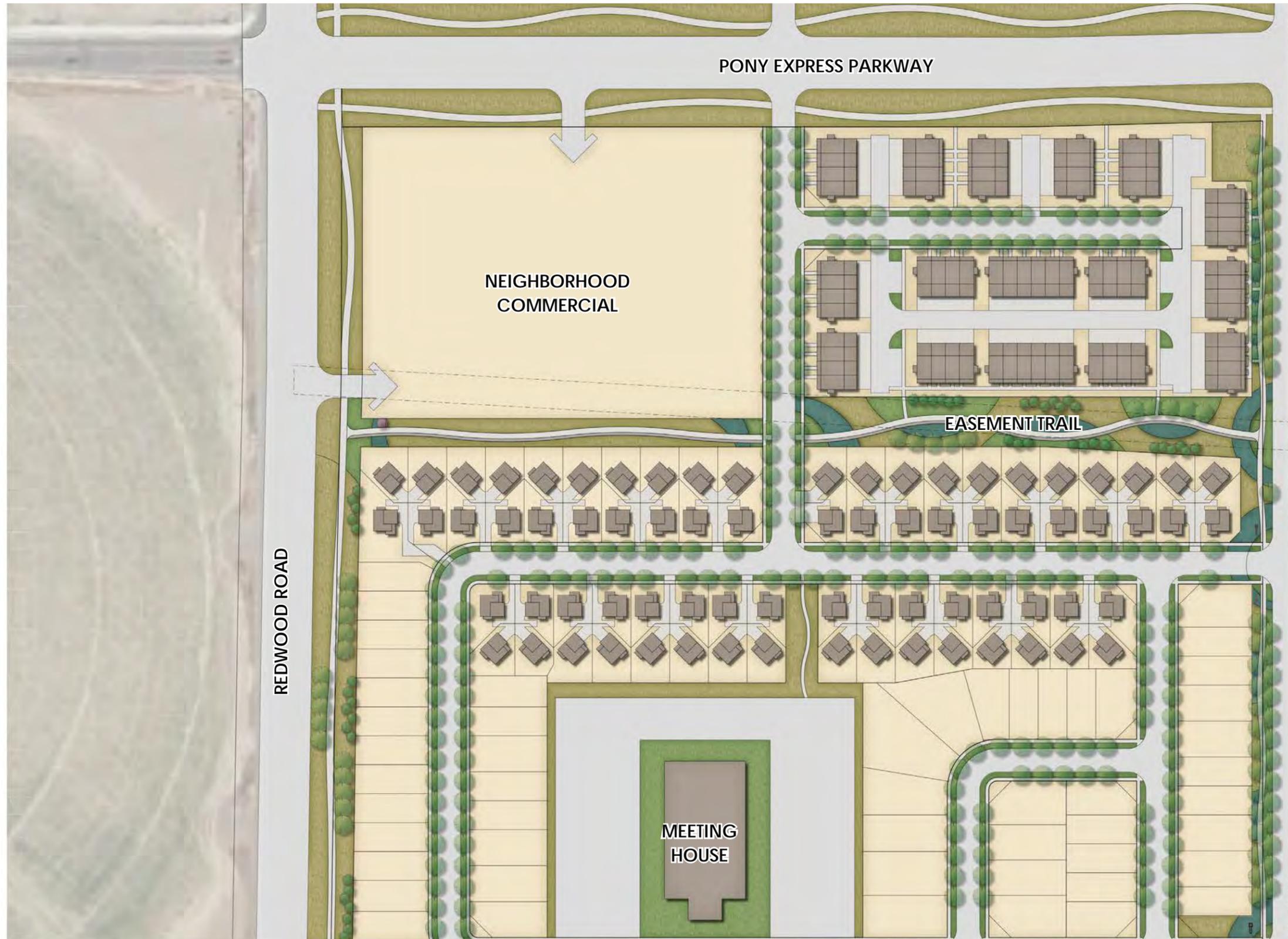
Landscaping along the project perimeter, internal trail corridors, and along the Jordan River and hot springs corridor reflects the natural appeal of the Jordan River and the Utah Lake area. Native grasses accented by wildflowers are planted adjacent to trail corridors and pedestrian walkways. Native deciduous and evergreen shrub and tree plantings are dispersed throughout the native areas to buffer existing roadways and perimeter fence lines and to provide transition from manicured park areas to the banks of the Jordan River and the hot springs corridor bordering the west edge of the community.

SECTION 9a - OVERALL LANDSCAPE PLAN



NOTE: All landscape areas are subject to design updates. Any such updates will not require an amendment to the Village Plan.

SECTION 9a - LANDSCAPE PLAN SHEET 1



LEGEND

- TURF
- NATIVE PLANTING
- SHRUB PLANTING
- ORNAMENTAL TREE
- SHADE TREE
- EVERGREEN TREE

NOTE: All landscape areas are subject to design updates. Any such updates will not require an amendment to the village plan.

SECTION 9a - LANDSCAPE PLAN SHEET 2



LEGEND

- TURF
- NATIVE PLANTING
- SHRUB PLANTING
- ORNAMENTAL TREE
- SHADE TREE
- EVERGREEN TREE

NOTE: All landscape areas are subject to design updates. Any such updates will not require an amendment to the village plan.

SECTION 9a - LANDSCAPE PLAN SHEET 3



LEGEND

- TURF
- NATIVE PLANTING
- SHRUB PLANTING
- ORNAMENTAL TREE
- SHADE TREE
- EVERGREEN TREE

NOTE: All landscape areas are subject to design updates. Any such updates will not require an amendment to the village plan.

SECTION 9a - LANDSCAPE PLAN SHEET 4



LEGEND

- TURF
- NATIVE PLANTING
- SHRUB PLANTING
- ORNAMENTAL TREE
- SHADE TREE
- EVERGREEN TREE

NOTE: All landscape areas are subject to design updates. Any such updates will not require an amendment to the village plan.

SECTION 9b - LANDSCAPE PLAN - POCKET PARK ENLARGEMENT



LEGEND

- TURF
- NATIVE PLANTING
- SHRUB PLANTING
- ORNAMENTAL TREE
- SHADE TREE
- EVERGREEN TREE

NOTE: All landscape areas are subject to design updates. Any such updates will not require an amendment to the village plan.

SECTION 9c - LANDSCAPE PLAN - NEIGHBORHOOD PARK ENLARGEMENT



NOTE: All landscape areas are subject to design updates. Any such updates will not require an amendment to the village plan.



SECTION 9d - PLANT PALETTE

LARGE TREES (>50', 2" CALIPER)

TYPE	BOTANICAL NAME	COMMON NAME
DECIDUOUS	ACER PLATANOIDES 'EMERALD QUEEN'*	EMERALD QUEEN NORWAY MAPLE*
DECIDUOUS	GYMNOCLADUS DIOICUS 'ESPRESSO'	ESPRESSO KENTUCKY COFFEE TREE
EVERGREEN	PINUS NIGRA	AUSTRIAN PINE
EVERGREEN	PINUS SYLVESTRIS	SCOTCH PINE
DECIDUOUS	PLATANUS ACERIFOLIA 'BLOODGOOD'	BLOODGOOD LONDON PLANE TREE
DECIDUOUS	QUERCUS MACROCARPA*	BUR OAK*
DECIDUOUS	TILIA TOMENTOSA*	SILVER LINDEN*

MEDIUM TREES (45' to 50', 2" CALIPER)

TYPE	BOTANICAL NAME	COMMON NAME
DECIDUOUS	ACER FREEMANII 'JEFFERSRED'*	JEFFERSRED ARMSTRONG MAPLE*
DECIDUOUS	GLEDITSIA TRIACANTHOS VAR. INERMIS*	THORNLESS HONEYLOCUST*
EVERGREEN	JUNIPERUS SCOPULORUM	ROCKY MOUNTAIN JUNIPER

ORNAMENTAL TREES (<25', 2" CALIPER)

TYPE	BOTANICAL NAME	COMMON NAME
DECIDUOUS	AMELANCHIER SPP.	SERVICEBERRY
DECIDUOUS	CRATAEGUS CRUS-GALLI 'INERMIS'	THORNLESS COCKSPUR HAWTHORN
DECIDUOUS	MALUS X 'PRAIRIEFIRE'	PRAIRIEFIRE CRABAPPLE
DECIDUOUS	MALUS X 'SPRING SNOW'	SPRING SNOW CRABAPPLE
DECIDUOUS	PRUNUS CERASIFERA 'THUNDERCLOUD'	FLOWERING PLUM

*DENOTES COMPATIBILITY FOR USE AS A STREET TREE



SHRUBS

TYPE	BOTANICAL NAME	COMMON NAME
DECIDUOUS	CHRYSOTHAMNUS NAUSEOSUS	RABBITBRUSH
DECIDUOUS	CORNUS SERICEA	RED OSIER DOGWOOD
EVERGREEN	CYTISUS PURGAN 'SPANISH GOLD'	SPANISH GOLD BROOM
DECIDUOUS	PEROVSKIA ARTIPLICIFOLIA	RUSSIAN SAGE
DECIDUOUS	PHILADELPHUS CORONARIUS 'AUREUS'	GOLDEN MOCK ORANGE
EVERGREEN	PINUS MUGO 'SLOWMOUND'	DWARF MOUNTAIN PINE
DECIDUOUS	RHUS TRILOBATA	THREE LEAF SUMAC
DECIDUOUS	ROSA 'RADRAZZ'	KNOCKOUT ROSE
DECIDUOUS	SYMPHIOCARPOS ALBUS	SNOWBERRY
DECIDUOUS	SYRINGA X PRESTONIAE 'JAMES MACFARLANE'	JAMES MACFARLANE LILAC

GRASSES & PERENNIALS

TYPE	BOTANICAL NAME	COMMON NAME
PERENNIAL	ASCLEPIAS SPECIOSA	SHOWY MILKWEED
PERENNIAL	ASTER SP.	ASTER
PERENNIAL	AURINIA SAXATILIS	BASKET OF GOLD
GRASS	CALAMAGROSTIS ACUTIFLORA 'KARL FOERSTER'	KARL FOERSTER FEATHER REED GRASS
PERENNIAL	CARYOPTERIS CLANDONENSIS	BLUE MIST SPIREA
PERENNIAL	CERASTIUM TOMENTOSUM	SNOW-IN-SUMMER
PERENNIAL	ECHINACEA PURPUREA	PURPLE CONEFLOWER
GRASS	HELICTOTRICHON SEMPERVIRENS	BLUE OAT GRASS
PERENNIAL	HEMEROCALLIS 'STELLA D'ORO'	STELLA D'ORO DAYLILY
PERENNIAL	LEUCANTHEMUM X SUPERBUM 'ALASKA'	ALASKA SHASTA DAISY
PERENNIAL	LINUM LEWISII	LEWIS BLUE FLAX
GRASS	PANICUM VIRGATUM 'HEAVY METAL'	HEAVY METAL SWITCH GRASS
GRASS	PENNISETUM ALOPERCUROIDES 'HAMELN'	HARDY FOUNTAIN GRASS
PERENNIAL	PENSTEMON STRICTUS	ROCKY MOUNTAIN PENSTEMON
PERENNIAL	SEDUM SPECTABILE 'AUTUMN JOY'	AUTUMN JOY SEDUM
PERENNIAL	STACHYS BYZANTINA 'HELEN VON STEIN'	LAMB'S EAR



SECTION 10 - UTILITY PLANS

The following plans provide further detail on the utilities provided in Jordan Promenade Village Plan Area 1:

Section 10a: Culinary Water Plan

Section 10b: Secondary Water Plan

Section 10c: Sanitary Sewer Plan

Section 10d: Storm Water Drainage Plan

Section 10e: Capital Facility/Off-site Improvements Plan

UTILITY CAPACITIES

The location of Village 1 of the proposed Jordan Promenade development is bounded by 400 South, Redwood Road, and the future Pony Express on the south end of the overall development. In addition, the existing Riverside Drive splits the property and contains utility infrastructure that may serve as a backbone for each of the major utilities. The following page addresses each of the different utilities and any specific changes not addressed within the Utility Master Plan approved with the Community Plan.



SECTION 10a - CULINARY WATER

The overall culinary water demands for source and storage at a build-out conditions for Village 1 are shown below in Table 1.

Source

The overall culinary water demand for Village 1 falls within the existing Zone 1 water source.

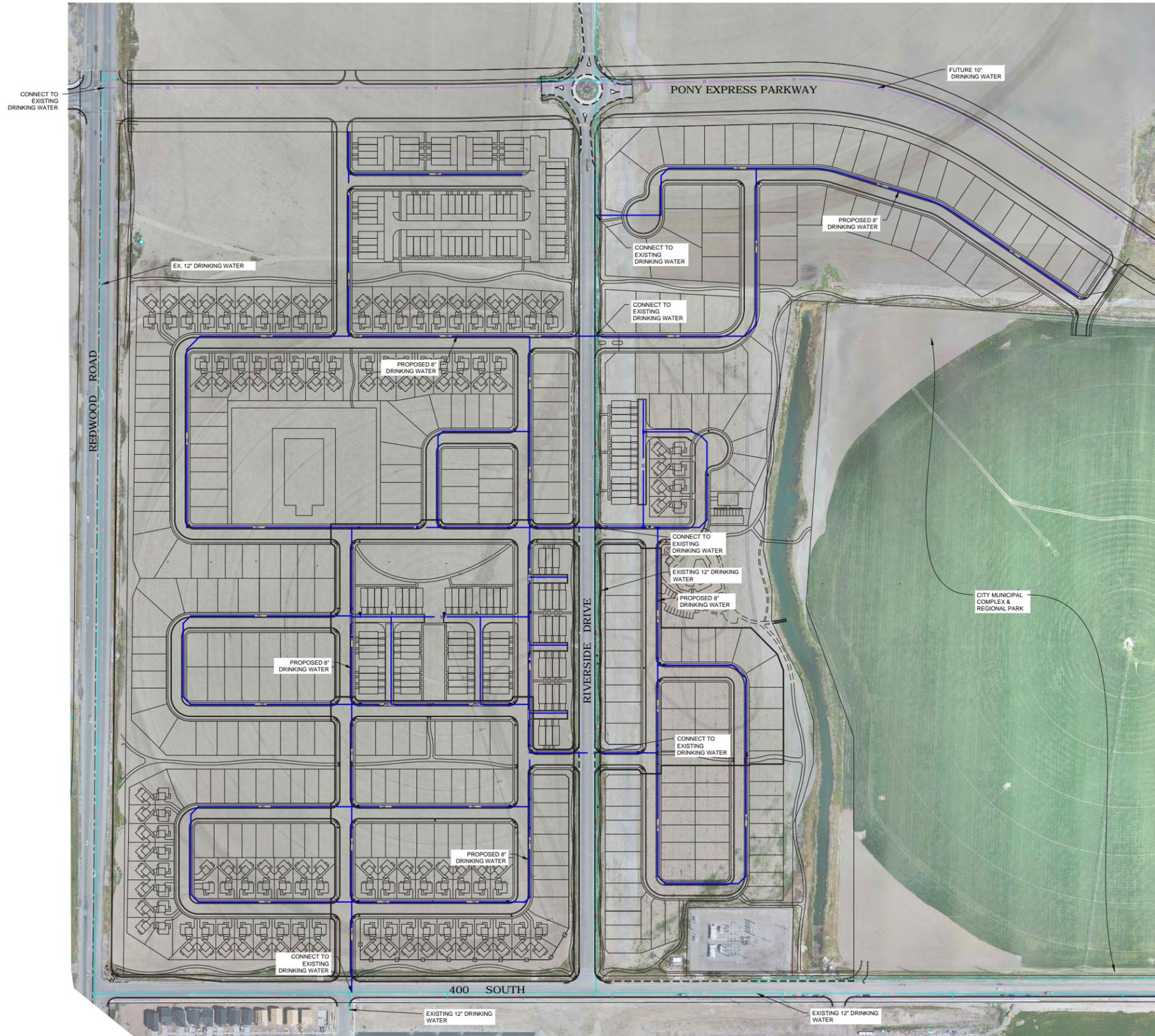
Table 1. Overall Culinary Water Demands for Village 1

	ERUs	Source Req'd (gpd/ERU)	Total Source (gpm)	Storage Req'd (gal/ERU)	Total Storage (gal)
Residential	599	800	332.8	400	239,600
Church	3	800	1.7	400	1,200
Commercial	12	800	6.7	400	4,800
Total	614		341.2		245,600

Delivery

Water line sizing, as shown on the Culinary Water Master Plan Exhibit, was previously sized with the Utility Master Plan approved with the Community Plan. Further detail has been added to show the networking through all of Village 1.

SECTION 10a - CULINARY WATER PLAN



LEGEND

- EXISTING 12" DRINKING WATER
- PROPOSED 8" DRINKING WATER
- FUTURE 10" DRINKING WATER

NOTE:

1. Final pipe location to be based on subdivision phasing & water model.
2. These improvements are conceptual in nature.





SECTION 10b - SECONDARY WATER

The overall secondary water demands for source and storage at a build-out conditions for Village 1 are shown below in Table 2.

Source

The overall secondary water demand for Village 1 falls within the existing Zone 1 water source.

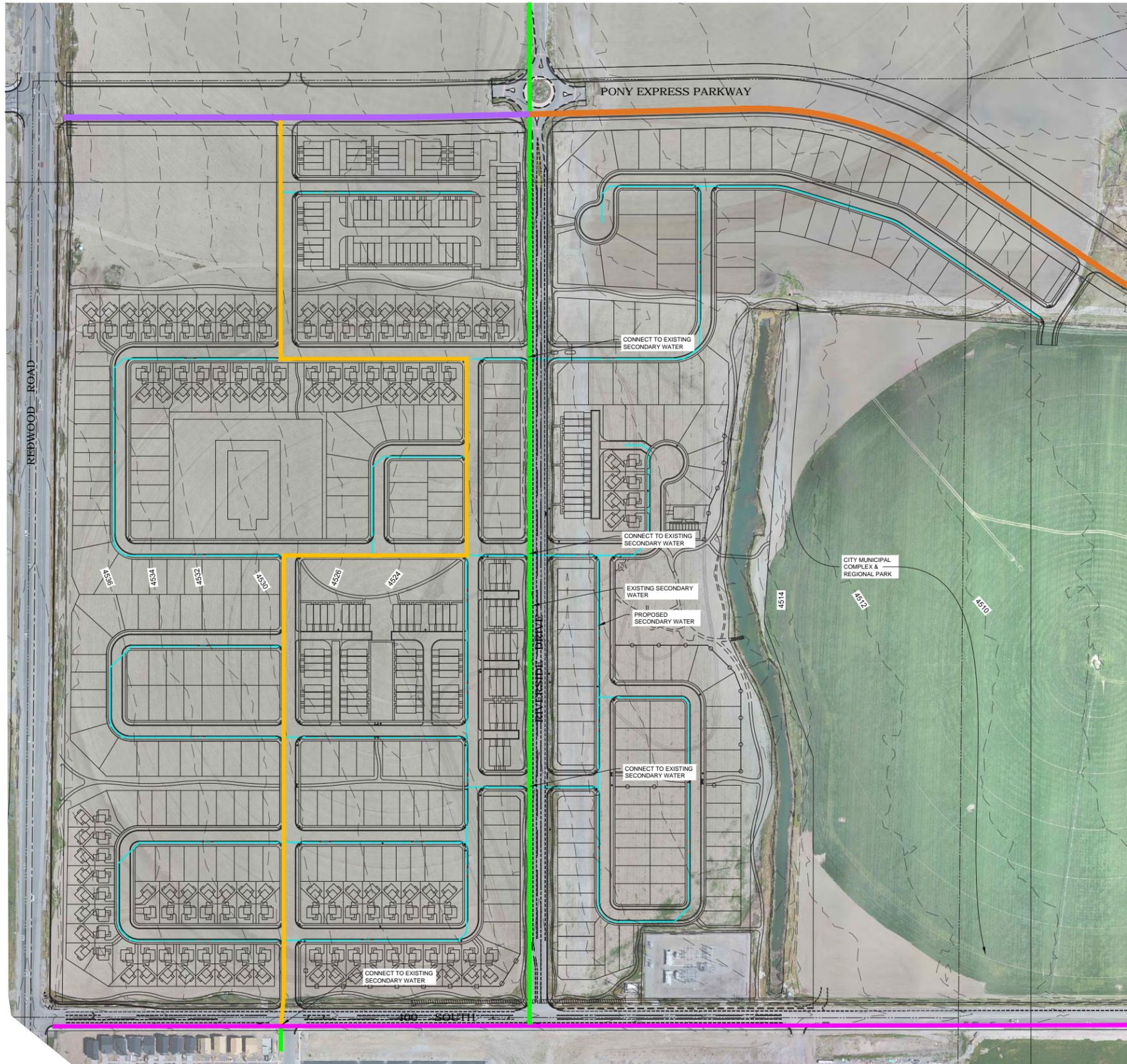
Table 2. Overall Secondary Water Demands for Village 1

	ERU or Acres	% Irrigated (IA / ERU)	Irrigated Area (Acres)	Source Req'd (gpm/IA)	Total Source (gpm)	Storage Req'd (gal/IA)	Total Storage (gal)
Westridge Lot	151	0.015	2.3	7.5	17	9,216	21,197
Carriage Lot	164	0.026	4.3	7.5	32	9,216	39,629
910 Lot	129	0.067	8.6	7.5	65	9,216	79,654
Park House Lot	99	0.090	8.9	7.5	67	9,216	82,022
Overlook Lot	56	0.115	6.4	7.5	48	9,216	59,351
Church	3.7	25%	0.9	7.5	7	9,216	8,525
Commercial	6.1	25%	1.5	7.5	11	9,216	13,824
Parks/Open Space	26.3	75%	19.7	7.5	148	9,216	181,555
Total			52.6		395		485,757

Delivery

Water line sizing, as shown on the Secondary Water Master Plan Exhibit, was previously sized with the Utility Master Plan approved with the Community Plan. Further detail has been added to show the networking through all of Village 1. Further detail has been added to show the networking through all of Village 1.

SECTION 10b - SECONDARY WATER PLAN



LEGEND

- PROPOSED 6" SECONDARY
- PROPOSED 12" SECONDARY
- EXISTING 12" SECONDARY
- EXISTING 16" SECONDARY
- FUTURE 16" SECONDARY
- FUTURE 24" SECONDARY

NOTE:

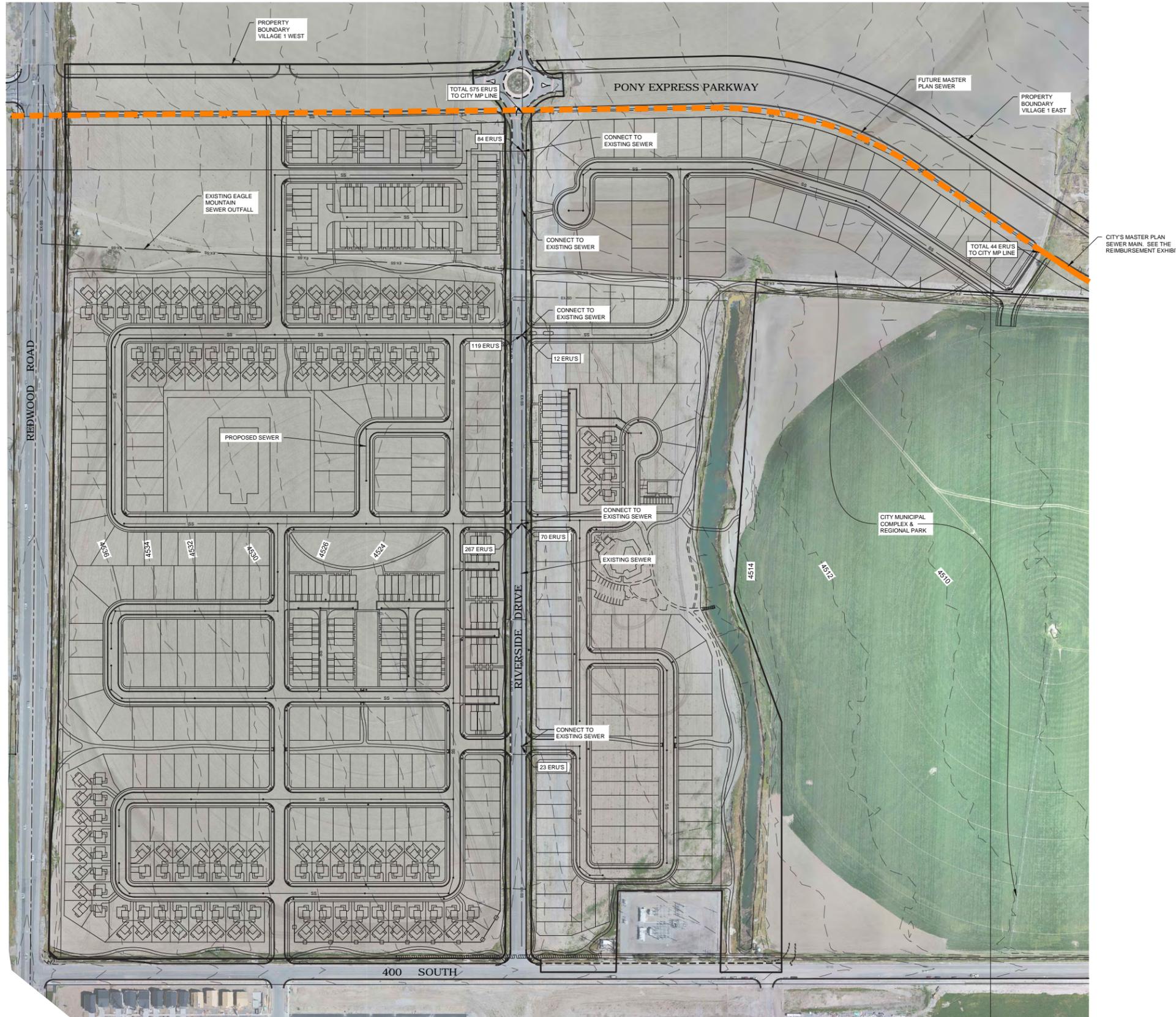
1. Final pipe location to be based on subdivision phasing & water model.
2. These improvements are conceptual in nature.



SECTION 10c - SANITARY SEWER

The sanitary sewer generally follows what was presented with the Utility Master Plan and has been updated to reflect the proposed layout of Village 1. The sanitary sewer main located within Riverside Drive will serve as the backbone for Village 1. This sewer main currently conveys sewage to the Posey Lift Station. A future Master Plan sewer main currently being designed by the City is proposed within Pony Express Parkway and will intercept the sewer main within Riverside Drive. A portion of the single family lots located in the northeast corner of Village 1 will not be able to be developed until the City's Master Plan sewer main within Pony Express Parkway is improved. See the Sanitary Sewer Master Plan exhibit on the following page for further detail to the networking through Village 1.

SECTION 10c - SANITARY SEWER PLAN



CITY'S MASTER PLAN SEWER MAIN. SEE THE REIMBURSEMENT EXHIBIT.



SECTION 10d - STORM WATER DRAINAGE

The storm drain generally follows what was presented with the Utility Master Plan and has been updated to reflect the proposed layout of Village 1. Storm water runoff is planned to flow to the east towards the linear pond that discharges to an existing ditch until eventually reaching the Jordan River. There is a total of three different sub-basins within Area #1 of the Utility Master Plan. The following provides a general description for each sub-basin that references the Storm Drain Master Plan Exhibit and the Village 1 Storm Drain Report.

Sub-basin 1

This area will collect storm drain runoff and convey flow to the east. Storm water runoff from the east will cross Riverside Drive, intercept the existing infrastructure and redirect runoff to the linear pond to the east where it will be cleaned and discharged to the outfall. The existing storm drain within Riverside Drive may be undersized since design parameters have been changed since it was improved. This will need to be evaluated at the final plat phase once roadway and pipe slopes are determined.

Sub-basin 2

This area will collect storm drain runoff and convey flow to the east. Storm water runoff from the east will connect to the existing infrastructure within Riverside Drive and convey runoff to the linear pond to the east where it will be cleaned and discharged to the outfall. The existing storm drain within Riverside Drive may be undersized since design parameters have been changed since it was improved. This will need to be evaluated at the final plat phase once roadway and pipe slopes are determined.

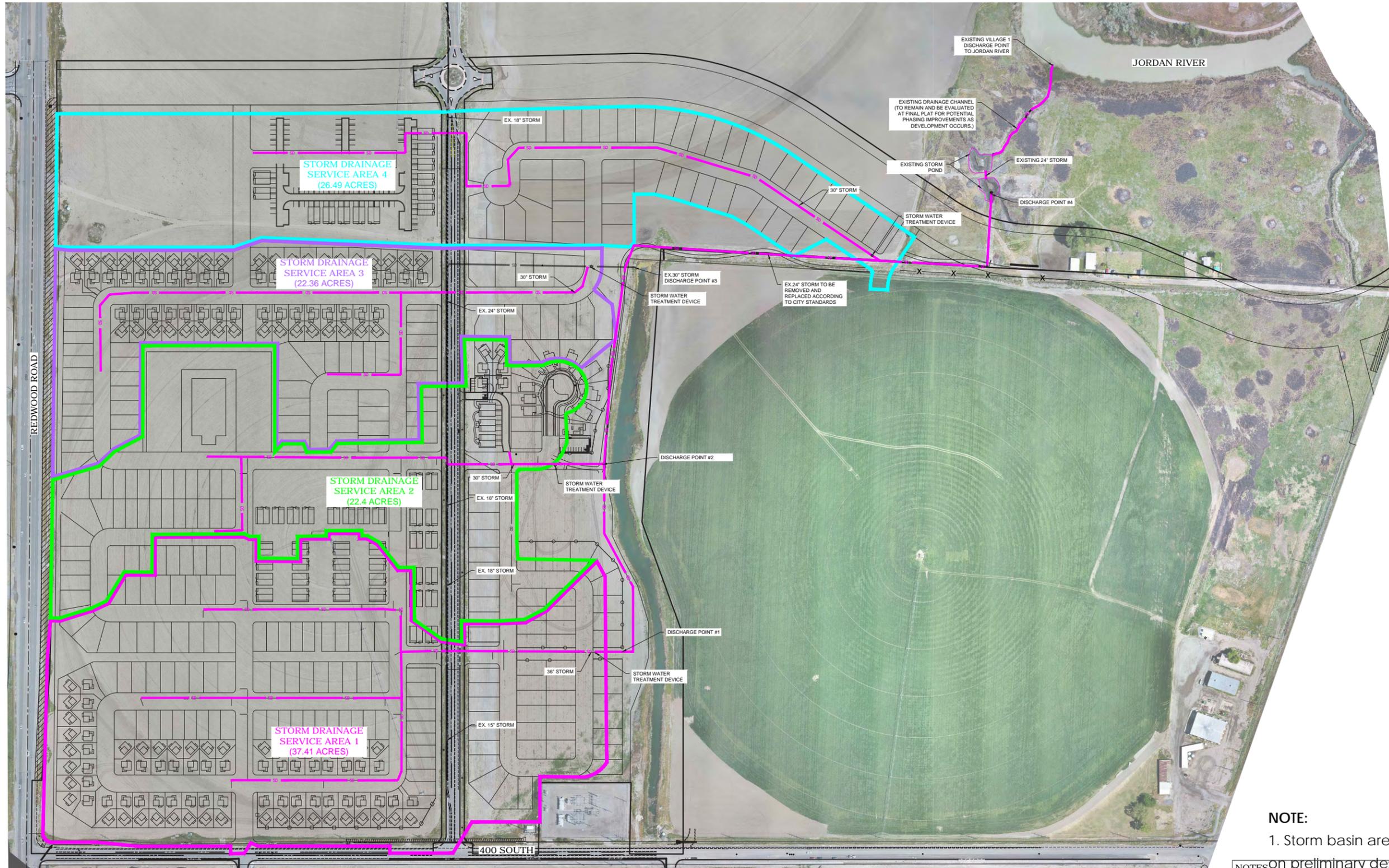
Sub-basin 3

This area will collect storm drain runoff and convey flow to the east. Storm water runoff from the east will connect to the existing infrastructure within Riverside Drive and convey runoff to the linear pond to the east where it will be cleaned and discharged to the outfall. The existing storm drain within Riverside Drive may be undersized since design parameters have been changed since it was improved. This will need to be evaluated at the final plat phase once roadway and pipe slopes are determined.

Sub-basin 4

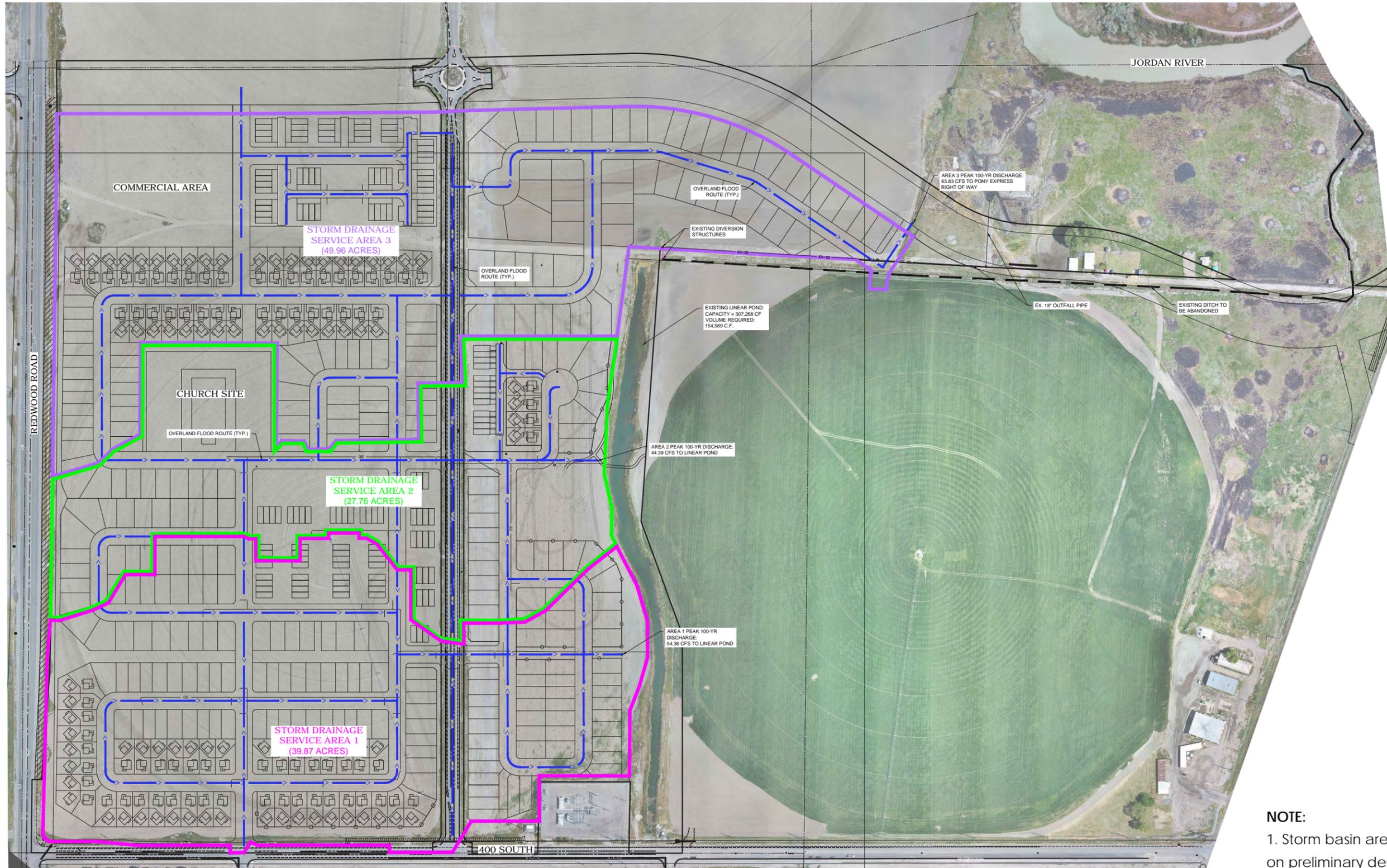
This area will collect storm drain runoff and convey flow to the east. Storm water runoff from the east will cross the existing infrastructure within Riverside Drive and bypass the linear pond before conveying runoff to the east where it will be cleaned and discharged prior to the outfall to the Jordan River.

SECTION 10d - STORM WATER DRAINAGE PLAN



NOTE:
 1. Storm basin areas are approximate and based on preliminary design. More detailed information to be provided at final design.

SECTION 10d - STORM DRAIN 100 YEAR OVERLAND FLOW ROUTE PLAN



NOTE:
 1. Storm basin areas are approximate and based on preliminary design. More detailed information to be provided at final design.



SECTION 10e - OFFSITE UTILITIES

The majority of Village 1 of Jordan Promenade will utilize existing infrastructure located within Riverside Drive other than two specific areas.

Offsite Sewer

The single family lots located in the lower northeast corner of Village 1 will require a portion of the City's Master Plan sewer main within Pony Express to be constructed. This is currently under design by the City and their consultants. An estimate of the cost for this improvement cannot be determined at this time as the design, pipe sizing, etc. are currently underway. This information will be provided once available through the City's consultants.

Offsite Storm Water (400 South)

The City's Storm Drain Capital Facilities Plan (CFP) dated February, 2018 currently calls out the extension of a storm water main along the frontage of 400 South (PN21a). The cost for this improvement is estimated at approximately \$449,400 as per the City's CFP. More detail for the breakdown of these costs can be found in the City's CFP.

Offsite Storm Water (Village 1)

Storm water runoff from Village 1 will discharge to the existing linear pond located on the east side of the area. This linear pond currently conveys runoff to an existing pipe outfall that heads east and eventually turns north before discharging through a series of small basins and eventually surface flowing to the Jordan River. There will be offsite improvements consisting of the construction of a low flow channel that bypasses small storm events to the existing pipe outfall. The existing pipe outfall will need to be reconstructed to City standards up to the discharge point of the series of small basins. There are no proposed changes or improvements to the existing outfall beyond the replacement of the storm drain pipe. The outfall in this area will need to be evaluated at the final plat phase to determine the necessary phasing improvements as development occurs. The cost for this improvement is estimated at approximately \$186,000. More detail for the breakdown of these costs can be found below.



SECTION 10e - OFFSITE UTILITIES COST ESTIMATE



Jordan Promenade - Offsite Storm Drain (V1 Plat A)

Saratoga Springs, Utah
Engineers Cost Estimate

By: NKW
Date: 1/4/2019

Item	Est. Quantity	Unit	Unit Price	Total Amount
Site Preparation				
Mobilization	1	ls.	\$ 4,000.00	\$ 4,000.00
Clear and Grub (20-foot wide)	39,420	sf.	\$ 0.05	\$ 1,971.00
Subtotal Site Preparation				\$ 5,971.00
Roadway Improvements				
Rough Grading	39,420	sf.	\$ 0.05	\$ 1,971.00
Fine Grading	39,420	sf.	\$ 0.05	\$ 1,971.00
8" Road Base (12-foot wide)	1,064	tons	\$ 17.00	\$ 18,093.78
Subtotal Roadway Improvements				\$ 22,035.78
Storm Drain				
24" RCP Storm Drain (New Storm Drain)	868	lf.	\$ 50.00	\$ 43,400.00
24" RCP Storm Drain (Remove and relay of existing)	1,103	lf.	\$ 35.00	\$ 38,605.00
60" Manholes	8	ea.	\$ 4,200.00	\$ 33,600.00
Connect to Existing	1	ea.	\$ 500.00	\$ 500.00
Imported Pipe Bedding	532	tons	\$ 12.00	\$ 6,386.04
Imported Trench Backfill	1,796	tons	\$ 8.00	\$ 14,368.59
Subtotal Storm Drain				\$ 136,859.63
Miscellaneous Improvements				
Clay Dams	5	ea.	\$ 800.00	\$ 4,000.00
Subtotal Miscellaneous Improvements				\$ 4,000.00
Subtotal Construction Costs				\$ 168,866.41
Contingency	10%			\$ 16,886.64
TOTAL CONSTRUCTION COSTS				\$ 185,753.05

NOTES:

1. Estimate assumes all excess roadway & trench cut material will be used on the site of work (no offhaul).
2. Estimate excludes the cost of any permits, bonds, or testing.
3. Estimate assumes no de-watering, or rock excavation will be necessary for construction.
4. Estimate does not include any fees, costs or deposits for upgrades or changes to existing gas, power, telephone or cable services.

DISCLAIMER

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SECTION 10e - CAPITAL FACILITY/IMPROVEMENTS PLAN

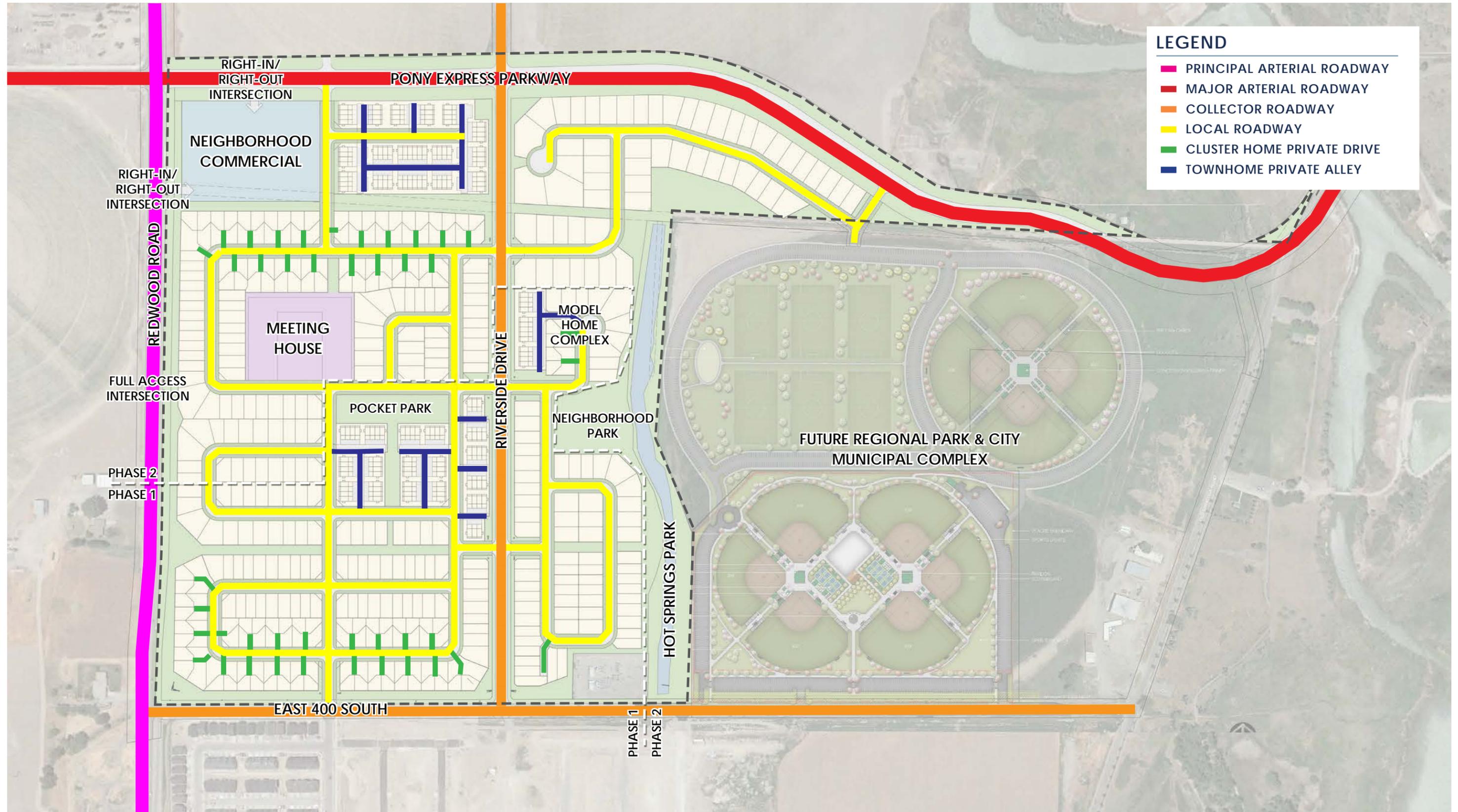


OFF-SITE SEWER



OFF-SITE STORM DRAIN

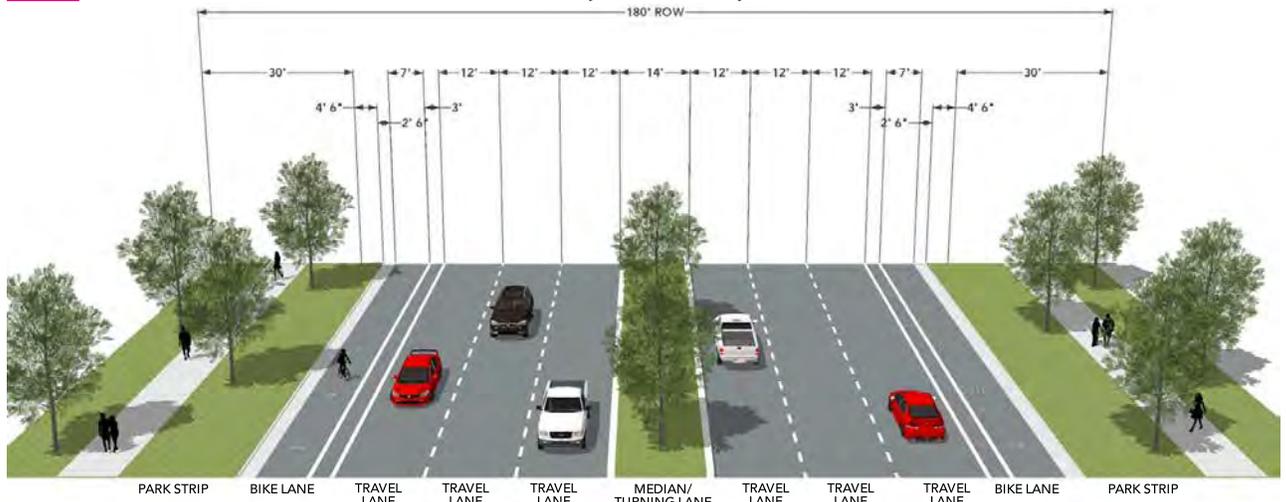
SECTION 11 - VEHICULAR PLAN



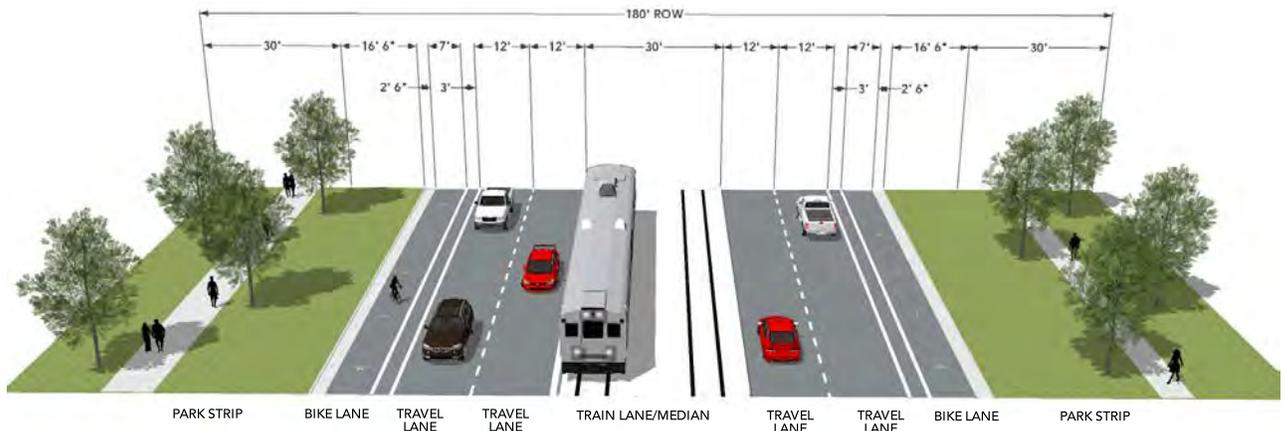


TYPICAL ROADWAY DIAGRAMS

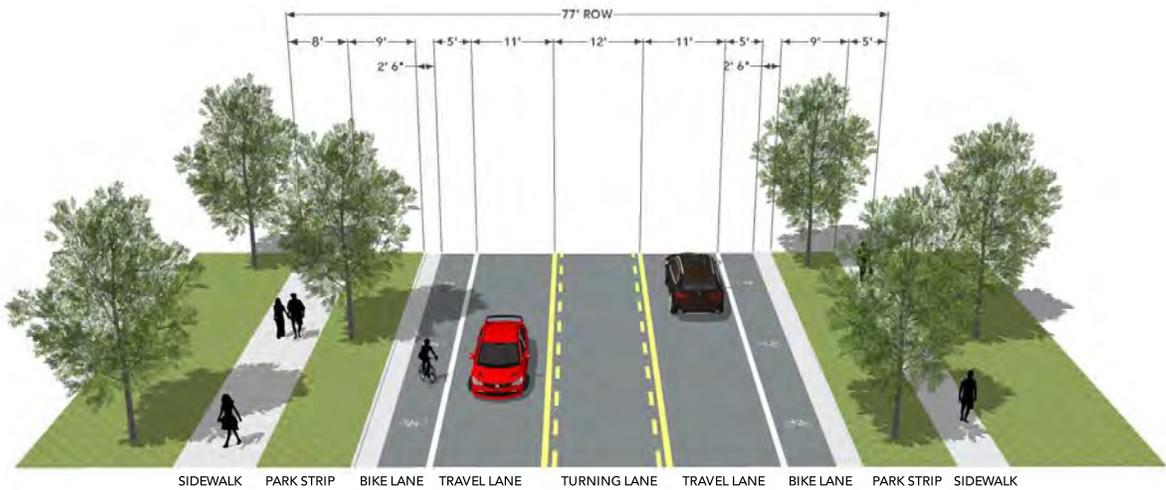
PRINCIPAL ARTERIAL ROADWAY (180' ROW) - REDWOOD ROAD TYP.



MAJOR ARTERIAL ROADWAY (180' ROW) - PONY EXPRESS PARKWAY TYP.

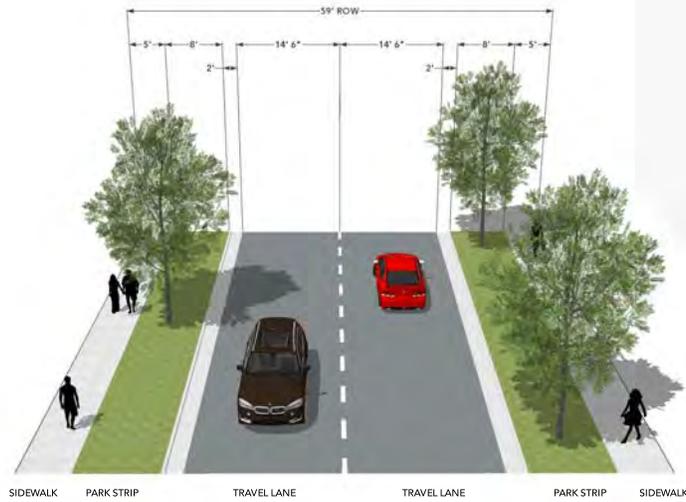


COLLECTOR ROADWAY (77' ROW) - E. 400 SOUTH/RIVERSIDE DRIVE TYP.





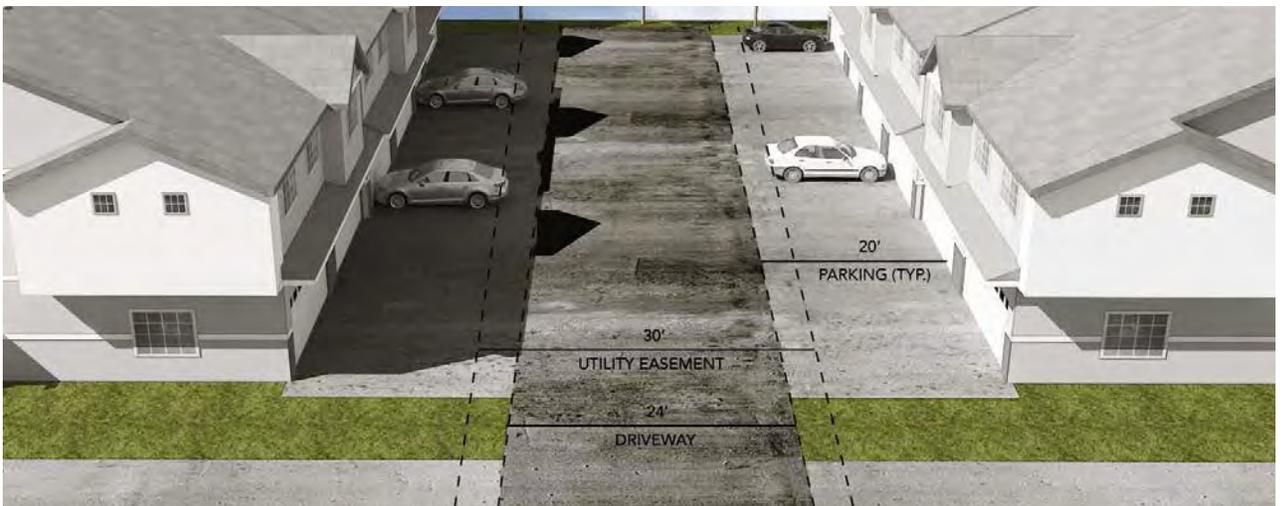
LOCAL ROADWAY (59' ROW)



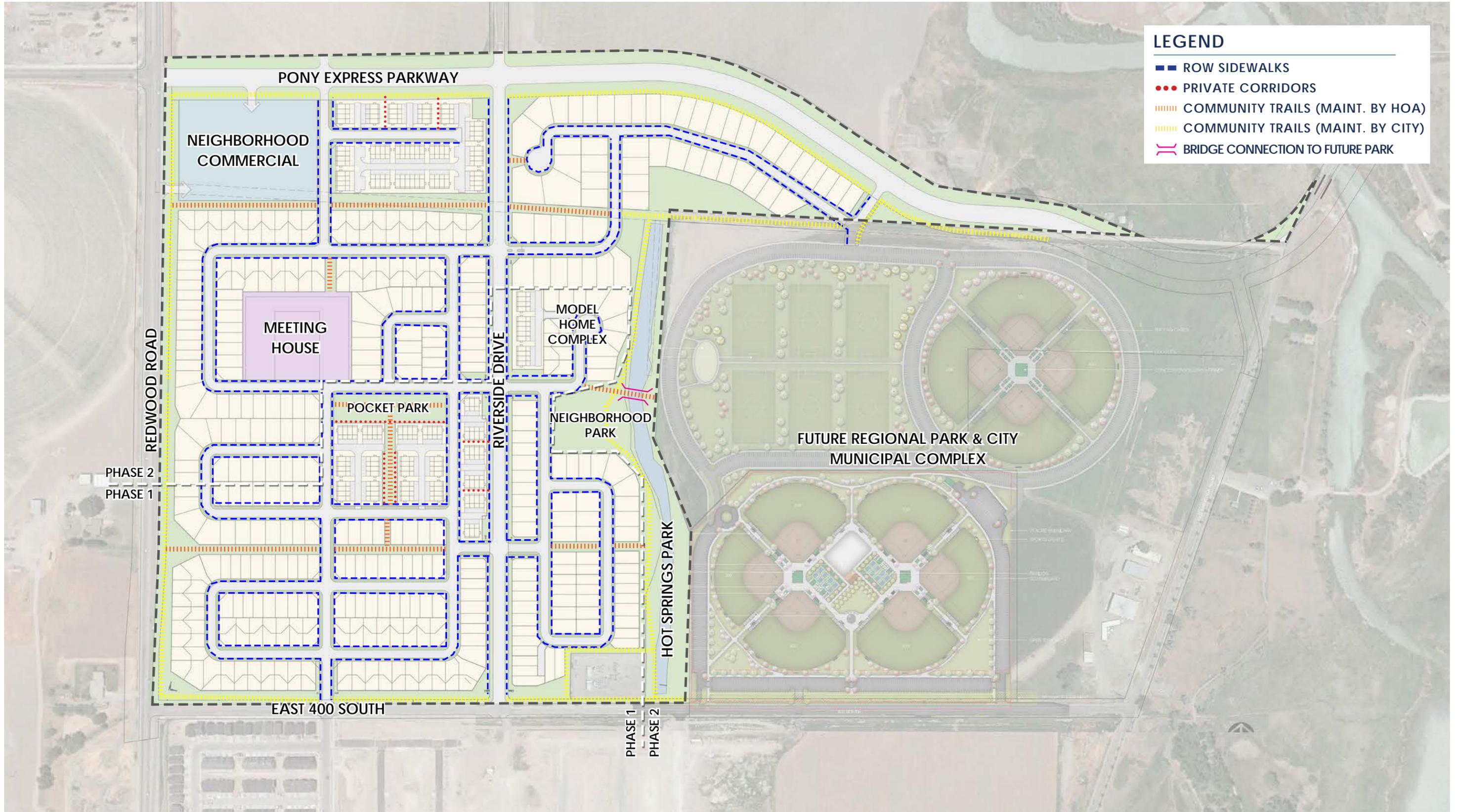
CLUSTER HOME PRIVATE DRIVE (30' UTILITY EASEMENT/16' DRIVEWAY)



TOWNHOME PRIVATE ALLEY (30' UTILITY EASEMENT/24' DRIVEWAY)



SECTION 12 - PEDESTRIAN PLAN





TYPICAL TRAIL DIAGRAMS

■ ■ TYPICAL RIGHT-OF-WAY SIDEWALKS



● ● ● PRIVATE CORRIDORS



||||| COMMUNITY TRAILS





TYPICAL TRAIL DIAGRAMS

RIGHT-OF-WAY TRAILS - REDWOOD ROAD



ROADWAY

34' PARK STRIP

10' SIDEWALK

30' BUFFER STRIP

PRIVATE LOT

RIGHT-OF-WAY TRAILS - EAST 400 SOUTH



PRIVATE LOT

37' BUFFER STRIP

8' SIDEWALK

ROW

17.5' PARK STRIP

ROADWAY



TYPICAL TRAIL DIAGRAMS

■ ■ RIGHT-OF-WAY TRAILS - RIVERSIDE DRIVE (WEST SIDE)



PRIVATE LOT

15' BUFFER STRIP

8' SIDEWALK

14' PARK STRIP

ROADWAY

■ ■ RIGHT-OF-WAY TRAILS - RIVERSIDE DRIVE (EAST SIDE)



ROADWAY

14' PARK STRIP

5' SIDEWALK

15' BUFFER STRIP

PRIVATE LOT



SECTION 13 - DENSITY TRANSFERS

The Jordan Promenade Community Plan establishes the number of Equivalent Residential Units and density for Jordan Promenade.

An Equivalent Residential Unit (ERU) is defined by the Saratoga Springs Municipal Code as a unit of measurement to evaluate development impacts on public infrastructure including water, sewer, storm drainage, parks, roads and public safety of proposed residential and commercial land uses. Every residential and commercial unit is a minimum of one ERU.

Since build-out of the Jordan Promenade development will occur over many years, flexibility is necessary to respond to market conditions, site conditions, and other factors. Therefore, residential density ERUs may be transferred within the project, and to areas outside the project within the DAP boundary, as necessary to improve design, accessibility, and marketability.

The City acknowledges that the master developer shall have the ability in its reasonable business judgment to transfer ERUs between residential areas within the project upon written notice to the City and delivery to the City of written consent of the property owners of the neighborhoods which are sending and receiving such densities (if different from the master developer), so long as any such transfer adheres to the following standards:

- The overall intent and character of the Community Plan shall be maintained in the Village Plan and the transfer of ERUs shall not materially alter the nature of each land use, land use designation, or district established in the Community Plan.
- The maximum number of ERUs established in the Community Plan for Village Plan Area 1 shall not exceed 730 ERUs as shown in the Build-out Allocation Table (ref. page 11).
- The transfer of ERUs into or out of any land use designation or district established in the Community Plan shall not exceed 15% without approval of the City Council. In no case shall the transfer of ERUs into or out of any land use designation or district exceed 20% of that established in the Community Plan.
- ERUs may not be transferred into any open space, park, or school unless said use is replaced elsewhere within the same neighborhood.



SECTION 14 - ADDITIONAL DETAILED PLANS

The following exhibits have been included to detail plans and direction contained in the Community Plan for Village Plan Area 1:

Section 14a: Entry Monument Plan & Elevations

Section 14b: Open Space Management

- Park Renderings
- Playground Equipment

Section 14c: Geological Hazards & Soils

Section 14d: Fire Protection Plan

See attached Appendices for additional detailed plans.



MONUMENT DESIGN OVERVIEW

Jordan Promenade establishes a theme for project monuments and signage that embodies the rustic and natural appeal of the Jordan River and the Utah Lake area. Community signage is located strategically throughout the community to identify main project entry areas as well as individual neighborhoods. Following are descriptions of each proposed sign type accompanied by conceptual sign elevations and plans that are subject to change and refinement during the Village Plan process. Proposed community signage will have separate permits approved at the time of installation.

The proposed community signage shall meet the requirements of the Saratoga Springs Municipal Code within Section 19.18.07.

MONUMENT MATERIALS PALETTE

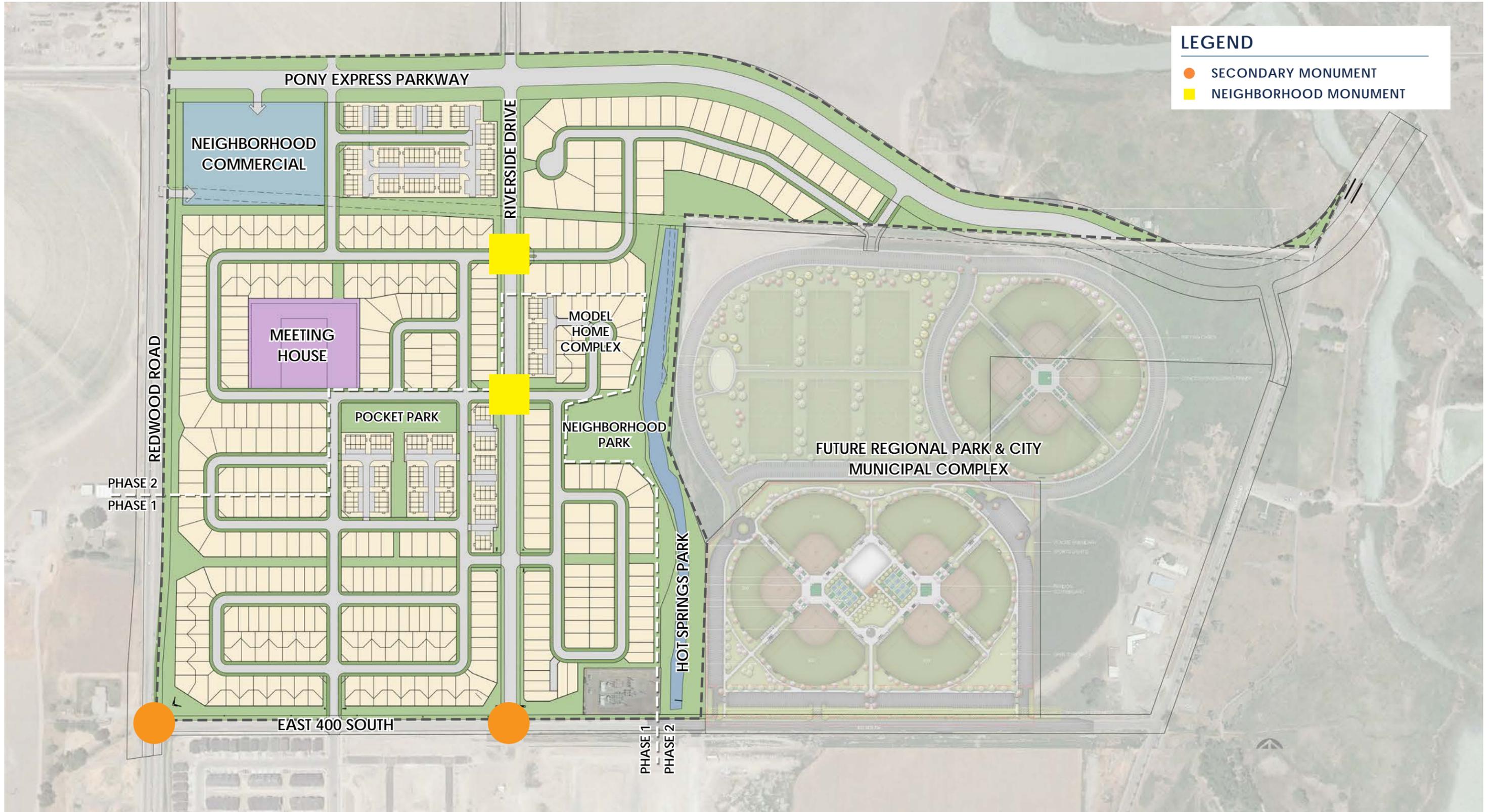
LEDGESTONE & SLATE



LETTERING & LIGHTING



SECTION 14a - OVERALL MONUMENT PLAN



NOTE: Each symbol may represent multiple monuments, one occurring on each corner of an intersection.



SECONDARY MONUMENT AT EAST 400 SOUTH/REDWOOD ROAD

This sign type is located at secondary entry points along bordering arterial and collector roadways and will serve as gateway features to the community. The signage features consist of lower column features, accompanied by low monument walls and community signage. Proposed monuments will have separate permits approved at the time of installation. Proposed monuments shall meet the requirements of the Saratoga Springs Municipal Code within Section 19.18.07.



NOTE:

1. All landscape areas & monuments are subject to design updates. Any such updates will not require an amendment to the Village Plan.
2. This monument location represents 1 monument on the corner of Redwood Road and East 400 South,
3. Monument locations adhere to the clear view triangle standards established by the American Association of State Highway and Transportation Officials.



SECONDARY MONUMENT AT EAST 400 SOUTH/RIVERSIDE DRIVE

This sign type is located at secondary entry points along bordering arterial and collector roadways and will serve as gateway features to the community. The signage features consist of lower column features, accompanied by low monument walls, pergola gateways, and community signage. Proposed monuments will have separate permits approved at the time of installation. Proposed monuments shall meet the requirements of the Saratoga Springs Municipal Code within Section 19.18.07.



NOTE:

1. All landscape areas & monuments are subject to design updates. Any such updates will not require an amendment to the Village Plan.
2. This monument location represents 2 monuments on either corner of Riverside Drive and East 400 South.
3. Monument locations adhere to the clear view triangle standards established by the American Association of State Highway and Transportation Officials.



NEIGHBORHOOD MONUMENT

This sign type is located at neighborhood entry points along bordering collector and arterial roadways and serve as identification features to the individual neighborhoods in the community. The signage features consist of lower column features, accompanied by low monument walls and neighborhood signage. Proposed monuments will have separate permits approved at the time of installation. Proposed monuments shall meet the requirements of the Saratoga Springs Municipal Code within Section 19.18.07.



NOTE:

1. All landscape areas & monuments are subject to design updates. Any such updates will not require an amendment to the Village Plan.
2. These monument locations represent 4 monuments on each corner of the intersection.
3. Monument locations adhere to the clear view triangle standards established by the American Association of State Highway and Transportation Officials.



SECTION 14b - OPEN SPACE MANAGEMENT

Jordan Promenade meets the City's requirements for a range of 18-24% improved and native, public and private open space within the Planned Community District area under the Traditional Neighborhood place type as described in Saratoga Springs District Area Plan.

The percentage of open space provided within Village Plan Area 1 is 22.9%. This is within the percentage dictated within the Community Plan. Refer to the Detailed Use Plan in Section 2, page 10, for a complete breakdown of open space acreage and percentages within Village Plan Area 1.

The following pages within this section illustrate the proposed open space areas and amenities available to Village Plan Area 1.

SECTION 14b - OPEN SPACE MANAGEMENT - POCKET PARK



NOTE: All landscape areas are subject to design updates. Any such updates will not require an amendment to the village plan.

SECTION 14b - OPEN SPACE MANAGEMENT - PLAYGROUND EQUIPMENT

POCKET PARK

2-5 YEARS

Belt Seat w/2 Chains



Saddle Spinner DB 16"Height



Seesaw 4-Seats DB



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5-12 YEARS

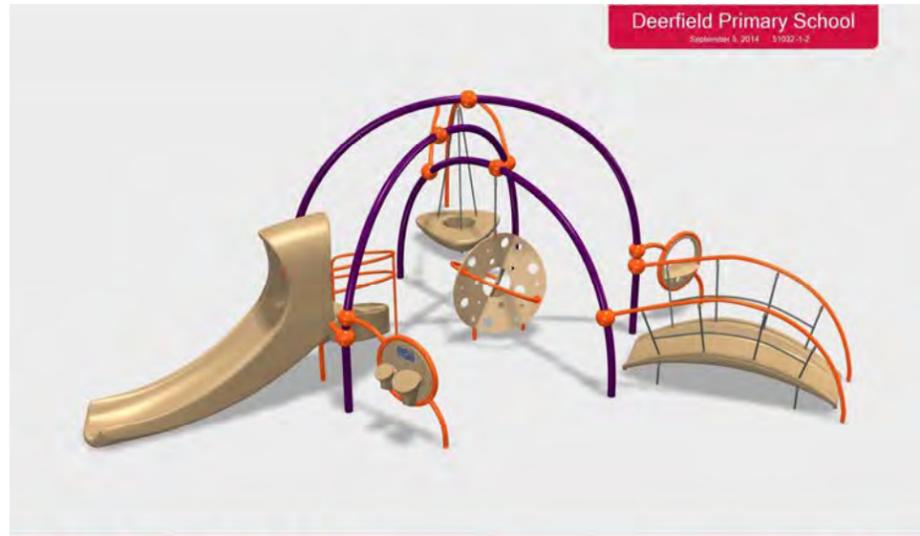
Global Motion
June 29, 2016



Better playgrounds. Better world.
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Deerfield Primary School
November 5, 2014 11002-1-2



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PlayBooster® Netplex 10



landscape structures

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landscape structures

SECTION 14b - OPEN SPACE MANAGEMENT - NEIGHBORHOOD PARK



NOTE: All landscape areas are subject to design updates. Any such updates will not require an amendment to the village plan.

NEIGHBORHOOD PARK

Alpha Link Towers TT

January 25, 2018 241397-2D



5-12 YEARS



FOR A BETTER TOMORROW
WE PLAY TODAY
shapedbyplay.com



Proudly presented by:





SECTION 14c - GEOLOGICAL HAZARDS & SOILS

GEOLOGICAL HAZARDS

According to Utah County Hazard Mapping as published by Utah County Public Works Department, the following hazards have been identified within the Village 1 boundary through coordination with Utah County, USGS, MAG and other agencies:

- No faults are shown in the project site.
- No fault ruptures are shown in the project site.
- The project site has a high potential for liquefaction.
- Flood hazards have been identified in the project site.
- No landslide hazards have been identified in the project site.
- No rock fall hazards have been identified in the project site.
- No debris flows have been identified in the project site.
- No wild fire hazards have been identified in the project site.
- No dam failure risks have been identified in the project site.
- No avalanche hazards have been identified in the project site.

SOILS

A geotechnical investigation has been conducted for Village 1 on the Jordan Promenade development by Western Technologies, Inc., dated June 27, 2018. Excerpts from the investigation include:

- Surface soils to depths of five feet consisted of six to eight inches of topsoil overlying loose silty sand or firm to stiff clay. The materials underlying the surface soils and extending to the full depth of exploration consisted of alternating layers of soft to very stiff silty clay and clay, stiff to very stiff silt, and medium dense silty sand.
- Groundwater was not encountered at the time of exploration.
- It is our opinion that the site is suitable for the proposed construction provided the soils are prepared according to the soil report recommendations. Conventional spread and continuous-type footings may be used to support the proposed structures. Since the native soils exhibit substantial settlement potential, the footings should bear on engineered fills achieved by removal and replacement of the compressible or collapsible soils below footings. Footings should be supported upon a minimum thickness of 24 inches of engineered fill, extending to native non-collapsible soils. Removal should extend beyond the footing edges the same distance as the depth of soil removed. The over-excavated material should be replaced with engineered fill. If collapsible soils or very soft clay soils are encountered, additional removal may be required. The maximum allowable bearing pressure for footings placed upon a minimum of 24 inches of engineered fill is 1500 psf.

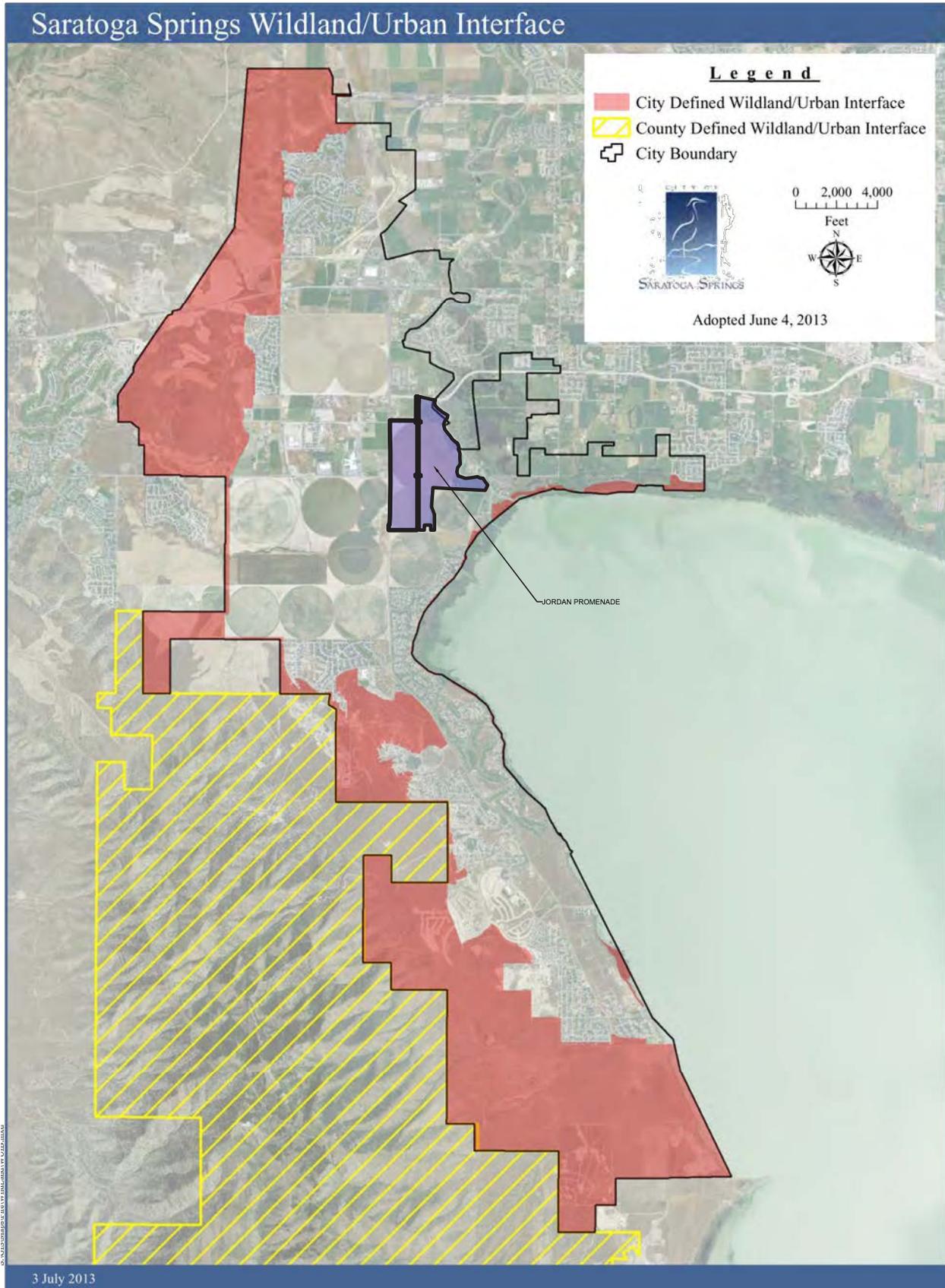


- Roadways for this project will consist of local streets and private drives and parking lots. A wide range of pavement sections have been calculated depending upon the type of street or driveway. The pavement thicknesses range from 3 inches of asphalt over 8 inches of untreated base to 4 inches of asphalt over 6 inches of untreated base and 9 inches of subbase.
- Collapsible soils were observed in the southwest corner of the site (as tested in the Preliminary Report) and around Boring B-6. Refer to the attached Boring Location Diagram (Appendix C) for an approximate location of collapsible soils. Compressible and collapsible soils are not suitable for support of foundations, concrete slabs, and pavements in their present state and should be over-excavated and recompact or replaced as recommended in the EARTHWORK section of this report (Appendix C).

FLOOD PLAIN DATA

There is no flood plain within Village 1.

SECTION 14d - FIRE PROTECTION PLAN





SECTION 15 - SITE CHARACTERISTICS

General site characteristics for Jordan Promenade were provided in the Community Plan within the Cultural Resources Inventory (ref. page 67 of the Jordan Promenade Community Plan):

"The project area falls within Sections 23, 24, 25, and 26, in Township 5 South, Range 1 West, in Saratoga Springs in Utah County, Utah. Saratoga Springs is located just to the west of the city of Lehi and abuts Utah Lake to the south and southeast. The 436.76-acre project area is primarily agricultural fields, with some urban development in the northwest corner. Currently, a large portion of the project area is being used to cultivate crops. The eastern boundary of the survey area is Redwood Road, and the western boundary consists of both the Jordan River and Saratoga Road. Riverside Drive extends north-south through the western one-third of the survey area, dividing the project area in half. The predominant vegetation is approximately equal parts corn and wheat crops, with tall grasses and marshland vegetation found in the outlying edges of the project area. Soils are loosely compacted alluvial sandy loams that have been repeatedly disturbed through agricultural tilling."

Additional site characteristics for Jordan Promenade were provided in the Community Plan within the Environmental Site Assessment (ref. page 78 of the Jordan Promenade Community Plan):

"The Property consisted of an approximately 450 acres primarily vacant land that has been used for wheat, corn, and alfalfa hay crops. Sheds and fuel tanks used for the Lehi Utah Saratoga Crops Welfare Farm were located on the southeast corner of the Property and two residential houses were also located on the Property. The Jordan River runs along the east side of the Property and a Rocky Mountain Power Substation is located to the south near Riverside Road that runs from north to south between Redwood Road and Saratoga Springs Road. Parked construction and farming equipment was on the southeast corner and scattered piles of soil, vegetation and concrete debris were on the Property. It appears that one of the residential houses had been torn down and the concrete foundation remained. Water tanks and pumps used for irrigation were on the Property in several locations. Residential housing was under construction to the south of the Property across 400 South. Vacant, undeveloped land was also east of the Property and west was Redwood Road, residential housing, barns and vacant undeveloped land. To the north was the Pioneer Crossing Road, residential housing and vacant land."



SECTION 16 - FINDINGS STATEMENTS

Village Plan Area 1 is the 136.8-acre first phase within the 367-acre Jordan Promenade Community Plan located in Saratoga Springs, Utah. The Jordan Promenade Village Plan Area 1 is compliant with all Planned Community Zone Requirements for Village Plans as defined in Section 19.26.09 of the Saratoga Springs Municipal Code. We find that Village Plan Area 1:

- a. is consistent with the adopted Community Plan;
 - Village Plan Area 1 adheres to the development standards, thoroughfare types, and open space types and requirements established in the Jordan Promenade Community Plan.
- b. does not exceed the total number of Equivalent Residential Units (ERUs) dictated in the adopted Community Plan;
 - The number of potential ERUs established in the Community Plan for Village Plan Area 1 ranges between 600 and 730 ERUs. Village Plan Area 1 establishes a maximum of 614 ERUs within Village Plan Area 1.
- c. for an individual phase, does not exceed the total number of Equivalent Residential Units (ERUs) dictated in the adopted Community Plan;
 - Village Plan Area 1 adheres to the general phasing established in the Community Plan and does not exceed the number of ERUs assigned by phase.
- d. is consistent with the utility, infrastructure, and circulation plans of the Community Plan; includes adequately sized utilities, services, and roadway networks to meet demands; and mitigates the fair-share of off-site impacts;
 - Village Plan Area 1 implements the utility, infrastructure, and circulation plans as specified in the Jordan Promenade Community Plan.
- e. properly integrates utility, infrastructure, open spaces, pedestrian and bicycle systems, and amenities with adjacent properties;
 - Jordan Promenade has been designed to accommodate significant infrastructure elements that are important to the City within the structure of the community. Jordan Promenade was designed to maximize pedestrian, bike, and other mobility options. Open space is highly integrated to provide direct and easy access to residents, with various community amenities located nearby or within open space areas.
- f. contains the required elements as dictated in Section 19.26.10 of the Saratoga Springs Municipal Code.



APPENDICES

JORDAN PROMENADE

AREA 1 VILLAGE PLAN



APPENDICES

Appendix A - Village 1 Lotting Maps (LEI Engineering, December 2018)

Appendix B - Village 1 Storm Drain Report (LEI Engineering, January 2019)

Appendix C - Geotechnical Evaluation Report (Western Technologies, Inc., September 2017)

Appendix D - Jordan Promenade, Village 1 Site Visit, Permitting Requirements, and Mitigation Measures (SWCA Environmental Consultants, August 2018)

Appendix E - Traffic Impact Study (Hales Engineering, January 2019)

Planning Commission Staff Report

Author: Gordon Miner, City Engineer

Subject: Revisions to the City's Std. Technical Specifications and Drawings

Date: February 13, 2020

Type of Item: Legislative Recommendation



- A. Summary:** Mountainland Association of Governments published its revised Regional Transportation Plan last year, moving the planning horizon from 2040 to 2050. In that revised plan, the functional classification of Saratoga Road from Pioneer Crossing to Pony Express was changed from a collector (3 lanes) to an arterial (5 lanes). The Perelle Meadows Subdivision was already under construction; and the North Shore development had already been entitled, assuming Saratoga Road would be a collector. Being as the Perelle Meadows frontage improvements are not installed yet, and North Shore has not been platted yet, the City has the opportunity to widen Saratoga Road at minimal cost to avoid costly property takings in the future. The North Shore entitlements still provide a substantial financial obstacle unless we employ a typical street section that requires less right-of-way than the City's current 180-foot arterial standard street. The attached proposed typical street section requires 85 feet of right-of-way, which provides the needed traffic volume capacity with minimal impact to the already-entitled North Shore development.
- B. Funding Source:** Not applicable.
- C. Review:** The proposed standard drawing has been reviewed by staff and it has been found to be acceptable and in legal form. City staff have met with the North Shore developer who is amenable to this standard drawing for Saratoga Road.
- D. Recommendation and Alternatives:** Staff recommends that the Planning Commission forward a positive recommendation to the City Council regarding the addition of this standard drawing to the City's Standard Technical Specifications and Drawings, with the following proposed motion:

Positive Recommendation

"I move to forward a **positive** recommendation to the City Council to add this standard drawing to the City's Standard Technical Specifications and Drawings."

Alternative Recommendation with Modifications

“I move to forward a **positive** recommendation to the City Council to add this standard drawing to the City’s Standard Technical Specifications and Drawings with the following modifications:”

1. _____
2. _____
3. _____

Negative Recommendation

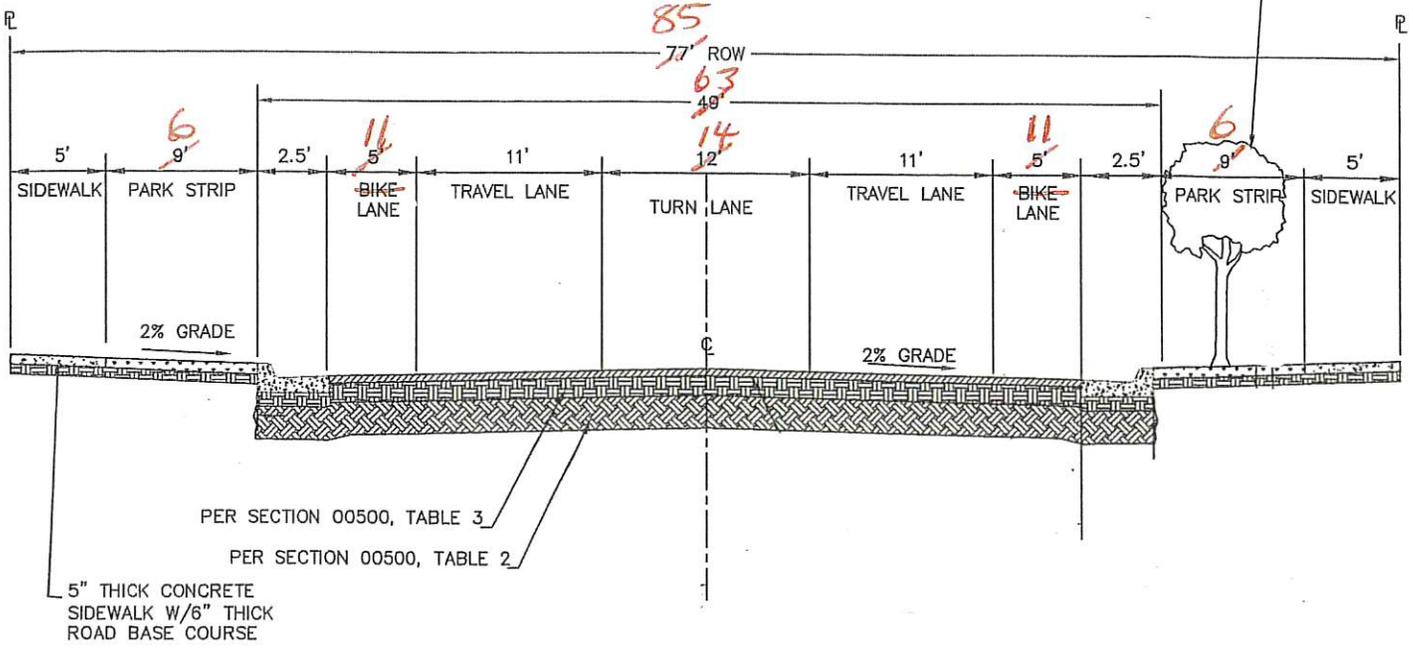
“I move to keep the City’s Standard Technical Specifications and Drawings unchanged.”

E. Attachments:

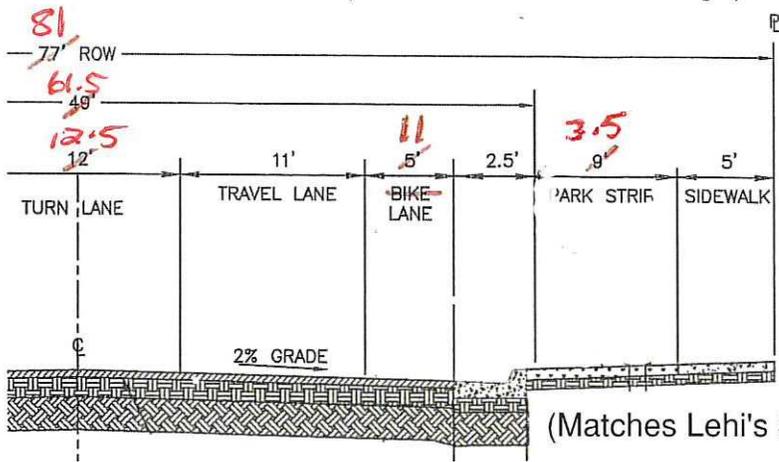
1. Proposed additional standard drawing to the City’s Standard Technical Specifications and Drawings.

TREES SHALL MEET SPECIFICATIONS FOUND IN SECTION 02726. TREES ARE TO BE PLACED EVERY 50' ON BOTH SIDES OF THE ROAD. STAGGER LOCATIONS FROM ONE SIDE OF THE ROAD TO THE OTHER. GRADE "A" MINIMUM IN ALL APPLICATIONS.

SARATOGA ROAD (North of Pony Express)



SARATOGA ROAD (Perelle Meadows Frontage)



NOTES:

1. PROVIDE A MINIMUM 6" THICKNESS OF 3/4" OR 1" CRUSHED GRAVEL BASE COURSE UNDER SIDEWALKS, DRIVEWAY APPROACHES, AND CURB & GUTTER.
2. INSTALL TYPE 2 SLURRY SEAL.
3. HOUSES ARE ~~DISCOURAGED FROM FRONTING ON THESE STREETS.~~ **NOT ALLOWED TO**

**SARATOGA ROAD
ARTERIAL**

DATE: AUGUST 2017
DRAWING NAME: ST-9
DRAWN BY: ETL
CHECKED: APPROVED:

REVISIONS		
REV	DATE	BY
1	08-11-17	RM
ADDED REFERENCES TO SPECIFICATIONS, DELETED UNNECESSARY NOTES.		

SARATOGA SPRINGS CITY

1307 H. COMMERCE DR.
#209, SARATOGA SPRINGS,
UT 84045
PHONE: 801-766-9793
FAX: 801-766-9794



STANDARD DETAILS
STREET STANDARDS
ST-



SARATOGA SPRINGS

Life's just better here

Planning Department Memorandum

TO: Planning Commission
FROM: David Stroud, AICP, Planning Director
DATE: August 2, 2018
RE: Conditional Use Permits

The City Council held a Special Meeting on January 23, 2020 and approved initiating proceedings pursuant to Utah Code § 10-9a-509(1)(a)(ii)(B), a proposed draft of an ordinance that removed Conditional Uses within all zoning designations from the Title 19 land use table in City Code.

Prior to the special meeting, City Staff was already in the process of drafting amendments to the Use Table in Title 19 by removing certain conditional uses, designating other conditional uses as permitted uses, and retaining a few conditional uses in various zones. Now, due to Pending Ordinance, City Staff has clear policy direction to remove conditional uses.

Staff has gone through the Land Use tables and changed the designation for all the Conditional Uses by either removing them, changing them to permitted uses, or changing them to permitted uses that will have associated standards. Superscript #4 indicates that additional standards will be proposed. Additional standards have not yet been drafted and will be presented to the Planning Commission at a later date.

This work session is being held prior to a public hearing to discuss the proposed changes as summarized below.

Drive-thru:

- Add a definition for drive-thru and add drive-thru to the non-residential use table. The benefit of having it as a separate use is to specify which zones will allow drive-thru's. Drive-thru's may be found at banks, restaurants, pharmacies, car washes, etc.
- Establish stacking requirements related to drive-thru's.
- Proposed development standards for drive-thru's.

Hotel/Motel:

- Modify the definitions and distinguish between interior vs exterior access.
- Remove motels from the use table and the parking table.
- Propose development standards for hotels.

Conditional Uses:

- Eliminate Conditional Uses by either removing them or changing them to permitted uses with or without development standards.
- Superscript #4 indicates that staff would like to propose additional development standards for a particular use. Such standards have not yet been drafted and will be proposed at a future meeting.
- Residential zones:
 - Limit Bed and Breakfast to the A and RA-5 zone and come back with proposed standards.
 - Remove cemetery and add it to the Institutional/Civic (IC) zone.
 - Remove child care center from residential zones; it is allowed in some commercial zones.
 - Remove Dairy as we do not anticipate any new dairies with all of the development entitlements that have been granted throughout the City.
 - Remove Educational center; it is allowed in some commercial zones.
 - Change several uses from conditional to permitted and permitted with standards.
 - The following uses are proposed to be changed to permitted uses with development standards. The standards will be drafted at a future date.
 - Bed and breakfast
 - Kennel, private
 - Public and private utility building or facility
 - Public Building or Facilities (City Owned)
 - Riding Arena (Commercial)
 - School, Private and Quasi-Public
- Commercial zones:
 - Remove “Animal Hospital Large/Large Veterinary Office”; it is allowed in the A and RA-5 zones.
 - Add “drive-thru”
 - Ice Cream Parlor is highlighted because we might combine it with another use such as “retail, specialty”
 - Change several uses from conditional to permitted and permitted with standards.
 - The following uses are proposed to be changed to permitted uses with development standards. The standards will be drafted at a future date.
 - Automobile Rental & Leasing Agency
 - Automobile Repair, Major
 - Automobile Repair, Minor

- Automobile Sales
- Automobile, Boat, All-Terrain Vehicle (ATV), Motorcycle, Recreation Vehicle, Sales & Service
- Car Wash (self service)
- Child Care Center
- Drive thru - standards are proposed for review
- Hotels – standards are proposed for review
- Kennel, Commercial
- Non-Depository Institutions
- Pawn Shop
- Preschool
- Public & private utility building or facility
- Reception Centers
- Refueling Station, Public
- Refueling Station, Private
- Storage, Self-Storage, or Mini Storage Units
- Storage, Outdoor
- Storage, Vehicle

Supplementary Regulations:

The standards for conditional uses will be added to this section.

Conditional Use Permit Chapter:

This section will be left in the code to govern existing vested conditional uses.

19.02.02. Definitions.

??. “Drive-thru” means a use that provides services through a window or machine without the driver leaving the car.

??. “Stacking” means an area provided for vehicles waiting to go through a drive-thru lane.

19.04.11 Permitted Uses, Non-Residential and Mixed Use Zones.

	NC	CC	RC*	MU	OW	I	MW	BP	IC	PSBL
<u>Drive-thru</u>		<u>P⁴</u>	<u>P⁴</u>	<u>P⁴</u>	<u>P⁴</u>	<u>P⁴</u>		<u>P⁴</u>		

---Inserted in RL Chapter 19.04

Chapter 19.09. Off-Street Parking Requirements.

Sections:

19.09.01. Purpose.

19.09.02. Required Parking.

19.09.03. General Provisions.

19.09.04. Submittal and Approval of Parking Areas.

19.09.05. Parking Requirements and Shared Parking.

19.09.06. Dimensions for Parking Stalls.

19.09.07. Accessible Parking.

19.09.08. Landscaping in Parking Areas.

19.09.09. Pedestrian Walkways and Accesses.

19.09.10. Required Minimum Parking.

19.09.11. Drive-thru Requirements.

19.09.10. Required Minimum Parking.

The table below indicates the minimum requirement for each use; unless otherwise identified, in no case may the minimums be exceeded by more than 25%.

Use	Parking Requirement
<u>Drive-thru**</u>	<u>bank or financial institution (including ATMs): minimum 3 stacking spaces per lane</u> <u>food or beverage facility: minimum 5 stacking spaces</u>

* Tandem parking spaces within a garage will only be counted as one parking space for residential uses.

** Exception – the minimum for these uses may be exceeded by more than 25%.

(Ord. 17-14, Ord. 16-17, Ord. 16-01, Ord. 14-23, Ord. 14-13, Ord. 14-1)

19.09.11. Drive-thru Requirements

1. Each stacking space is intended to accommodate one vehicle, or 20', from the point of service.
2. All drive-thru facilities must provide at a minimum 3 stacking spaces (60') per lane. See Table 19.09.10. for additional requirements by use.
3. Entrances and exits of drive-thru lanes shall be clearly marked to designate the direction of traffic flow.
4. Must provide a Final Traffic report to demonstrate how all queuing shall be contained within the property and not affect the surrounding roads. Stacking shall be designed so that it does not have the potential to overflow onto the street.
5. Landscaping shall be provided as described below:
 - a. A three foot (3') wide raised median or planter between the drive-thru aisle and the parking area.
 - b. All drive-thru lanes adjacent to public streets shall have landscaped strips of not less than ten feet in width placed between the sidewalk and the drive-thru lanes, containing a berm, hedge, or screen wall with a minimum height of three feet to minimize intrusion of lighting from headlights and other lighting on surrounding property.

19.02.02. Definitions.

“Hotel” means a building containing guest rooms with only interior access in which temporary lodging is provided for compensation. ~~to transient or permanent guests or both.~~

“Motel” means a building or group of detached or connected buildings designed or used primarily for providing sleeping accommodations for automobile travelers and having a parking space adjacent to a sleeping room with exterior access, which includes automobile courts, tourist courts with more than one building, and motor lodges.

19.09.10. Required Minimum Parking.

The table below indicates the minimum requirement for each use; unless otherwise identified, in no case may the minimums be exceeded by more than 25%.

Use	Parking Requirement
Motels	2 stalls per motel room, plus 1 space per 3 seats of meeting space

Chapter 19.05. Supplementary Regulations.

Sections:

- 19.05.01. Purpose.**
- 19.05.02. General Supplemental Regulations.**
- 19.05.03. Wireless Telecommunication Equipment.**
- 19.05.04. Non-Depository Institution.**
- 19.05.05. Farm Animals in the A, RA-5, and RR Zones.**
- 19.05.06. Keeping Chickens in the R1-40, R1-20, and R1-10 Zones.**
- 19.05.07. Outdoor Vending Machines.**
- 19.05.08. Beekeeping.**
- 19.05.09. Residential Facilities for Persons with a Disability.**
- 19.05.10. Temporary Uses.**
- 19.05.11. Accessory Buildings.**
- 19.05.12. Solar Panels.**

19.05.13. Edge Uses.

19.05.14. Temporary Subdivision Sales Trailers.

19.05.15. Vehicle Sales.

19.05.??. Hotels.

19.05.??. Hotels.

1. No hotel shall be located within 500 feet of an existing school, park, or playground as measured from the hotel building to the property boundary of the school.
2. No hotel shall be located within 300 feet of an existing residential zone as measured from the hotel building to the property boundary of the nearest residential zone (excluding Mixed Use and Mixed Waterfront zones).
3. Travel trailers, campers, and other similar recreational vehicles shall not be occupied on the premises of a hotel facility or used in any way to provide additional accommodations for the hotel occupants unless otherwise approved by the Land Use Authority.
4. Low level security lighting for safety and security shall be provided for all areas of the site that are not covered by a building, including all walkways and trash storage areas.
5. Applications shall submit a management plan that addresses how the hotel will address potential criminal activities at the site. The City of Saratoga Springs Police Department shall provide recommendations regarding the security of the site. The site plan shall be designed to allow for visibility from the public right-of-way for police officers in patrol vehicles. Consider the Crime Protection Through Environmental Design (CPTED) for recommendations.

Chapter 19.04. Establishment of Land Use Zones and Official Map.

Sections:

- [19.04.01. Purpose.](#)
- [19.04.02. Land Use Zones and Classification Established.](#)
- [19.04.03. Application of Land Use Zone Regulations.](#)
- [19.04.04. Official Zoning Map.](#)
- [19.04.05. Land Use Zone Boundary Interpretation.](#)
- [19.04.06. Purpose and Intent of Agricultural & Residential Zones.](#)
- [19.04.07. Land Use Regulations, Agricultural & Residential Zones.](#)
- [19.04.08. Permitted ~~and Conditional~~ Uses, Agricultural & Residential Zones.](#)
- [19.04.09. Purpose and Intent of Non-Residential and Mixed Use Zones.](#)
- [19.04.10. Land Use Regulations, Non-Residential and Mixed Use Zones.](#)
- [19.04.11. Permitted ~~and Conditional~~ Uses, Non-Residential and Mixed Use Zones.](#)
- [19.04.12. Mixed Waterfront Zone.](#)
- [19.04.13. Mixed Residential Zone.](#)

19.04.01. Purpose.

This Chapter establishes the basic regulations for the development of land in the City of Saratoga Springs. All structures in any zone shall be subject to the restrictions and limitations as stated in the City of Saratoga Springs City Code.

(Ord. 13-16, Ord. 11-09)

19.04.02. Land Use Zones and Classification Established.

For the purposes of this Title, all land within the boundaries of the City of Saratoga Springs shall have a land use designation in accordance with the City of Saratoga Springs Land Use Element of the General Plan. The following is a non-exhaustive list of the current land use designations:

1. Business Park
2. Developed Open Space
3. High Density Residential
4. Industrial
5. Institutional/Civic
6. Low Density Residential
7. Medium Density Residential
8. Mixed Use
9. Mixed Waterfront
10. Natural Open Space
11. Neighborhood Commercial
12. Office Warehouse
13. Planned Community
14. Regional Commercial
15. Residential Agriculture
16. Rural Residential

17. Urban Center

All of the land within the corporate limits of the City of Saratoga Springs, Utah is hereby divided into Land Use Zones. The boundaries of the Land Use Zones are shown on the Official Zoning Map of the City of Saratoga Springs. The classification of Land Use Zones is as follows:

1. Agricultural (A)
2. Rural Residential (RR)
3. Residential Agricultural (RA-5)
4. Low Density Residential (R1-40)
5. Low Density Residential (R1-20)
6. Low Density Residential (R1-10)
7. Low Density Residential (R1-9)
8. Medium Density Residential (R2-8)
9. Medium Density Residential (R3-6)
10. Medium Density Residential (MF-10)
11. High Density Residential (MF-14)
12. High Density Residential (MF-18)
13. Mixed Residential Zone (MR)
14. Neighborhood Commercial (NC)
15. Mixed Use (MU)
16. Community Commercial (CC)
17. Regional Commercial (RC)
18. Office Warehouse (OW)
19. Industrial (I)
20. Mixed Waterfront (MW)
21. Business Park (BP)
22. Institutional/Civic (IC)
23. Public School Bus Lot (PSBL)

(Ord. 18-11; Ord. 17-08, Ord. 13-16, Ord. 12-9, Ord. 11-09)

19.04.08. Permitted ~~and-Conditional~~ Uses, Agricultural & Residential Zones.

The following table lists the Permitted ~~and-Conditional~~ uses for the Residential Zones in the City of Saratoga Springs. Empty boxes mean that the use is prohibited in that zone. Uses not listed are also prohibited.

	A	RA-5	RR	R1-40	R1-20	R1-10	R1-9	R2-8	R3-6	MF-10	MF-14	MF-18	MR ^{2*} ‡
Agriculture	P	P	P										
Animal Hospital, Large/Large Veterinary Office	P	P											
Apiary (see §§ 19.05.08)	P	P	P	P	P	P	P	P	P	P	P	P	P
Bed and Breakfast	P €	€	€	€									

	A	RA-5	RR	R1-40	R1-20	R1-10	R1-9	R2-8	R3-6	MF-10	MF-14	MF-18	MR ^{2*}
Cannabis Production Establishments as defined by Utah Code	P												
Cemetery	€	€	€	€	€	€	€	€	€	€	€	€	
Chickens (see §§ 19.05.05 and 19.05.06)	P	P	P	P	P	P	P	P					
Child Care Center	€	€	€	€	€	€	€	€	€	€	€	€	€
Church	P	P	P	P	P	P	P	P	P	P	P	P	P
Dairy	€	P											
Dwelling, Accessory Unit***													
Dwelling, Multi-Family										P	P	P	P
Dwelling, Single Family	P	P	P	P	P	P	P	P	P	P	P	P	P
Dwelling, Three-Family									P	P	P	P	P
Dwelling, Two-Family								P	P	P	P	P	P
Educational Center	€	€	€	€	€	€	€	€	€	€	€	€	€
Equestrian Center	<u>P</u> €	<u>P</u> €											
Farm Animals (see Section 19.05.05)	P	P	P										
Farmer's Market	<u>P</u> €	<u>P</u> €	<u>P</u> €										€
Golf Course	P	P	P	P	€	€	€	€	-	-	-	-	€
Home Occupations	See §19.08												
Kennel, Private	<u>P</u> €	<u>P</u> €	<u>P</u> €										
Livestock Auction Yard	<u>P</u> €	€											
Plant and Tree Nursery	P	<u>P</u> €	<u>P</u> €										
Preschool	-	-	€	€	€	€	€	€	€	€	€	€	€
Production of Fruit and Crops	P	P	P	P	P	P	P	P	P	P	P	P	P
Public and private utility building or facility	<u>P</u> €												
Public Building or Facilities (City Owned)	<u>P</u> €												

	A	RA-5	RR	R1-40	R1-20	R1-10	R1-9	R2-8	R3-6	MF-10	MF-14	MF-18	MR ^{2*} *
Public Parks, playgrounds, recreation areas, or other park improvements*	P	P	P	P	P	P	P	P	P	P	P	P	P
Refueling Station, Private	P												
Residential Facilities for Elderly Persons	<u>PC</u>	<u>PC</u>	<u>PC</u>	<u>PC</u>	<u>PC</u>	<u>PC</u>	<u>PC</u>	<u>PC</u>	<u>PC</u>	<u>PC</u>	<u>PC</u>	<u>PC</u>	<u>PC</u>
Residential Facilities for Persons with a Disability	P	P	P	P	P	P	P	P	P	P	P	P	P
Riding Arena (Commercial)	<u>P⁴C</u>	<u>P⁴C</u>	<u>C</u>										
Riding Arena (Private)	P	P	P										
School, Charter	P	P	P	P	P	P	P	P	P	P	P	P	P
School, Private and Quasi-Public	<u>P⁴C</u>	<u>P⁴C</u>	<u>P⁴C</u>	<u>P⁴C</u>	<u>P⁴</u>								
School, Public	P	P	P	P	P	P	P	P	P	P	P	P	P
Stables	P	P	<u>PC</u>										
Temporary Sales Trailer	P	P	P	P	P	P	P	P	P	P	P	P	P
	A	RA-5	RR	R1-40	R1-20	R1-10	R1-9	R2-8	R3-6	MF-10	MF-14	MF-18	MR

P = Permitted **~~C = Conditional~~**

* A neighborhood meeting is required for all public parks, public playgrounds, public recreation areas, or other public park improvements prior to new construction. City staff will notify residents within the subdivision or neighborhood area prior to any meeting. Any proposal for a regional park within the City will also be required to go Through a Site Plan review according to the requirements within the Land Development Code.

**| In addition to those support commercial uses listed in this table, the MR or MU zone allows as Permitted ~~and Conditional~~ Uses those listed in the Neighborhood Commercial Zone (NC) in 19.04.11.

*** Permitted if approved as part of a Community Plan in the Planned Community Zone.

⁴Additional Standards TBD

(Ord. 19-38, Ord. 19-11, Ord. 18-30, Ord. 18-11, Ord. 17-14, Ord. 17-08, Ord. 16-01, Ord. 15-29, Ord. 14-23-1, Ord. 14-13, Ord. 15-17, Ord. 13-16)

19.04.11. Permitted ~~and Conditional~~ Uses, Non-Residential and Mixed Use Zones.

The following table lists the Permitted ~~and Conditional~~ uses for the Nonresidential Zones in the City of Saratoga Springs. Empty boxes mean that the use is prohibited in that zone. Uses not listed are also prohibited.

P= Permitted **~~C= Conditional~~**

	NC	CC	RC*	MU	OW	I	MW	BP	IC	PSBL
Alcoholic Beverage, State Liquor Store			P							
Animal Hospital, Large/Large Veterinary Office			€		€	-	-	-	-	-
Animal Hospital, Small/Small Veterinary Office	<u>PE</u>	P	P	<u>PE</u>	P					
Arts & Crafts Sales	<u>PE</u>	P	P	P			P			
Automobile Rental & Leasing Agency, 10 or fewer total vehicles(add parking standard)		€	<u>P⁴€</u>		<u>P⁴€</u>	P ⁴		€ ^A		
Automobile Rental & Leasing Agency, more than 10 total vehicles			€		€	P		€ ^A		
Automobile Repair, Major					€	<u>P⁴€</u>				
Automobile Repair, Minor			<u>P⁴€</u>		<u>P⁴€</u>	<u>P⁴€</u>		€ ^E		
Automobile Sales			<u>P⁴€</u>		<u>P⁴</u>	<u>P⁴€</u>				
Automobile, Boat, All-Terrain Vehicle (ATV), Motorcycle, Recreation Vehicle, Sales & Service			<u>P⁴€</u>		<u>P⁴€</u>	P ⁴				
Bakery, Commercial					<u>PE</u>	<u>PE</u>				
Bakery, Retail	P	P	P	P	<u>P</u>	<u>P</u>	P	<u>P^A€</u>		
Bed and Breakfast				<u>P⁴€</u>			<u>P⁴€</u>			
Bookstore	P	P	P	P			P	<u>P^A€^E</u>		
Building Material Sales (with outdoor storage)			€		€	P				
Building Material Sales (without outdoor storage)			<u>PE</u>		<u>PE</u>	<u>PE</u>				
Bus Lot										P
Cannabis Production Establishments as defined by Utah Code						P				
Car Wash (full service)		<u>P⁴€</u>	<u>P⁴€</u>					€ ^A		
Car Wash (self service)		€	<u>P⁴€</u>		<u>P⁴€</u>	<u>P⁴€</u>				
<u>Cemetery</u>									<u>P</u>	
Child Care Center	<u>P⁴€</u>	<u>P⁴€</u>	<u>P⁴€</u>	<u>P⁴€</u>			€ <u>P^A</u>	€ <u>P^A</u>	<u>P⁴</u>	
Churches	<u>PE</u>	<u>PE</u>	<u>PE</u>	<u>PE</u>			<u>PE</u>		P	

	NC	CC	RC*	MU	OW	I	MW	BP	IC	PSBL
Commercial & industrial laundries					€	P				
Commercial Recreation		<u>PE</u>	<u>PE</u>	<u>PE</u>	<u>PE</u>	€	P			
Commuter/Light Rail Station	<u>PE</u>	<u>PE</u>	P	<u>PE</u>	P	P	<u>PE</u>	<u>PE</u>	<u>PE</u>	
Contractor construction services establishments					<u>PE</u>	P				
Contractor Services Office					P	P				
Convenience Store		<u>PE</u>	P	<u>PE</u>	<u>PE</u>			€ <u>P</u> ^E		
Convenience Store/Fast Food Combination		<u>P</u>	<u>PE</u>		<u>P</u>			€ <u>P</u> ^E		
Copy Center	<u>PE</u>	P	P	P	<u>PE</u>			<u>PE</u> ^A		
Crematory/Embalming Facility					€	<u>PE</u>				
<u>Drive-thru</u>		<u>P</u> [±]		<u>P</u> [±]						
Dry Cleaners	<u>PE</u>	P	P	P				€ <u>P</u> ^{E/A}		
Dwelling, Above commercial		€	<u>PE</u>	P			P			
Dwelling, Live/Work				P			P			
Dwelling, Multi-Family				P			P			
Dwelling, Single-Family				P			P			
Dwelling, Three-Family				P			P			
Dwelling, Two-Family				P			P			
Educational Center	<u>PE</u>	<u>PE</u>	<u>PE</u>	<u>PE</u>	<u>PE</u>			<u>PE</u>	P	
Electronic Media Rental & Sales		P	P	<u>PE</u>						
Electronic Sales & Repair			P	€ <u>P</u>				<u>PE</u> ^A		
Equipment Sales & Services			<u>PE</u>			P		<u>P</u>		
Financial Institution	<u>P</u>	P	P	P				<u>P</u> ^A		
Fitness Center (5,000 sq. ft. or less)	P	P	P	P	P		P	<u>P</u> ^A		
Fitness Center(5,001 sq. ft. or larger)	€	€	<u>PE</u>	<u>PE</u>	<u>PE</u>			€ <u>P</u> ^A		
Floral Sales	P	P	P	P			P	<u>P</u> ^A		
Funeral Home (5,000 sq. ft. or less)	€	<u>PE</u>	<u>PE</u>	<u>PE</u>					<u>P</u>	
Funeral Home (larger than 5,000 sq. ft.)	€		€	€	-	-	-		-	-
<u>Golf Course</u>									<u>P</u>	

	NC	CC	RC*	MU	OW	I	MW	BP	IC	PSBL
Grocery Store		P	P	<u>PE</u>			P			
Hair Salon	P	P	P	P	-	-	P	-	-	-
Hardware & Home Improvement Retail			P	€						
Home Occupations	See §19.08		See §19.08	See §19.08	See §19.08	See §19.08	See §19.08	See §19.08	See §19.08	See §19.08
Hospital		€	P					€	P	
Hotels			<u>P⁴€</u>	<u>P⁴</u>	€	€	<u>P⁴€</u>	<u>P⁴€</u>		
Ice Cream Parlor	P	P	P	P			P	<u>€P^A</u>		
Impound Yard						<u>PE</u>				
Kennel, Commercial			<u>P⁴€</u>		€	P ⁴				
Laundromat	<u>P</u>	<u>PE</u>	<u>PE</u>	<u>P</u>	<u>PE</u>	€				
Library		P	P	P					P	
Light Manufacturing					<u>PE</u>	<u>PE</u>		€		
Marina							P			
Mining						€				
Motels			€		€	€	€			
Neighborhood Grocery Store	<u>P</u>	P		P			P			
Non-Depository Institutions			<u>P⁴€</u>							
Office, High Intensity					P	<u>PE</u>		<u>PE</u>		
Office, Medical and Health Care	€	P	P	<u>PE</u>				P	€ ^A	
Office, Professional	€	P	P	P	P	€	P	P		
Public Parks, playgrounds, recreation areas, or other park improvements	P	P	P	P	P	P	P	P	P	P
Pawn Shop					<u>P⁴€</u>	<u>P⁴€</u>				
Personal Service Establishment	<u>PE</u>	<u>PE</u>	<u>PE</u>	<u>PE</u>	<u>PE</u>		<u>PE</u>	<u>€P^A</u>		
Plant & Tree Nursery	€	<u>PE</u>	<u>PE</u>		€	P				
Postal Center	<u>PE</u>	<u>PE</u>	P	<u>PE</u>	<u>PE</u>			P ^A	P	
Preschool	€	<u>P⁴€</u>	<u>P⁴€</u>	<u>P⁴€</u>			<u>€P^{A4}</u>	<u>€P^{A4}</u>		
Printing, lithography & publishing establishments					<u>PE</u>	<u>PE</u>		P		
Public & private utility building or facility			<u>P⁴€</u>		<u>P⁴€</u>	<u>P⁴€</u>	<u>P⁴€</u>		<u>P⁴€</u>	<u>P⁴€</u>
Public Building or Facilities (City Owned)	P	P	P	P	P	P	P	P	P	

	NC	CC	RC*	MU	OW	I	MW	BP	IC	PSBL
Reception Centers		<u>P⁴E</u>	<u>P⁴</u>	<u>P⁴E</u>			<u>P⁴</u>	<u>P⁴E</u>		
Recreation Center (combine with commercial rec?)		<u>P</u>	<u>PE</u>		<u>P</u>	<u>E</u>	<u>PE</u>			
Recreation Rentals			<u>P</u>			<u>P</u>	<u>P</u>			
Recreational Vehicle Sales	-		<u>E</u>							
Recycling Facilities						<u>PE</u>				
Refueling Station, Public		<u>P⁴E</u>	<u>P⁴E</u>	<u>P⁴E</u>	<u>P⁴E</u>	<u>P⁴E</u>				
Refueling Station, Private	<u>E</u>	<u>P⁴E</u>	<u>P⁴</u>	<u>P⁴</u>	<u>P⁴</u>	<u>P⁴</u>	<u>P⁴E</u>	<u>P⁴E</u>	<u>P⁴E</u>	<u>P⁴E</u>
Research & Development		<u>E</u>	<u>E</u>		<u>PE</u>	<u>PE</u>		<u>P</u>	<u>EP^A</u>	
Residential facilities for elderly persons				<u>PE</u>			<u>PE</u>			
Residential Facilities for Persons with a Disability				<u>PE</u>			<u>PE</u>			
Restaurant (change def), Casual		<u>P</u>	<u>P</u>		<u>E</u>		<u>E^E</u>	<u>E^E</u>		
Restaurant, Takeout/Deli	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>		<u>P</u>	<u>EP^A</u>		
Restaurant (change def), Sit-Down	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>		<u>P</u>	<u>P^E</u>		
Retail Sales	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>		<u>P</u>	<u>EP^A</u>		
Retail, Big Box			<u>PE</u>							
Retail, Specialty	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>		<u>P</u>			
Retail, Tobacco Specialty Store					<u>E</u>	<u>P⁴E</u>				
School, Public	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>
School, Trade or Vocational					<u>P</u>	<u>P</u>		<u>P</u>	<u>P</u>	
Sexually Oriented Businesses						<u>P</u>				
Shooting Range, indoor-or-outdoor			<u>P</u>		<u>PE</u>	<u>PE</u>				
Storage, Self- Storage, or Mini Storage Units					<u>P⁴E</u>	<u>P⁴E</u>				
Storage, Outdoor						<u>P⁴E</u>				
Storage, Vehicle						<u>P⁴E</u>				
Tattoo Shop Parlor			<u>P</u>		<u>P</u>	<u>E</u>				
Temporary Sales Trailer				<u>T</u>						
Temporary Use Trailer, Portable, Prefabricated or Manufactured Building										

	NC	CC	RC*	MU	OW	I	MW	BP	IC	PSBL
Theater		<u>PE</u>	<u>PE</u>							
Transit-Oriented Development (TOD)		P	P	P			P	<u>PE</u>		

^A The noted Uses shall be allowed in the listed zones as an ancillary use only.

^E The noted Uses shall be allowed in the listed zones as an edge use only. [See §19.05.](#)

*As an ancillary component of the identified Permitted ~~and Conditional~~ Uses, employers may offer Child Care Center services for their employees. The provision of such services shall require ~~Conditional Use~~City approval.

⁴ [Additional Standards TBD](#)

(Ord. 19-38, Ord. 19-19, Ord. 17-14, Ord. 17-08, Ord. 16-01, Ord. 15-29, Ord. 14-23-1, Ord. 14-13, Ord. 14-5, Ord. 13-16, Ord. 12-9, Ord. 12-2, Ord. 11-09)

Chapter 19.05. Supplementary Regulations.

Sections:

19.05.01. Purpose.

19.05.02. General Supplemental Regulations.

19.05.03. Wireless Telecommunication Equipment.

19.05.04. Non-Depository Institution.

19.05.05. Farm Animals in the A, RA-5, and RR Zones.

19.05.06. Keeping Chickens in the R1-40, R1-20, and R1-10 Zones.

19.05.07. Outdoor Vending Machines.

19.05.08. Beekeeping.

19.05.09. Residential Facilities for Persons with a Disability.

19.05.10. Temporary Uses.

19.05.11. Accessory Buildings.

19.05.12. Solar Panels.

19.05.13. Edge Uses.

19.05.14. Temporary Subdivision Sales Trailers.

19.05.15. Vehicle Sales.

19.05.16. Special Standards and Considerations Governing Particular Uses. (Reserved)

Chapter 19.15. Conditional Use Permit.

Sections:

- 19.15.01. Purpose.
- 19.15.02. Conditional Use Permit.
- 19.15.03. Approval Process.
- 19.15.04. Determination.
- 19.15.05. General Standards and Considerations Governing Conditional Uses.
- 19.15.06. Special Standards and Considerations Governing Particular Uses.
- 19.15.07. Optional Conditions.
- 19.15.08. Inspection.
- 19.15.09. Time Limit.

19.15.01. Purpose.

1. In General

- a. The purpose of this Chapter is to establish standards for the approval of conditional uses in the City. In accordance with Utah law, a conditional use shall be entitled to approval if reasonable conditions can be imposed to mitigate the reasonably anticipated detrimental impacts of the proposed conditional use in accordance with applicable standards. If the reasonably anticipated detrimental effects of a proposed conditional use cannot be substantially mitigated by the proposal or the imposition of reasonable conditions to achieve compliance with applicable standards, the conditional use may be denied. The purpose of this Chapter is to establish the applicable standards for the imposition of reasonable conditions and the standards for which a conditional use may be granted or denied.

2. Discontinuation of Conditional Use Permits

- a. Effective DATE, it is the intent of the City Council to discontinue the use of Conditional Use Permits.
- b. This Chapter shall remain a part of the Land Development Code solely for the purpose of governing uses that have vested rights with existing approved CUPs.
- c. Add a note about when taken away-pending ordinance. R20-8 (1-23-2020)

(Ord. 17-17, Ord. 13-16, Ord. 11-9, Ord.)



MINUTES – Planning Commission

Thursday, January 23, 2020

City of Saratoga Springs City Offices

1307 North Commerce Drive, Suite 200, Saratoga Springs, Utah 84045

PLANNING COMMISSION MEETING MINUTES

Call to Order - 6:00 p.m. by Chairman Bryan Chapman

Present:

5 Commission Members: Bryce Anderson, Audrey Barton, Bryan Chapman, Troy Cunningham, Ken Kilgore, Reed Ryan, Josh Wagstaff.
Staff: Gina Grandpre, Planner II; David Johnson, Economic Development Director; Nicolette Fike, Deputy Recorder.
Others: Lisa Benson, Shellie Baertsch

10 **Excused:** David Stroud, Planning Director.

1. **Pledge of Allegiance** - led by Commissioner Ryan.

15 2. **Roll Call** – A quorum was present.

3. **Public Input**

Public Input Open by Chairman Bryan Chapman, receiving no public comments, the Public Input was Closed by Chairman Bryan Chapman.

20

4. **Public Hearing: Parks and Trails Master Plan Amendment, City initiated.**

25 Economic Development Director David Johnson introduced Lisa Benson with Landmark Design who presented the update. City staff recognized that with the growth of the City there was need to update the Parks, Trails, Recreation & Open Space Masterplan to ensure that it aligned with the priorities of the City Council and its residents, as well as provided a guide for the future parks and recreational development. Economic Development Director David Johnson advised that one impetus had actually been the equestrian community reaching out concerned about where they could or couldn't use trails. The intention was to have a variety of uses but made a point of talking to the Equestrian centers. They did note that they would rather trailer the horses and take them to the trails rather than ride paved trails that lead to unpaved trails.
30 Commissioner Wagstaff noted that trailer parking for many spots is terrible. Director David Johnson advised that was part of the plan to address some of those trailheads.

Public Hearing Open by Chairman Bryan Chapman

35 Shellie Baertsch commented that in the trails systems the plan is missing a trail on the east side of Redwood Road along the canal behind the storage business. Staff noted that will be updated. She also noted the proposed continuation of the power line corridors connection points. When UDOT came into do Mountain View Corridor because the trails weren't called out on the plans and they refused to help with that. So now the City will need to put the trails through and make sure those are on the plans.

Public Hearing Closed by Chairman Bryan Chapman

40

Lisa Benson responded that the trails along the canal are being added. She will meet with Shellie Baertsch, who was originally on the committee, to review the connection points in question.

Commissioner Barton

45 - Asked about the public meeting and what feedback had been. Lisa Benson responded that it was held a week ago and was attended well. They will be updating the plan with that information.

Commissioner Anderson

50 - Addressed creative ways to implement the plan such as working with neighboring cities. He noted that we live in a generous community and felt if the City tapped into the local residents you may be able to get local skilled residents to build pavilions etc. as volunteers.

- He felt this City could benefit from a Recreation Center.
- He mentioned seeing ATVs driving around the parks frequently that are creating maintenance problems.
- He felt pocket parks are not quite the quality or standard that we need a lot in the City.
- 55 - Received clarification on implementation priority from Lisa Benson.
- Shared concern that with smaller house lots being more of the normal there is a need for more park space than with larger house lots.

Commissioner Kilgore

- 60 - He was glad that many people mentioned beach type parks as that is a unique thing about our City; however, he does recognize the difficulties in getting those.
- He asked for information on survey respondents. Lisa Benson shared a few general demographics.
- Asked about Eagle Park which in the past has been a public park. Economic Development Director David Johnson advised that it is an HOA park but per a Development Agreement it had public access for trail use.
- 65 - Asked what the city needed to do to meet the Park Acre Ratio Analysis (PAR) of 3.72. Lisa responded that with young cities, larger parks help reach the large PAR. It will depend on priorities and goals.
- He asked if the surplus would be in the larger and specialty parks. Lisa Benson advised that cities are generally trying to avoid pocket parks, the majority of what they are recommending are neighborhood parks.
- 70 - Asked how many specialty parks were needed for a city our size. Lisa advised they look at what other communities have and do an amenities analysis.
- Received clarification on the amount respondents would be willing to pay, it was not specified as fees or taxes.
- 75 - Felt it may make a difference on public responses depending on if a resident lived in an HOA and had amenities needs already met such as a pool. HOA residents may be more against paying for more amenities than other residents. Lisa Benson advised it wasn't available for them to get that information now. There will be people on both sides, some might be more community oriented.

80 Commissioner Chapman

- Commented on the challenge of residents that wanted amenities but were not willing to pay for them. Director Johnson advised that questions like this can help as a baseline tool for when it is looked at more seriously. He reminded them that some items such as Performance Park and City Center are concept ideas, not actual parks now. Lisa Benson advised if there were a bond it would need a more detailed analysis.
- 85

Commissioner Ryan

- Thanked staff and everyone involved for all the work put into this. He did note that even though the private parks aren't counted they are still getting used by residents.
- 90 - He felt it was disconcerting and noted other cities that did have higher PARs and felt we were on the lower scale with the 3.72. Lisa advised on comparison cities and reasons for their inclusion or not. St. George for example, is more of a resort active community and that may be part of their Economic Development. Some communities may also be including other facilities we may not include. Director David Johnson advised that we will make modifications as directed by City Council. Meanwhile these are the basic minimum needs.
- 95 - Asked if people had made the connection between a recreation center and the amount of money needed to make that happen. Lisa Benson felt the connection was not really being made. Economic Development Director David Johnson noted that if a recreation center moved forward there would need to be more education for residents.
- 100 - Asked if there were any strategic partnerships. Economic Development Director David Johnson noted there have been requests for things like a pool but no one has reached out in partnership.
- It would be interesting to see where cities are from their percentage of build out for comparisons.

Commissioner Wagstaff

- 105 - Liked the trailhead for Israel Canyon. Equestrians in the City have been pushed out with development; they can't just ride from their homes like they used to. He wanted to emphasize that parking for trailers is crucial.
- He suggested they look at the Welby Jacob Canal for a trail possibility. It goes almost from Camp Williams to Beacon Pointe and could be a great asset, such as the Murdock canal trail. It would be better if it could

110 be piped and had talked with the canal company who would like it piped. Lisa Benson made a note to look at it.

Commissioner Cunningham

- Thanked Landmark for the presentation.
- 115 - Received clarification on the field impact. Lisa Benson noted that when you have natural fields with heavy use they have to rotate more, and artificial turf could extend the season. There are pros and cons with the artificial turf.
- Commented on how the Parks superintendent's comments wanted more coordination between Parks and planning types of materials used. Commissioner Cunningham felt like we already had that with amenities standards. Economic Development Director David Johnson felt it was probably in context of historically we haven't always had the same requirements but the City is improving in that area. Planner II Gina Grandpre advised those materials are being looked at on the plan reviews.

120
Commissioner Chapman

- 125 - Asked what the current budget for trails and maintenance was and if that was taken into account. Economic Development Director David Johnson advised that in this process we didn't identify budget categories for the overall amount. Lisa noted the plan does have a funding options section. Typically for larger structures like a recreation center they are done with a bond. Sometimes it could be phased without a bond, but you don't typically save money that way. Director David Johnson advised maintenance costs and capital costs fluctuate over time and are planned out 5 years to accommodate.
- 130 - Felt there was good work on this, it will help the City be unique and active.

135 **Motion made by Commissioner Kilgore to forward a positive recommendation to the City Council on the 2020 Update to the Parks, Trails, Recreation, and Open Space Masterplan. Seconded by Commissioner Cunningham.**

Commissioner Chapman wanted to note especially the comments of document error fixes needed as well as the power line corridor trail connections which Landmark will work with Shellie Baertsch on.

140 **Aye: Bryce Anderson, Audrey Barton Bryan Chapman, Troy Cunningham, Ken Kilgore, Reed, Ryan, Josh Wagstaff. Motion passed 7 - 0.**

5. **Approval of Minutes: January 9, 2020**

145 **Motion made by Commissioner Cunningham to approve the minutes of January 9, 2020. Seconded by Commissioner Barton. Aye: Bryce Anderson, Audrey Barton Bryan Chapman, Troy Cunningham, Ken Kilgore, Reed, Ryan, Josh Wagstaff. Motion passed 7 - 0.**

150 6. **Commission Comments.** No comments were made by commissioners.

7. **Director's Report.** – Planner II Gina Grandpre advised of upcoming agenda items. Economic Development Director David Johnson advised to the special City Council meeting held today which approved a resolution for pending ordinance which addresses conditional uses. Staff will now go through the table to clean it up. Planner II Gina Grandpre noted that this especially addresses home occupations.

8. **Possible motion to enter into closed session** – No closed session was held.

9. **Meeting Adjourned Without Objection at 7:37 p.m. by Chairman Bryan Chapman.**

160

Date of Approval

Planning Commission Chair

165

Deputy City Recorder